2192 Alton Road, Miami Beach, Florida 33140

## DESIGN REVIEW BOARD FINAL SUBMITTAL



HIRSCH RESIDENCE

2192 Alton Road Miami Beach, FL 33140



No.	DATE	ISSUED / REVISED
1	19 JUL/17	DRB SUBMITTAL
2	03 AUG/17	FINAL SUBMITTAL

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PROJECT NO:

2017-07

CHECKED BY: WESLEY CASTELLANOS

DRAWN BY:
SCALE: N.T.S.

SHEET NAME:

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SHEET NO:

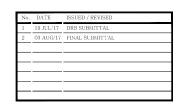
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DR	AWING INDEX
SHEET NUMBER	SHEET NAME
D-000	COVER
D-001	SITE LOCATION AND INDEX
D-002	SURVEY
D-003	EXISTING SITE CONTEXT
D-004	EXISTING SITE CONTEXT
D-005	NEIGHBORHOOD CONTEXT
D-006	EXISTING CONTEXT DIAGRAM
D-007	PROPOSED CONTEXT DIAGRAM
D-100	ZONING CHART
D-101	LOT COVERAGE DIAGRAM
D-102	UNIT SIZE - GROUND FLOOR
D-103	UNIT SIZE - 2ND FLOOR
D-104	OPEN AREA DIAGRAM
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D-300	GROUND FLOOR PLAN
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D-400	BUILDING ELEVATIONS
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D-600	AXONOMETRIC VIEWS
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D-801	RENDERING - REAR
D-900	EXISTING TREE DISPOSITION PLAN
D-901	LANDSCAPE PLAN
D-902	PLANTING NOTES AND DETAILS



2192 Alton Road Miami Beach, FL 33140 Folio: 02-3227-008-1130







2



NEIGHBORHOOD MAP



W 21st St

SILEET NAME:

CITY LOCATION

AND INDEX

SILEET NO:

D - 001

Miami Beach Golf Club

Ray Boone Tournament Golf

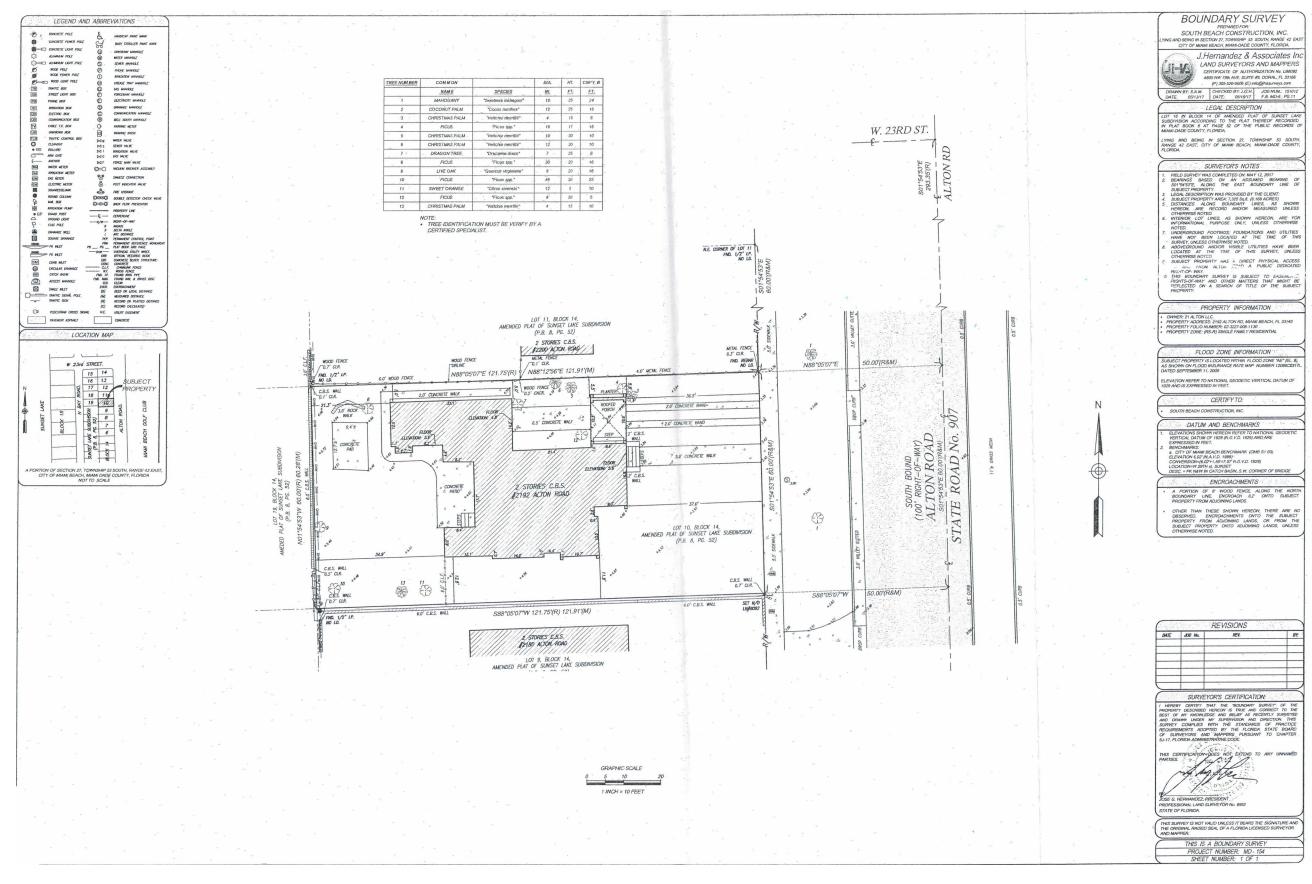


W 23rd St

1 CITY MAPS

NTS

2192 Alton Road Miami Beach, FL.



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WESLEY ART CASTELLANOS FLORIDA ARCHITECT LICENSE AR 96133 PROJECT NO:

2017-07

CHECKED BY: WESLEY CASTELLANOS

DRAWN BY:

SCALE: N.T.S.

SURVEY

D - 002



1 FRONT VIEW (7.4.2017)



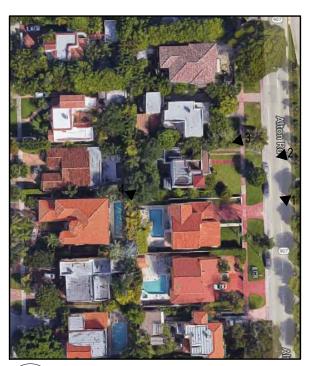
2 FRONT VIEW (7.4.2017)



3 FRONT VIEW (7.4.2017)



REAR VIEW (7.4.2017)



5 KEY PLAN (7.18.2017)

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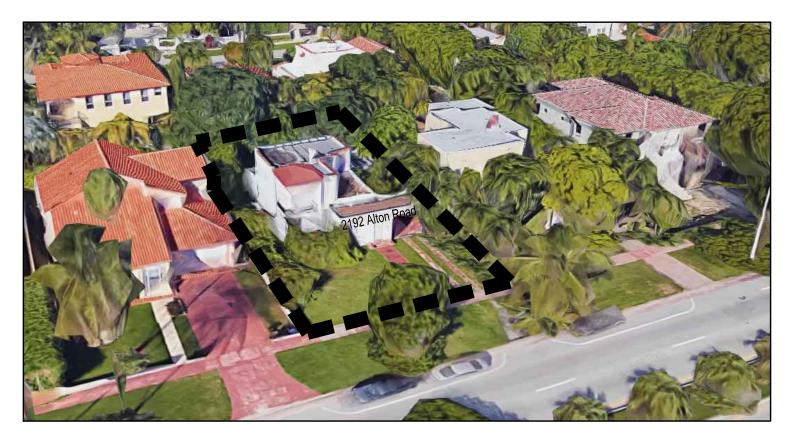
2017-07

CHECKED BY: WESLEY CASTELLANOS
DRAWN BY:
SCALE: N.T.S.

EXISTING SITE CONTEXT

SHEET NO:

D - 003





1 FRONT AERIAL VIEW

2 REAR AERIAL VIEW

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CHECKED BY: WESLEY CASTELLANOS

DRAWN BY:

SCALE: N.T.S.

EXISTING SITE CONTEXT

SHEET NO:

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4 2200 Alton Road



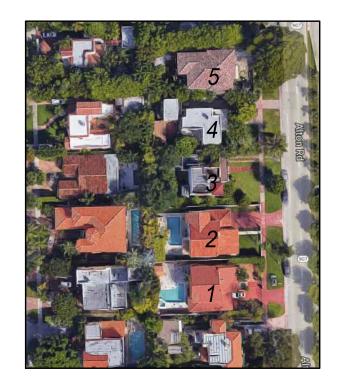
2 2180 Alton Road



5 2210 Alton Road



3 2192 Alton Road



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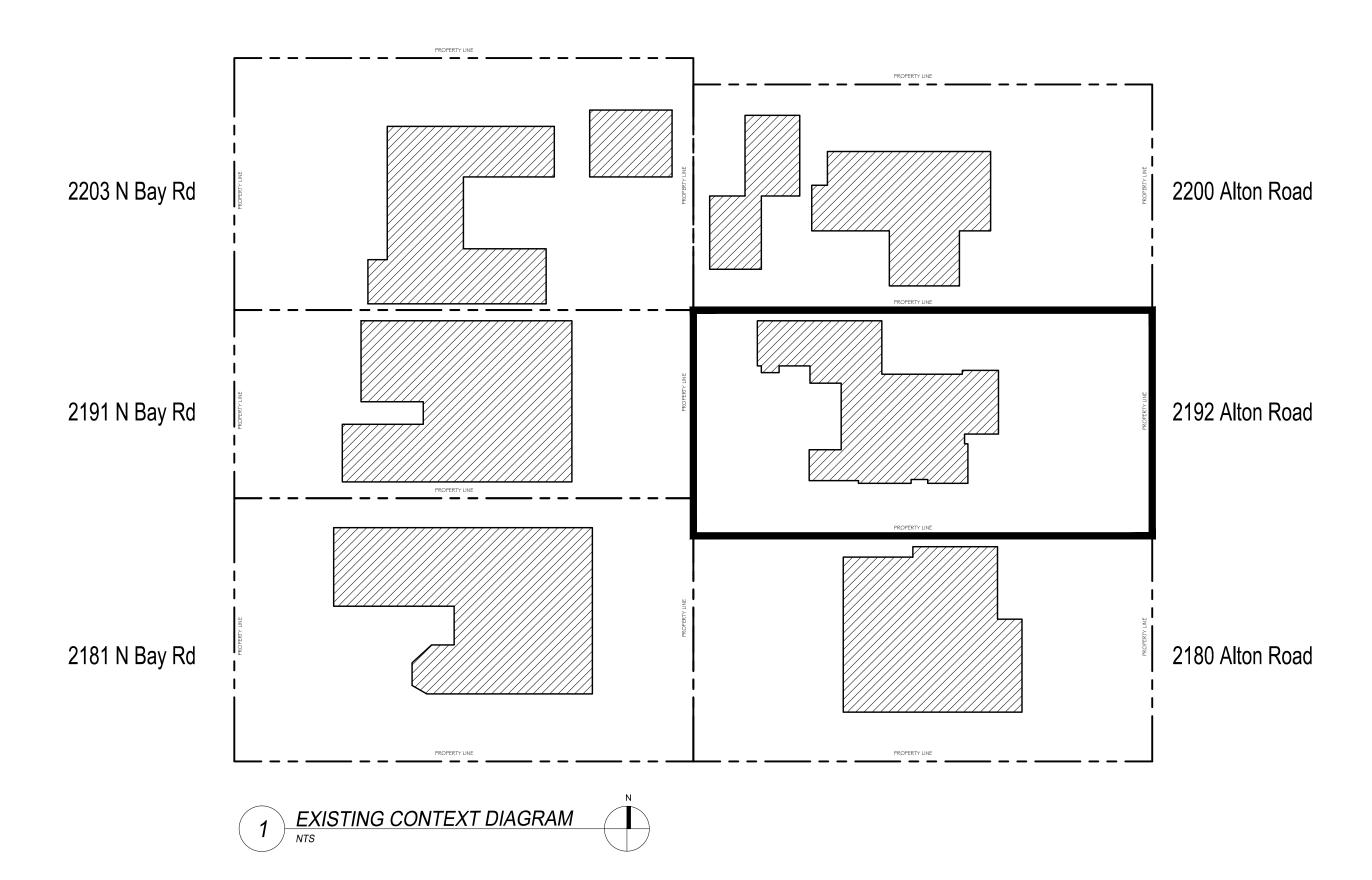
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NEIGHBORHOOD CONTEXT

SILEET NO:

D-005



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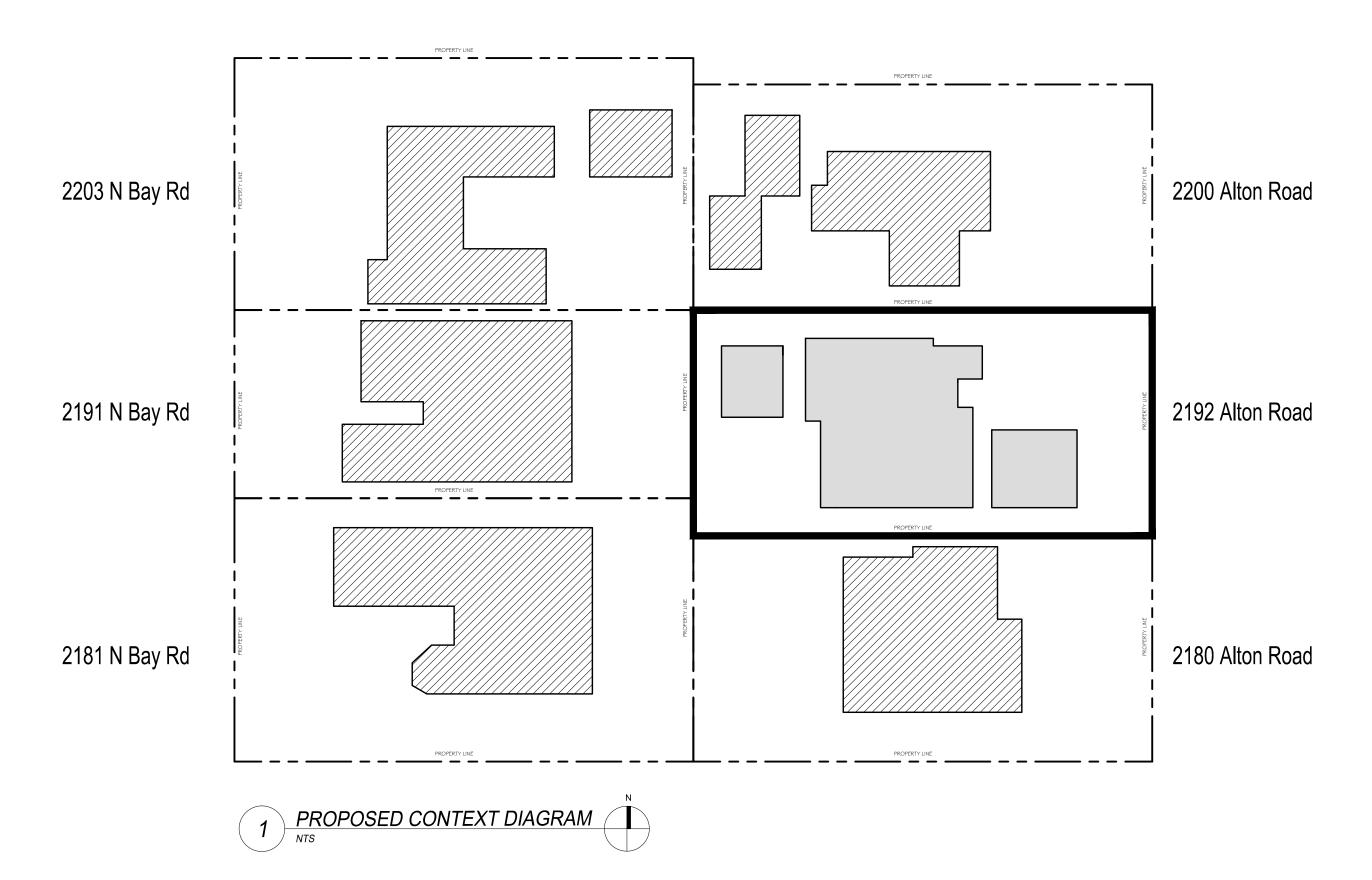
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EXISTING CONTEXT DIAGR.

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2017-07

HECKED BY: WESLEY CASTELLANOS

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CALE: N.T.S.

PROPOSED CONTEXT DIAGR.

SHEET NO:

D - 007

#### **ZONING DATA**

PROJECT DESCRIPTION: NEW CONSTRUCTION - SINGLE FAMILY

MUNICIPALITY: MIAMI BEACH

STREET ADDRESS: 2192 ALTON ROAD, MIAMI BEACH, FL 33140 - 4549

FOLIO NUMBER: 02-3227-008-1130

**ZONING DISTRICT: RS-3** 

FEMA ZONE: AE BFE: 10 NGVD

#### **CODE OF ORDINANCES'REFERENCES:**

LOT AREA: 142 - 105

MINIMUM LOT WIDTH: 142 - 105 GROSS BUILDING AREA: 142 - 105

LOT COVERAGE: 142 - 105 BUILDING HEIGHT: 54 - 35 BUILDING SETBACKS: 142 - 106 FENCE HEIGHT: 142 - 1132

DRIVEWAYS: 142 - 1132 POOL SETBACK: 142 - 1133

PROJECTIONS: 142 - 1132, 142 - 105

OTHER DIMENSIONAL REQUIREMENTS: 142 - 105

#### HIRSCH RESIDENCE

2192 Alton Road Miami Beach, FL 33140 Folio: 02-3227-008-1130



#### **MIAMI BEACH**

Planning Department, 1700 Convention Center Drive Miami Beach, Florida 33139, www.miamibeachfl.gov 305 673 7550

#### SINGLE FAMILY RESIDENTAL - ZONING DATA SHEET

ITEM #	Zoning information			
1	Adress:	2192 Alton Road, Miami Beach,	FL 33140 - 4549	
2	Folio number(s):	02-3227-008-1130		
3	Board and file numbers:			
4	Year built:	1923	Zoning District:	RS-4
5	Based Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	3.45' NGVD
6	Adjusted grade (Flood+Grade/2):	5.75' NGVD.	Finish Floor Elevation	9'-0" NGVD
7	Lot Area:	7,320 SQ.FT.		
8	Lot width:	60'-0"	Lot Depth:	122'-0"
9	Max Lot Coverage SF and %>	2,196 SQ. FT. (30%)	Proposed Lot Coverage SF and %:	2,173 SQ. FT. (29.69%)
10	Existing Lot Coverage SF and %:	1,715 SQ. FT. (23.4%)	Lot Coverage Deducted (grage-storage) SF:	468 SQ. FT.
11	Front Yard Open Space SF and %:	611 SQ. FT. (51%)	Rear Yard Open Space SF and %:	867 SQ. FT. (72.50%)
12	Max Unit Size SF and %:	3,660 SQ. FT. (50%)	Proposed Unit Size SF and %:	3,657 SQ. FT. (99.9%)
13	Existing First Floor Unit Size:	1,635 SQ. FT.	Proposed First Floor Unit Size:	2,173 SQ. FT.
14	Existing Second Floor Unit Size:	610 SQ.FT.	Proposed Second Floor Volumetric Unite Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	
15			Proposed Second Floor Unit Size SF and %:	1,470 SQ. FT. (67.65% OF FIRST FL.)

		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
16	Height:	24'-0"		24'-0"	N/A
17	Setbacks:				N/A
18	Front First Level:	20'-0"	37'-0"	20'-0"	N/A
19	Front Second Level:	30'-0"	45'-0"	45'-2"	N/A
20	Side 1:	7'-6"	5'-0"	7'-6"	N/A
21	Side 2 or (facing street):	7-6"	11'-10"	7'-6"	N/A
22	Rear:	20'-0"	21'-4"	33'-10"	N/A
23	Accessory Structure Side 1:	7'-6"	N/A	7'-6"	N/A
24	Accessory Structure Side 2 or (facing street):	7'-6"	N/A	33'-6"	N/A
25	Accessory Structure Rear:	7'-6"	N/A	7'-6"	N/A
26	Sum of Side yard:	15'-0"	16-10"	15'-0"	N/A

27	Located within a Local Historic District?	YES o <mark>l NO</mark>
28	Designated an individual Historic Single Family Residence Site?	YES o <mark>l NO</mark>
29	Determited to be Architecturally Significant?	YES o NO

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CHECKED BY: WESLEY CASTELLANOS

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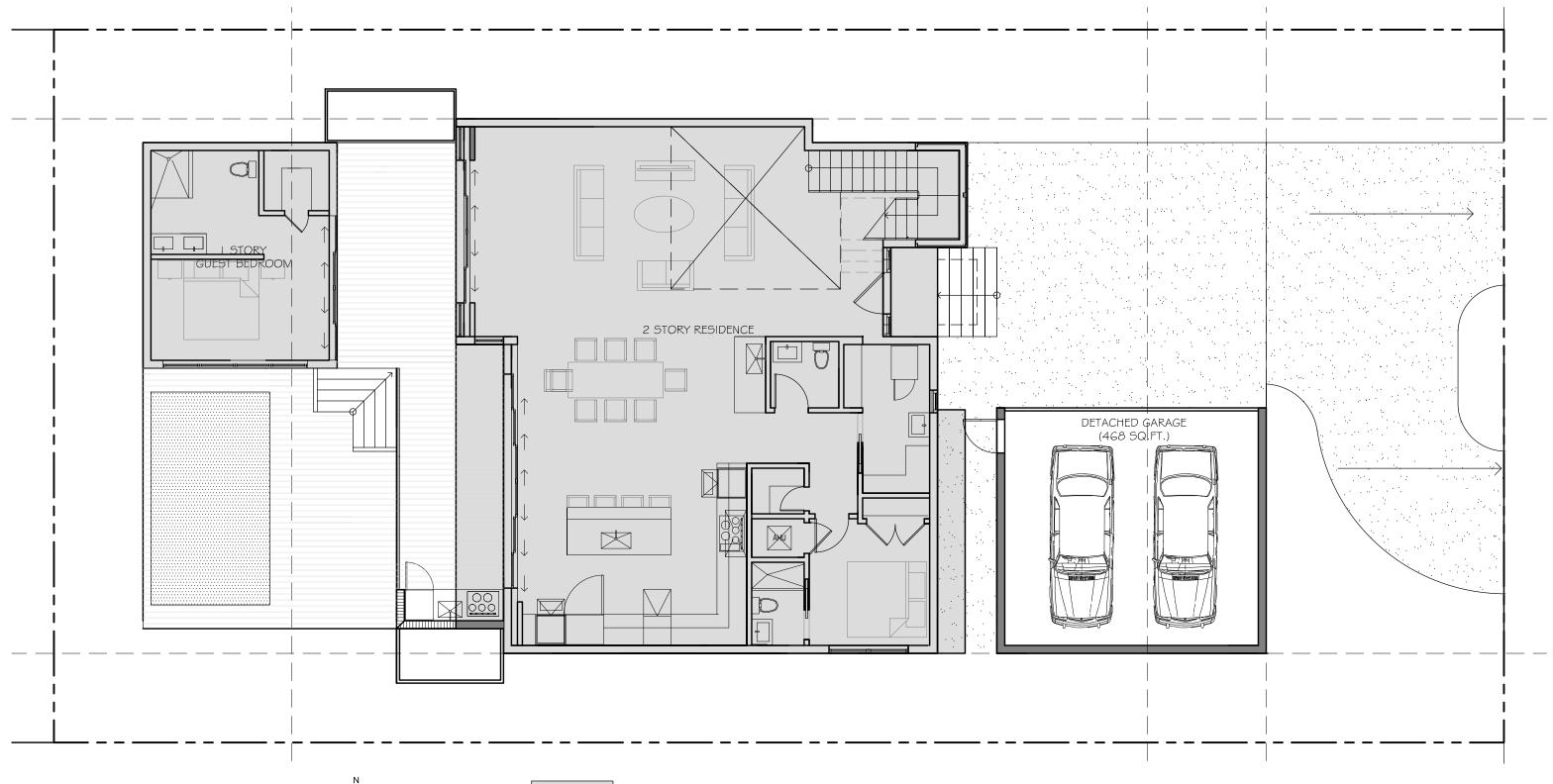
SCALE: N.T.S.

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ZONING CHART

D - 100

WESLEY ART CASTELLANOS FLORIDA ARCHITECT LICENSE AR 96133





LOT SIZE = 7,320 SQ.FT. LOT COVERAGE = 2,173 SQ. FT. (29.69%)

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SEAL:

ROJECT NO:

2017-07

HECKIED BY: WESLEY CASTELLANOS

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LOT COVERAGE DIAGRAM SILEET NO: D - 101



1 UNIT SIZE GROUND FLOOR

SCALE: 1/8" = 1'-0"

UNIT SIZE = 2,173 SQ. FT.

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2192 Alton Road Miami Beach, FL 33140 Folio: 02-3227-008-1130



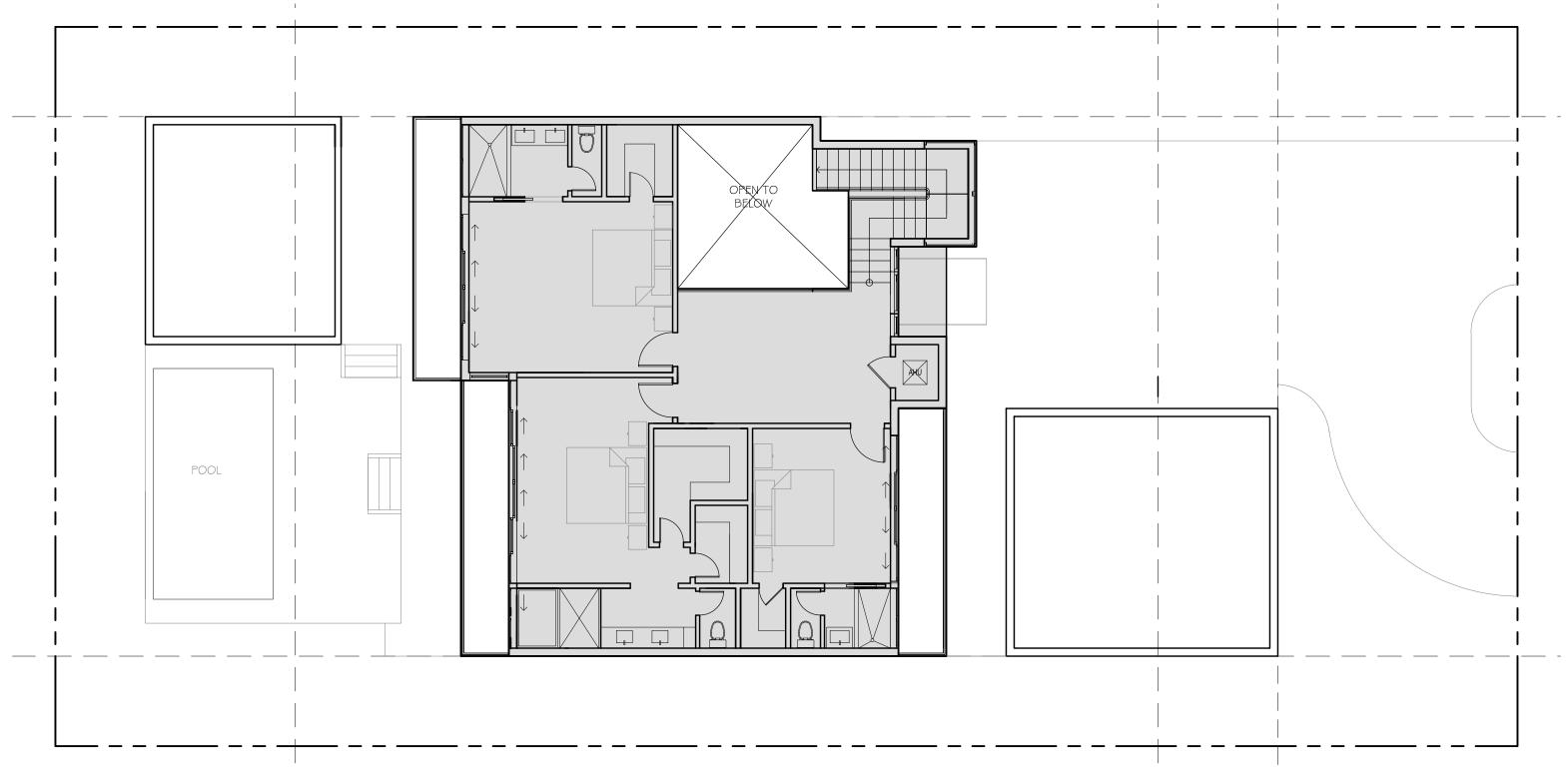
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SCALE: N.T.S.
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UNIT SIZE GROUND FLOOR SHEET NO: D - 102



1 UNIT SIZE 2ND FLOOR

SCALE: 1/8" = 1'-0"

UNIT SIZE = 1,470 SQ. FT. (67.65% OF 2,173 SQ.FT. GROUND FLOOR)

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UNIT SIZE 2ND FLOOR SHEET NO: D - 103



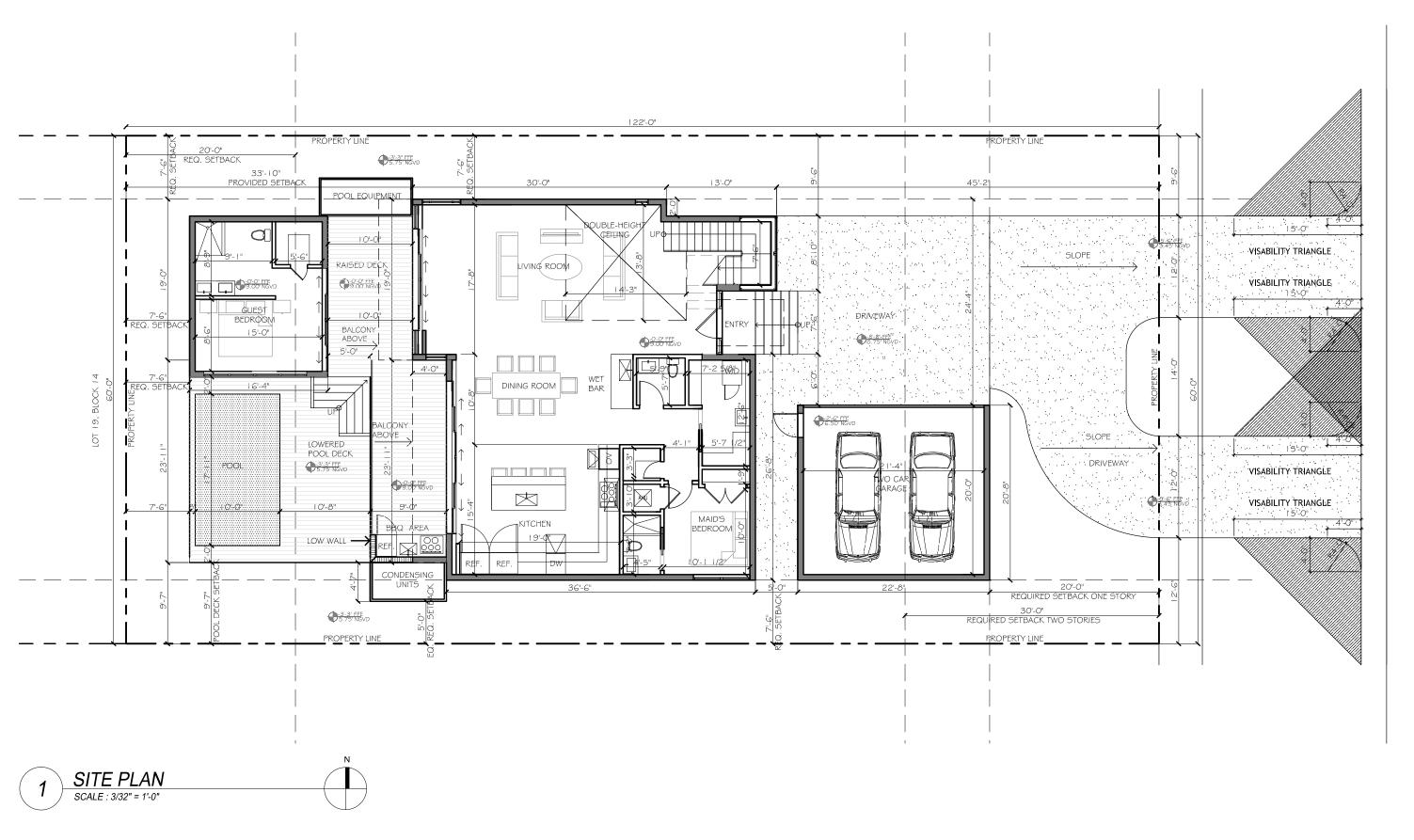
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WESLEY ART CASTELLANOS FLORIDA ARCHITECT LICENSE AR 96133

DIAGRAM

D - 104



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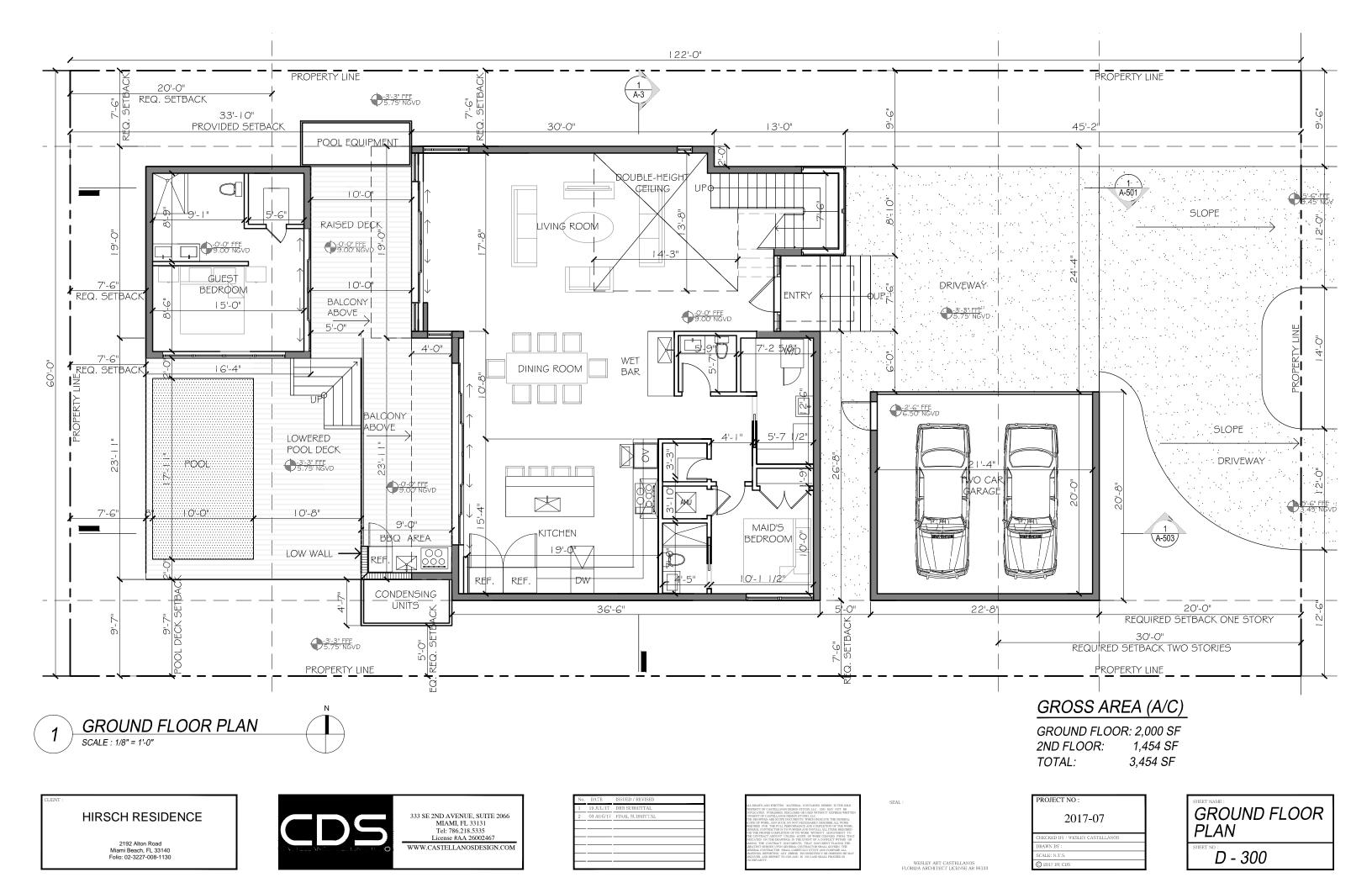
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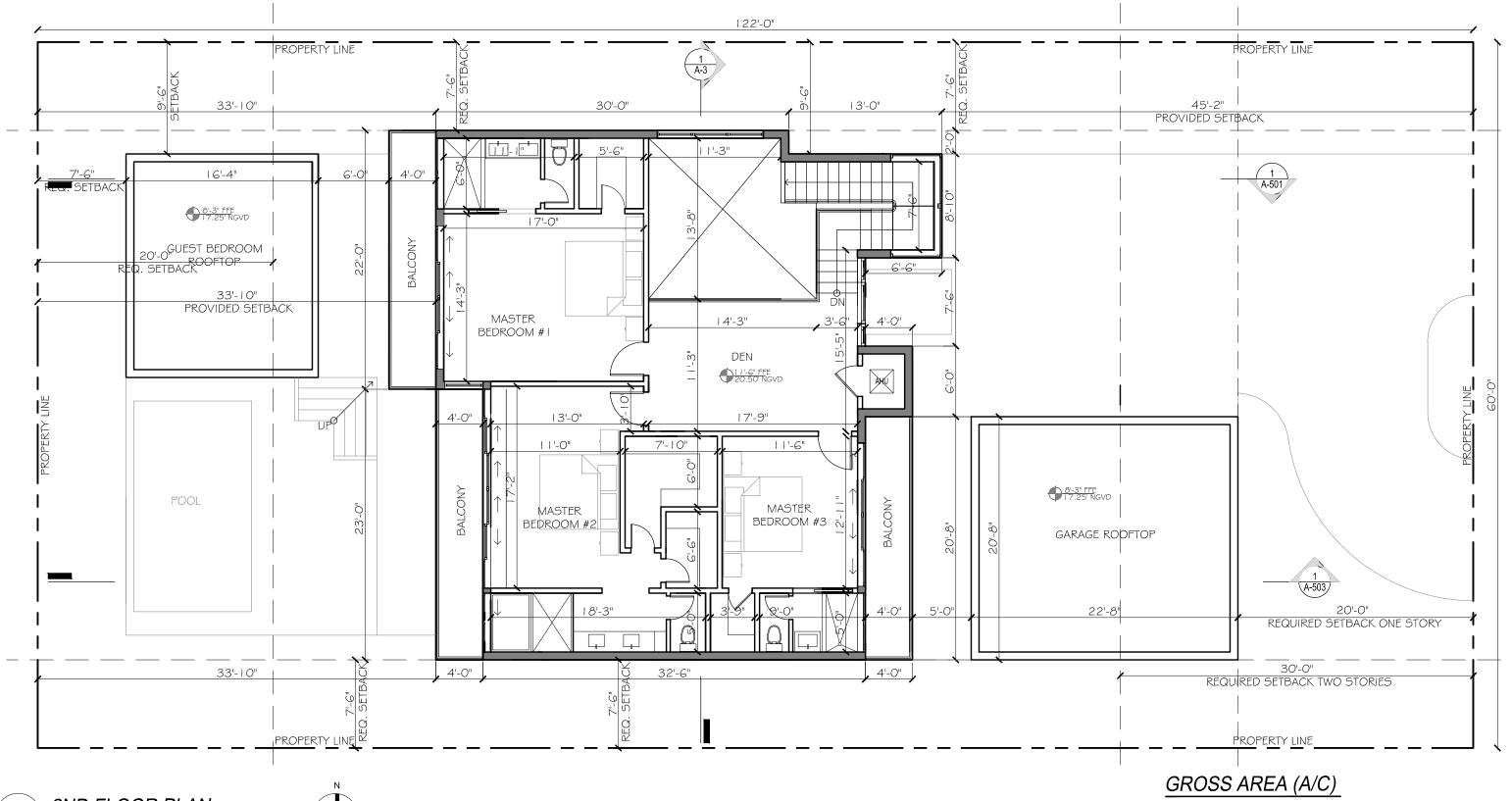
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SITE PLAN
D - 200







GROUND FLOOR: 2,000 SF 2ND FLOOR: 1,454 SF TOTAL: 3,454 SF

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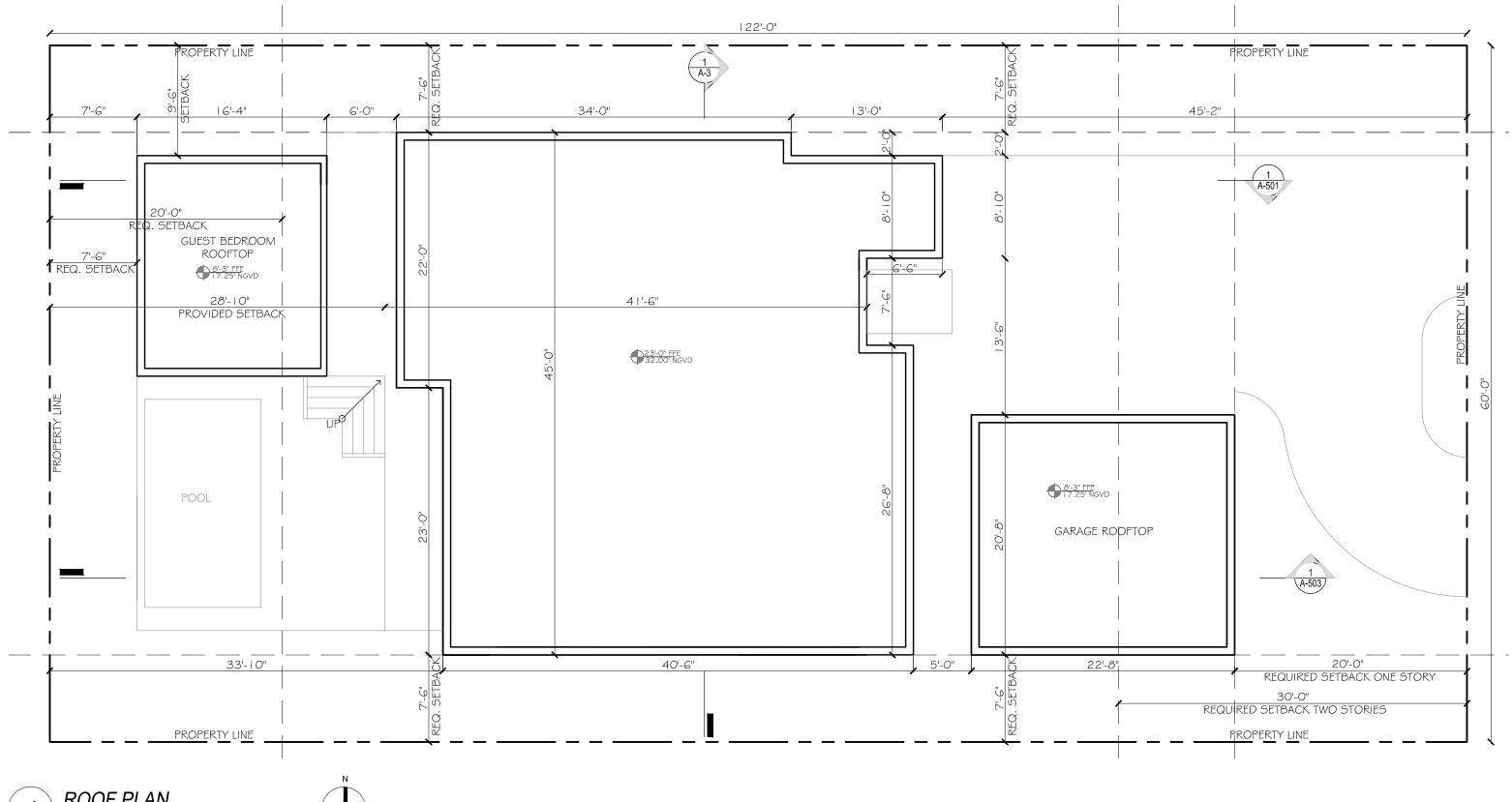


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2ND FLOOR PLAN
SHEET NO:
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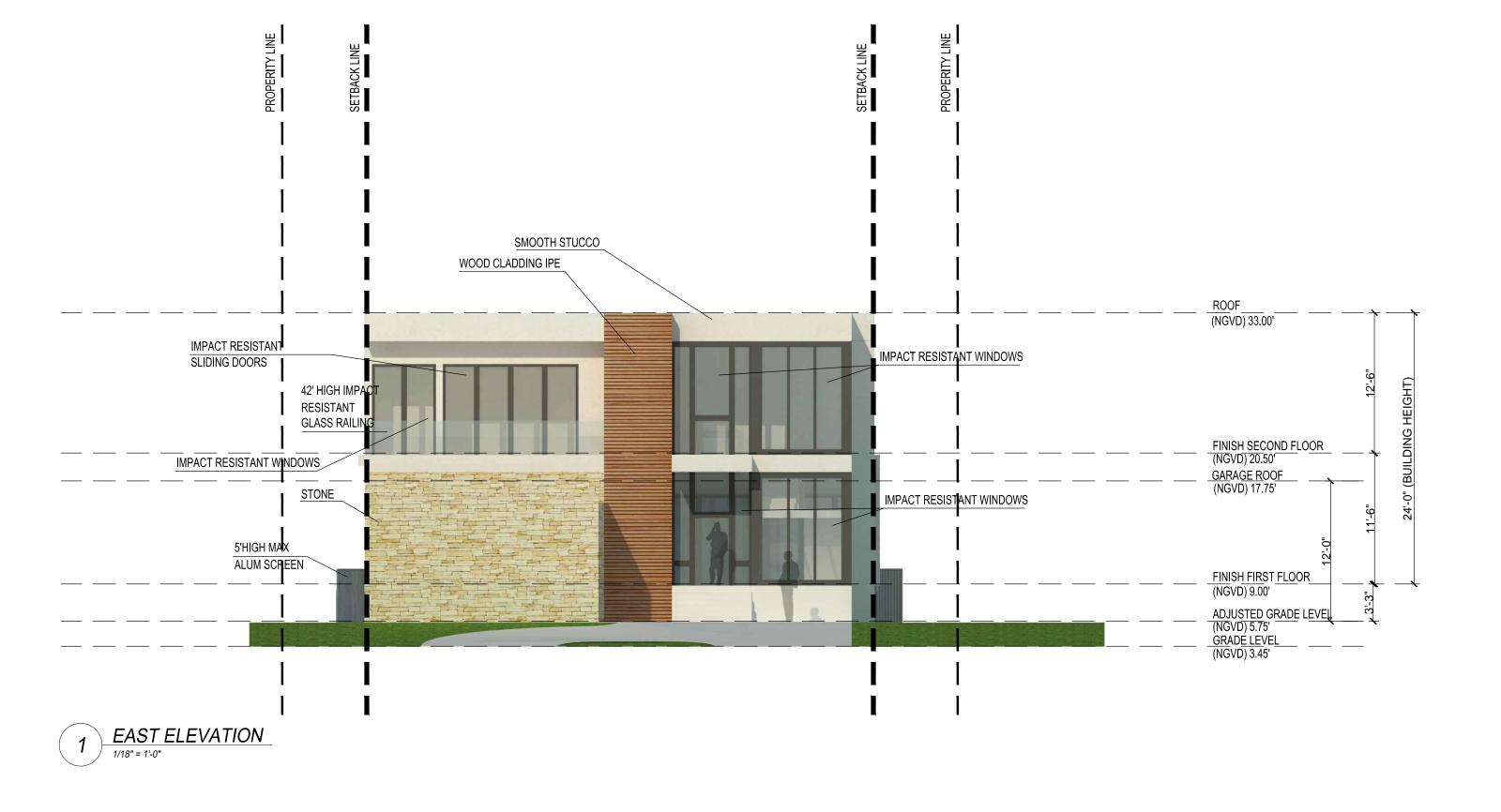
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ROOF PLAN

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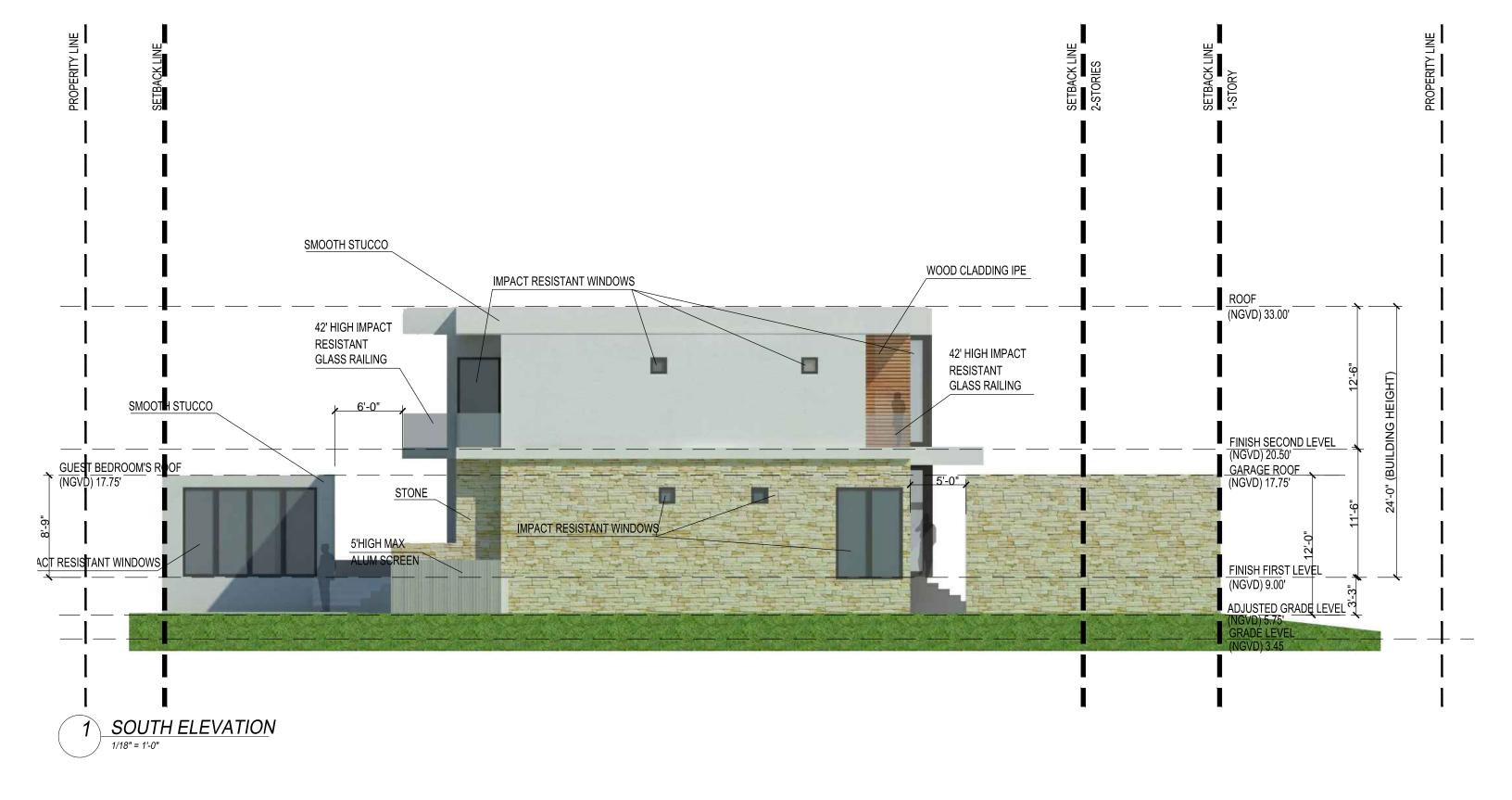
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SCALE: N.T.S.

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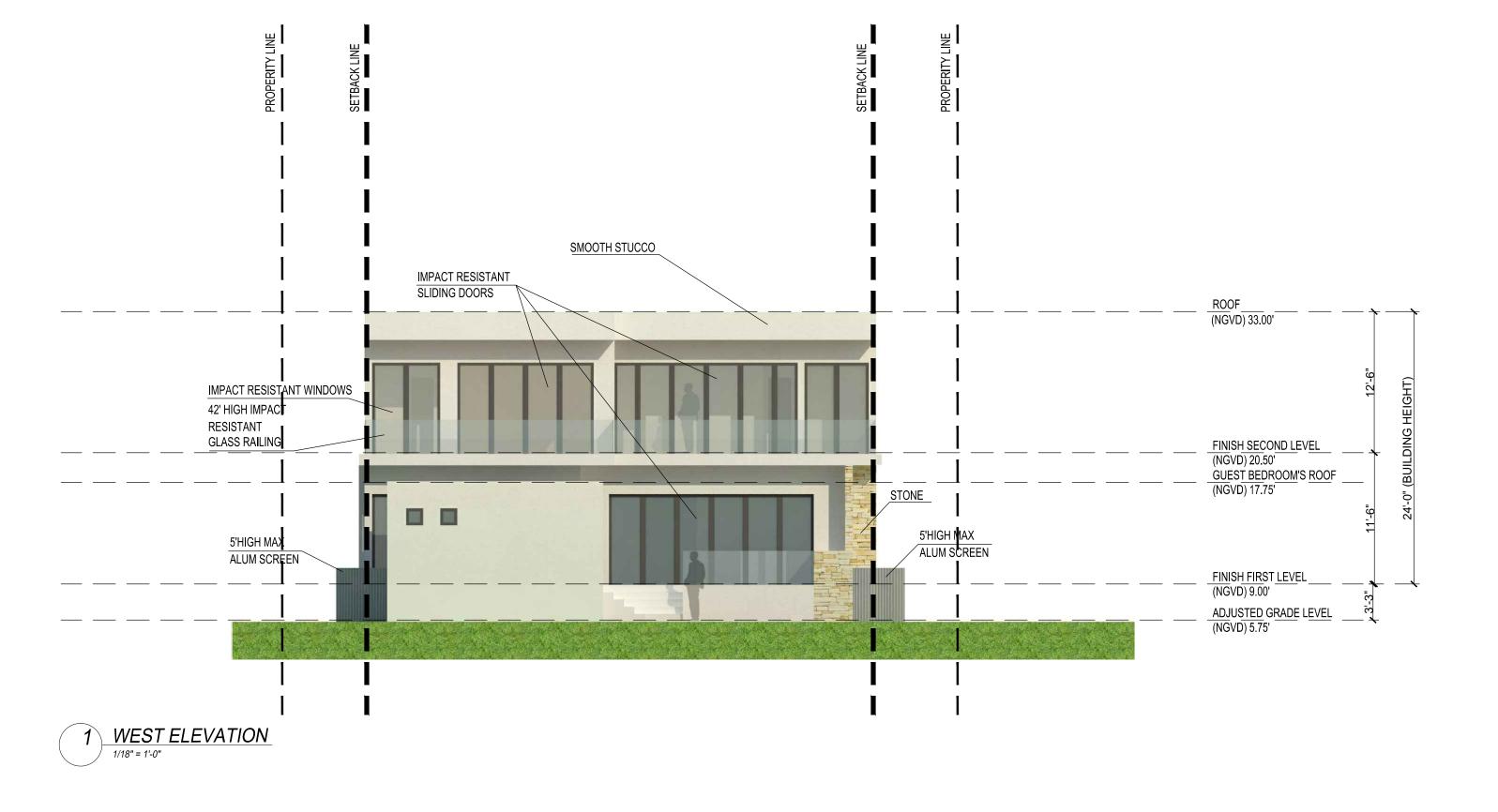




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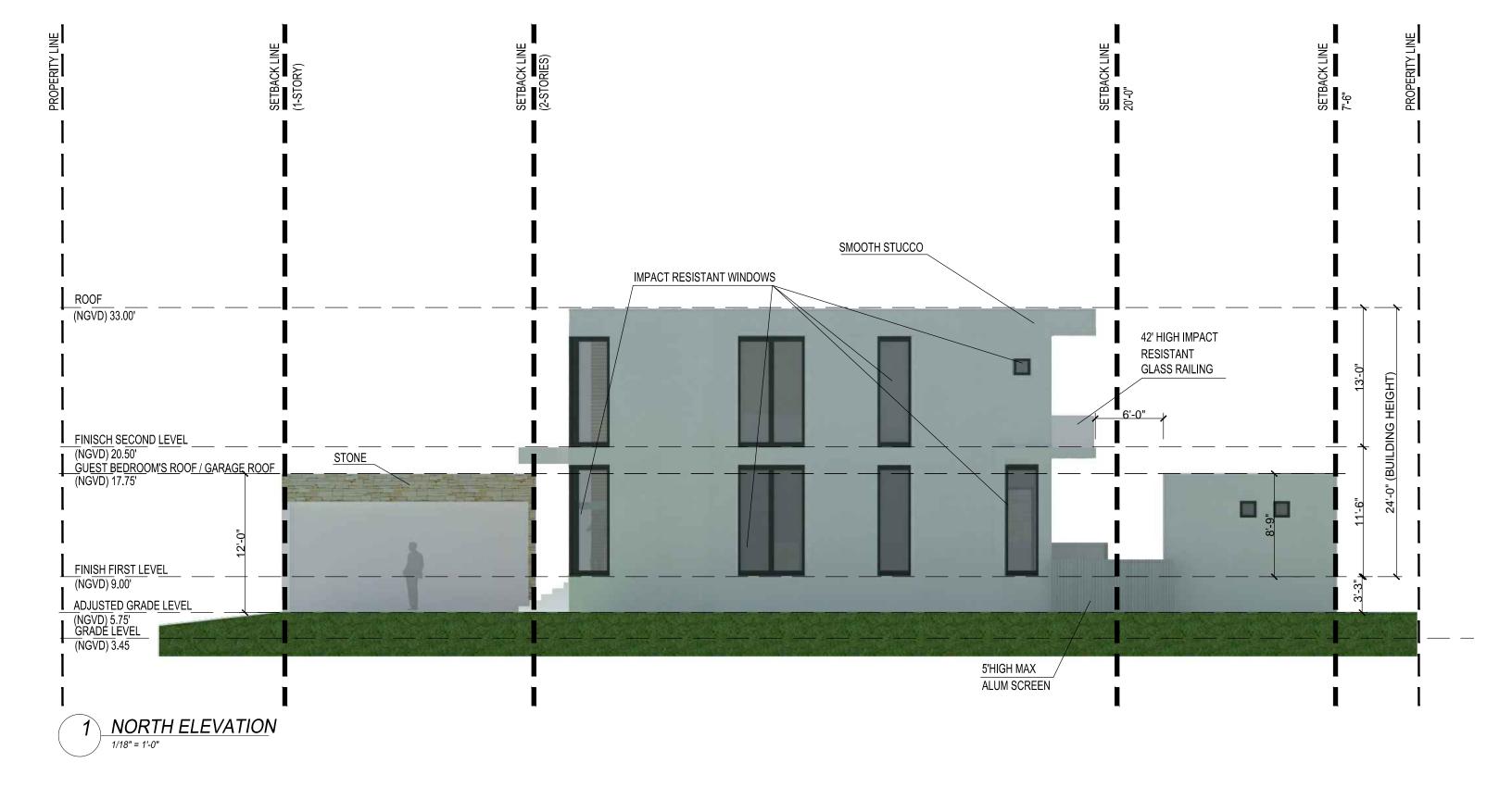


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280	PERTY OF CASTELLANOS DESIGN STUDIO, LLC. AND MAY NOT BE
U	LICATED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN
200	SENT OF CASTELLANOS DESIGN STUDIO, LLC.
	DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL
	PE OF WORK, AND SUCH, DO NOT NECESSARILY DESCRIBE ALL WORK
REC	JIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK.
Œ	ERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED
OF	THE PROPER COMPLETION OF ITS WORK WITHOUT ADJUSTMENT TO
TH	CONTRACT AMOUNT UNLESS SCOPE OF WORK CHANGES FROM THAT
ND	CATED ON THE DRAWINGS. IN THE EVENT OF A CONFLICT WITHIN OR
AM	NG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE
GRE	VTEST BURDEN UPON GENERAL CONTRACTOR SHALL GOVERN. THE
Œ	ERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL
	WINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY
DIS	OVER AND REPORT TO CDS AND IN NO CASE SHALL PROCEED IN
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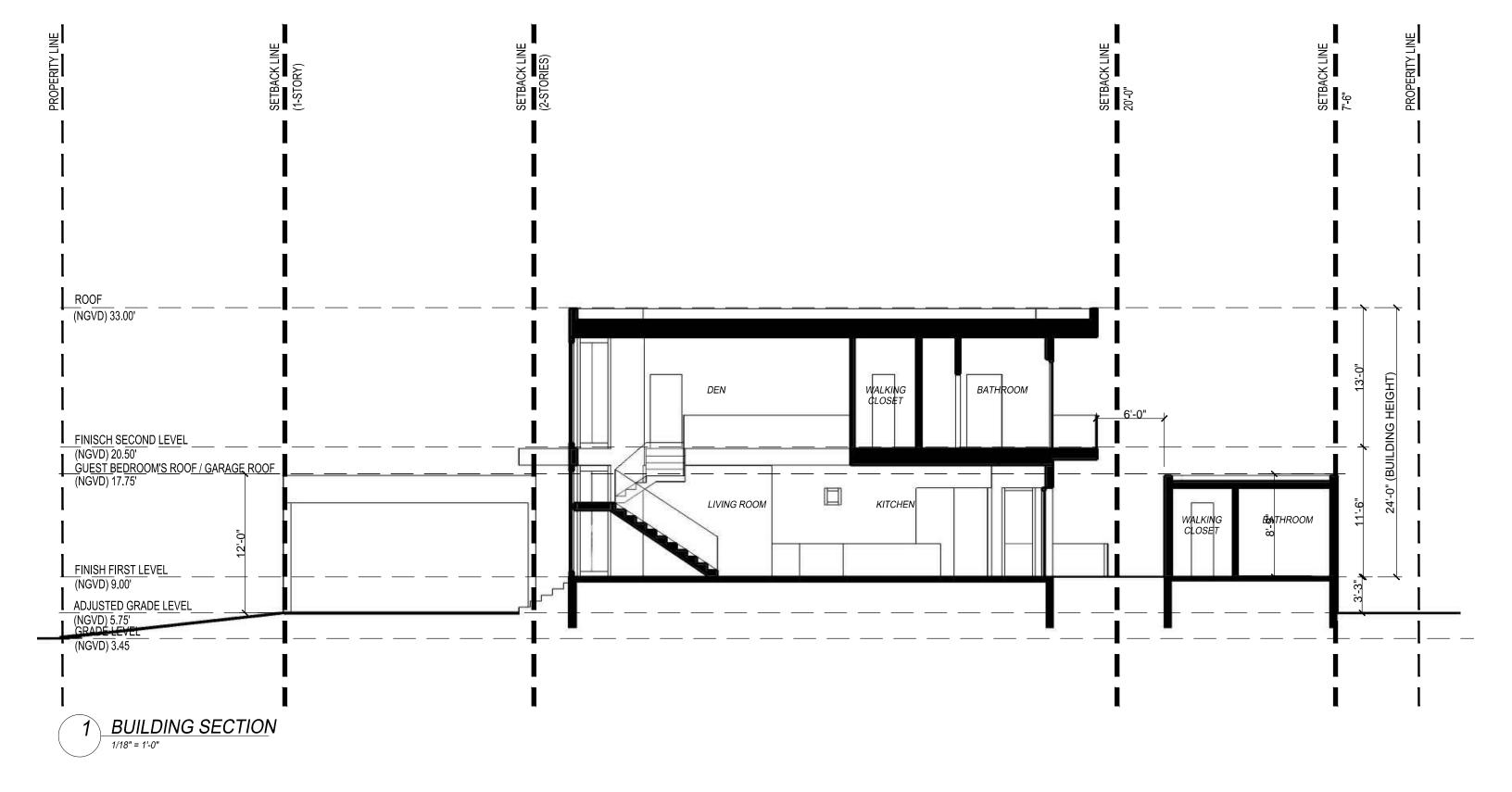


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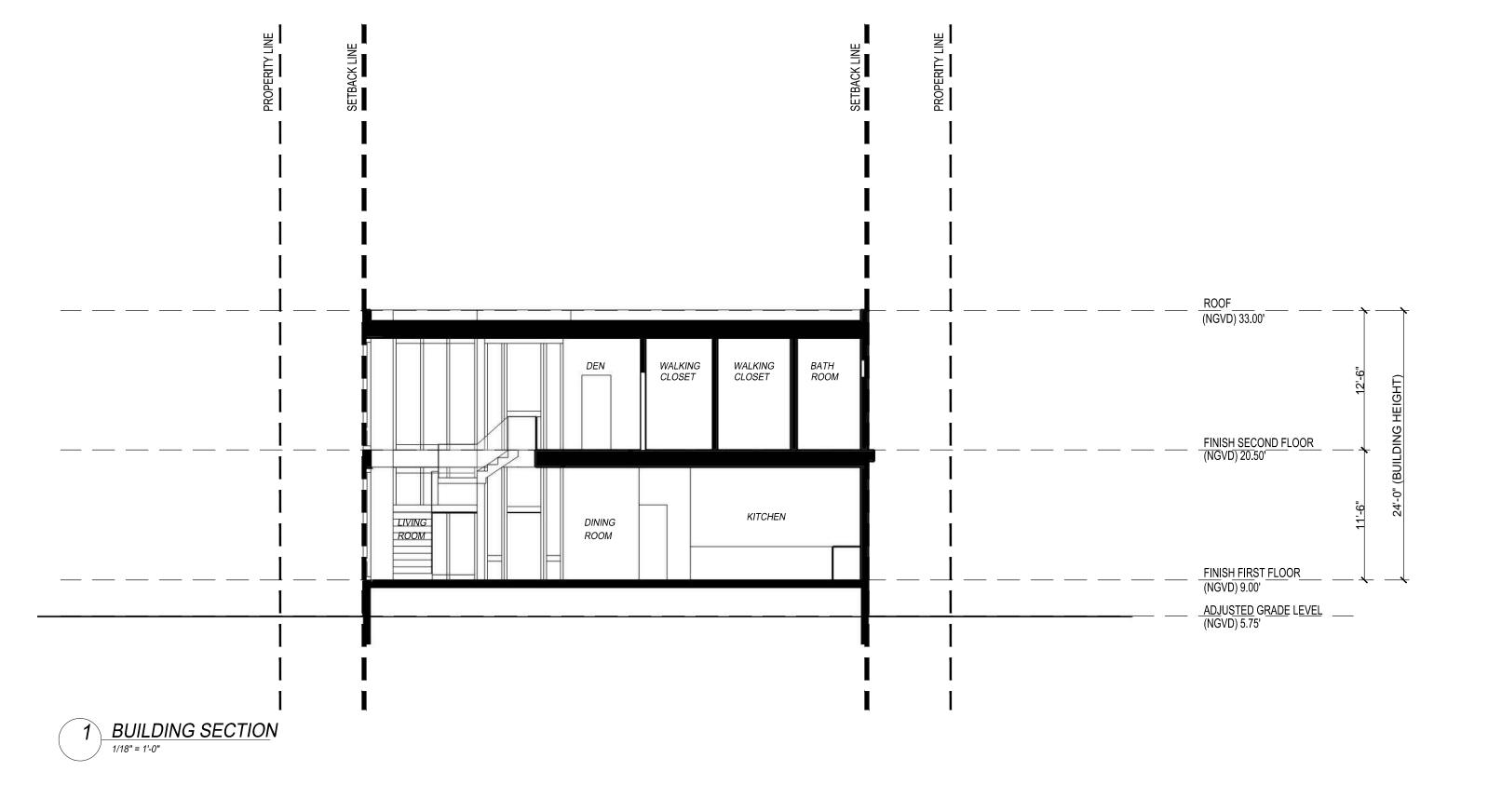
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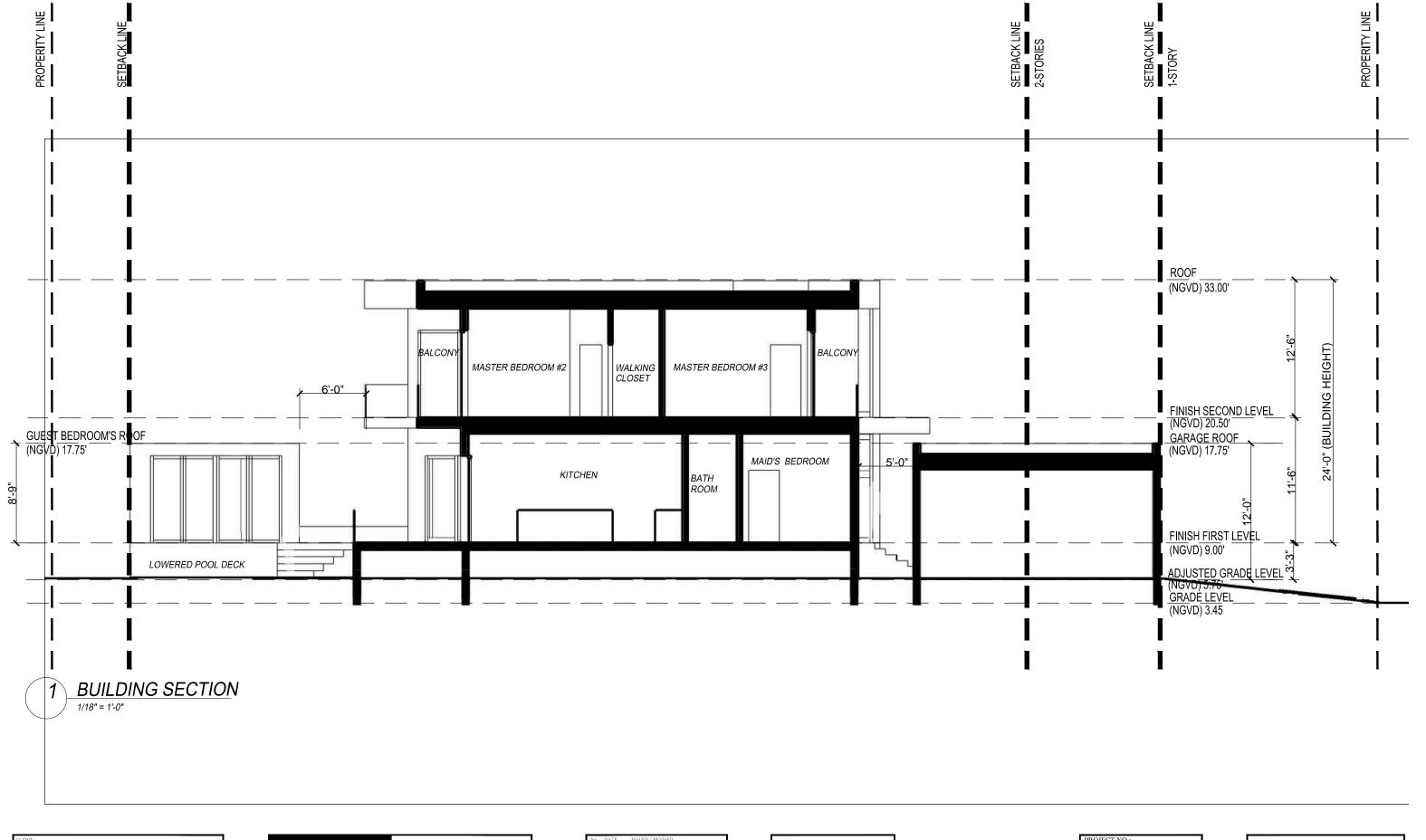
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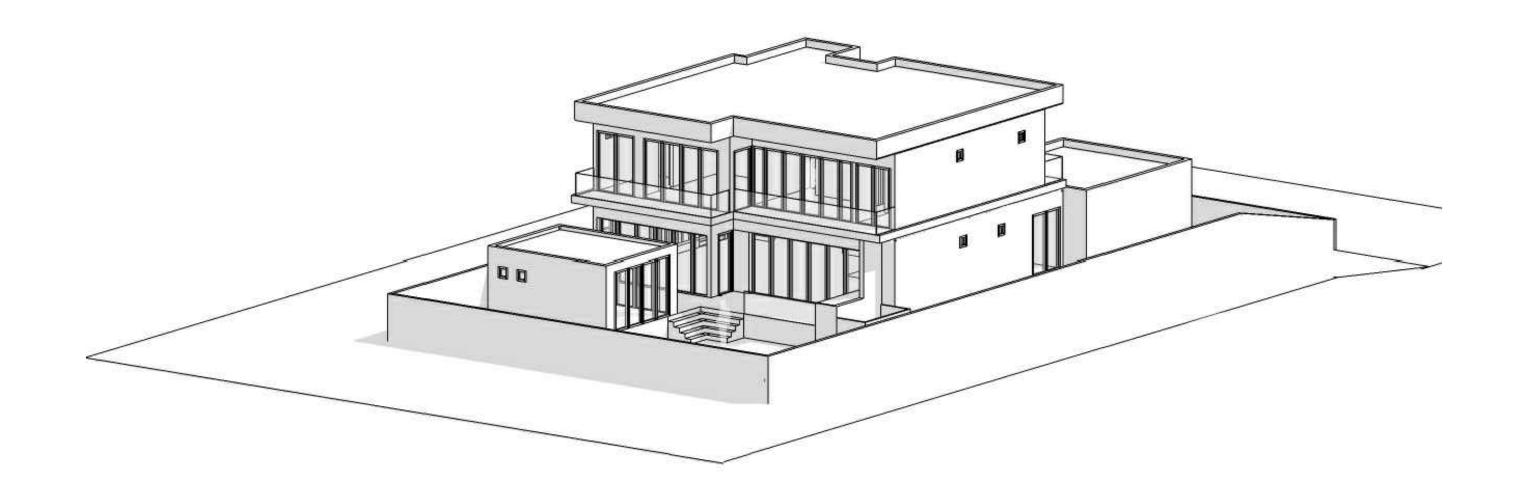
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SHEET NO:

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AXONOMETRIC - WESTSOUTH CORNER

HIRSCH RESIDENCE

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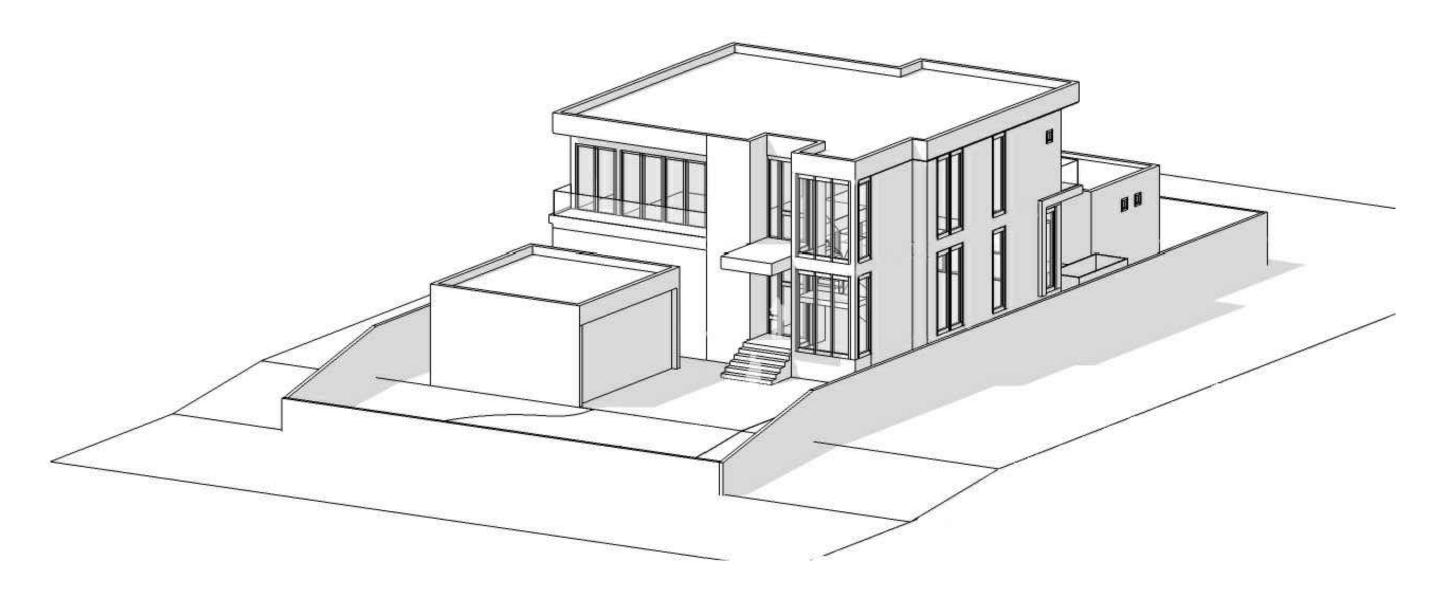
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FLORIDA ARCHITECT LICENSE AR 96133

AXONOMETRIC VIEWS

SHEET NO:

D - 600



1 AXONOMETRIC - EASTNORTH CORNER

HIRSCH RESIDENCE

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AXONOMETRIC VIEWS

SHEET NO:

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333 SE 2ND AVENUE, SUITE 2066
MIAMI, FL 33131
Tel: 786.218.5335
License #AA 26002467
WWW.CASTELLANOSDESIGN.COM

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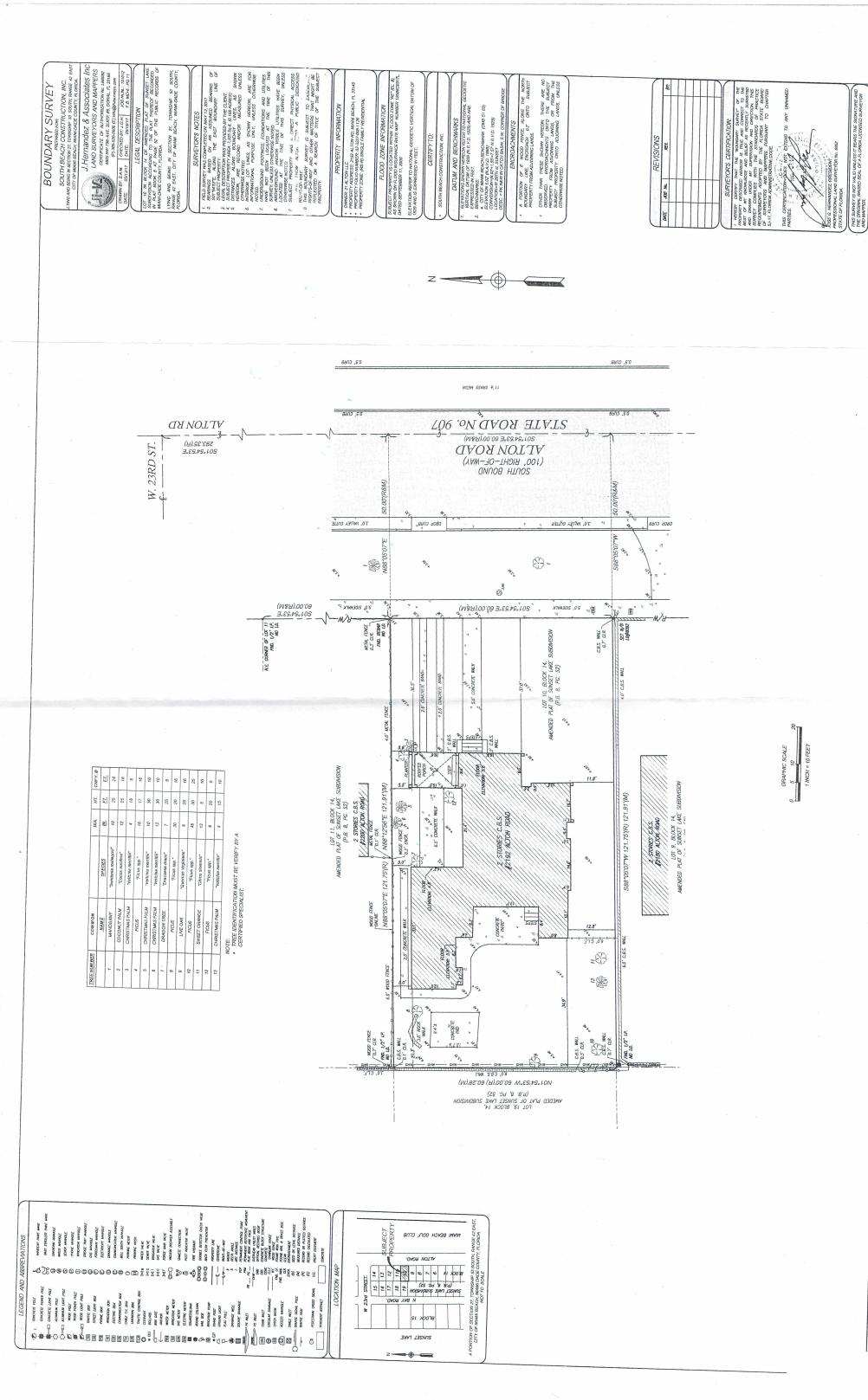
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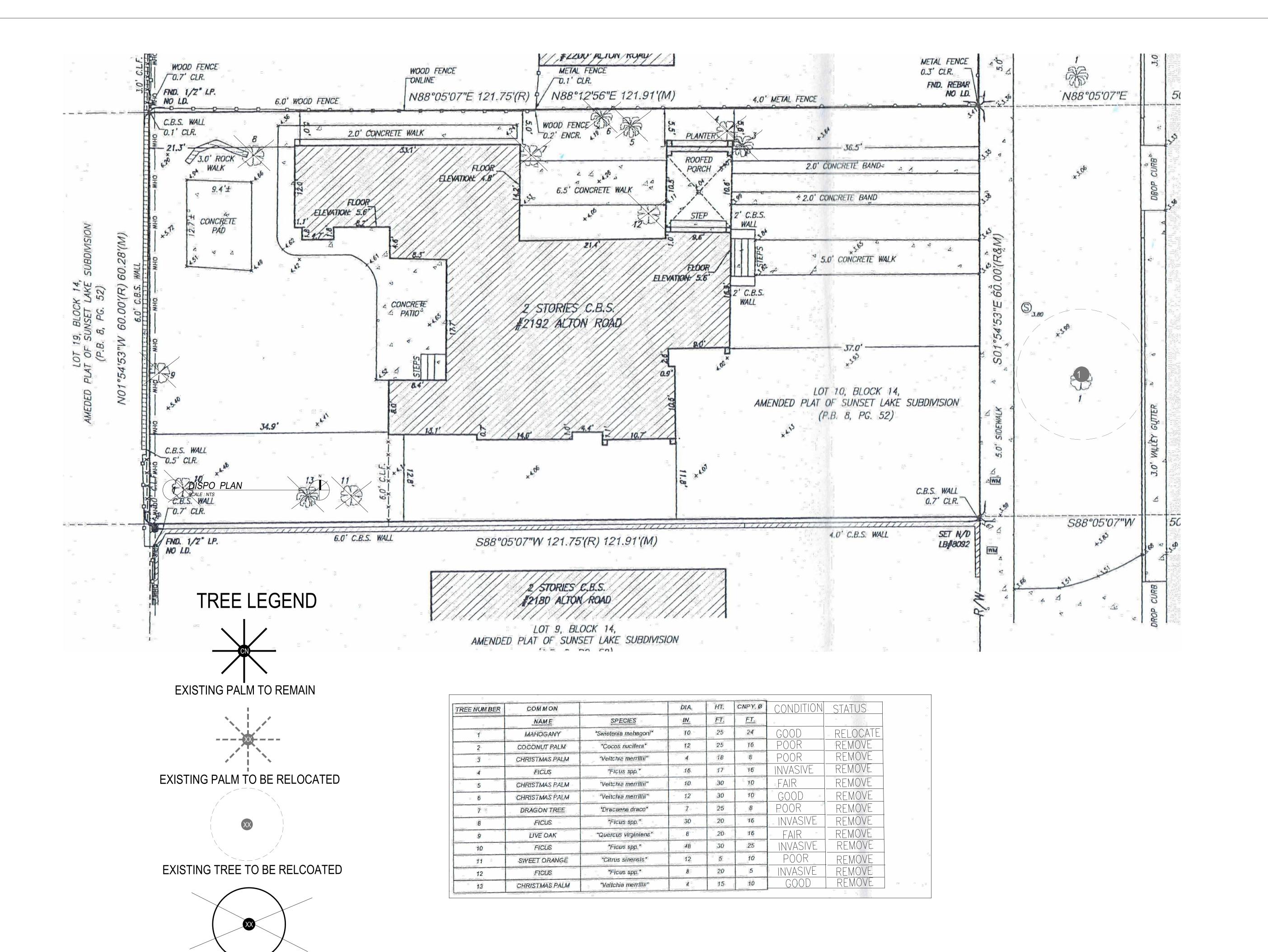
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EXISTING TREE TO REMOVE

**VINCENT FILIGENZI DESIG** 

LANDSCAPE ARCHITECT & PLANNER FL RLA LIC #6667191

25 SE 2ND AVE Suite #414, Miami, Florida P: 786.346.8909 VincentFiligenziDesign.com

PROFESSIONAL SEAL:



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SHEET ISSUE:
REV # DATE DESCRIPTION

SCALE: SEE PLAN

DRAWN BY: VF

CHECKED BY:

DATE: 8.03.2017

TREE DISPO PLAN

DISCIPLINE / SHEET TITLE:

SHEET NUMBER:

LP-1

ROYAL PALM

PITCH APPLE

Seabreeze bamboo

COCONUT PALM

Spear Sansevaria

DIION EDULE

LADYPALM

African Iris

SAME

ZOYSIA

CREEPING FIG VINE

**EVERGREEN GIANT** 

|ARTILLLARY FERN

PALM GRASS

KIMBERLYFERN

SWISS CHEESE PLANT

BROMELIAD MALBEC

FAKAHATCHEE GRASS

PHILODENDRON WEEKS HYBRID

Angel Mist

Same

### **GENERAL PLANTING NOTES:**

- > EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY TREES OR SHRUBS SCARRED OR DESTROYED DESIGNATED TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- ➤ LANDSCAPE CONTRACTOR SHALL CONTACT THE CITY AND/OR UITILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO UNDERGROUND UTILITIES AND/OR CONSTRUCTION CAUSED BY UTILITY DAMAGE, AT NO COST TO THE OWNER.
- → ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION.
- ➤ LANDSCAPE CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING HIS BID. PLANTING PLAN TO TAKE PRECEDENCE OVER PLANT LIST.
- → ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SOD UNLESS OTHERWISE NOTED.
- > EXISTING PLANT MATERIAL NOT SHOWN ON THE PLAN AND IN CONFLICT WITH NEW PLANTING SHALL BE EVALUATED AT THE TIME OF NEW PLANTING INSTALLATION BY THE LANDSCAPE ARCHITECT.
- → ALL BUILDING CONSTRUCTION MATERIAL AND FOREIGN MATERIAL SHALL BE REMOVED FROM PLANTING AREAS AND REPLACED WITH 80/20 MIX FILL SOIL, OR AS PER SPECIFICATIONS.
- → ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY CONTRACTOR TO AVOID ALL UTILITIES, AND ALL OTHER OBSTRUCTIONS.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OF EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED ON THE PLANS.
- > ALL TREES TO BE RELOCATED SHALL BE ROOT PRUNED 60 DAYS PRIOR TO THEIR RELOCATION
- TREES TO BE TRANSPLANTED ARE TO BE FLOODED FOR FIVE DAYS PRIOR TO RELOCATION > SITE PREPARATION SHALL INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS, GRASS,
- CLEAN-UP OF ANY DEAD MATERIAL AND FINISH GRADING AS PER THE SPECS. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
- THE LANDSCAPE CONTRACTOR SHALL EXERCISE CAUTION TO PROTECT ALL EXISTING SOD AND IRRIGATION. ANY DAMAGE TO THE SOD OR IRRIGATION SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL STATE BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE
- → ALL PITS TO BE FILLED THE SAME DAY OF REMOVAL OF TREES. RESTORE SURFACE WITH SOD OR MULCH TO MATCH EXISTING CONDITIONS
- TALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER, AS DEFINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE'S "CODES AND STANDARDS FOR NURSERY PLANTS PART I AND II".
- igwedge MULCH ALL PLANTING AREAS WITH SHREDDED ORGANIC MULCH TO A MINIMUM DEPTH OF 3"
- → ALL PLANTING AREAS WITHIN LIMIT OF WORK SHALL RECEIVE 100% IRRIGATION COVERAGE.
- TO, OR EXCEED, THE MINIMUM STANDARDS FOR FLORIDA NUMBER ONE AS PROVIDED IN THE MOST CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND H," PREPARED BY THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. PROHIBITED OR CONTROLLED TREES SHALL NOT BE COUNTED TOWARD FULFILLING THE MINIMUM TREE REQUIREMENTS
- → MULCH ALL BEDS UNLESS OTHERWISE NOTED ON PLAN
- → LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF ALL MATERIALS
- → PHOTOS OF MATERIALS TO BE PROVIDE FOR APPROVAL

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Transect Zone: RS-R Lot Area: 7,325.00 Acres: 0.168	REQUIRED/ ALLOWED	PROV
TREES		
A. Number of trees required per net lot acre, less existing number	er of trees	
meeting minimum requirements =		
5trees x0.168net lot acres – number of existing trees	; =	
$5 \times 0.168 - 1 =16$ Trees required	1	22
B. % Palms allowed: Number of trees provided x 30% =		
22 x .3 =6.6 Palms allowed	7	7
C. % Natives required: Number of trees provided x 30% =		
o. // Matives required. Number of trees provided x 30// -		
·	7	22
22 x .30 = 6.6 Native Trees required	7	22
22 x .30 = 6.6 Native Trees required  D. % Drought tolerant and low maintenance:	7	22
D. % Drought tolerant and low maintenance:  Number of trees provided x 50% =  22 x .5 = 11 Drought & Low Maintenace Trees required	7 11	22
22 x .30 = 6.6 Native Trees required  D. % Drought tolerant and low maintenance:  Number of trees provided x 50% =	•	
22 x .30 = 6.6 Native Trees required  D. % Drought tolerant and low maintenance:  Number of trees provided x 50% =  22 x .5 = 11 Drought & Low Maintenace Trees required	•	

	F. Street
	spacing o
GUY ABOVE FIRST CH	SHRUB
ABLE SLIP KNOT	<b>A.</b> Numb 5× 10 = 3
FASTENED TO STAKE ED PLANTING MIX	B. % Nat
NICER WITH A"	

\_\_ SOIL SAUCER WITH 4\* CONTINUOUS RIM 3 STAKES @ 2" X 4" X 24" TOP OF STAKE 6" ABOVE GRADE \_ MOUND AND COMPACT SOIL NO LESS THAN TWELVE INCHES-ADJUST HEIGHT TO PLACE

EXISTING SOIL OR APPROVED BACKFILL

TYP TREE PLANTING & STAKING DETAIL

.30 = 6.6 Native Trees required		22
Drought tolerant and low maintenance:		
ber of trees provided x 50% =		
.5 = 11 Drought & Low Maintenace Trees requried	11	22
treet Trees (maximum average spacing of 35' o.c.):		
60 linear feet along street / 35 =		

of 25' o.c.): \_\_\_\_\_linear feet along street / 25 = NA

per of shrubs required: Number of trees required x 10 = **50** 50 Shrubs required 51

ative shrubs required: Number of shrubs provided x 30% = 16 51

 $|51 \times .30| = 15.3$  Native shrubs required C. % Drought tolerant and low maintenance required:

Number of shrubs provided x 20%= 10 51 X .20 = 10.2 Drought & Low Maintenace Shrubs

51

DISCIPLINE / SHEET TITLE:

PLANTING PLAN

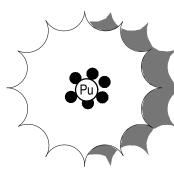
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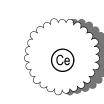
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DATE: 8.03.2017

SHEET NUMBER: LP-2



PANDANUS UTILUS



GREEN BUTTONWOOD TREE



DRACAENA ARBOREA



CYCAD ACCENT



RHAPIS EXCELSA

**GROUNDCOVER TAG** 



PLANT BED

-WALKWAY OR HARDSCAPE AREA —SEE PLANTING PLAN FOR SPACING SPECIFIED GROUNDCOVER — 2" MULCH - SPECIFIED PLANTING MIX - REMOVE AND RECYCLE POT - EXISTING SOIL OR APPROVED BACKFILL TOP OF MULCH SHALL BE
1 INCH BELOW PAVEMENT GROUNDCOVER EDGE PLANTING CONDITION
SOME NTS.

ROYSTONIA REGIA

|Conocarpus erectus

Bambusa multiplexa

Bambusa malingensis

SHURBS & HEGES

TRIPSACUM DACTYLOIDES

PHILODENDRON WEEKS HYBRID

PHILODENDRON 'Rojo Congo'

MONSTERA DELICIOSA

LIRIOPE MUSCARI

Pilea serpyllacea

Setaria palmifolia

Ze ZOYSIA EMERALD

Nephrolepis obliterata

**GROUNDCOVERS & VINES** 

LAWN, MULCH & MISC ITEMS

Sansevieria CYLINDRICA

AECHMEA IMPERIALIS

COCOS NUCIFERA

Bambusa Alba

DIION EDULE

Dietes bicolor

FICUS REPENS

Fr

Lm

dracaena arborea

RHAPIS EXCELSA

GOUNDCOVER & PERENNIAL SPACING "A" 15" O.C. 18" O.C. 24" O.C. 21" O.C. 36" O.C. 31" O.C. TYP TRIANGULAR PLANT SPACING CHART FOR GROUNDCOVERS

-EXISTING SOIL OR APPROVED -SPECIFIED PLANTING MIX

TYP SHRUB PLANTING DETAIL

16'-18' GW. FG 20" CAL MATHCING

22

3

2

4

3

100

85

11

69

69

80

40

75

4

----2" MULCH

REMOVE POT AND RECYCLE

-SOIL SAUCER WITH 3"

\*

\*

\*

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14'16' OA. HT. STD COLUMNAR

FG 22' OA Heavy 14 Major canes

FG 22' OA Heavy 14 Major canes

FG 22' OA Heavy 14 Major canes

25G 6'+HT CHARACTER DOUBLE

28' CT. 24' CT.

5G

5G

5G

7G 3-4'

3G @ 18" OC

1G. 12" OC

3G @24" OC

3G @24" OC

1G. 12" OC

1G. 12" OC

3G. 24" OC

1G.@ 12" OC

SOD/PALLET

5' OA HT

3" MULCH

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NCENT FILIGENZI DESIG

LANDSCAPE ARCHITECT & PLANNER

FL RLA LIC #6667191

Suite #414, Miami, Florida

VincentFiligenziDesign.com

PROFESSIONAL SEAL:

VINCENT A. FILIGENZI

LA #6667191

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HIRSCH RESIDENCE

2192 Alton Road Miami Beach, FL 33140 Folio: 02-3227-008-1130



No. DATE ISSUED / REVISED

1 19 JUL/17 DRB SUBMITTAL
2 03 AUG/17 FINAL SUBMITTAL

ALL DRAWN AND WRITTEN MATERIAL CONTAINED HERREN IS THE SOLE PROPRIET OF CATEFALLANDS RESIDES STITION LLC. AND MAY NOT BE THE SOLE PROPRIET OF CATEFALLANDS RESIDES STITION LLC. AND THE PROPRISES WRITTEN CONSISTOR OF CATEFALLANDS RESIDES STITION LLC. AND THE CATEFALLANDS RESIDES THE CONTRICT OF CATEFALLANDS RESIDES AND THE CATEFALLANDS AND THE SOUTHER CATEFALLANDS AND THE CONTRICT OF THE CATEFALLANDS AND THE CONTRICT OF THE CATEFALLANDS THE CONTRICT OF CATEFALLANDS THE SOUTH CONTRICT OF CATEFALLANDS THE CONTRICT OF CATEFALLANDS THE SOUTH CONTRICT OF CATEFALLANDS THE CONTRICT OF CATEFALLANDS THE SOUTH CONTRICT OF CATEFALLANDS THE CATEFALLAND

PROJECT NO:

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CHECKED BY: WESLEY CAS
DRAWN BY:
SCALE: N.T.S.

PROJECT NO:

2017-07

CHECKED BY: WESLEY CASTELLANOS

DRAWN BY:
SCALE: N.T.S.

BACK COVER

SHEET NO: