

HIRSCH RESIDENCE

2192 Alton Road,
Miami Beach, Florida 33140

DESIGN REVIEW BOARD FINAL SUBMITTAL



CLIENT :

HIRSCH RESIDENCE

2192 Alton Road
Miami Beach, FL 33140
Folio: 02-3227-008-1130

CDS

CASTELLANOS DESIGN STUDIO

333 SE 2ND AVENUE, SUITE 2066
MIAMI, FL 33131
Tel: 786.218.5335
License #AA 26002467

WWW.CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISED
1	19 JUL/17	DRB SUBMITTAL
2	03 AUG/17	FINAL SUBMITTAL

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SEAL :

PROJECT NO :
2017-07

CHECKED BY : WESLEY CASTELLANOS

DRAWN BY :

SCALE: N.T.S.

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

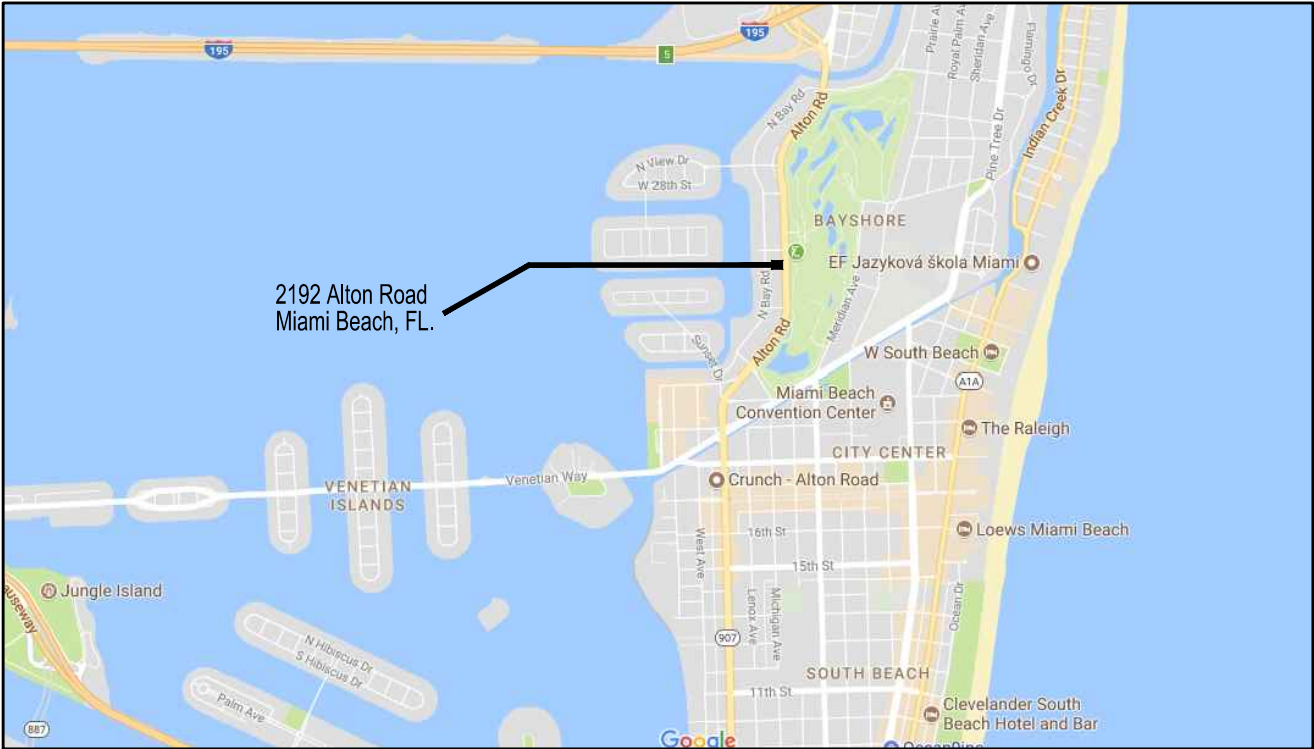
SHEET NAME :

COVER

SHEET NO :

D - 000

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
D-000	COVER
D-001	SITE LOCATION AND INDEX
D-002	SURVEY
D-003	EXISTING SITE CONTEXT
D-004	EXISTING SITE CONTEXT
D-005	NEIGHBORHOOD CONTEXT
D-006	EXISTING CONTEXT DIAGRAM
D-007	PROPOSED CONTEXT DIAGRAM
D-100	ZONING CHART
D-101	LOT COVERAGE DIAGRAM
D-102	UNIT SIZE - GROUND FLOOR
D-103	UNIT SIZE - 2ND FLOOR
D-104	OPEN AREA DIAGRAM
D-200	SITE PLAN
D-300	GROUND FLOOR PLAN
D-301	2ND FLOOR PLAN
D-302	ROOF PLAN
D-400	BUILDING ELEVATIONS
D-401	BUILDING ELEVATIONS
D-402	BUILDING ELEVATIONS
D-403	BUILDING ELEVATIONS
D-501	BUILDING SECTIONS
D-502	BUILDING SECTIONS
D-503	BUILDING SECTIONS
D-600	AXONOMETRIC VIEWS
D-601	AXONOMETRIC VIEWS
D-800	RENDERING - FRONT
D-801	RENDERING - REAR
D-900	EXISTING TREE DISPOSITION PLAN
D-901	LANDSCAPE PLAN
D-902	PLANTING NOTES AND DETAILS



1 CITY MAPS
NTS



2 NEIGHBORHOOD MAP
NTS

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SEAL :

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
2017-07

CHECKED BY : WESLEY CASTELLANOS

DRAWN BY :

SCALE: N.T.S.

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SHEET NAME :
CITY LOCATION
AND INDEX

SHEET NO :
D - 001

TREE NUMBER	COMMON NAME	SPECIES	DIA. IN.	HT. FT.	CNRY. Ø
1	MAHOGANY	"Swietenia mahagoni"	10	25	24
2	COCONUT PALM	"Coccothrinax"	12	25	16
3	CHRISTMAS PALM	"Vactha merrillii"	4	18	8
4	FICUS	"Ficus spp."	16	17	16
5	CHRISTMAS PALM	"Vactha merrillii"	10	30	10
6	CHRISTMAS PALM	"Vactha merrillii"	12	30	10
7	DRAGON TREE	"Dracaena draco"	7	25	8
8	FICUS	"Ficus spp."	30	20	16
9	LIVE OAK	"Quercus virginiana"	6	20	16
10	FICUS	"Ficus spp."	48	30	25
11	SWEET ORANGE	"Citrus sinensis"	12	5	10
12	FICUS	"Ficus spp."	8	20	5
13	CHRISTMAS PALM	"Vactha merrillii"	4	15	10

NOTE:
 • TREE IDENTIFICATION MUST BE VERIFIED BY A CERTIFIED SPECIALIST.

LOT 11, BLOCK 14, AMENDED PLAT OF SUNSET LAKE SUBDIVISION (P.B. 8, PG. 32)

2 STORES C.B.S. 12200 ALTON ROAD

2 STORES C.B.S. 12192 ALTON ROAD

2 STORES C.B.S. 12180 ALTON ROAD

LOT 10, BLOCK 14, AMENDED PLAT OF SUNSET LAKE SUBDIVISION (P.B. 8, PG. 32)

W. 23RD ST.

S01°54'53"E 293.35' (R)

ALTON RD

S01°54'53"E 60.00' (R&M)

N88°05'07"E 121.75' (R)

N88°12'56"E 121.91' (M)

50.00' (R&M)

S01°54'53"E 60.00' (R&M)

S88°05'07"W 121.75' (R) 121.91' (M)

100' RIGHT-OF-WAY

ALTON ROAD

STATE ROAD No. 907

GRAPHIC SCALE

0 5 10 20


1 INCH = 10 FEET

BOUNDARY SURVEY

PREPARED FOR:

SOUTH BEACH CONSTRUCTION, INC.

LYING AND BEING IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.



J. Hernandez & Associates Inc.
LAND SURVEYORS AND MAPPERS

CERTIFICATE OF AUTHORIZATION No. 181862
4680 NW 72nd Ave. SUITE #5, CORAL, FL 33166
(305) 526-0606 (E) info@hnsurveys.com

DRAWN BY: S.A.M.
DATE: 02/15/17

CHECKED BY: J.G.H.
DATE: 02/15/17

JOB. NUM.: 151012
F.B. MD-E, PG.11

-LEGAL DESCRIPTION-

LOT 10 IN BLOCK 14 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8 & PAGE 52 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LYING AND BEING IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES

- FIELD SURVEY WAS COMPLETED ON MAY 12, 2017
- BEARINGS BASED ON AN ASSUMED BEARING OF 301°55'52" ALONG THE EAST BOUNDARY LINE OF SUBJECT PROPERTY.
- LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT.
- SUBJECT PROPERTY AREA: 7.325 SQ. FT. (0.168 ACRES)
- DISTANCES AND BEARINGS SHOWN AS SHOWN HEREON ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.
- SUBJECT PROPERTY HAS AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.
- UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- ADJACENT AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
- SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS FROM ALTON ROAD TO A PUBLIC DEDICATED RIGHT-OF-WAY.
- THIS BOUNDARY SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE LOCATED ON A SEARCH OF TITLE OF THE SUBJECT PROPERTY.

PROPERTY INFORMATION

- OWNER: 21 ALTON LLC
- PROPERTY ADDRESS: 2192 ALTON RD, MIAMI BEACH, FL 33140
- PROPERTY FOLD NUMBER(S): 22-327-008-1130
- PROPERTY ZONE: (RS-R) SINGLE FAMILY RESIDENTIAL

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE" (E. B.) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12068C2031L, DATED SEPTEMBER 11, 2009

ELEVATION REFERS TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND IS EXPRESSED IN FEET.

CERTIFY TO:

- SOUTH BEACH CONSTRUCTION, INC.

DATUM AND BENCHMARKS

- ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) 1929) AND ARE EXPRESSED IN FEET.
- BENCHMARKS:
 - CITY OF MIAMI BEACH BENCHMARK (CMS 51 03) ELEVATION 62.0 (N.G.V.D. 1989)
 - CONVENTION (CCT) 187157 (N.G.V.D. 1929)
 - LOCATION HWY 26TH S, SUNSET
 - DESG = FN N&W BY CATCH BASIN, S.E. W. CORNER OF BRIDGE

ENCROACHMENTS

- A PORTION OF E WOOD FENCE, ALONG THE NORTH BOUNDARY LINE, ENCRACHES 0.2' ONTO SUBJECT PROPERTY FROM ADJOINING LANDS.
- OTHER THAN THOSE SHOWN HEREON, THERE ARE NO OBSERVED ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.


REVISIONS

DATE	JOB No.	REV.	BY:

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.



JOSE G. HERNANDEZ, PRESIDENT
PROFESSIONAL LAND SURVEYOR No. 8952
STATE OF FLORIDA

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THIS IS A BOUNDARY SURVEY
PROJECT NUMBER: MD-154
SHEET NUMBER: 1 OF 1

CLIENT :

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Miami Beach, FL 33140
Folio: 02-3227-008-1130



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 MIAMI, FL 33131
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 License #AA 26002467

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THE DRAWINGS ARE SCOPE DOCUMENTS, WHICH INDICATE THE GENERAL SCOPE OF WORK OF THE PROJECT. THE DRAWINGS ARE NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTION. THE GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK, WITHIN ADDITION TO THE CONTRACT AMOUNT UNLESS SCOPE OF WORK CHANGES FROM THAT INDICATED ON THE DRAWINGS. IN THE EVENT OF A CONFLICT WITHIN OR BETWEEN THE DRAWINGS, THE GENERAL CONTRACTOR SHALL FOLLOW THE GREATEST BURDEN UPON GENERAL CONTRACTOR SHALL GOVERN. THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS AND SPECIFICATIONS TO THE PROJECT. THE GENERAL CONTRACTOR SHALL REPORT TO CDS AND IN NO CASE SHALL PROCEED IN INCERTAINTY.

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CHECKED BY : WESLEY CASTELLANOS	
DRAWN BY :	
SCALE: N.T.S.	
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SHEET NAME :	
<i>SURVEY</i>	
SHEET NO :	<i>D - 002</i>



1 FRONT VIEW (7.4.2017)



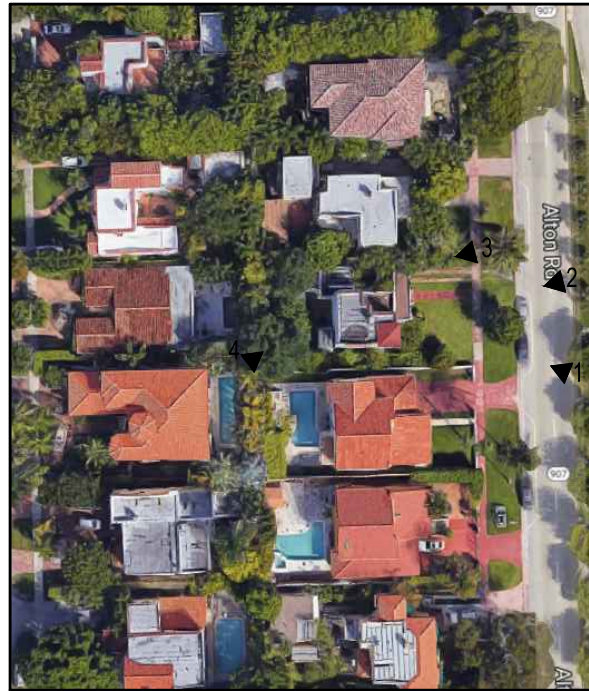
2 FRONT VIEW (7.4.2017)



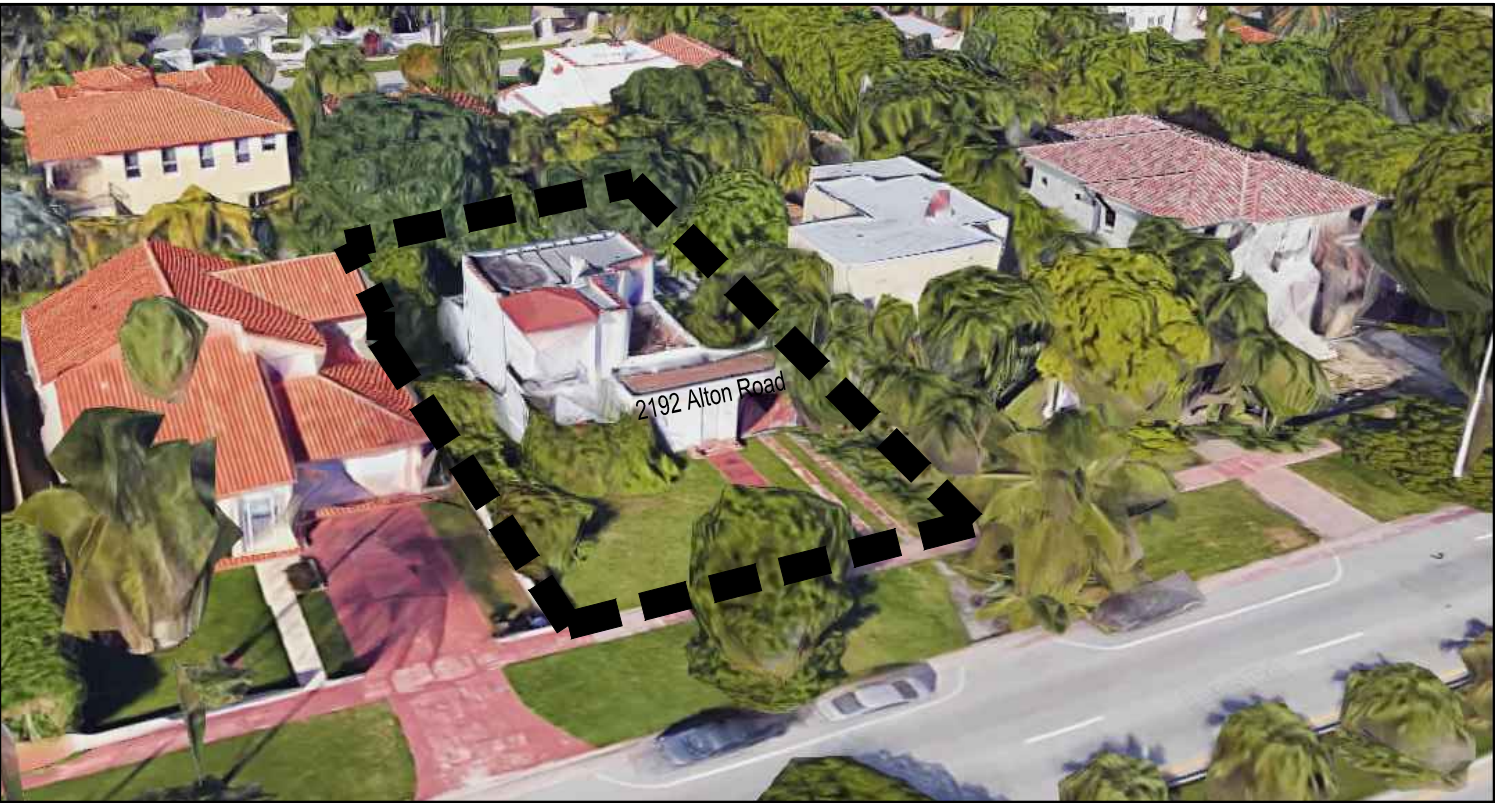
3 FRONT VIEW (7.4.2017)



4 REAR VIEW (7.4.2017)



5 KEY PLAN (7.18.2017)
NTS



1 FRONT AERIAL VIEW



2 REAR AERIAL VIEW

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Folio: 02-3227-008-1130

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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
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SCALE: N.T.S.

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SHEET NAME :
EXISTING SITE
CONTEXT

SHEET NO :
D - 004



1 2170 Alton Road



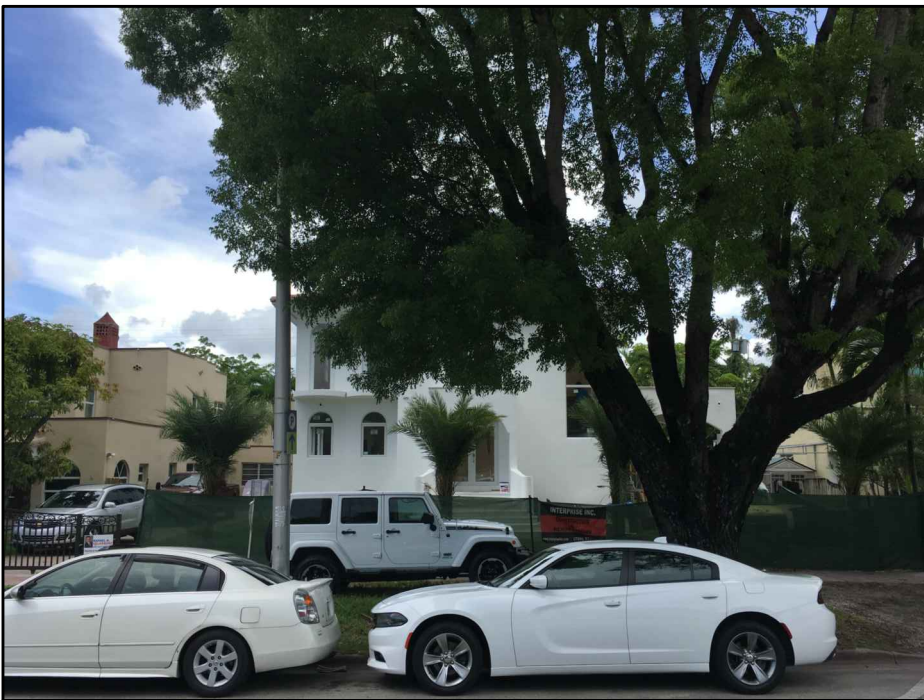
2 2180 Alton Road



3 2192 Alton Road



4 2200 Alton Road



5 2210 Alton Road



2203 N Bay Rd

2191 N Bay Rd

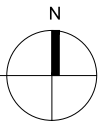
2181 N Bay Rd

2200 Alton Road

2192 Alton Road

2180 Alton Road

1 EXISTING CONTEXT DIAGRAM
NTS



CLIENT :
HIRSCH RESIDENCE

2192 Alton Road
Miami Beach, FL 33140
Folio: 02-3227-008-1130



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DRAWN BY :
SCALE: N.T.S.
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SHEET NAME : EXISTING CONTEXT DIAGR.
SHEET NO : D - 006

2203 N Bay Rd

2191 N Bay Rd

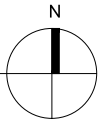
2181 N Bay Rd

2200 Alton Road

2192 Alton Road

2180 Alton Road

1 PROPOSED CONTEXT DIAGRAM
NTS



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DRAWN BY :

SCALE: N.T.S.

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SHEET NAME :
PROPOSED
CONTEXT DIAGR.

SHEET NO :
D - 007

ZONING DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION - SINGLE FAMILY
MUNICIPALITY: MIAMI BEACH
STREET ADDRESS: 2192 ALTON ROAD, MIAMI BEACH, FL 33140 - 4549
FOLIO NUMBER: 02-3227-008-1130
ZONING DISTRICT: RS-3
FEMA ZONE: AE
BFE: 10 NGVD

CODE OF ORDINANCES'REFERENCES:

LOT AREA: 142 - 105
MINIMUM LOT WIDTH: 142 - 105
GROSS BUILDING AREA: 142 - 105
LOT COVERAGE: 142 - 105
BUILDING HEIGHT: 54 - 35
BUILDING SETBACKS: 142 - 106
FENCE HEIGHT: 142 - 1132
DRIVEWAYS: 142 - 1132
POOL SETBACK: 142 - 1133
PROJECTIONS: 142 - 1132, 142 - 105
OTHER DIMENSIONAL REQUIREMENTS: 142 - 105

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning information			
1	Adress:	2192 Alton Road, Miami Beach, FL 33140 - 4549		
2	Folio number(s):	02-3227-008-1130		
3	Board and file numbers:			
4	Year built:	1923	Zoning District:	RS-4
5	Based Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	3.45' NGVD
6	Adjusted grade (Flood+Grade/2):	5.75' NGVD.	Finish Floor Elevation	9'-0" NGVD
7	Lot Area:	7,320 SQ.FT.		
8	Lot width:	60'-0"	Lot Depth:	122'-0"
9	Max Lot Coverage SF and %>	2,196 SQ. FT. (30%)	Proposed Lot Coverage SF and %:	2,173 SQ. FT. (29.69%)
10	Existing Lot Coverage SF and %:	1,715 SQ. FT. (23.4%)	Lot Coverage Deducted (grage-storage) SF:	468 SQ. FT.
11	Front Yard Open Space SF and %:	611 SQ.FT. (51%)	Rear Yard Open Space SF and %:	867 SQ. FT. (72.50%)
12	Max Unit Size SF and %:	3,660 SQ. FT. (50%)	Proposed Unit Size SF and %:	3,657 SQ. FT. (99.9%)
13	Existing First Floor Unit Size:	1,635 SQ. FT.	Proposed First Floor Unit Size:	2,173 SQ. FT.
14	Existing Second Floor Unit Size:	610 SQ.FT.	Proposed Second Floor Volumetric Unite Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	
15			Proposed Second Floor Unit Size SF and %:	1,470 SQ. FT. (67.65% OF FIRST FL.)

		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
16	Height:	24'-0"		24'-0"	N/A
17	Setbacks:				N/A
18	Front First Level:	20'-0"	37'-0"	20'-0"	N/A
19	Front Second Level:	30'-0"	45'-0"	45'-2"	N/A
20	Side 1:	7'-6"	5'-0"	7'-6"	N/A
21	Side 2 or (facing street):	7'-6"	11'-10"	7'-6"	N/A
22	Rear:	20'-0"	21'-4"	33'-10"	N/A
23	Accessory Structure Side 1:	7'-6"	N/A	7'-6"	N/A
24	Accessory Structure Side 2 or (facing street):	7'-6"	N/A	33'-6"	N/A
25	Accessory Structure Rear:	7'-6"	N/A	7'-6"	N/A
26	Sum of Side yard:	15'-0"	16'-10"	15'-0"	N/A

27	Located within a Local Historic District?	YES or NO
28	Designated an individual Historic Single Family Residence Site?	YES or NO
29	Determited to be Architecturally Significant?	YES or NO

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2	03 AUG/17	FINAL SUBMITTAL

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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
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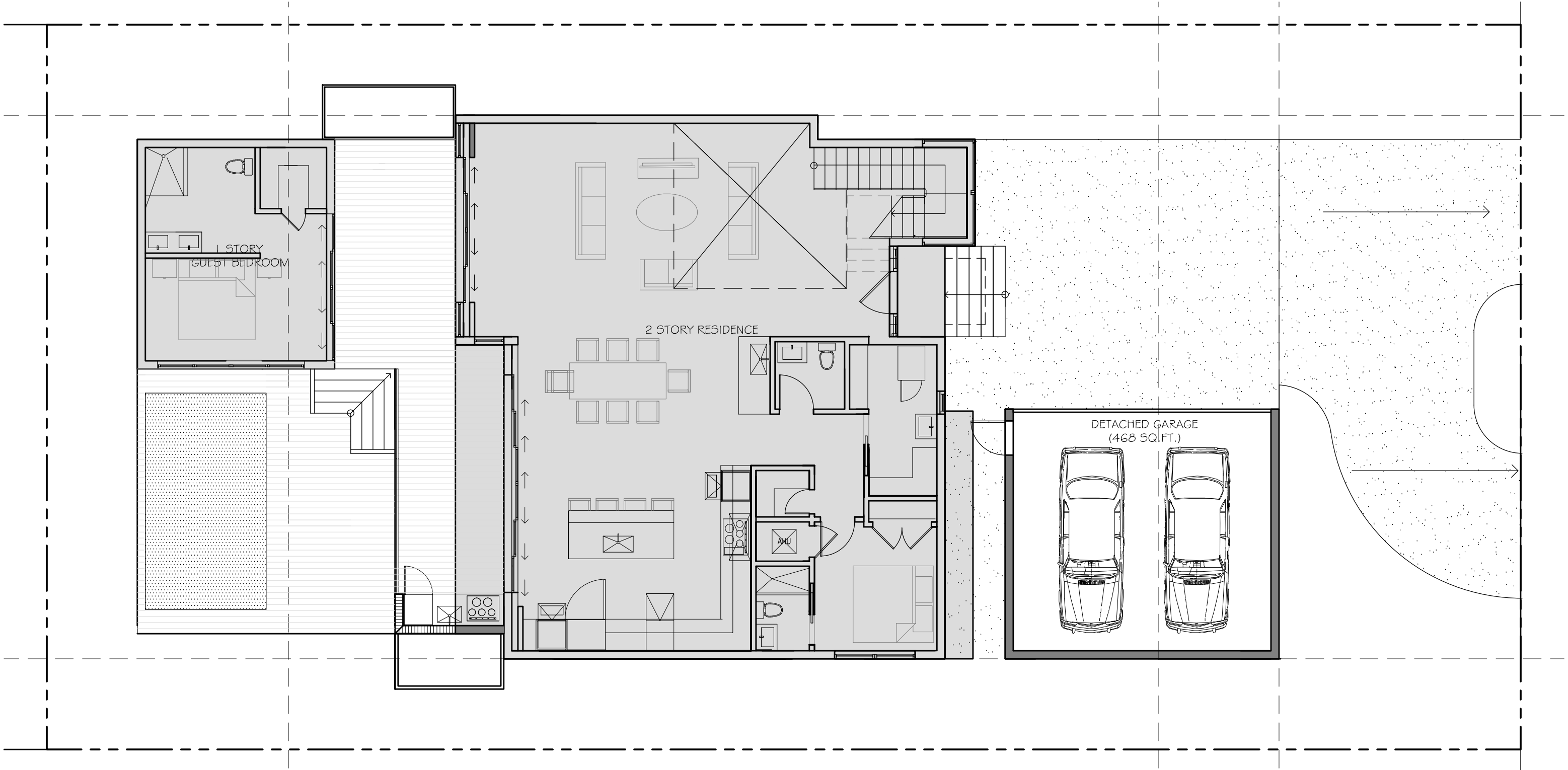
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SCALE: N.T.S.

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SHEET NAME :
ZONING CHART

SHEET NO :
D - 100



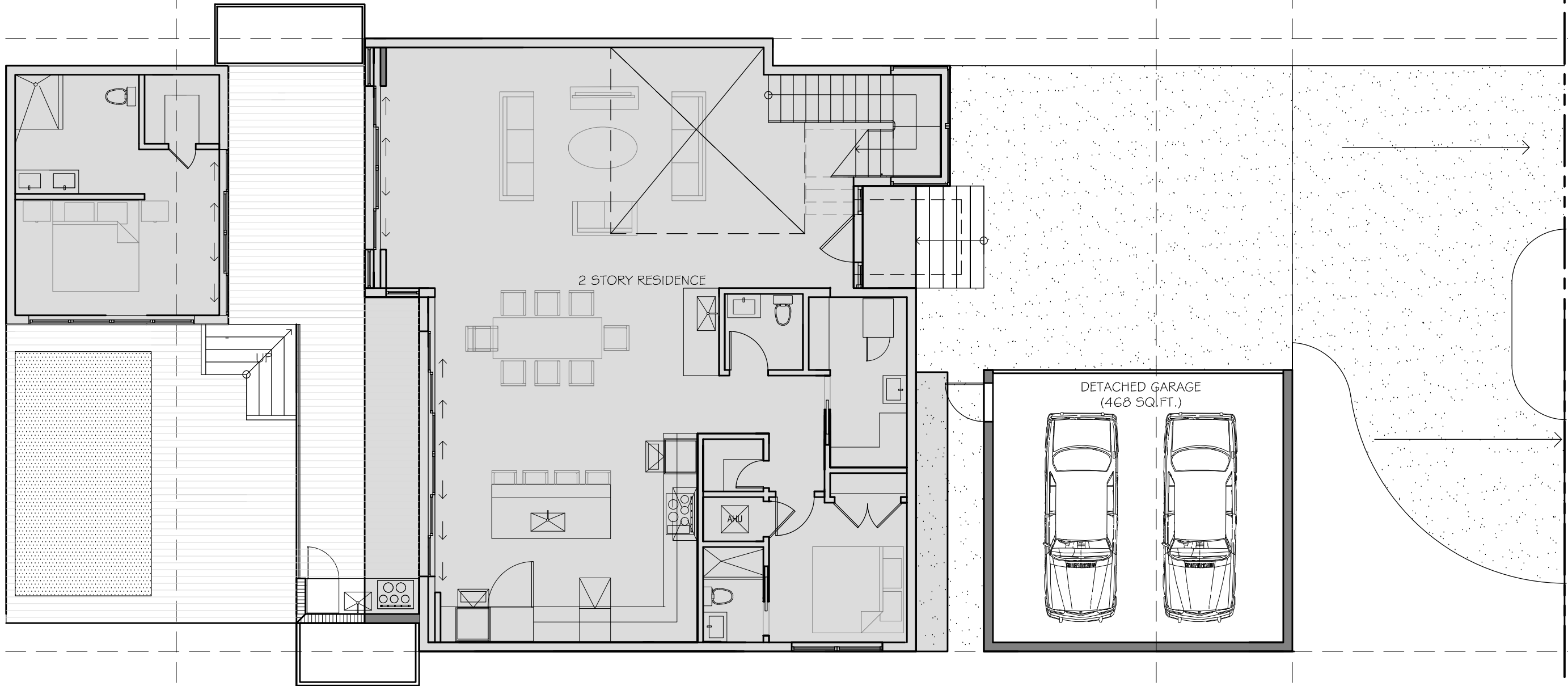
1

LOT COVERAGE DIAGRAM

SCALE : 1/8" = 1'-0"

N

LOT SIZE = 7,320 SQ.FT.
LOT COVERAGE = 2,173 SQ. FT. (29.69%)



1 UNIT SIZE GROUND FLOOR
SCALE : 1/8" = 1'-0"

UNIT SIZE = 2,173 SQ. FT.

CLIENT :
HIRSCH RESIDENCE
2192 Alton Road
Miami Beach, FL 33140
Folio: 02-3227-008-1130

CDS
CASTELLANOS DESIGN STUDIO
333 SE 2ND AVENUE, SUITE 2066
MIAMI, FL 33131
Tel: 786.218.5335
License #AA 26002467
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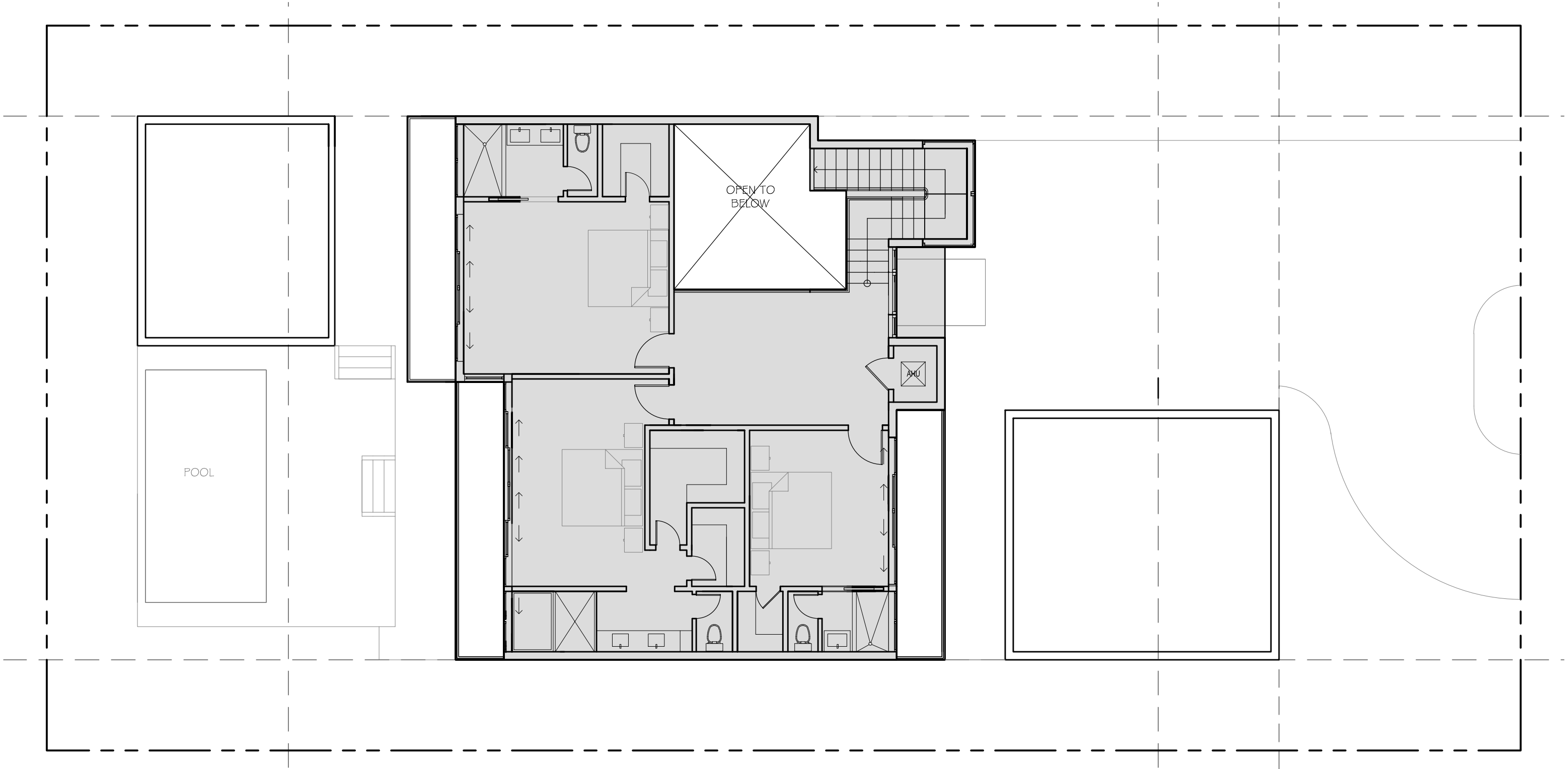
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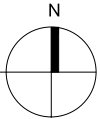
SHEET NAME :
UNIT SIZE GROUND FLOOR
SHEET NO :
D - 102



1

UNIT SIZE 2ND FLOOR

SCALE : 1/8" = 1'-0"



UNIT SIZE = 1,470 SQ. FT. (67.65% OF 2,173 SQ.FT. GROUND FLOOR)

CLIENT :

HIRSCH RESIDENCE

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Miami Beach, FL 33140
Folio: 02-3227-008-1130

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2017-07

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SCALE: N.T.S.

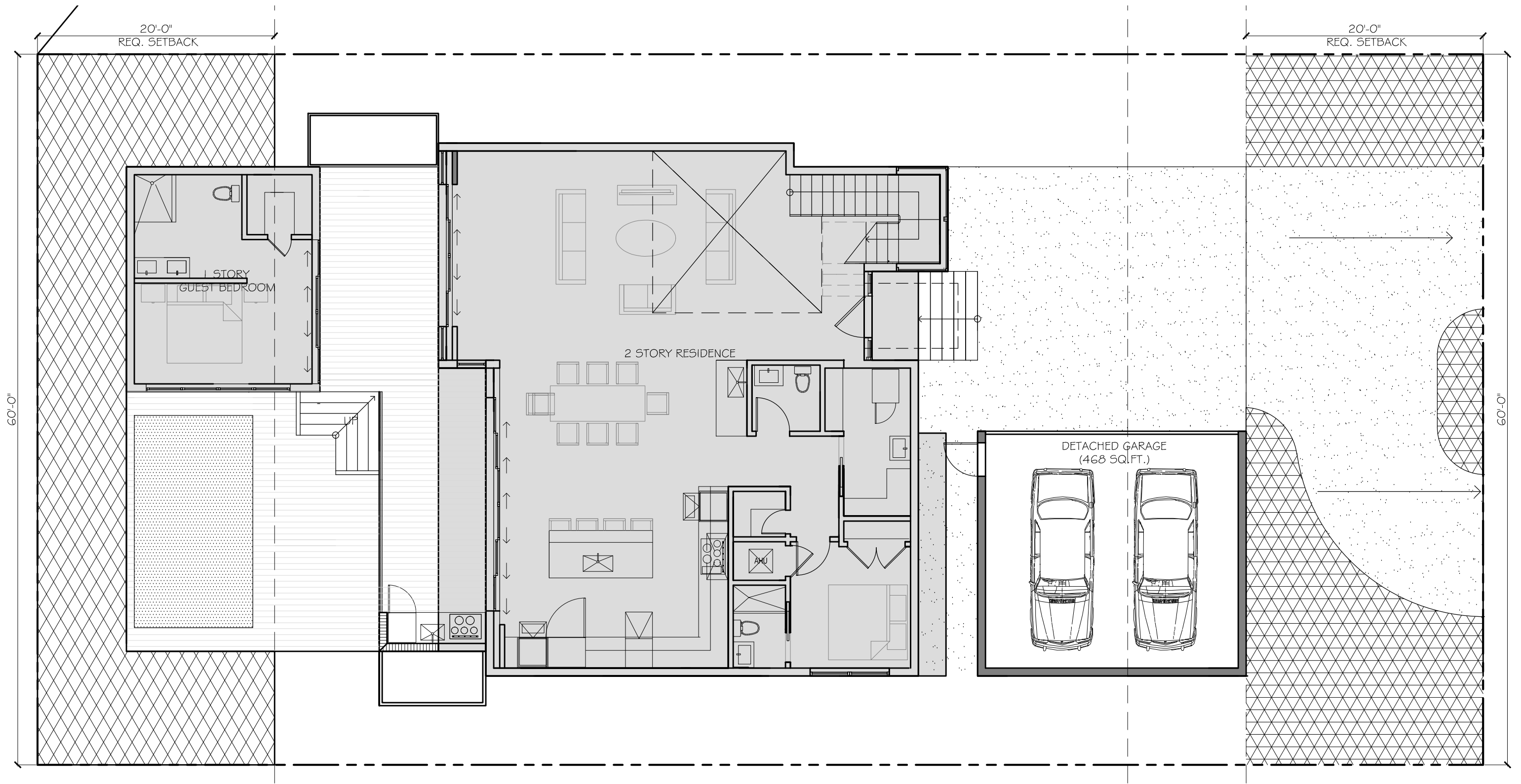
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SHEET NAME :

UNIT SIZE
2ND FLOOR

SHEET NO :

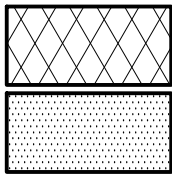
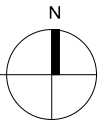
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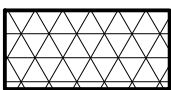
1

OPEN AREA DIAGRAM

SCALE : 1/8" = 1'-0"



REAR YARD AREA = 1,200 SQ. FT.
MINIMUM PERVIOUS AREA = 840 SQ. FT. (70%)
REAR YARD = 688 SQ. FT.
+ POOL = 179 SQ. FT. =
PROVIDED PERVIOUS AREA = 867 SQ. FT. (72.25%)



FRONT YARD AREA = 1,200 SQ. FT.
MINIMUM PERVIOUS AREA = 600 SQ. FT. (50%)
PROVIDED PERVIOUS AREA = 611 SQ. FT. (51%)

CLIENT :

HIRSCH RESIDENCE

2192 Alton Road
Miami Beach, FL 33140
Folio: 02-3227-008-1130

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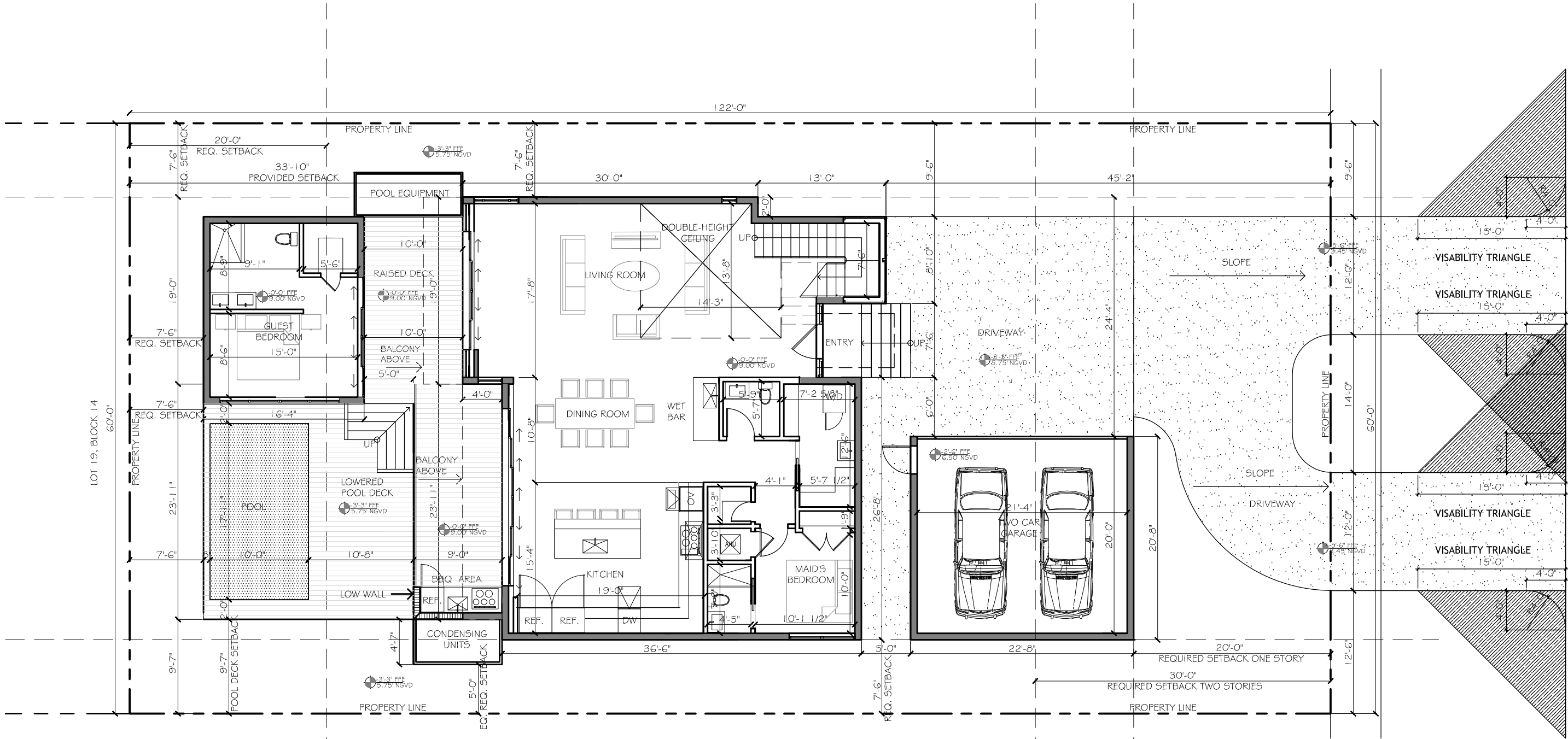
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SCALE: N.T.S.

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SHEET NAME :
**OPEN AREA
DIAGRAM**

SHEET NO :
D - 104



1 SITE PLAN
SCALE : 3/32" = 1'-0"

CLIENT :
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Miami Beach, FL 33140
Folio: 02-3227-008-1130

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2017-07
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DRAWN BY :
SCALE : N.T.S.
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SHEET NAME :
SITE PLAN
SHEET NO :
D - 200



GROUND FLOOR: 2,000 SF
2ND FLOOR: 1,454 SF
TOTAL: 3,454 SF



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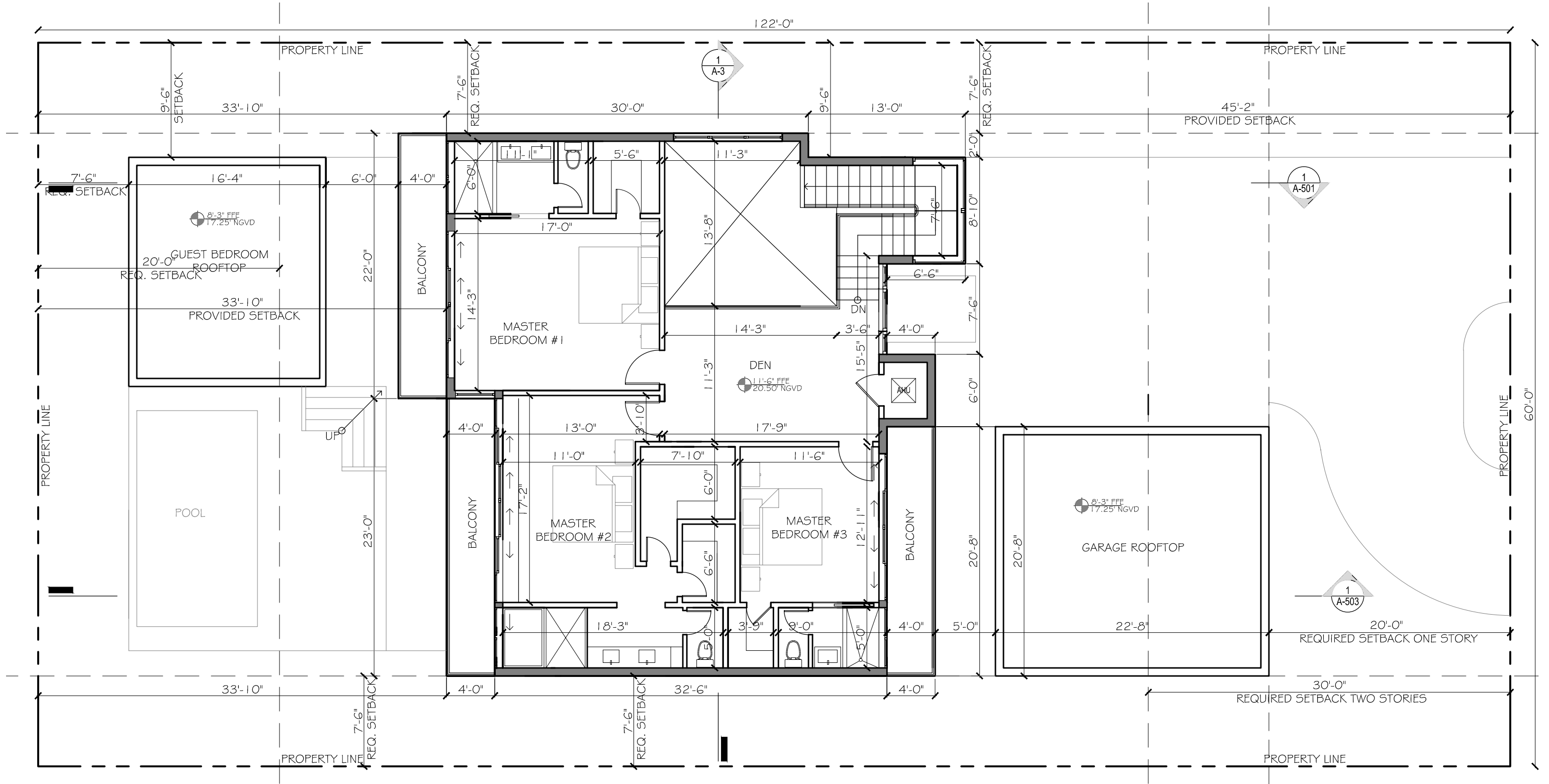
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SHEET NAME :
**GROUND FLOOR
PLAN**

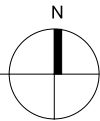
SHEET NO :
D - 300



1

2ND FLOOR PLAN

SCALE : 1/8" = 1'-0"



GROSS AREA (A/C)

GROUND FLOOR: 2,000 SF
2ND FLOOR: 1,454 SF
TOTAL: 3,454 SF

CLIENT :
HIRSCH RESIDENCE

2192 Alton Road
Miami Beach, FL 33140
Folio: 02-3227-008-1130

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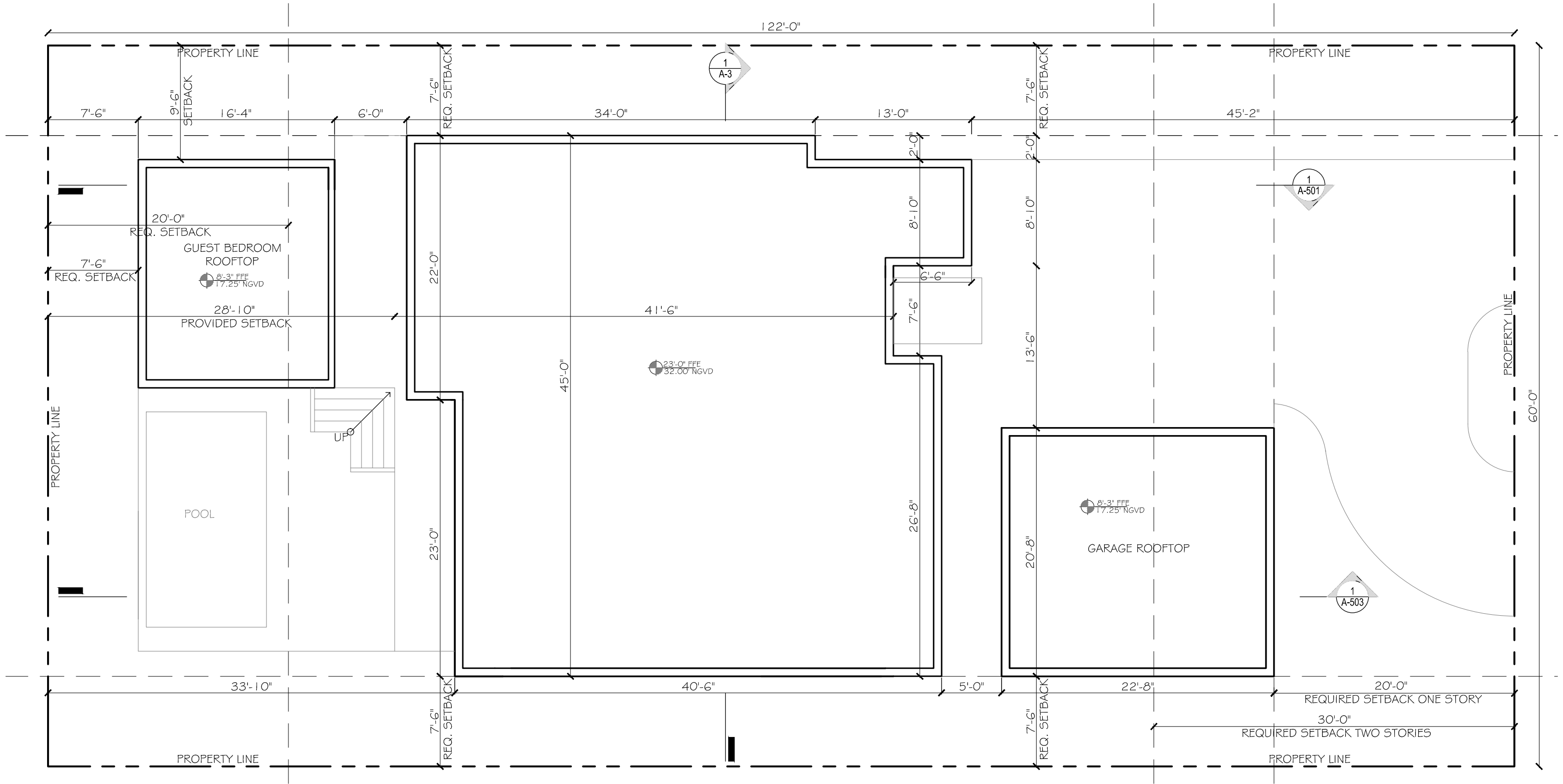
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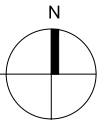
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SHEET NAME :
2ND FLOOR PLAN

SHEET NO :
D - 301



1 **ROOF PLAN**
SCALE : 1/8" = 1'-0"



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Folio: 02-3227-008-1130



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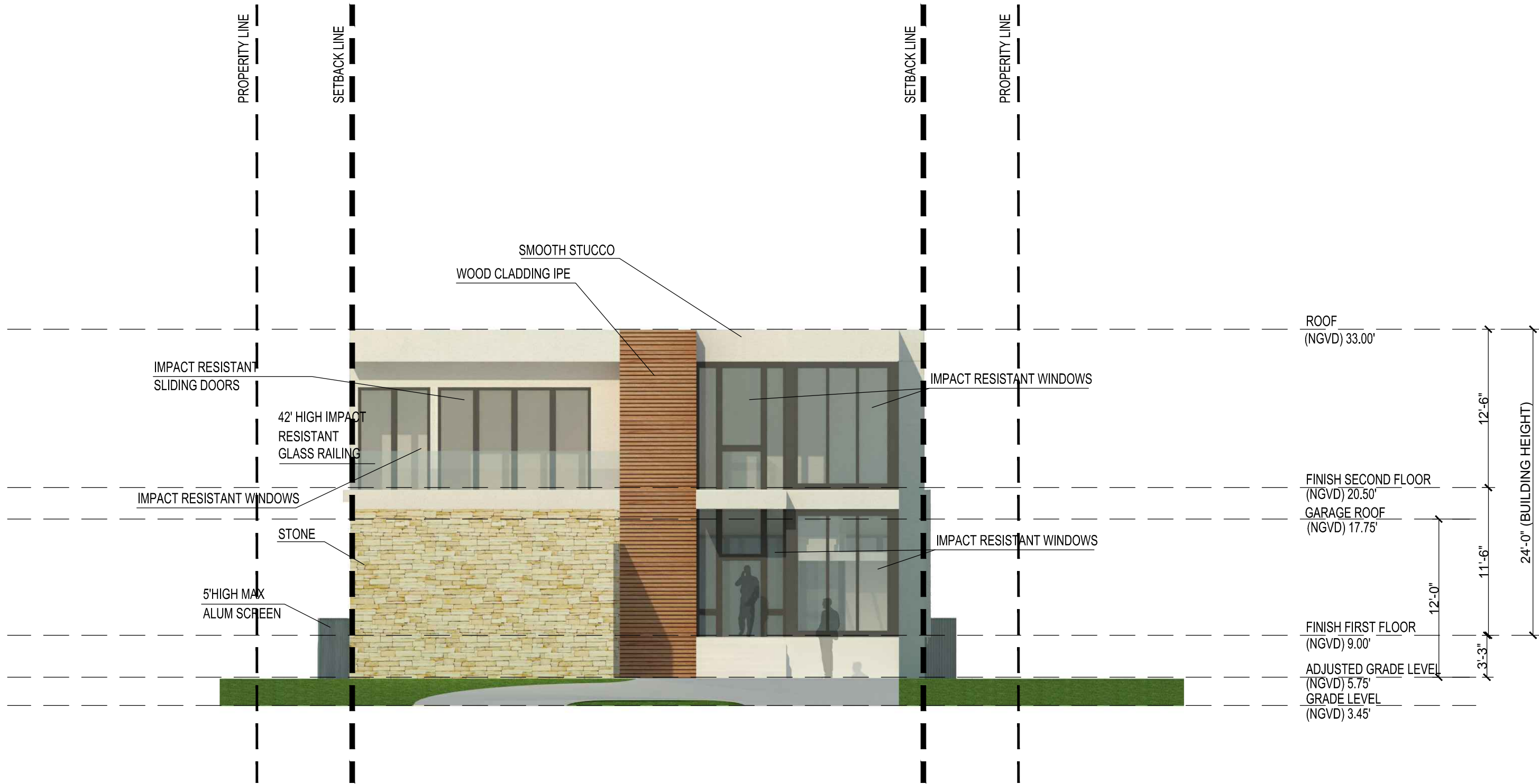
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SHEET NAME :
ROOF PLAN

SHEET NO :
D - 302



1 EAST ELEVATION
1/18" = 1'-0"

CLIENT :
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Folio: 02-3227-008-1130

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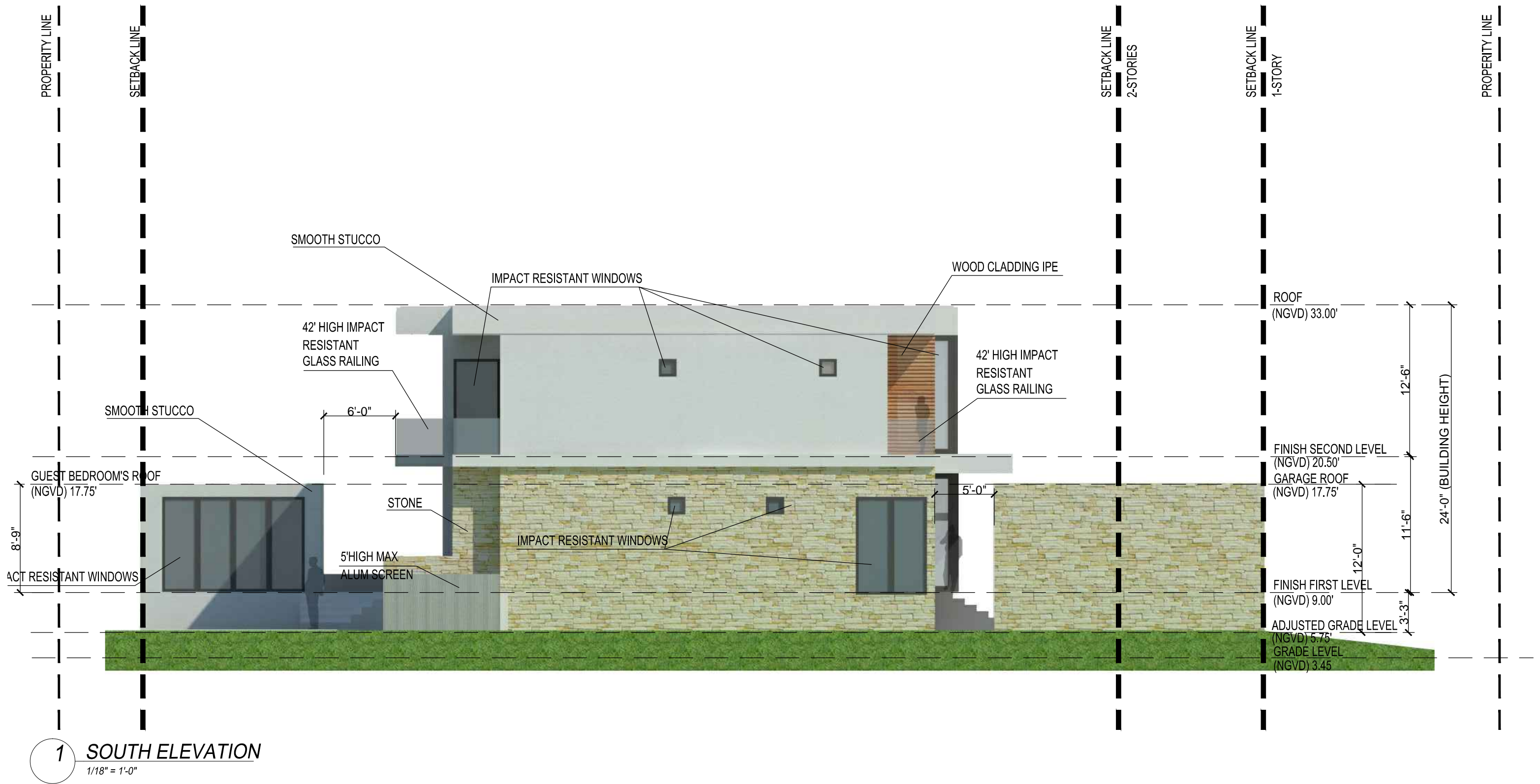
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BUILDING ELEVATIONS

SHEET NO :
D - 400



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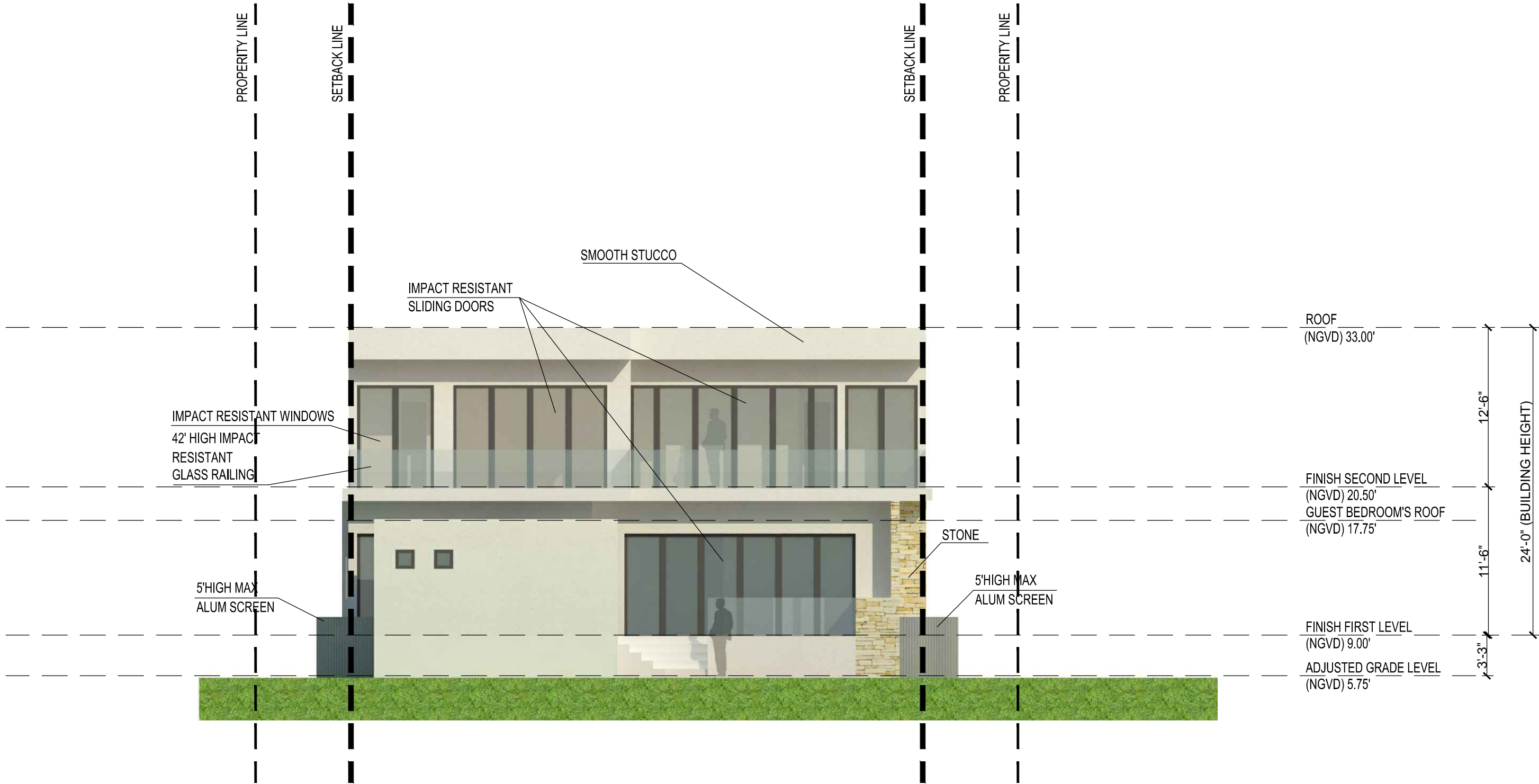
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SHEET NAME :

BUILDING ELEVATIONS

SHEET NO :

D - 401



1 WEST ELEVATION
1/18" = 1'-0"

CLIENT :
HIRSCH RESIDENCE

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Miami Beach, FL 33140
Folio: 02-3227-008-1130

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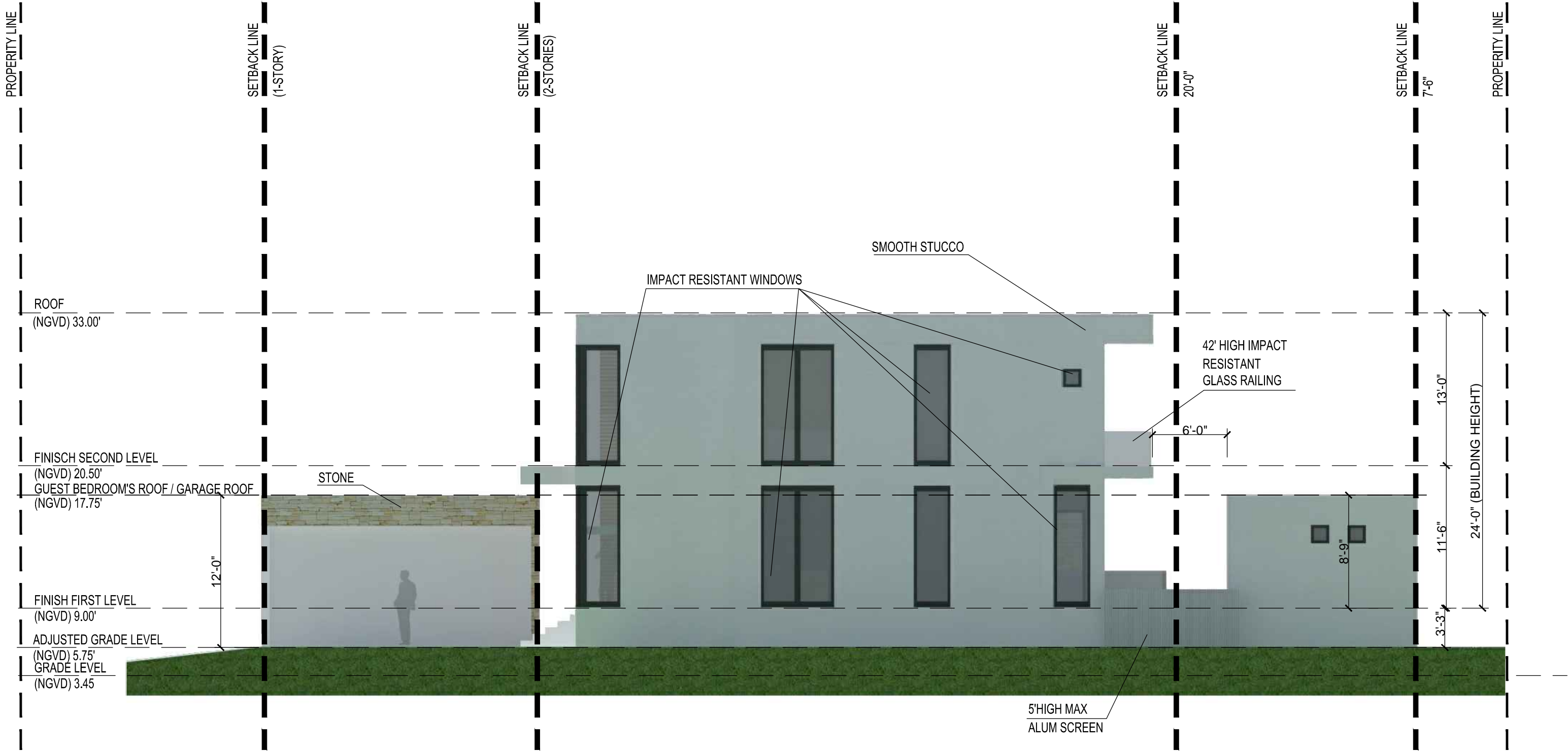
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SHEET NAME :
BUILDING ELEVATIONS

SHEET NO :
D - 402



1 NORTH ELEVATION
1/18" = 1'-0"

CLIENT :
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2	03 AUG/17	FINAL SUBMITTAL

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THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER AND REPORT TO CDS AND IN NO CASE SHALL PROCEED IN DISCREPANCY.

SEAL :

WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
2017-07

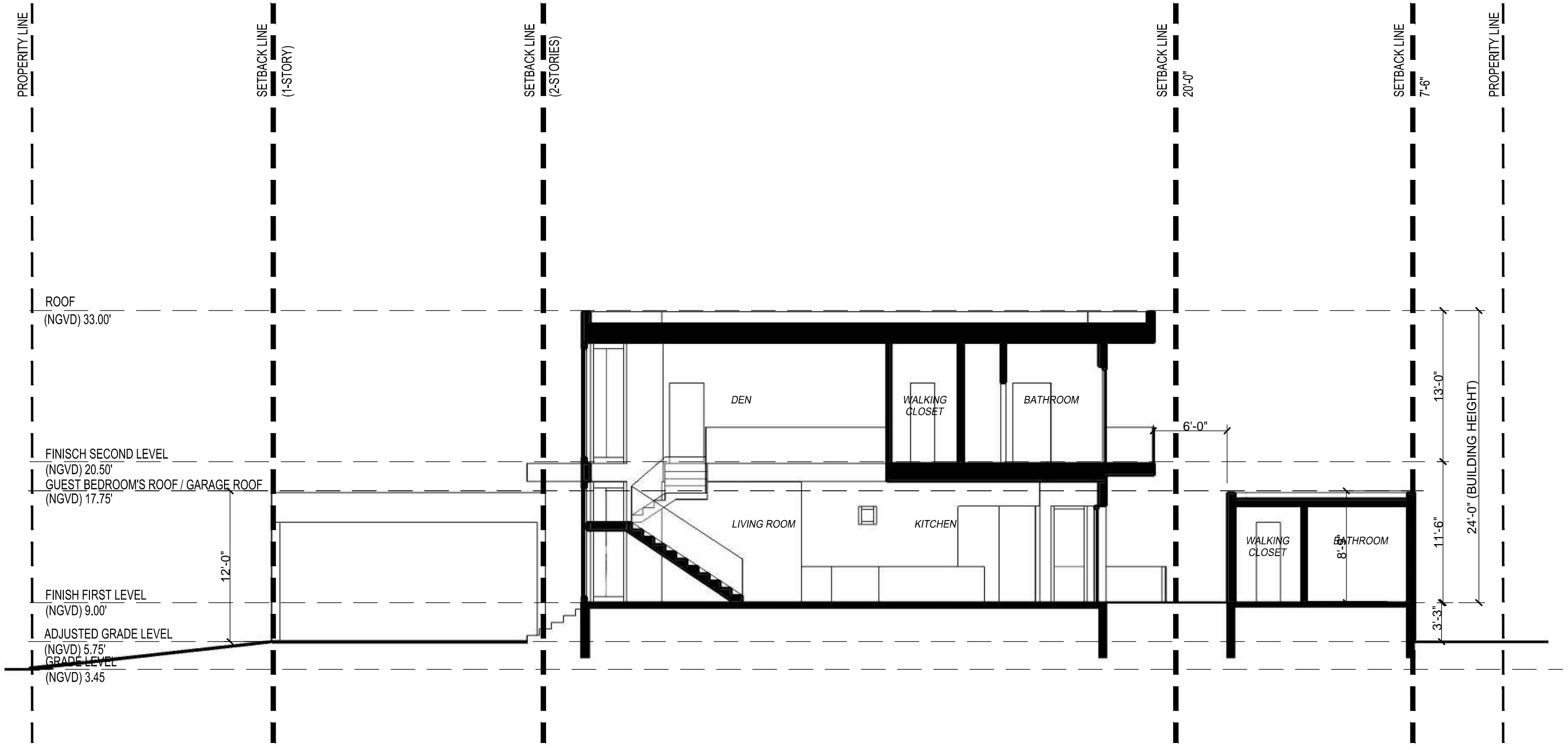
CHECKED BY : WESLEY CASTELLANOS

DRAWN BY :

SCALE: N.T.S.
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SHEET NAME :
BUILDING ELEVATIONS

SHEET NO :
D - 403



1 BUILDING SECTION
1/18" = 1'-0"

CLIENT :
HIRSCH RESIDENCE
2192 Alton Road
Miami Beach, FL 33140
Folio: 02-3227-008-1130

CDS
CASTELLANOS DESIGN STUDIO, LLC
333 SE 2ND AVENUE, SUITE 2066
MIAMI, FL 33131
Tel: 786.218.5335
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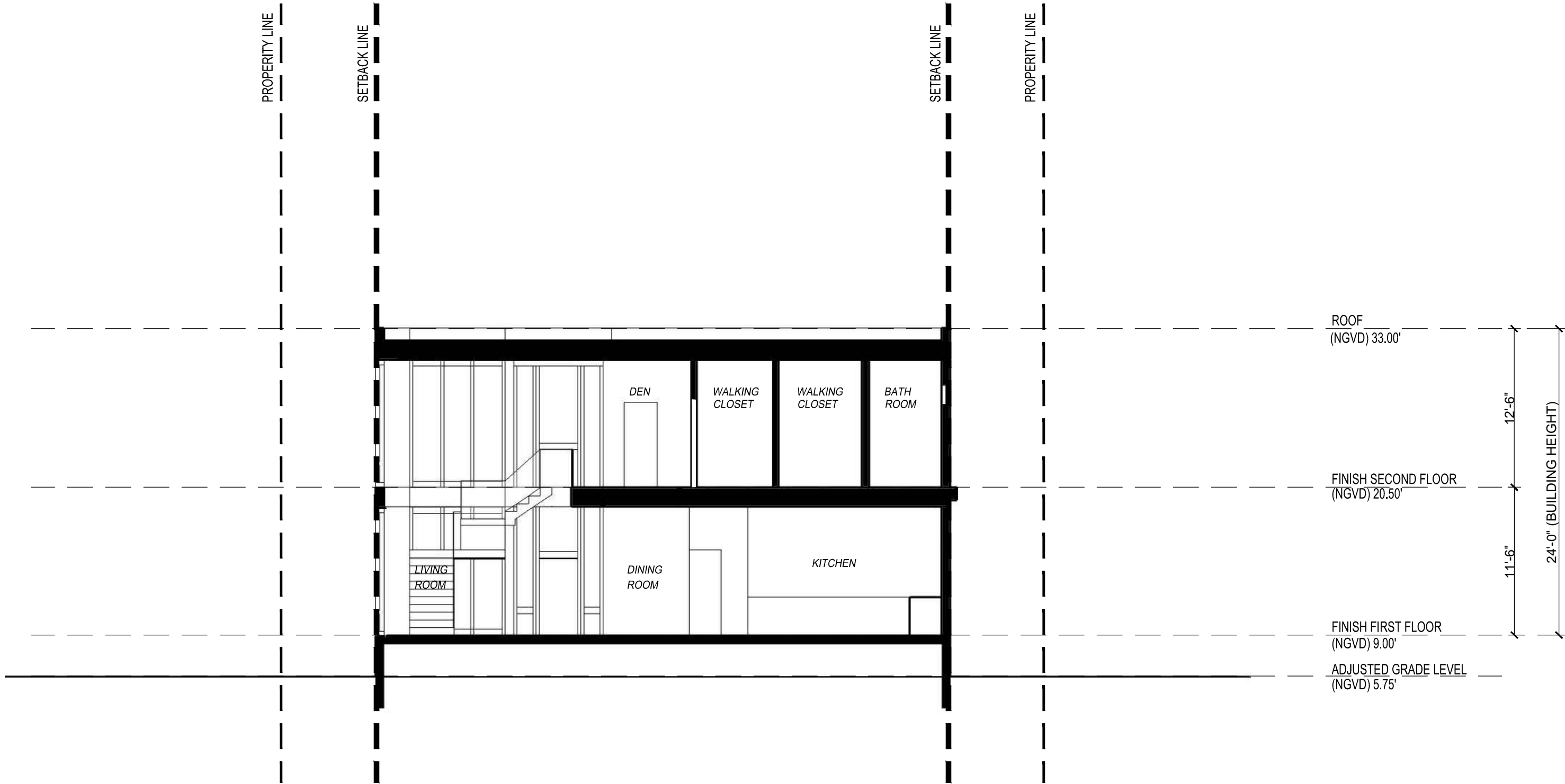
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SHEET NAME :
BUILDING SECTIONS
SHEET NO :
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1 BUILDING SECTION
1/18" = 1'-0"

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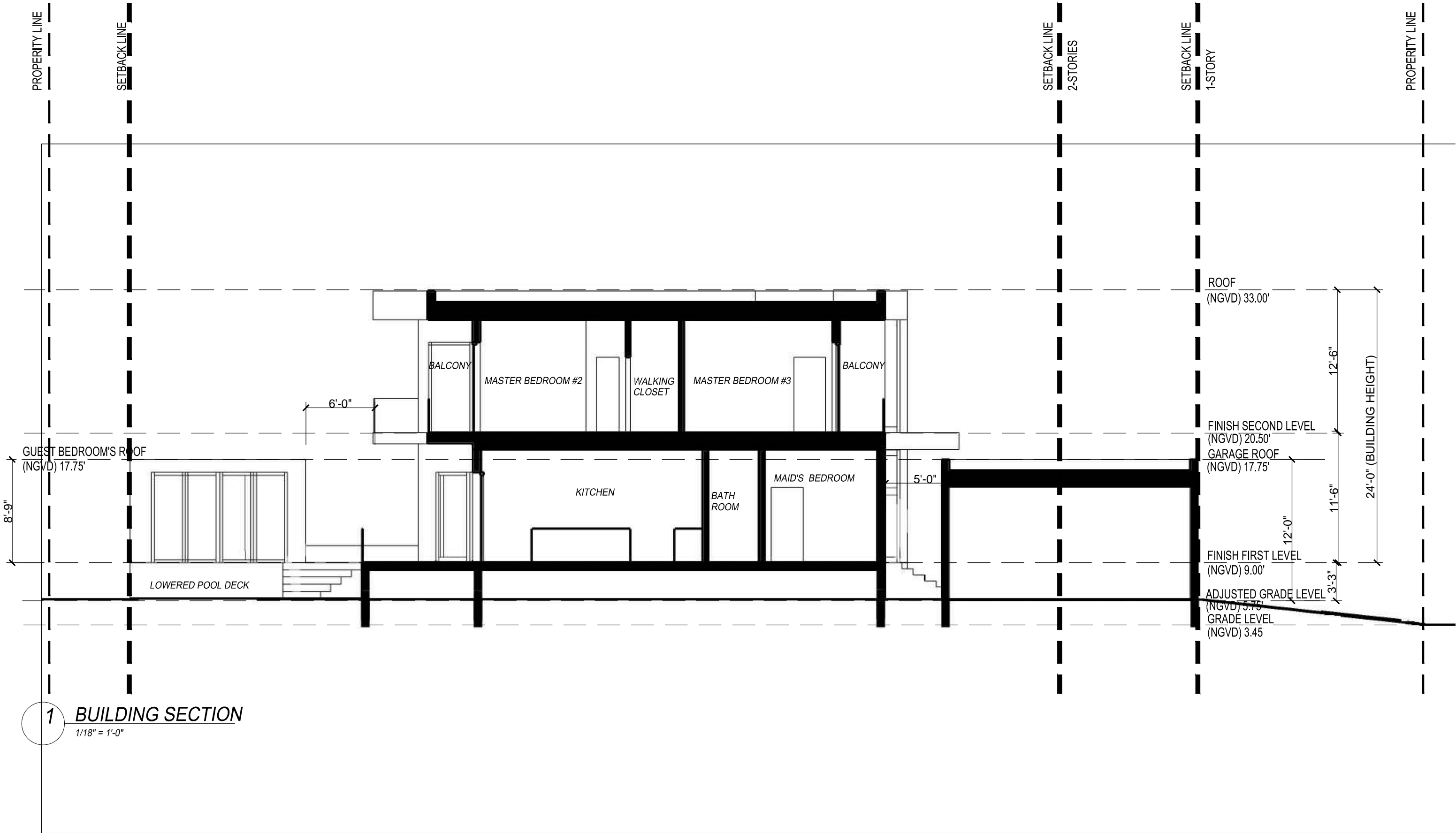
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SHEET NAME :
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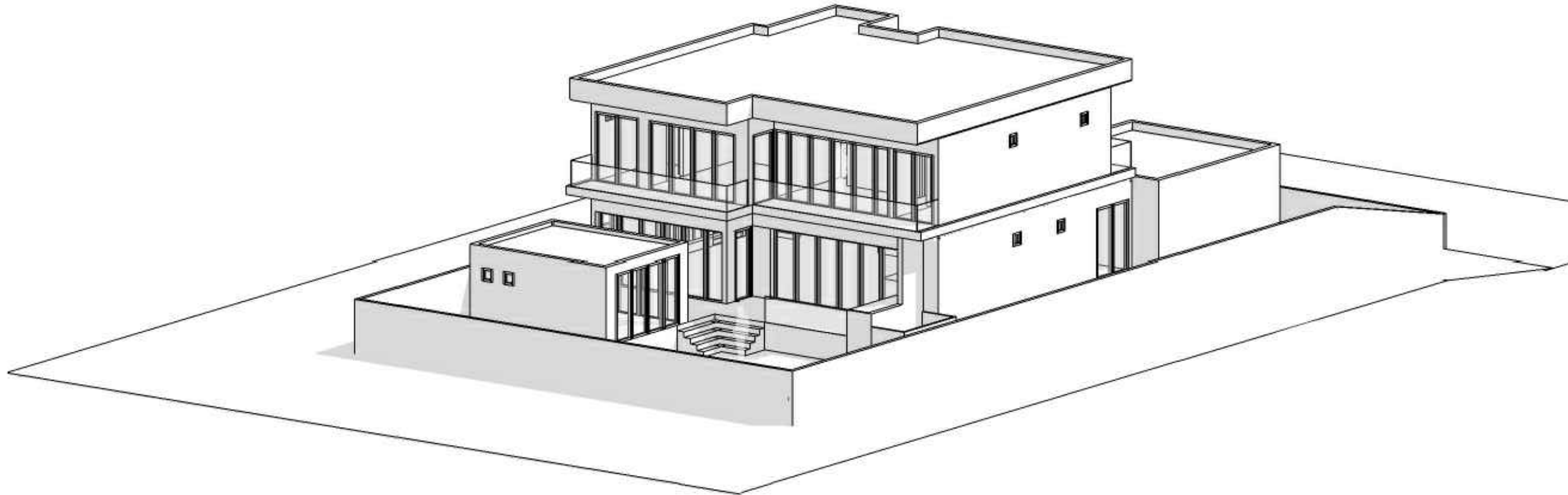
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BUILDING SECTIONS
SHEET NO :
D - 502



1

AXONOMETRIC - WESTSOUTH CORNER

CLIENT :

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SHEET NAME :
AXONOMETRIC
VIEWS

SHEET NO :
D - 600



1

AXONOMETRIC - EASTNORTH CORNER

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PROJECT NO :

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AXONOMETRIC VIEWS

SHEET NO :

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SHEET NAME :
RENDERING FRONT
SHEET NO :
D - 800



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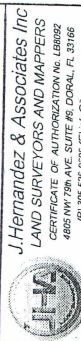
SHEET NAME :

**RENDERING
REAR**

SHEET NO :

D - 801

BOUNDARY SURVEY
PREPARED FOR:
SOUTH BEACH CONSTRUCTION, INC.
LYING AND BEING IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA



DRAWN BY: S.A.M.	CHECKED BY: J.G.H.	JOB NUM.: 151012
DATE: 05/13/17	DATE: 05/15/17	F.B. MD-6, PG.11

LEGAL DESCRIPTION

LOT 10 IN BLOCK 14 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8 AT PAGE 52 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES

FIELD SURVEY WAS COMPLETED ON MAY 12, 2007. BEARING OF S17°45'E36, ALONG THE EAST BOUNDARY LINE OF SUBJECT PROPERTY.

SUBJECT PROPERTY WAS PROVIDED BY THE CLIENT. DISTANCES ALONG BOUNDARY LINES, SHOWN HEREON, ARE RECORD AND/OR MEASURED UNDER INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE INDICATED.

UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.

EXISTING AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.

SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS RIGHT-OF-WAY ALONG ALCOA TRAIL, A PUBLIC DEDICATED RIGHT-OF-WAY.

THIS BOUNDARY SURVEY IS SUBJECT TO EXISTING RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE DISCOVERED ON A SEARCH OF TITLE OF THE SUBJECT PROPERTY.

PROPERTY INFORMATION
OWNER: 21 ALTON LLC
PROPERTY ADDRESS: 2192 ALTON RD, MIAMI BEACH, FL 33140
PROPERTY FOLIO NUMBER: 02-3227-008-1130
PROPERTY ZONE: (RS-R) SINGLE FAMILY RESIDENTIAL

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE" (EL. 0),
SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12086C0317L,
DATED SEPTEMBER 11, 2009

ELEVATION REFER TO NATIONAL GEODETIC VERTICAL DATUM OF
1989 AND IS EXPRESSED IN FEET.

SOUTH BEACH CONSTRUCTION, INC.

DATUM AND BENCHMARKS

BENCHMARKS:
 1. CITY OF MIAMI BEACH BENCHMARK (CMB S1 03)
 ELEVATION 6.02' (N.A.V.D. 1988)
 CONVERSION=(6.02+1.55=7.57 N.G.V.D. 1929)
 LOCATION=W 29TH st, SUNSET
 DESC.= PK N&W IN CATCH BASIN S.W. CORNER OF ROAD

ENCROACHMENTS

A PORTION OF 6' WOOD FENCE ALONG THE NORTH BOUNDARY LINE, ENCROACH 0.2" ONTO SUBJECT PROPERTY FROM ADJOINING LANDS.

OTHER THAN THESE SHOWN HEREON, THERE ARE NO OBSERVED, ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.

[illegible]

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE "QUINARY SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE.

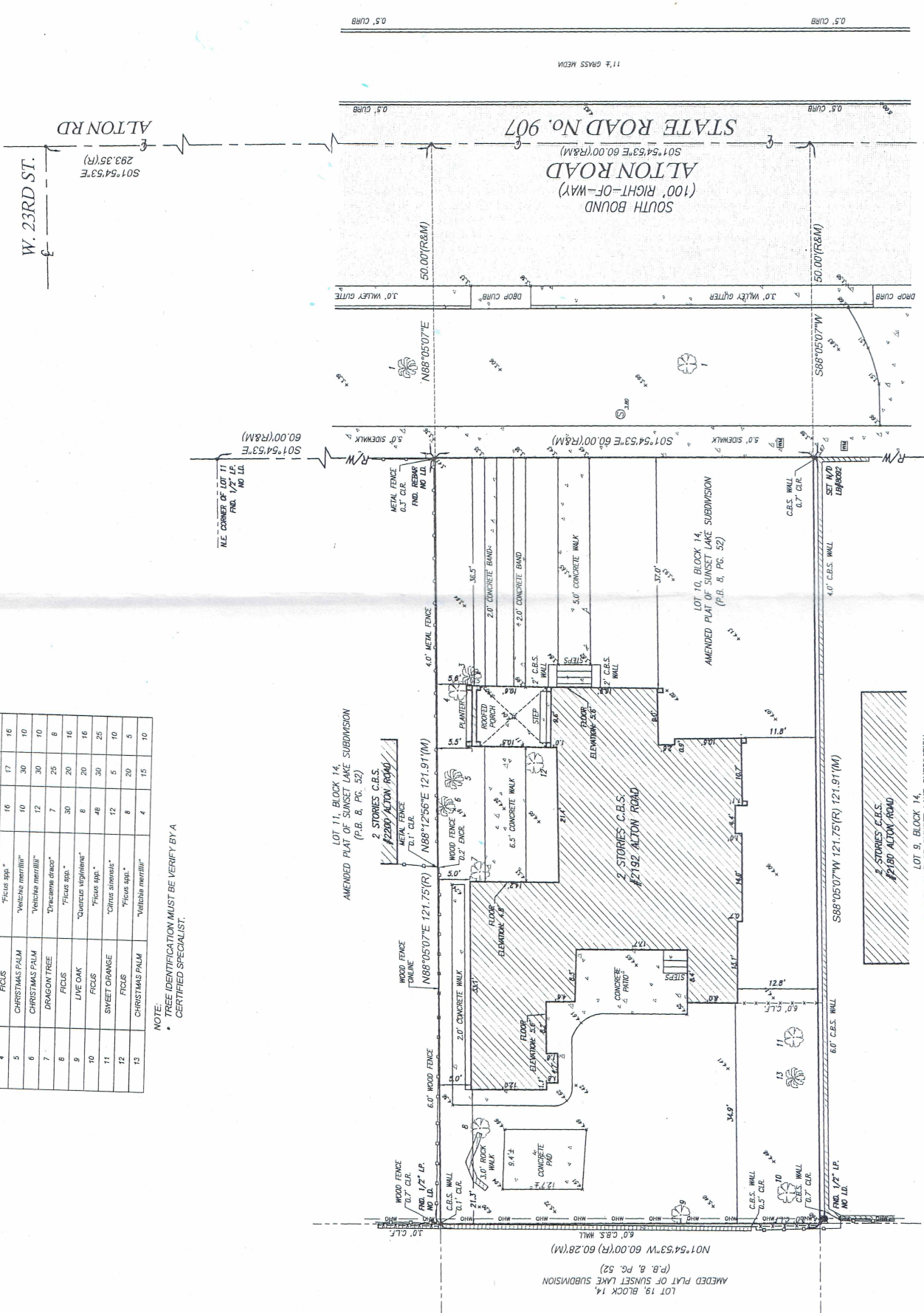
THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

[Signature]

JOSE G. HERNAANDEZ, PRESIDENT
PROFESSIONAL LAND SURVEYOR No. 6952
STATE OF FLORIDA

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

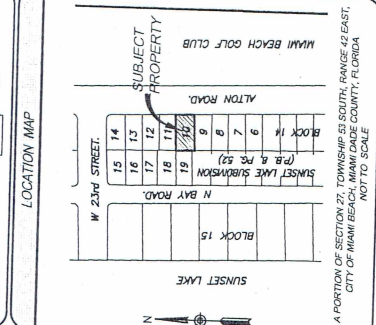
THIS IS A BOUNDARY SURVEY
PROJECT NUMBER: MD - 154
SHEET NUMBER: 1 OF 1



Tree Number	Common Name	Species	D.B.H.	Ht.	Cmpy. g
1	MAHOOGANY	" <i>Sassaola mollepinii</i> "	10	26	24
2	COCONUT PALM	" <i>Cocco nucifera</i> "	12	25	16
3	CHRISTMAS PALM	" <i>Veitchia merillii</i> "	4	18	8
4	FICUS	" <i>Ficus sp.</i> "	16	17	16
5	CHRISTMAS PALM	" <i>Veitchia merillii</i> "	10	30	10
6	CHRISTMAS PALM	" <i>Veitchia merillii</i> "	12	30	10
7	DRAGON TREE	" <i>Dracaena drago</i> "	7	25	8
8	FICUS	" <i>Ficus sp.</i> "	30	20	16
9	LIVE OAK	" <i>Quercus virginiana</i> "	8	20	16
10	FICUS	" <i>Ficus sp.</i> "	48	30	25
11	SWEET ORANGE	" <i>Citrus sinensis</i> "	12	5	10
12	FICUS	" <i>Ficus sp.</i> "	8	20	5
13	CHRISTMAS PALM	" <i>Veitchia merillii</i> "	4	15	10

NOTE:

- TREE IDENTIFICATION MUST BE VERIFY BY A CERTIFIED SPECIALIST.

[illegible]

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CLIENT :

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Folio: 02-3227-008-1130

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