



1030 15th Street, Miami Beach, Florida

City of Miami Beach - Development Application

Cover Sheet

03/02/2016

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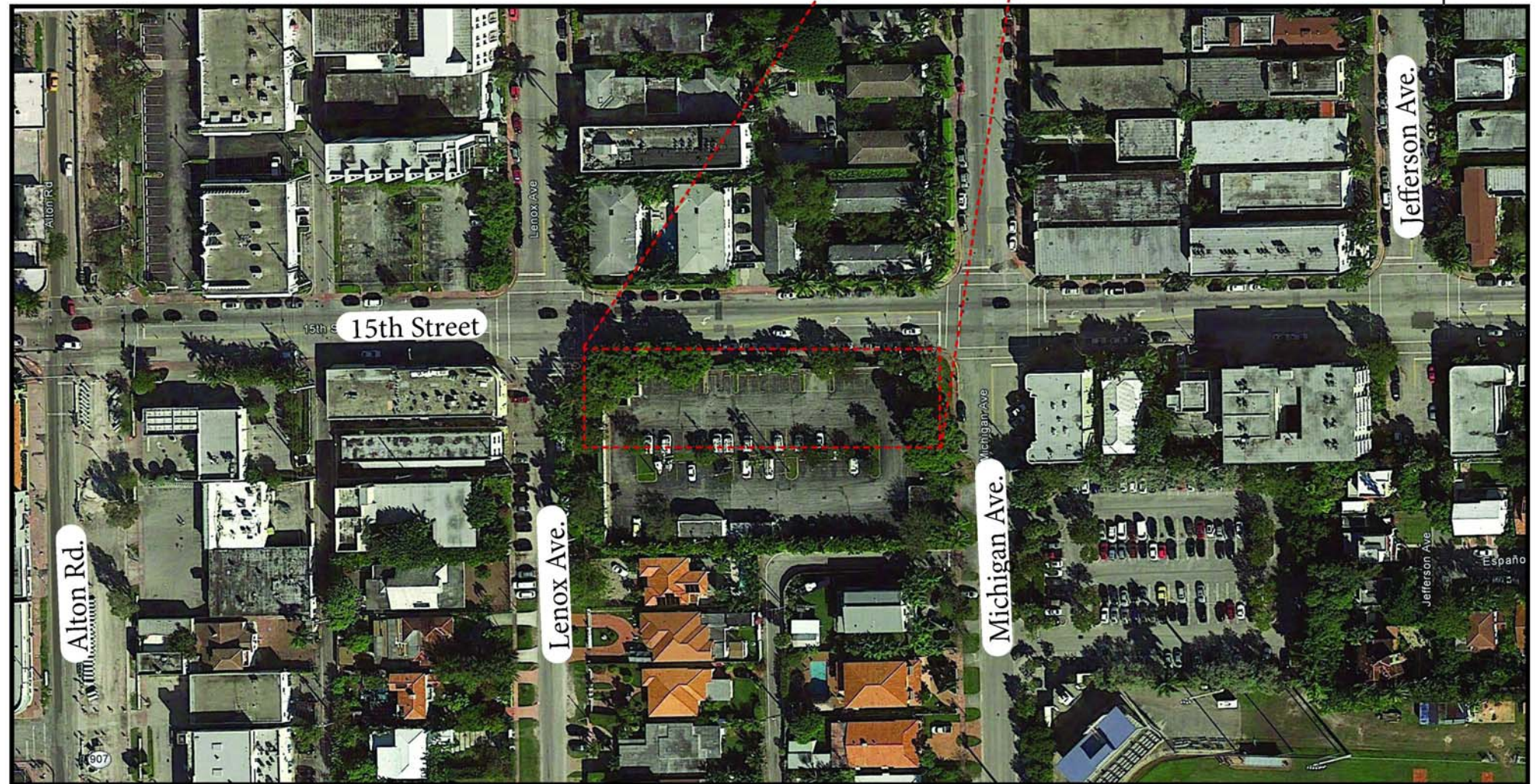
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Location Map N.T.S



Location Map N.T.S

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1030 15th Street, Miami Beach, Florida, 33139		
2	Board and file numbers :			
3	Folio number(s):	02-4203-009-6980		
4	Year constructed:	Zoning District:	RM-1	
5	Based Flood Elevation:	Grade value in NGVD:	4.18 FEET NGVD	
6	Adjusted grade (Flood+Grade/2):	Lot Area:	31,901 SQ. FT.	
7	Lot width:	Lot Depth:	100'-0"	
8	Minimum Unit Size	Average Unit Size	3,611 SQ. FT.	
9	Existing use:	Proposed use:	Townhomes	

		Maximum	Existing	Proposed	Deficiencies
10	Height	35'-0"	N/A	35'-0"	
11	Number of Stories	3	N/A	3	
12	FAR	1.25	N/A	1.245	
13	Gross square footage	39,880 SQ. FT.		39,737 SQ. FT.	
14	Square Footage by use	N/A		N/A	
15	Number of units Residential	N/A	N/A	11	
16	Number of units Hotel	N/A		N/A	
17	Number of seats	N/A		N/A	
18	Occupancy load	N/A		N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:	N/A	N/A	N/A	N/A
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
	Pedestal:				
29	Front Setback:	20'-0"	20'-0"	20'-0"	N/A
30	Side Setback: 15th STREET	8'-0"	N/A	8'-0"	N/A
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	8'-0"	N/A	8'-0"	N/A
33	Rear Setback:	N/A	N/A	N/A	N/A
	Tower:				
34	Front Setback:				
35	Side Setback:				

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				
37	Side Setback facing street:				
38	Rear Setback:				

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	District 1	District 1	District 1	
40	Total # of parking spaces				
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	2 per Unit		2 per Unit	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			N/A	
43	Parking Space Dimensions			Garage - 24'-4" x 21'-4"	
44	Parking Space configuration (45o,60o,90o,Parallel)	90°			
45	ADA Spaces	N/A	N/A	N/A	
46	Tandem Spaces	None		None	
47	Drive aisle width	22'-0" - Oneway drive			
48	Valet drop off and pick up	N/A	None	None	
49	Loading zones and Trash collection areas	1- Trash collection		1- Trash collection	
50	racks	N/A	None	None	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use				
52	Total # of seats				
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)				
54	Total occupant content				
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)				

56	Is this a contributing building?	Yes or no	No
57	Located within a Local Historic District?	Yes or no	No

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.



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Render 15th Street

03/02/2016

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1030 15th Street, Miami Beach, Florida

City of Miami Beach - Development Application

Render - Lenox View

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1 - Lenox Ave. looking North. (below) (05/15/2014)



2 - Intersection of 15th and Lenox Ave looking South East at site (below) (05/15/2014)



3. Intersection of 15th St. and Lenox Ave. looking West. (above) (05/15/2014)



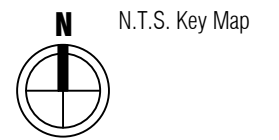
4. 15th St. looking South at site (Below) (05/15/2014)



5. Intersection of 15th St. and Michigan looking South. (below) (05/15/2014)



6. Intersection of 15th St. and Michigan looking West. (below) (05/15/2014)



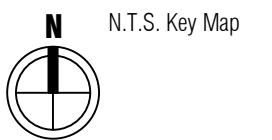
7. 15th St. looking South at site (Below) (05/15/2014)



8. Michigan looking West at site. (below) (05/15/2014)



9. Michigan looking East. (below) (05/15/2014)



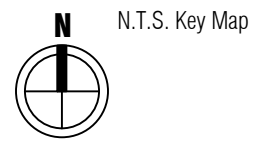
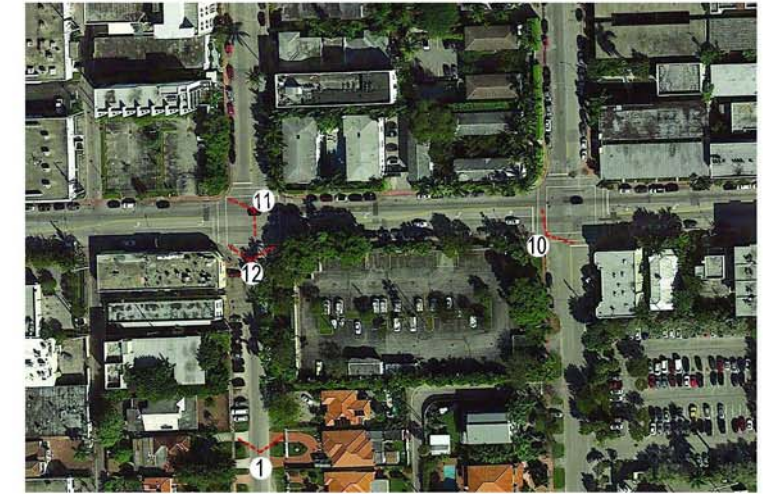
10. Intersection of 15th and Michigan looking NE (Below) (05/15/2014)



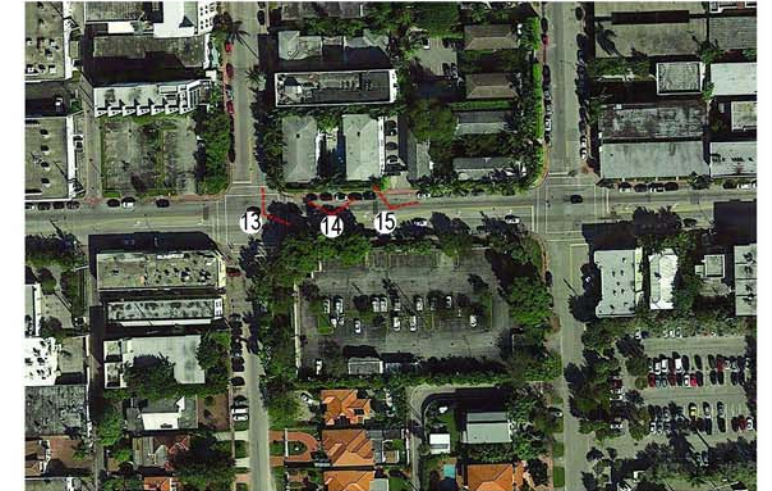
11. Intersection of 15th and Lenox looking South. (below) (05/15/2014)



12. Intersection of 15th and Lenox looking North. (below) (05/15/2014)



13. Context across from site on 15th Street (below) (05/15/2014)



Key Map N.T.S

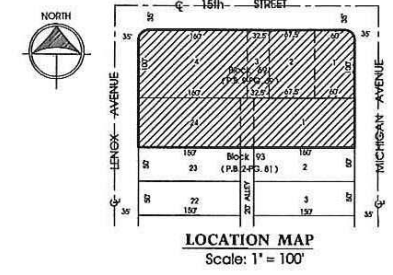
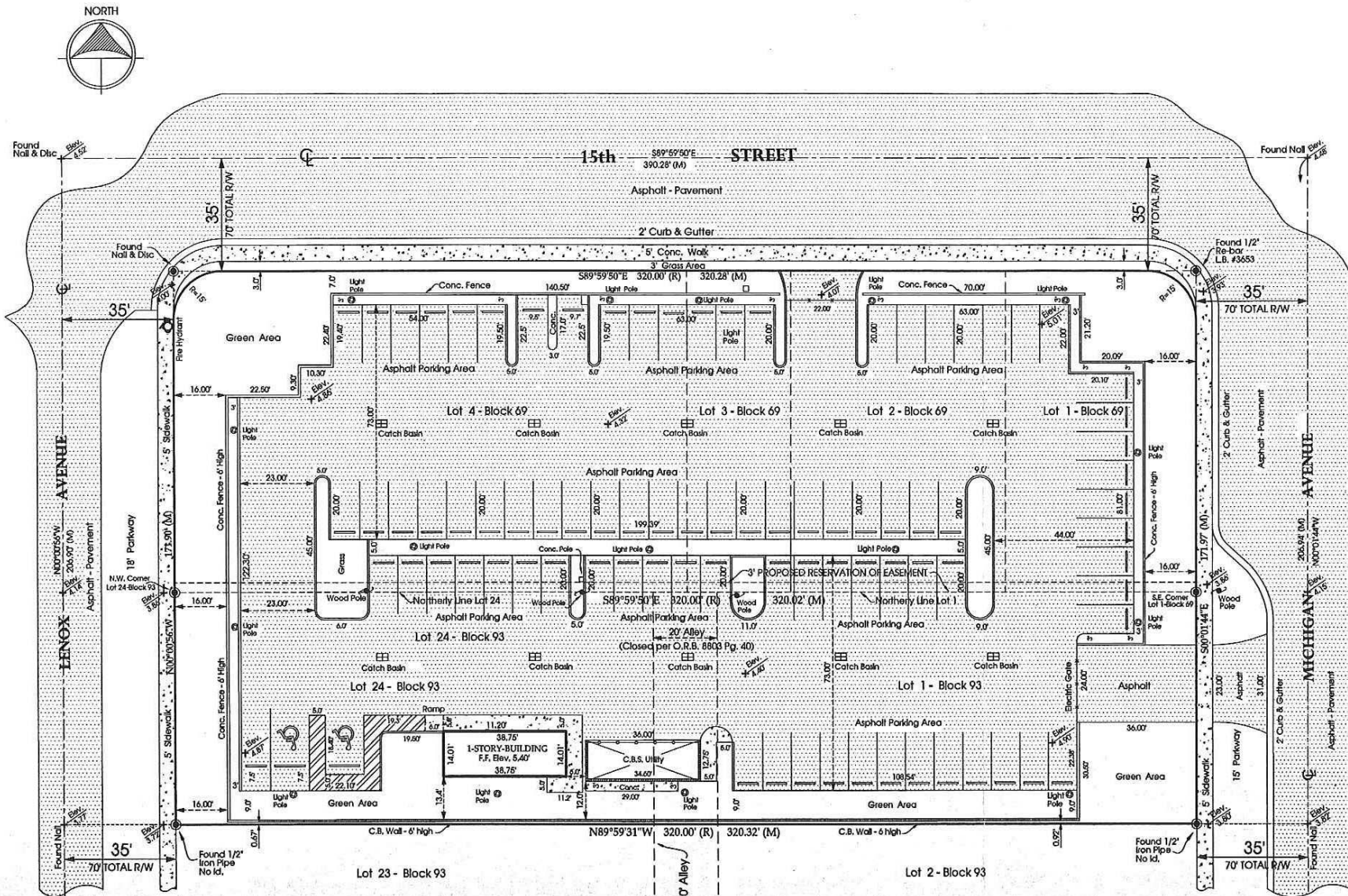


14. Context across from site on 15th Street (below) (05/15/2014)



15. Context across from site on 15th Street (below) (05/15/2014)





LEGAL DESCRIPTION:

FOLIO: 02-4203-009-6980
 LOTS 1 AND 24 AND 20 FEET OF ALLEY LYING BETWEEN LOTS 1 AND 24, BLOCK 93, OCEAN BEACH FLA. ADDITION No. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CONTAINING 23016 +/- S.F.

AND:

FOLIO: 02-4203-009-6980
 LOTS 1, 2, 3 AND 4, BLOCK 69, "LINCOLN SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 69, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CONTAINING 31904 +/- S.F.

PROPERTY ADDRESS:

1030 15th STREET, MIAMI BEACH, FLORIDA 33139

FLOOD ZONE INFORMATION:

FLOOD ZONE: "AE" COMMUNITY: 120651 PANEL: 0317
 DATE OF FIRM: 09-11-2009 SUFFIX: L ELEVATION: 8.0 FEET

CERTIFIED TO:

AT&T Florida
 Leslie A. Lewis, Esq.
 Old Republic National Title Insurance Company.

SCHEDULE B II MATTERS SHOWN:

EASEMENT CONTAINED IN INSTRUMENT RECORDED OCTOBER 9, 1974, UNDER O.R. BOOK 8803, PAGE 40, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

EASEMENT CONTAINED IN INSTRUMENT RECORDED OCTOBER 9, 1974, UNDER O.R. BOOK 8803, PAGE 43, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AS MEANS OF INGRESS AND INGRESS TO AND FROM THE ALLEY.

SURVEY NOTES:

- LEGAL DESCRIPTION SHOWN PER TITLE COMMITMENT.
- EXAMINATION OF THE ABSTRACT OF THE TITLE WAS MADE AND ALL PLOTTABLE EASEMENTS LISTED IN SCHEDULE B-II OF THE TITLE COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FILE NO. 01-2014-002497 DATED FEBRUARY 2, 2014 @ 11:00 P.M.
- 4 FOOT PROPOSED RESERVATION OF EASEMENT CONTAINS 1280 +/- S.F. OF LAND.
- UNDERGROUND PORTION OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE ON ABOVE GROUND ENCROACHMENTS LOCATED.
- WALL TIES ARE THE FACE OF THE WALL.
- FENCE OWNERSHIP NOT DETERMINED.
- BEARINGS REFERENCED TO LINE NOTED AS B.R.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD. COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- BENCHMARK: D-149 ELEVATION: 4.18 FEET (N.G.V.D. 1929)
 LOCATION: N.E. 15th STREET & MICHIGAN AVENUE

"OCEAN BEACH FLA. ADDITION No. 3"
 P.B. 2 - PG. 81

LEGAL DESCRIPTION: (PROPOSED RESERVATION EASEMENT)

THE SOUTH 3.00 FEET OF THE FOLLOWING DESCRIBED PARCEL OF LAND:
 LOTS 1, 2, 3 AND 4, BLOCK 69, "LINCOLN SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 69, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CONTAINING 31904 +/- S.F.

MAP OF SURVEY

Scale: 1" = 20'

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURE UNLESS OTHERWISE NOTED.

- ABBREVIATIONS AND LEGEND:**
- CONC. - DENOTES CONCRETE
 - R/W - DENOTES RIGHT-OF-WAY
 - ⊕ - DENOTES CENTERLINE
 - P.B. - DENOTES PLAT BOOK
 - PG. - DENOTES PAGE
 - S.Q. - SQUARE FEET
 - ⊕ - DENOTES WATER METER
 - ⊕ - DENOTES WOOD POWER POLE
 - OH— - DENOTES OVERHEAD WIRES
 - ⊕ - DENOTES FOUND IRON PIPE (NO ID.)
 - ⊕ - DENOTES FOUND NAIL AND DISC

NOTE:
 NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 11-71.01, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

SIGNED: MIGUEL ESPINOSA
 FOR THE FIRM: 15th Street, Miami Beach, Florida

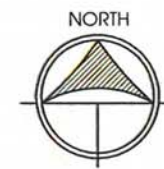
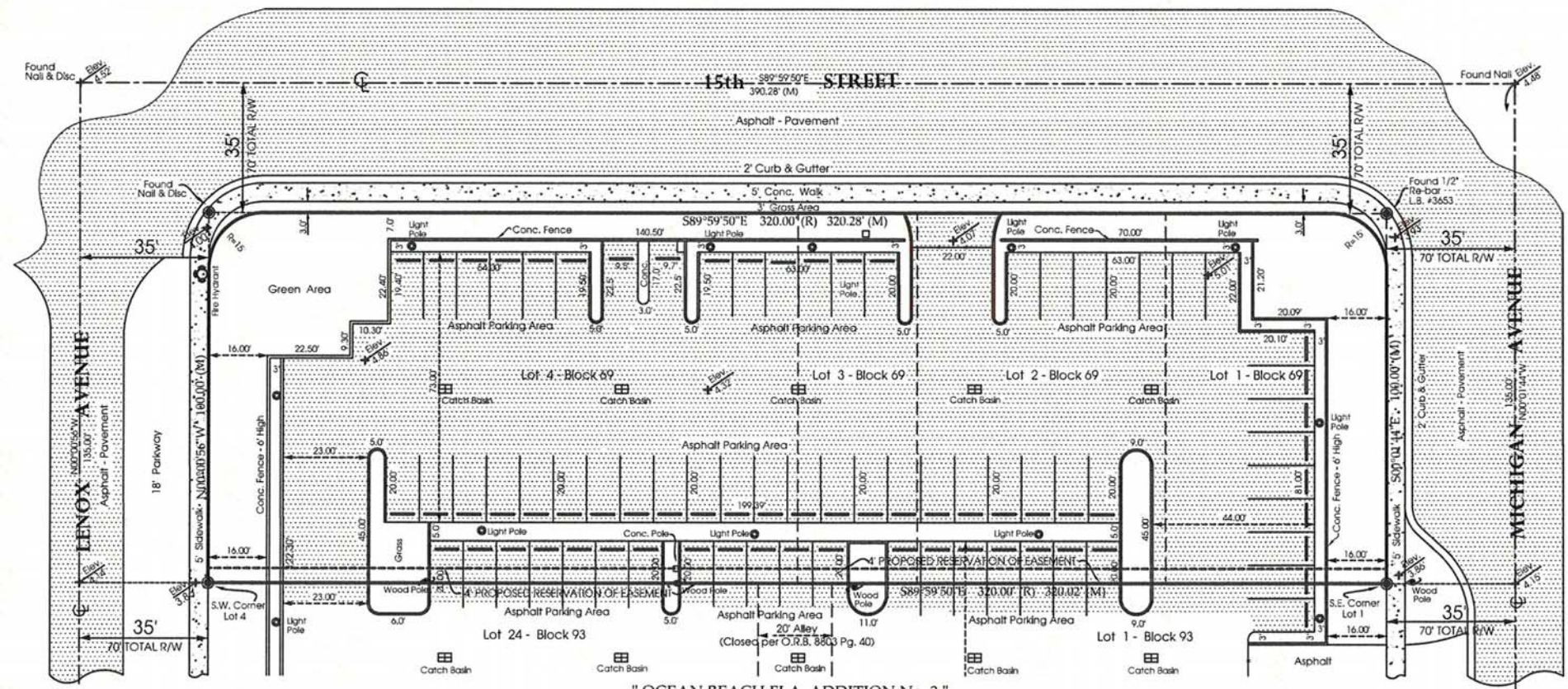
MIGUEL ESPINOSA LAND SURVEYING INC.
 PROFESSIONAL SURVEYOR AND MAPPER
 10665 S.W. 190th STREET, SUITE 3111, MIAMI, FLORIDA 33157
 PHONE: (305) 262-2992 FAX: (305) 964-9303 L.B. No. 6463

Original Date: 06/06/2014	Field date: 06/02/2014	Revision Date: 06/06/2014	Drawn by: R.U.	Job No. S-10998
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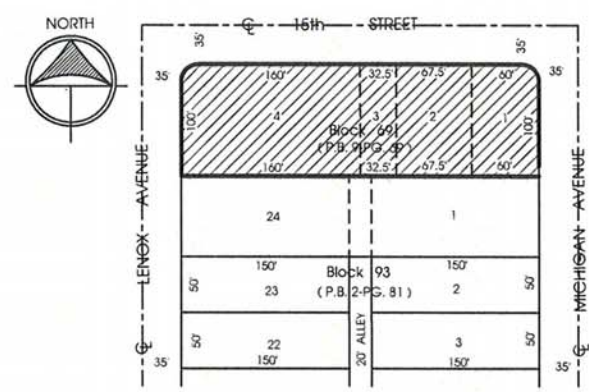
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"OCEAN BEACH FLA. ADDITION No. 3"
 P.B. 2 - PG. 81



LOCATION MAP
 Scale: 1" = 100'

LEGAL DESCRIPTION:

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- BENCHMARK: D-149 ELEVATION: 4.18 FEET
 LOCATION: N.E. 15th STREET & MERIDIAN AVENUE

CERTIFICATION:
 SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTERS 17-051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 172.027, FLORIDA STATUTES.

SIGNED BY: *Miguel Espinosa*
 FOR THE FIRM: MIGUEL ESPINOSA P.S.M. No. 5101-STATE OF FLORIDA

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

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- ⊙ = DENOTES FOUND NAIL AND DISC

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MAP OF SURVEY

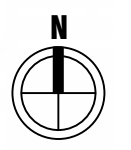
Scale: 1" = 25'

PREPARED FOR: AT&T FLORIDA

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 L.B. No. 6461

BOUNDARY SURVEY

Original Date: 06/06/2014	Field date: 06/02/2014	Revision Date: 06/02/2014	Drawn by: R.U.	Job No. S-10998
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1030 15th Street, Miami Beach, Florida

City of Miami Beach - Development Application

Boundary Survey

N.T.S

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Context North Elevation

Scale: 1" = 40'-0"



Context West Elevation

Scale: 1" = 40'-0"



Context East Elevation

Scale: 1" = 40'-0"

1030 15th Street, Miami Beach, Florida

City of Miami Beach - Development Application

Context Elevations

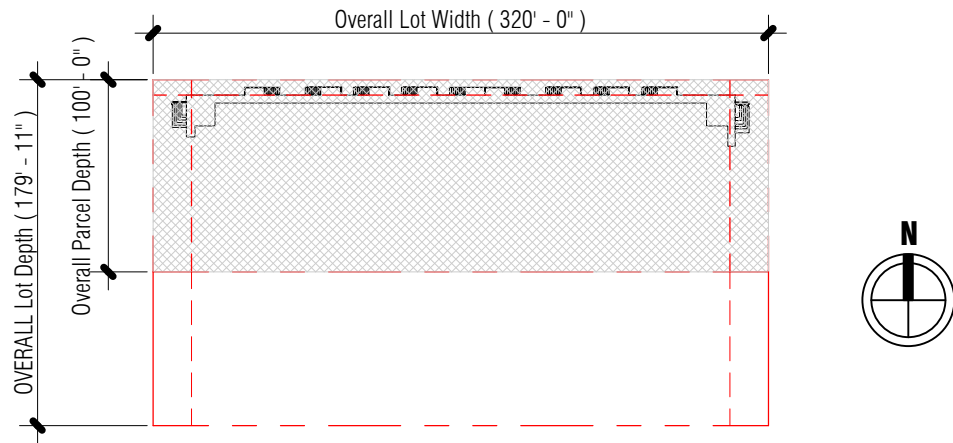
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Setback Analysis

Building Setbacks	Required	Provided
Front (15th Road):	20'-0"	20'-0"
Side = 8% of lot width:	8'-0"	8'-0"
Rear = 10% of lot depth:	N/A	(11'-6" from parcel line)

Parking Setbacks

Front (15th Road):	20'-0"	20'-0"
Side = 5% of lot width:	5'-0"	5'-0"
Rear:	N/A	(5'-0" from parcel line)

Height Analysis

Maximum height allowed:	35'-0"	35'-0"
Stories		3 Stories

No more than 2 contiguous lots may be aggregated for development purposes

No stairwell bulkheads above maximum height

Residential uses at ground floor facing street/sidewalk

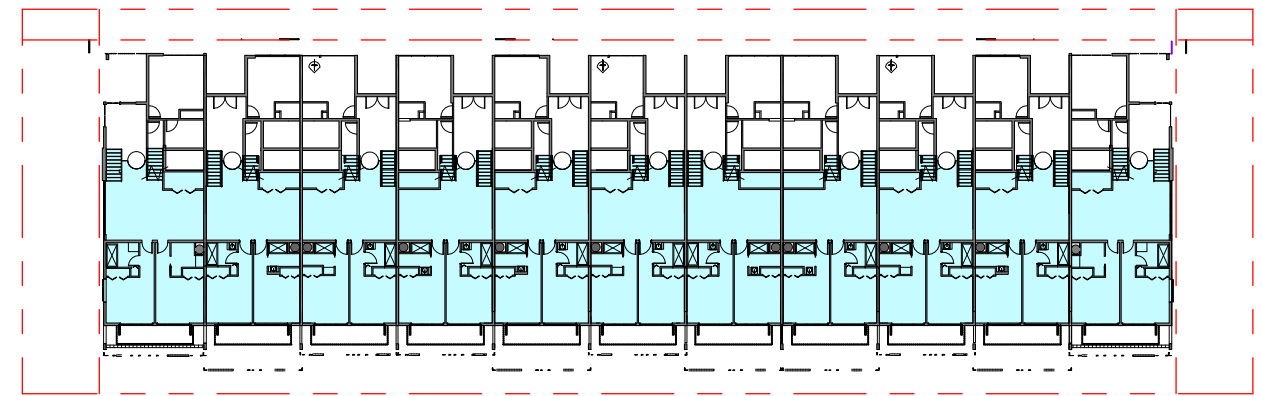
Lot Size:	31,904 SF
Allowable FAR: (1.25)	39,880 SF
Proposed Area:	39,767 SF

Proposed FAR Breakdown

First Floor	7,126 SF
Second Floor	10,592 SF
2.5 Floor	9,848 SF
Third Floor	12,201 SF
Total	39,767 SF

Density	11 Townhomes
Parking Analysis	Unit Size: 1200+ SF
Parking Requirement	22 Spaces
Total:	(11 x 2.0)
Parking Required	

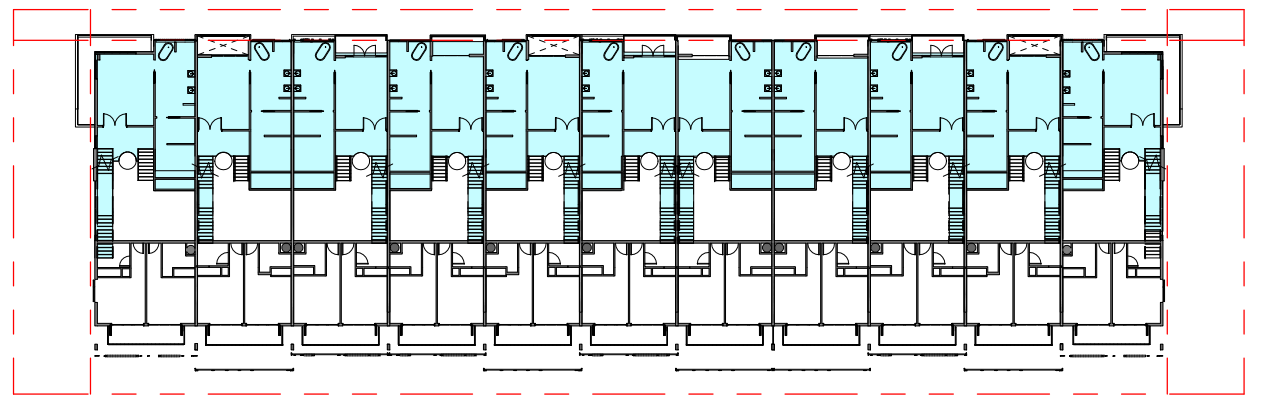
Parking Provided	22 Spaces
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FAR Second Floor Plan

10,592 SF

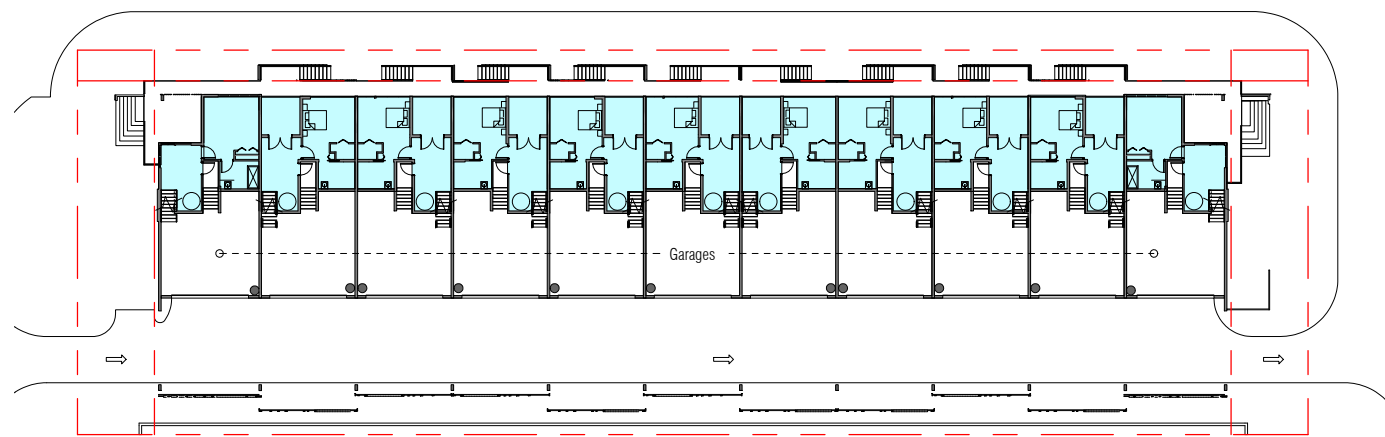
Scale: 1" = 50'-0"



FAR 2.5 Level

9,848 SF

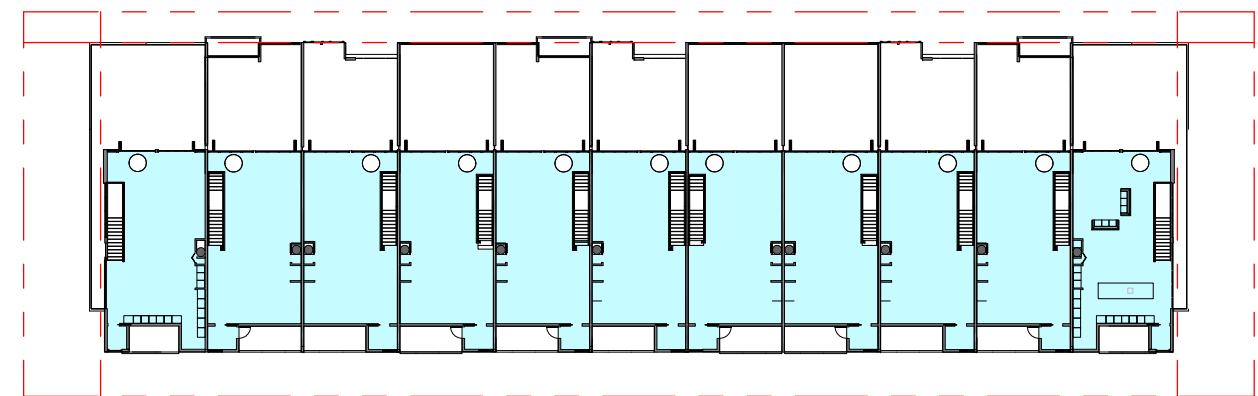
Scale: 1" = 50'-0"



FAR First Floor Plan

7,126 SF

Scale: 1" = 50'-0"



FAR Third Floor Plan

12,201 SF

Scale: 1" = 50'-0"

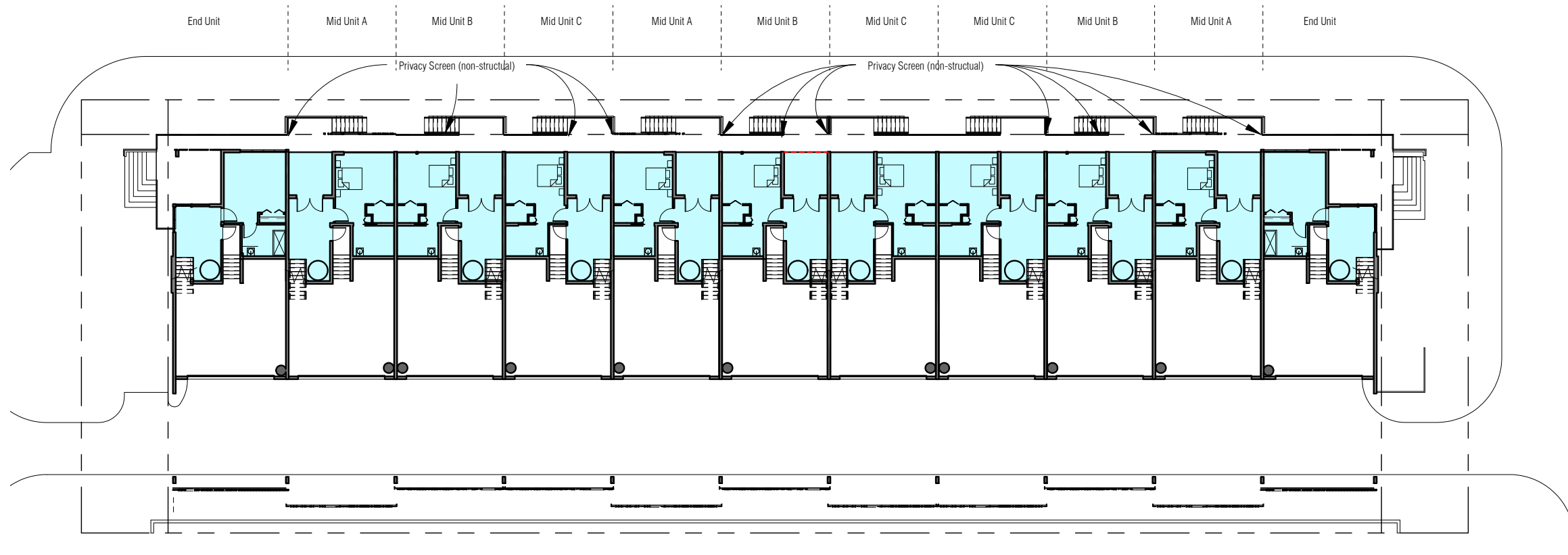


Diagram FAR First Floor Plan
Scale: 1" = 30'-0"

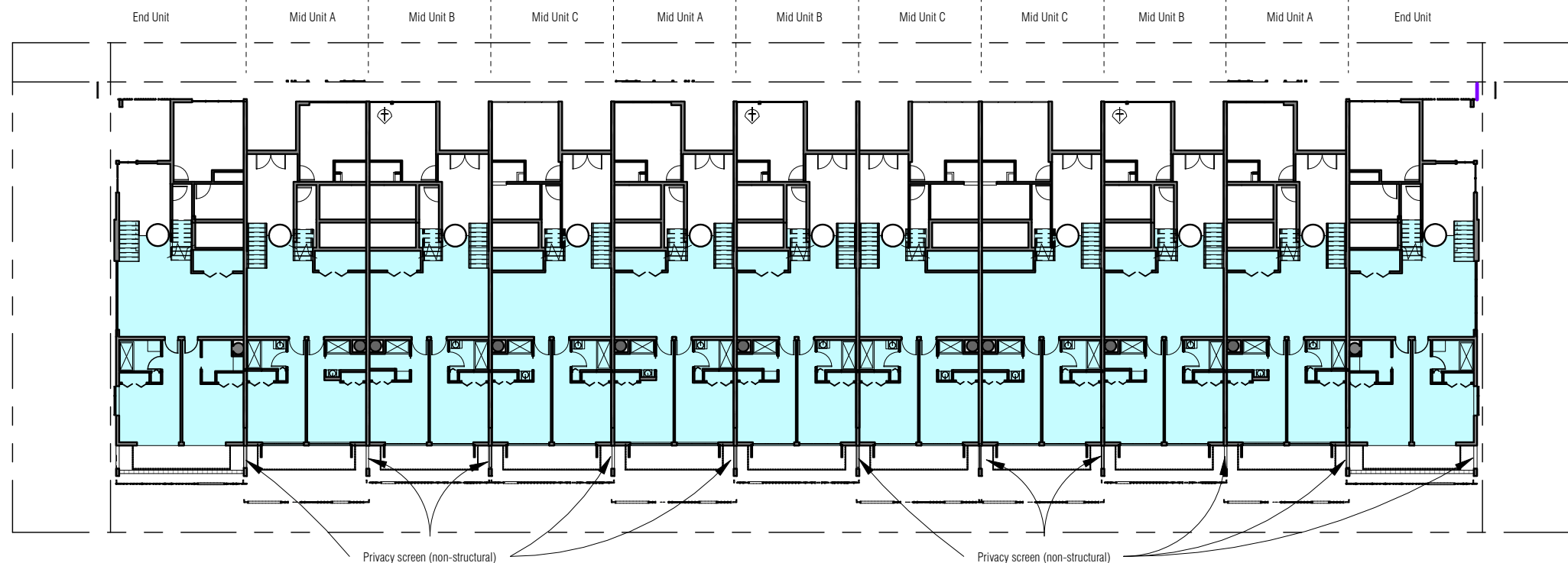
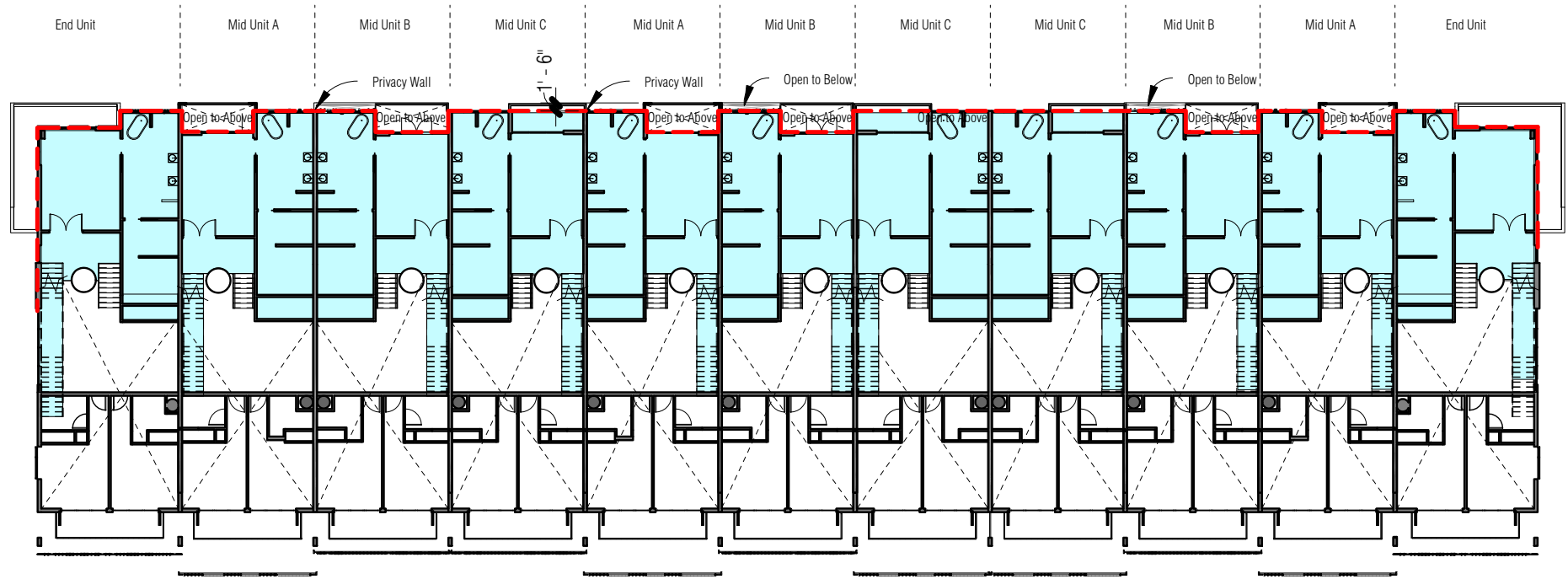
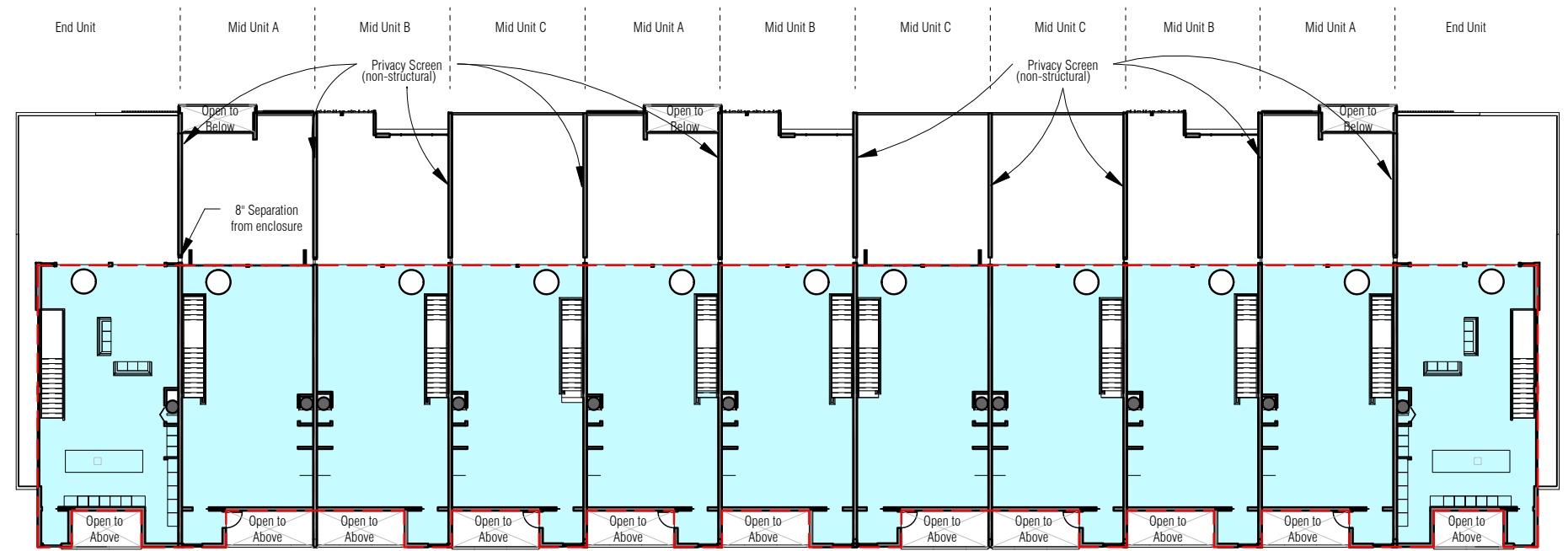


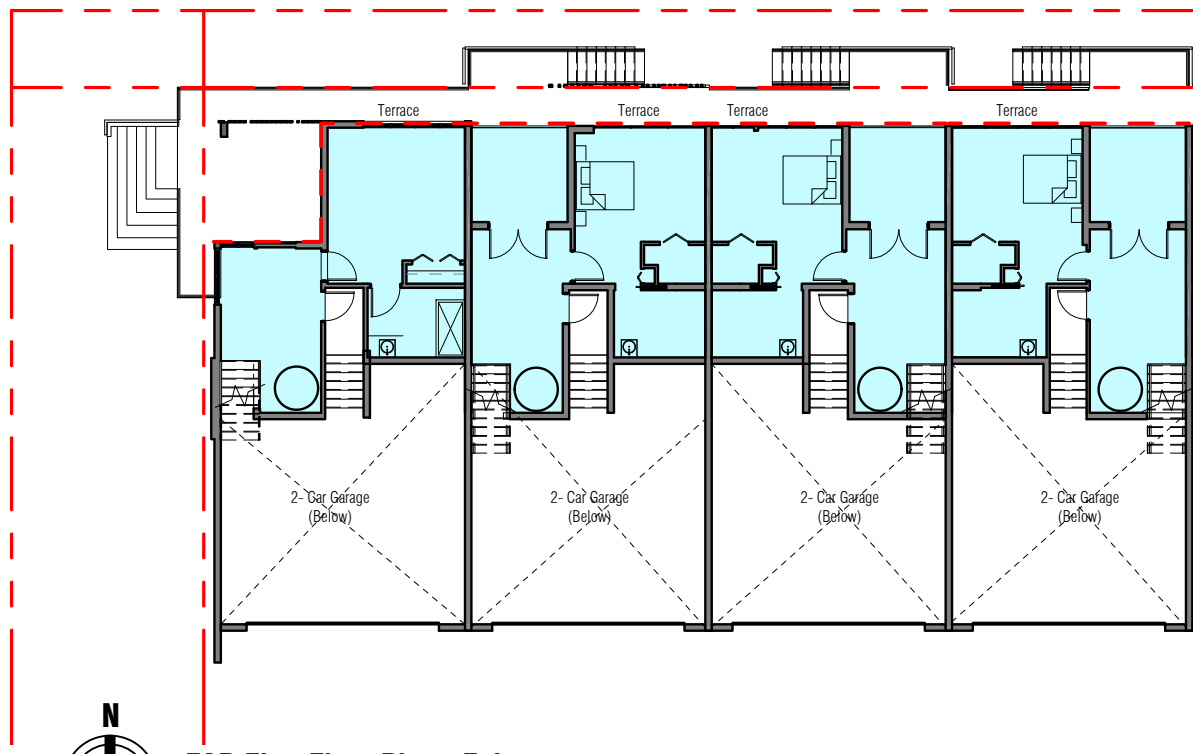
Diagram FAR Second
Scale: 1" = 30'-0"



FAR 2.5 Level Enlarge
Scale: 1" = 30'-0"

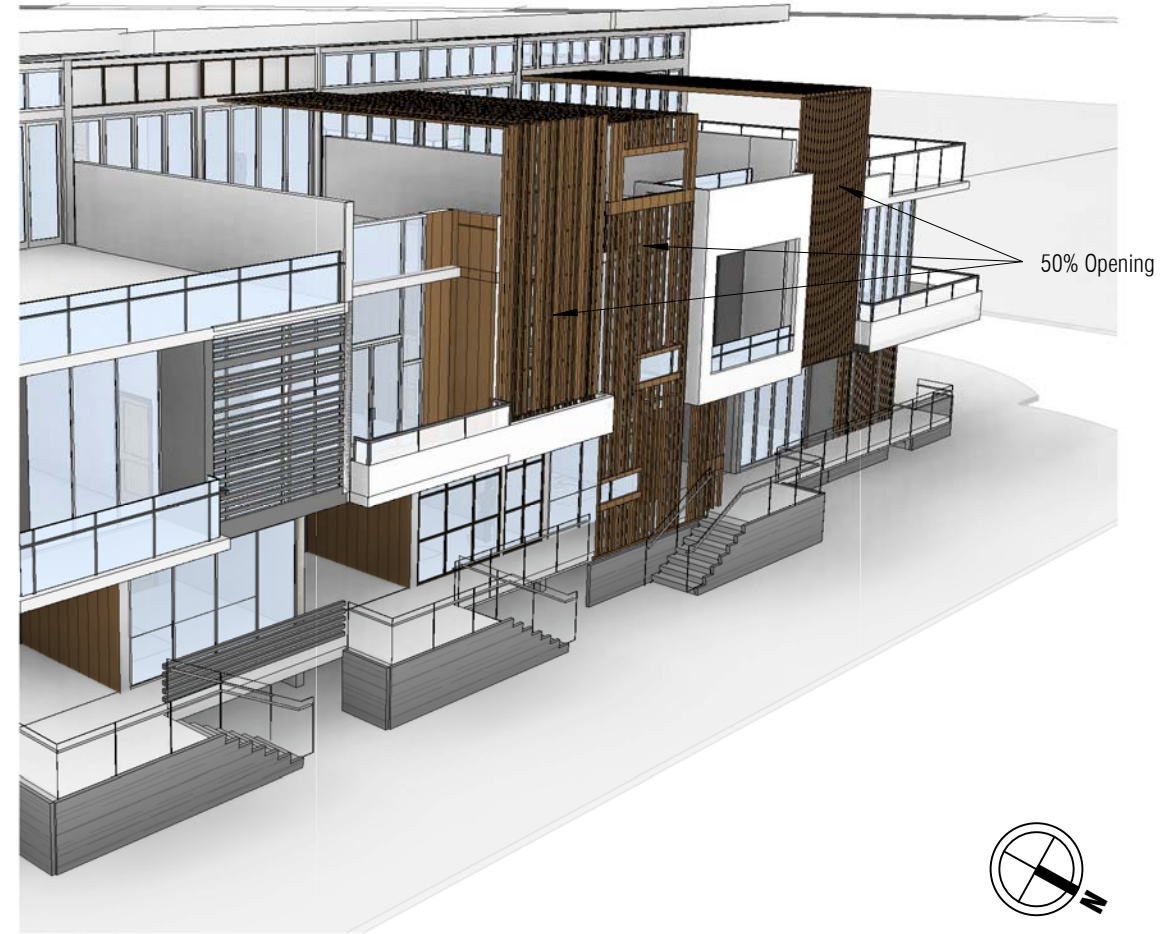


FAR Third Floor Enlarge
Scale: 1" = 30'-0"



FAR First Floor Plan - Enlarge

Scale: 1" = 20'-0"



FAR - Zoomed

Scale: N.T.S

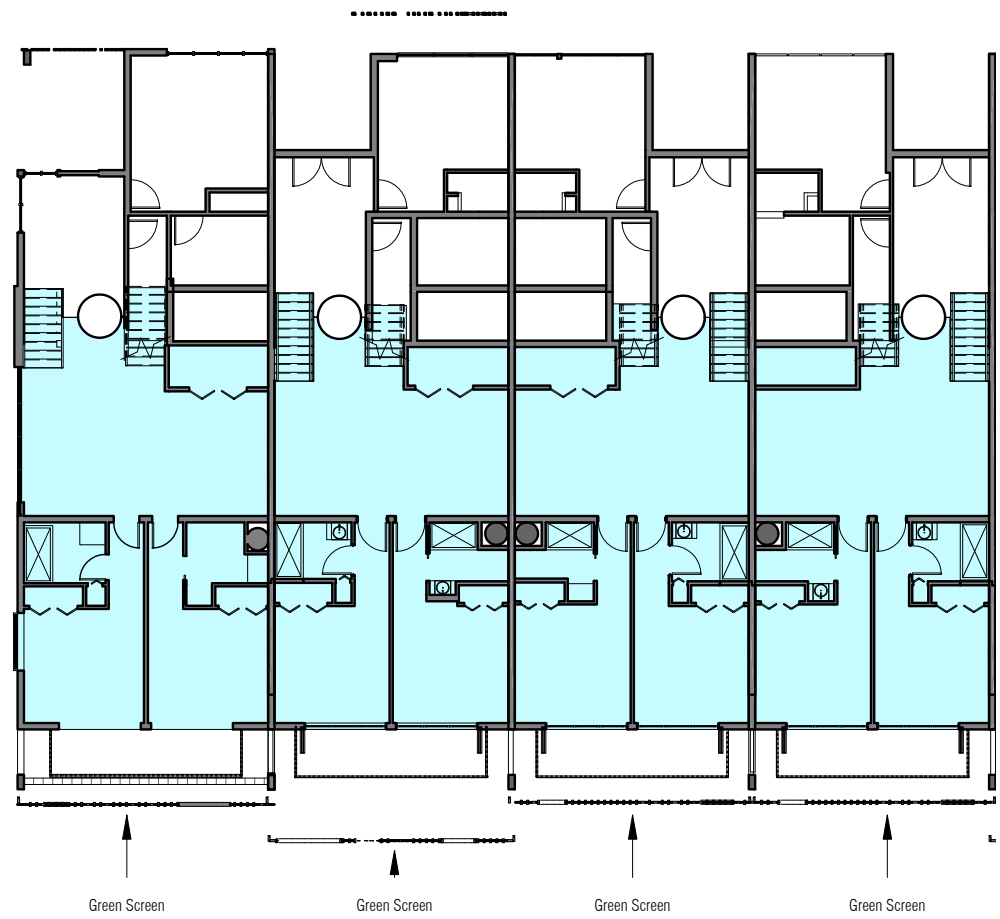
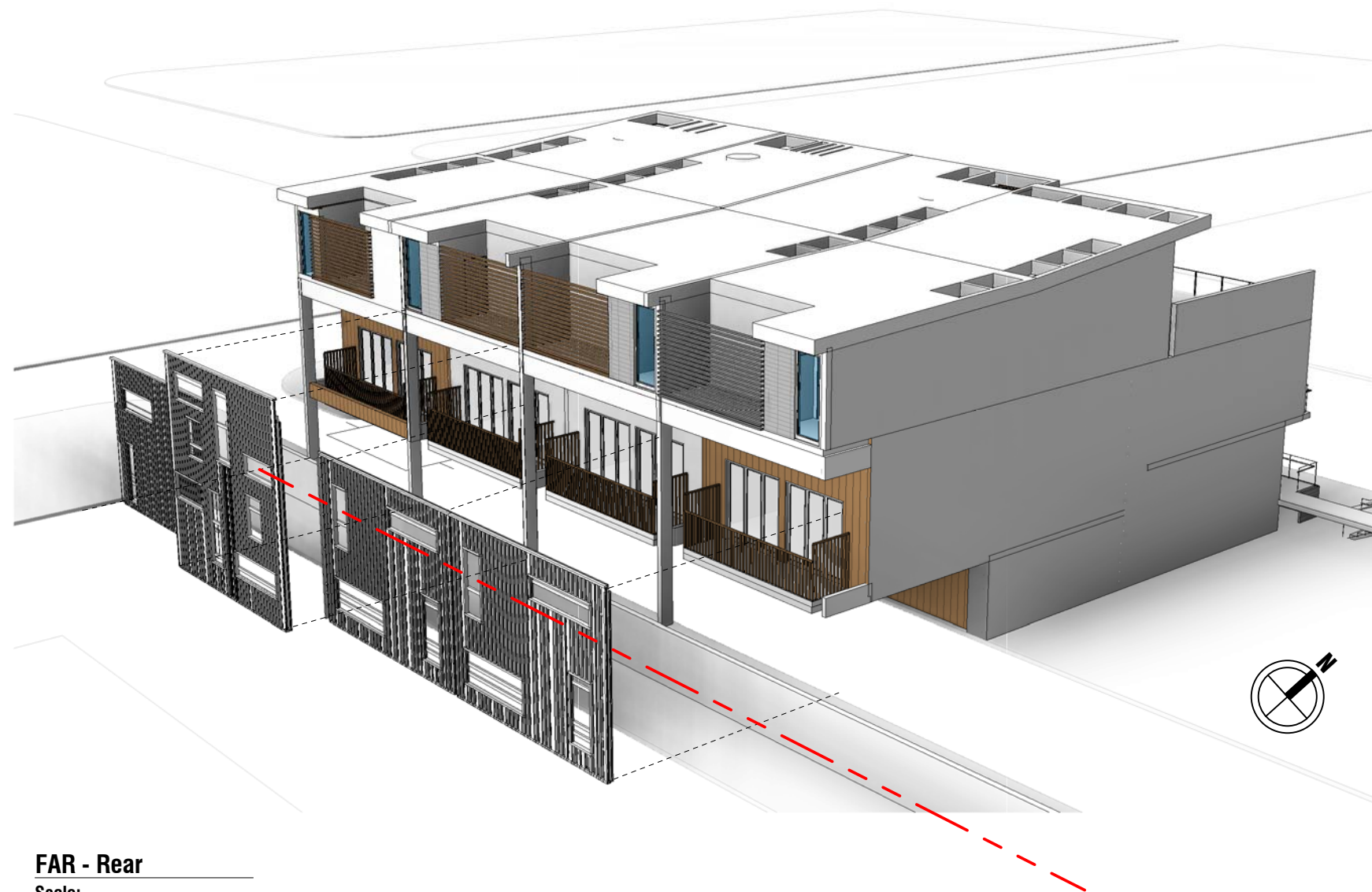
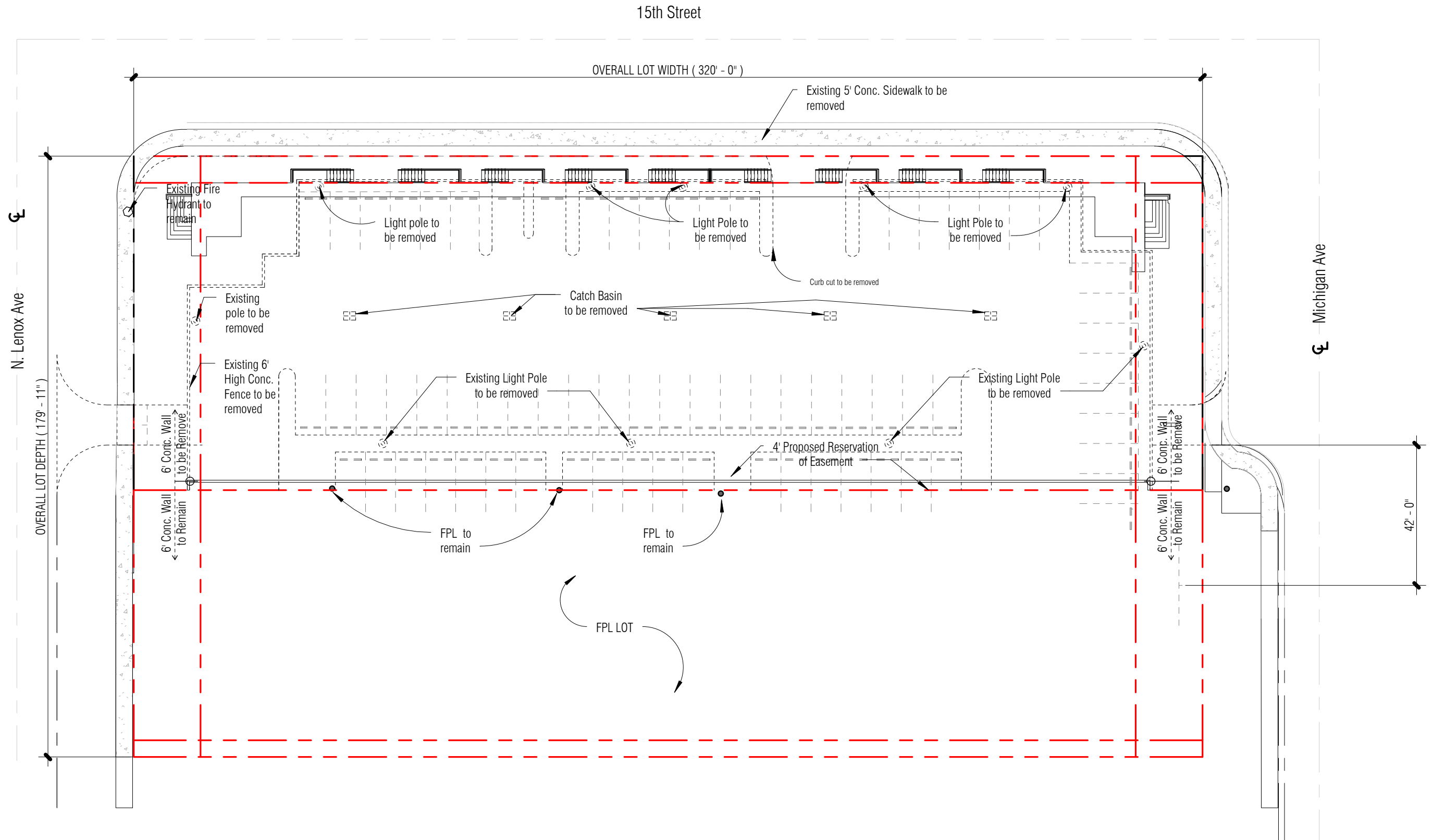
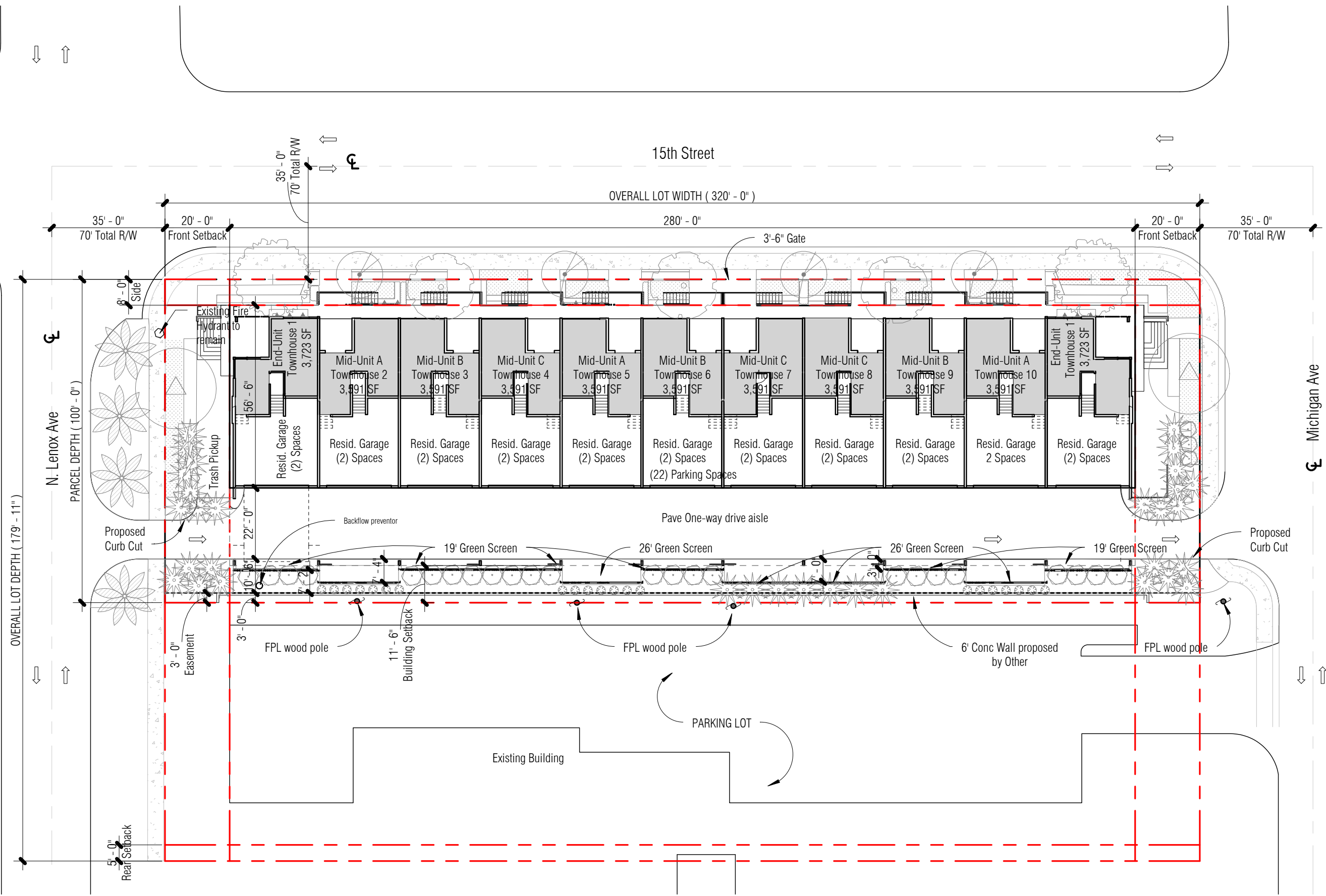


Diagram FAR Second Enlarge
 Scale: 1" = 20'-0"



FAR - Rear
 Scale: N.T.S





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Site Plan

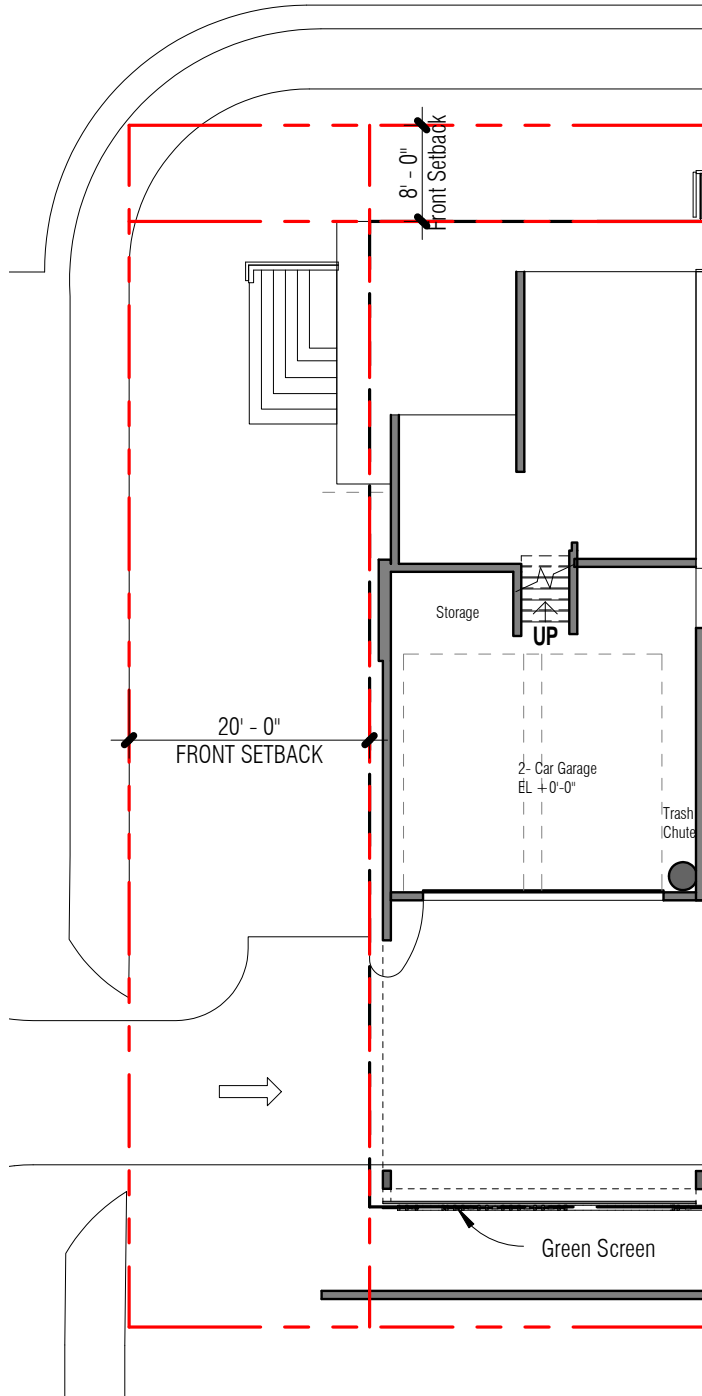
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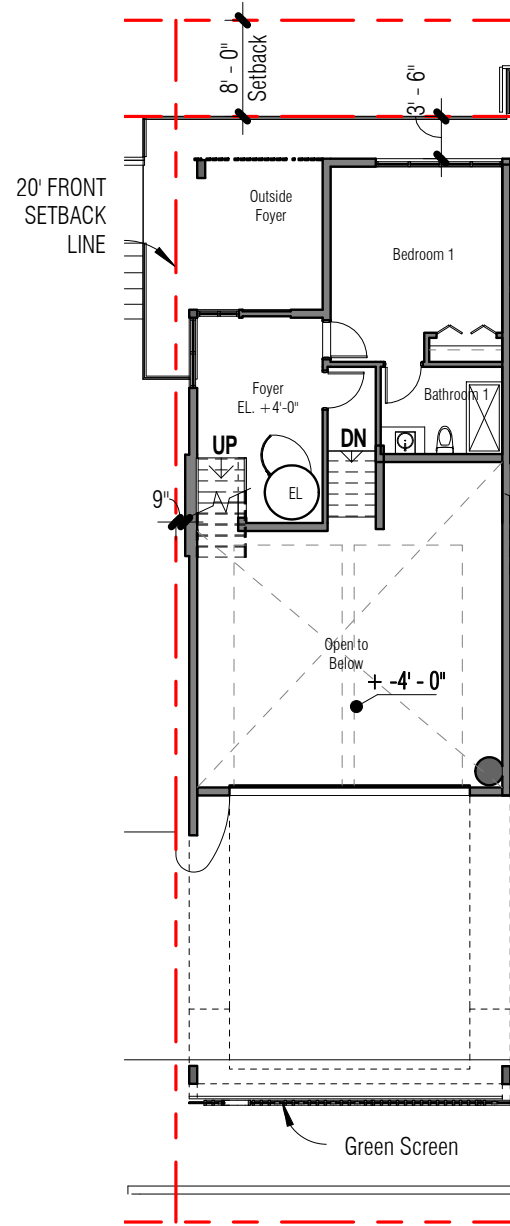
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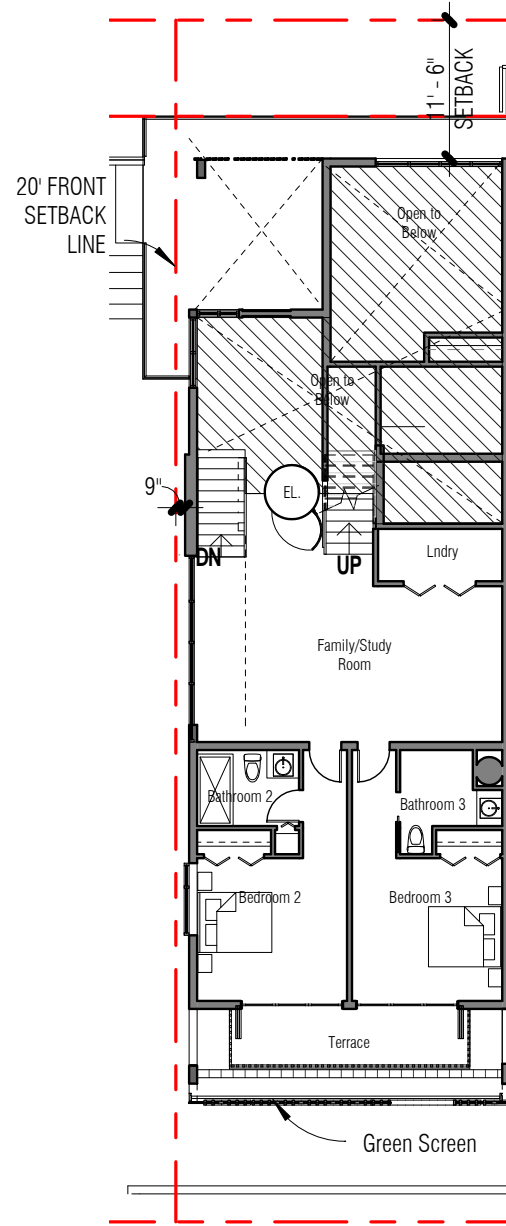
e info@zyscovich.com
w www.zyscovich.com



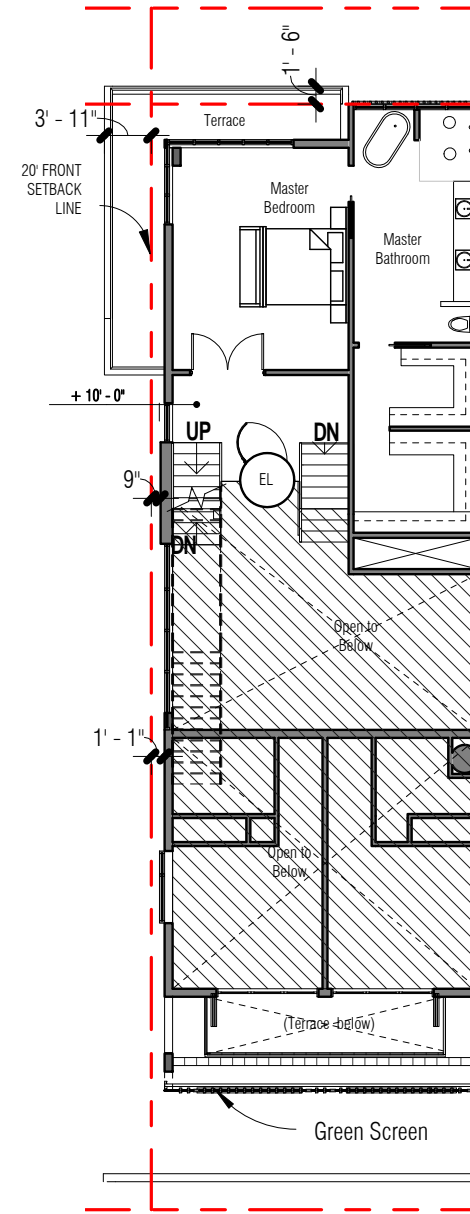
End Unit Level 0
Scale: 1/16" = 1'-0"



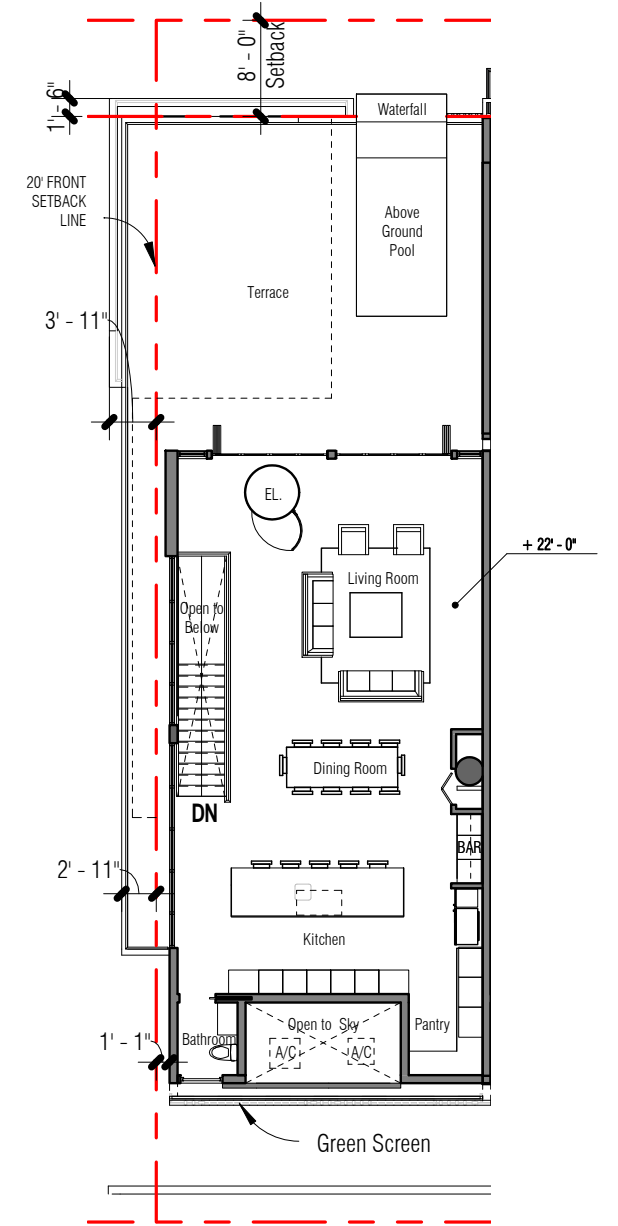
End Unit Level 1
Scale: 1/16" = 1'-0"



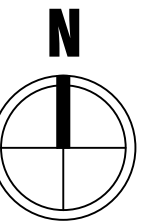
End Unit Level 2
Scale: 1/16" = 1'-0"

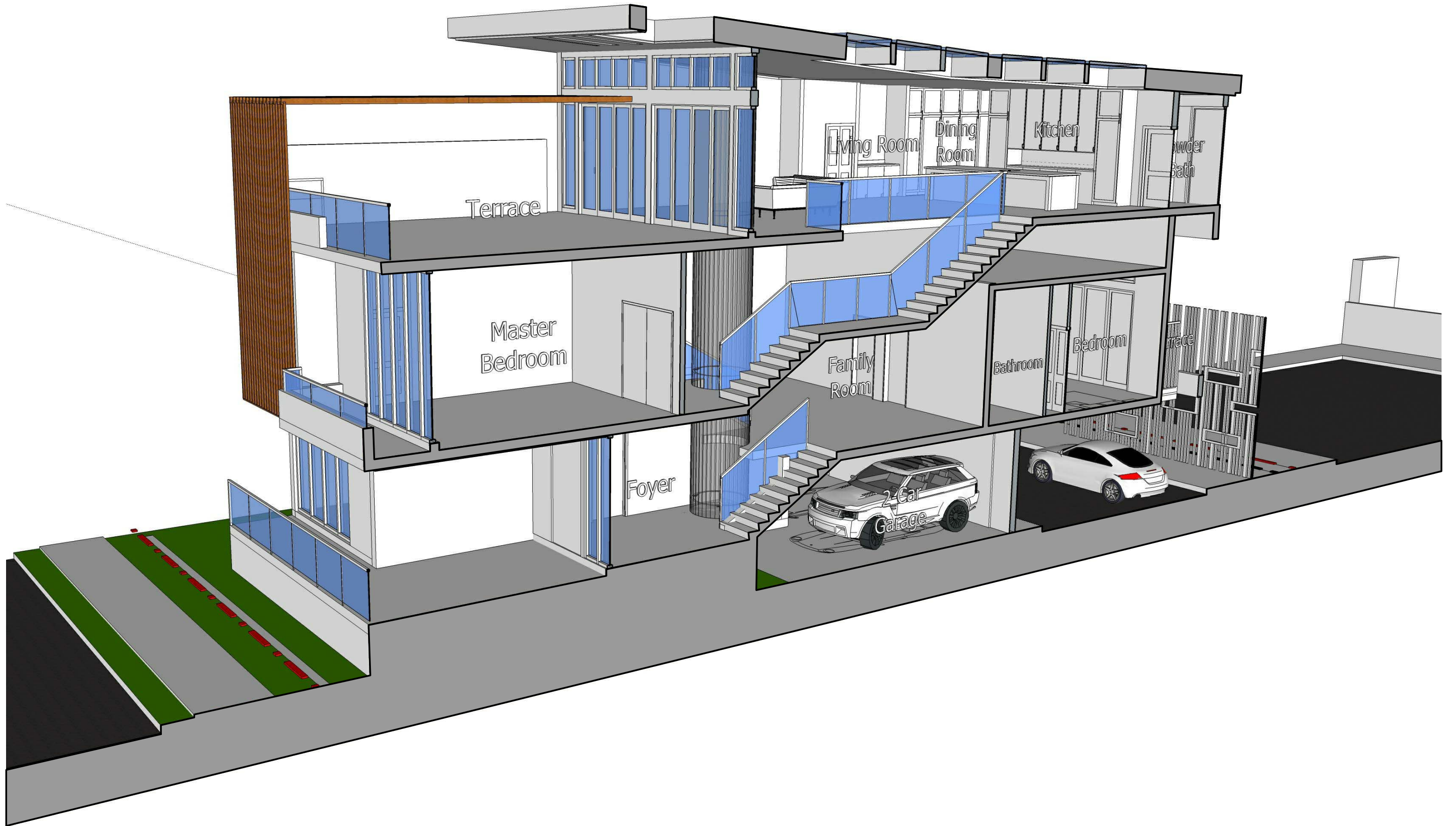


End Unit Level 2.5
Scale: 1/16" = 1'-0"



End Unit Level 3
Scale: 1/16" = 1'-0"





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End Unit Section

N.T.S

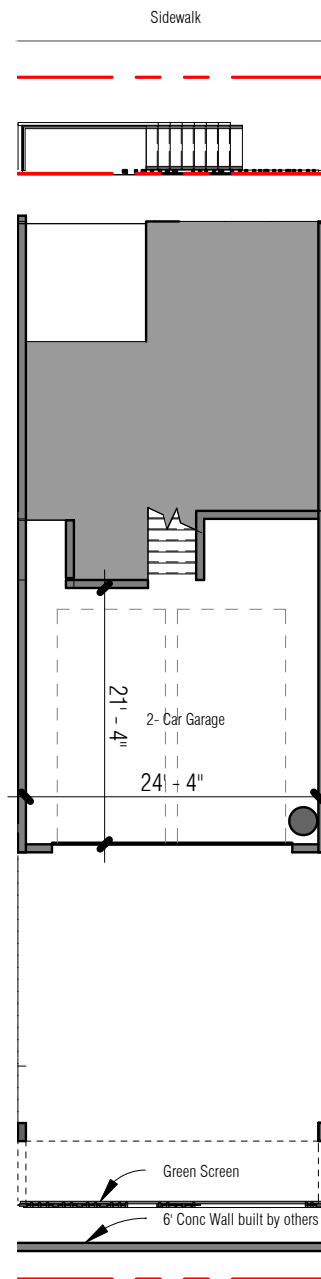
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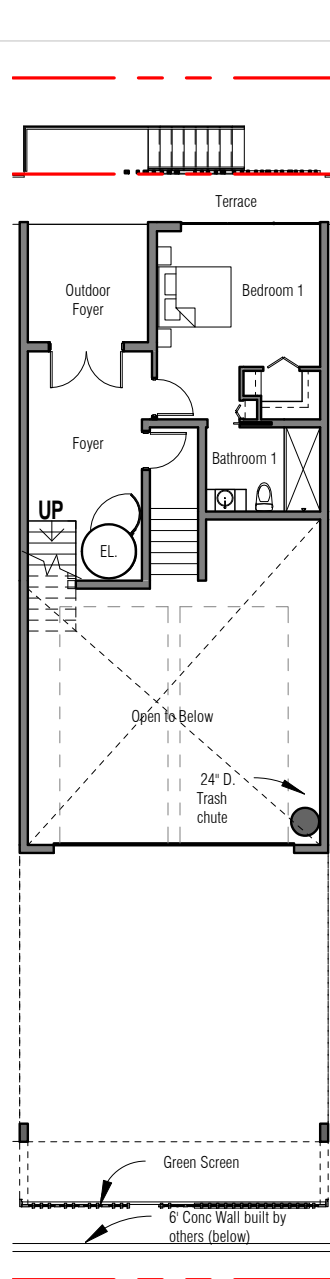
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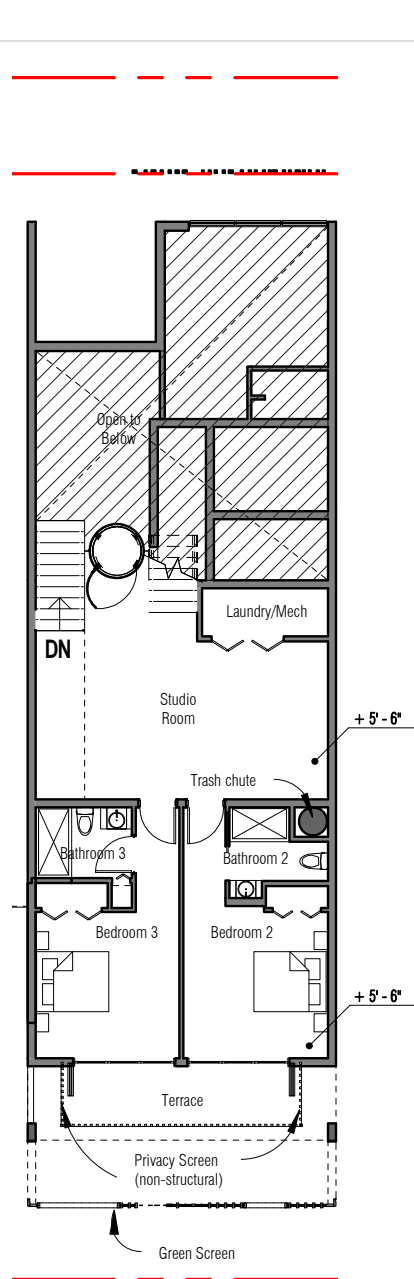
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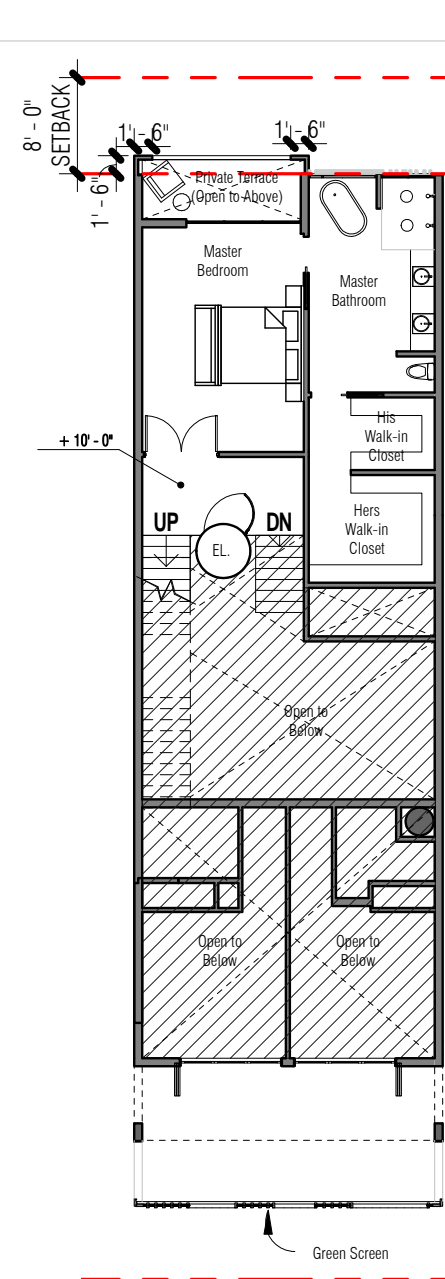
Mid Unit Level 0
Scale: 1/16" = 1'-0"



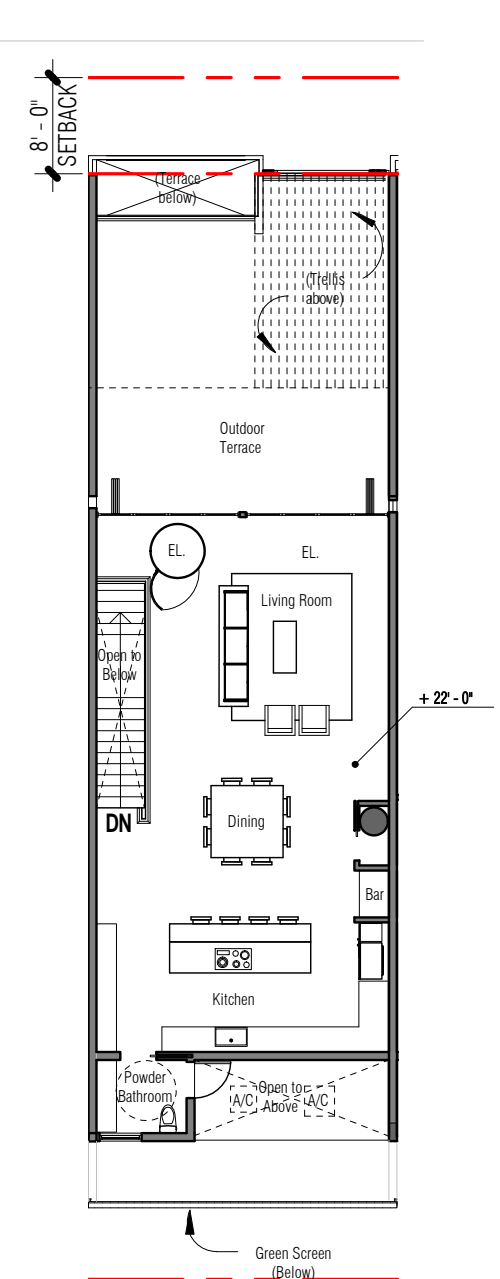
Mid Unit Level 1
Scale: 1/16" = 1'-0"



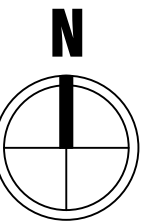
Mid Unit Level 2
Scale: 1/16" = 1'-0"



Mid Unit Level 2.5
Scale: 1/16" = 1'-0"



Mid Unit Level 3
Scale: 1/16" = 1'-0"





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City of Miami Beach - Development Application

Mid Unit Section

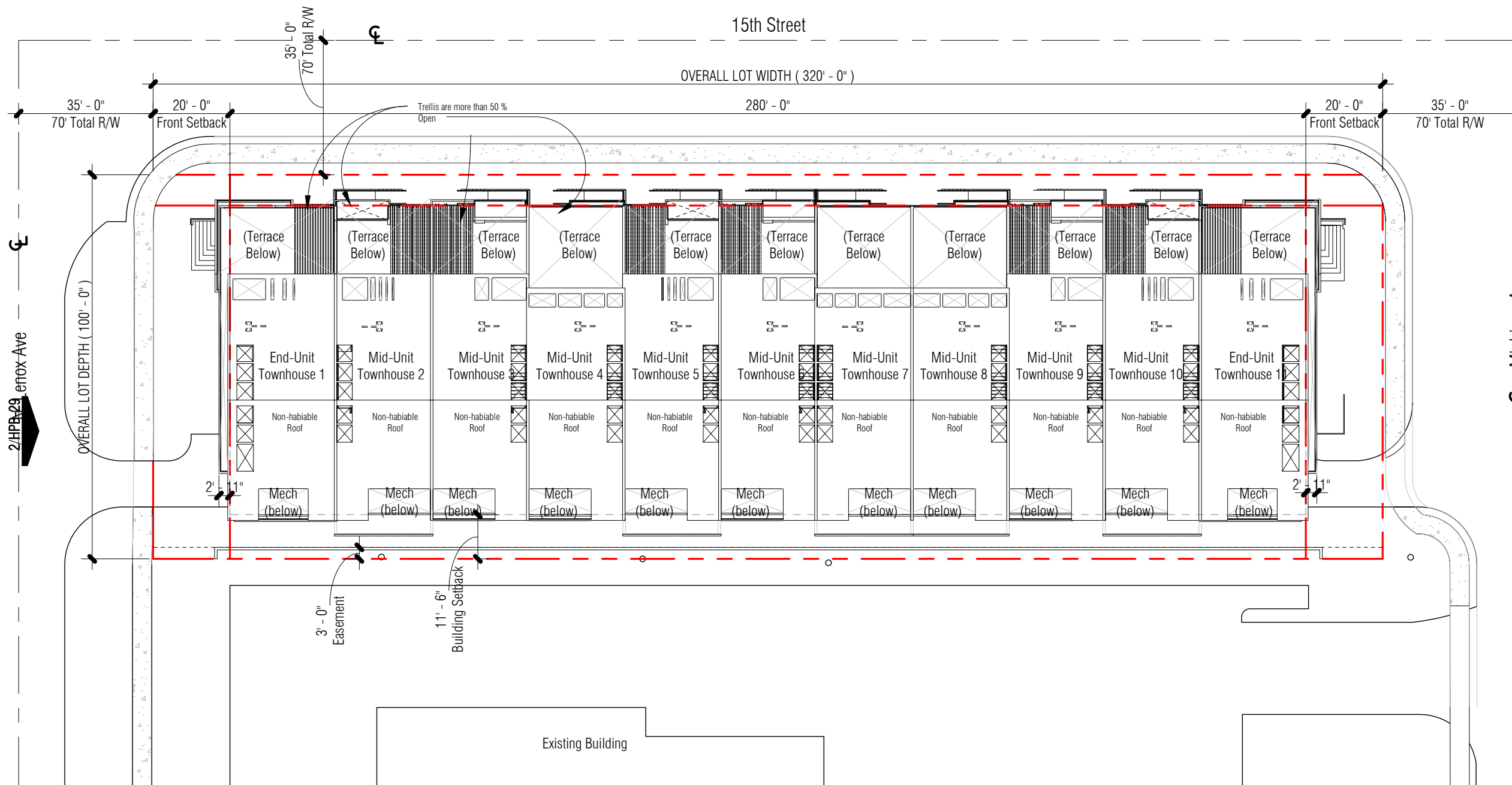
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Roof Plan

Scale: 1" = 30'-0"

1030 15th Street, Miami Beach, Florida

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Roof Plan

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ELEVATION LEGEND					
①	- CLEAR GLASS PANEL WITH BLACK ALUMINUM FRAMING.	⑦	- LIGHT-GREY TRELLIS (50% OPEN)	⑬	- METAL DOOR W/ WOOD TEXTURE & GLASS OPENING
②	- 5/8" SMOOTH WHITE STUCCO	⑧	- LAMINATED GLASS RAILING W/ WHITE TEXTURE	⑭	- STEEL W/ COMPOSITE TRELLIS (50% OPEN)
③	- 5/8" SMOOTH LIGHT GREY STUCCO	⑨	- SLIDING GLASS DOOR	⑮	- TRELLIS (50% OPEN)
④	- LIGHT-BROWN TRELLIS	⑩	- 3/4" HORIZONTAL GREY STONE	⑯	- METAL HANDRAIL
⑤	- LIGHT-BROWN TRELLIS (50% OPEN)	⑪	- 5/8" SMOOTH DARK GREY STUCCO	⑰	- LIGHT BROWN METAL GARAGE DOOR
⑥	- LIGHT-GREY TRELLIS	⑫	- (BLANK)		



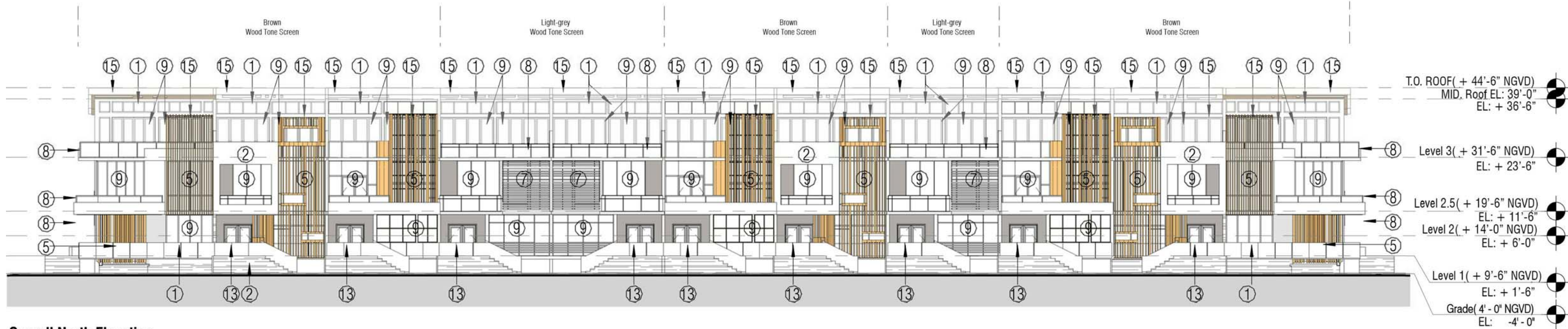
Overall North Elevation
Scale: 3/64" = 1'-0"



Overall South Elevation
Scale: 3/64" = 1'-0"

ELEVATION LEGEND

- ① - CLEAR GLASS PANEL WITH BLACK ALUMINUM FRAMING.
- ② - 5/8" SMOOTH WHITE STUCCO
- ③ - 5/8" SMOOTH LIGHT GREY STUCCO
- ④ - LIGHT-BROWN TRELLIS
- ⑤ - LIGHT-BROWN TRELLIS (50% OPEN)
- ⑥ - LIGHT-GREY TRELLIS
- ⑦ - LIGHT-GREY TRELLIS (50% OPEN)
- ⑧ - LAMINATED GLASS RAILING W/ WHITE TEXTURE
- ⑨ - SLIDING GLASS DOOR10 - 3/4" HORIZONTAL GREY STONE
- ⑩ - 5/8" SMOOTH DARK GREY STUCCO
- ⑪ - (BLANK)
- ⑫ - (BLANK)
- ⑬ - METAL DOOR W/ WOOD TEXTURE & GLASS OPENING
- ⑭ - STEEL W/ COMPOSITE TRELLIS (50% OPEN)
- ⑮ - TRELLIS (50% OPEN)
- ⑯ - METAL HANDRAIL
- 17 - LIGHT BROWN METAL GARAGE DOOR



Overall North Elevation

Scale: 3/64" = 1'-0"



Overall South Elevation

Scale: 3/64" = 1'-0"

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Townhouses North and South
Elevation

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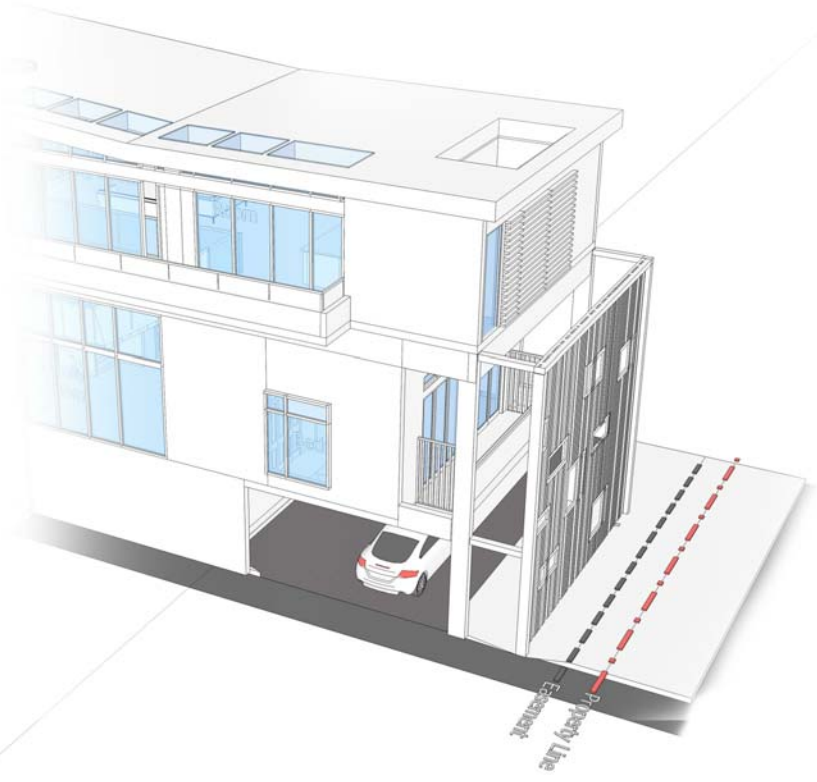
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SCREEN LEGEND	<p>TYPE A - DIMENSION (26'-1" x 19'-0") MATERIALITY: COMPOSITE WOOD & STEEL GREEN SCREEN GREATER THAN 50% OPEN DETAILS: SCREEN WILL HOST VINES.</p>	<p>TYPE B - DIMENSION : 25'-0" x 26'-0" MATERIALITY: COMPOSITE WOOD & STEEL GREEN SCREEN GREATER THAN 50% OPEN</p>	<p>TYPE C - DIMENSION : 25'-0" x 19'-0" MATERIALITY: COMPOSITE WOOD & STEEL GREEN SCREEN GREATER THAN 50% OPEN</p>
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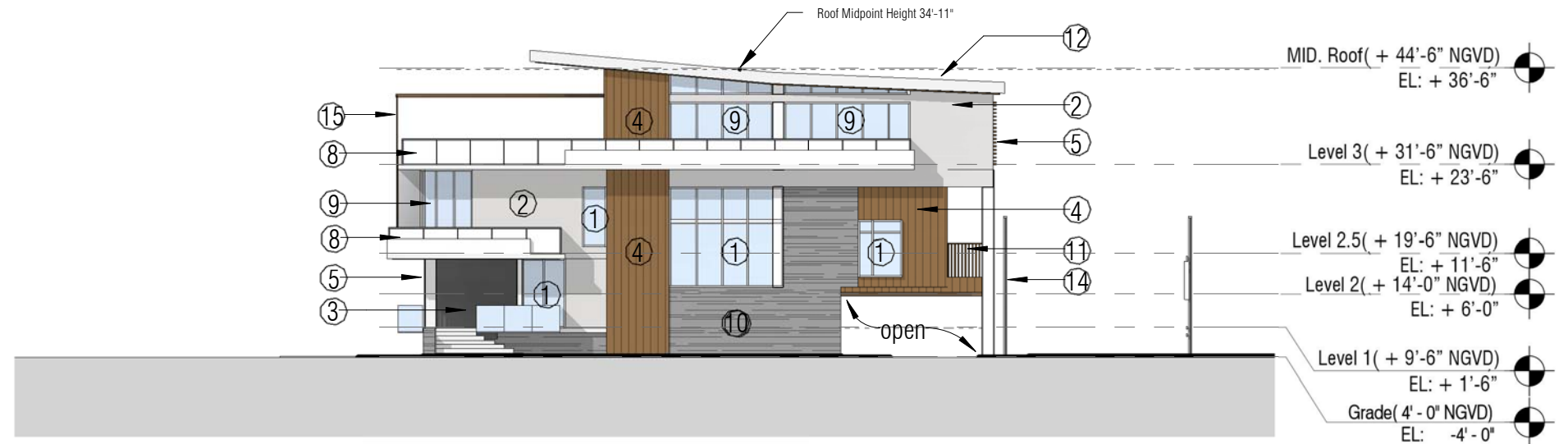
Overall South w/ Screen
 Scale: 3/64" = 1'-0"

GREEN SCREEN IS USED TO BUFFER THE VIEW OF ATT&T PARKING LOT IMMEDIATE NORTH.



ELEVATION LEGEND

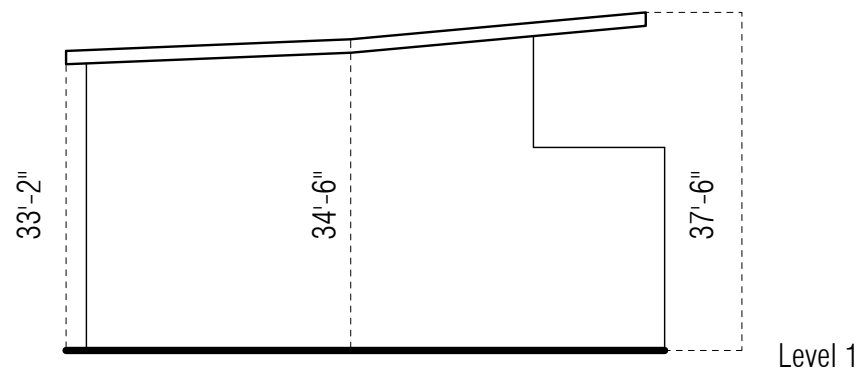
- ① - CLEAR GLASS PANEL WITH BLACK ALUMINUM FRAMING
- ② - 5/8" SMOOTH WHITE STUCCO
- ③ - 5/8" SMOOTH LIGHT GREY STUCCO
- ④ - LIGHT-BROWN TRELLIS (50% OPEN)
- ⑤ - LIGHT-BROWN TRELLIS (50% OPEN)
- ⑥ - LIGHT-GREY TRELLIS (50% OPEN)
- ⑦ - LIGHT-GREY TRELLIS (50% OPEN)
- ⑧ - LAMINATED GLASS RAILING W/ WHITE TEXTURE
- ⑨ - SLIDING GLASS DOOR
- ⑩ - 5/8" SMOOTH DARK GREY STUCCO
- ⑪ - ALUMINUM PRIVACY SCREEN (50% OPEN)
- ⑫ - METAL DECK ROOF
- ⑬ - METAL DOOR W/ WOOD TEXTURE & GLASS OPENING
- ⑭ - STEEL W/ COMPOSITE WOOD TRELLIS (50% OPEN)
- ⑮ - TRELLIS (50% OPEN)



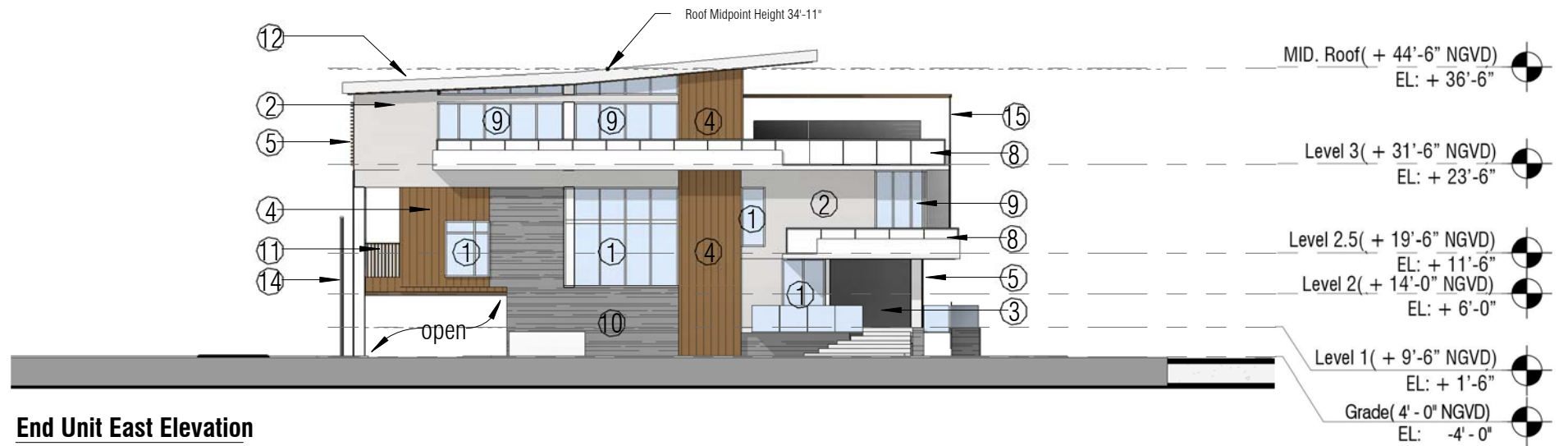
End Unit West Elevation

Scale: 3/64" = 1'-0"

BUILDING HEIGHT CALCULATION, N.T.S.

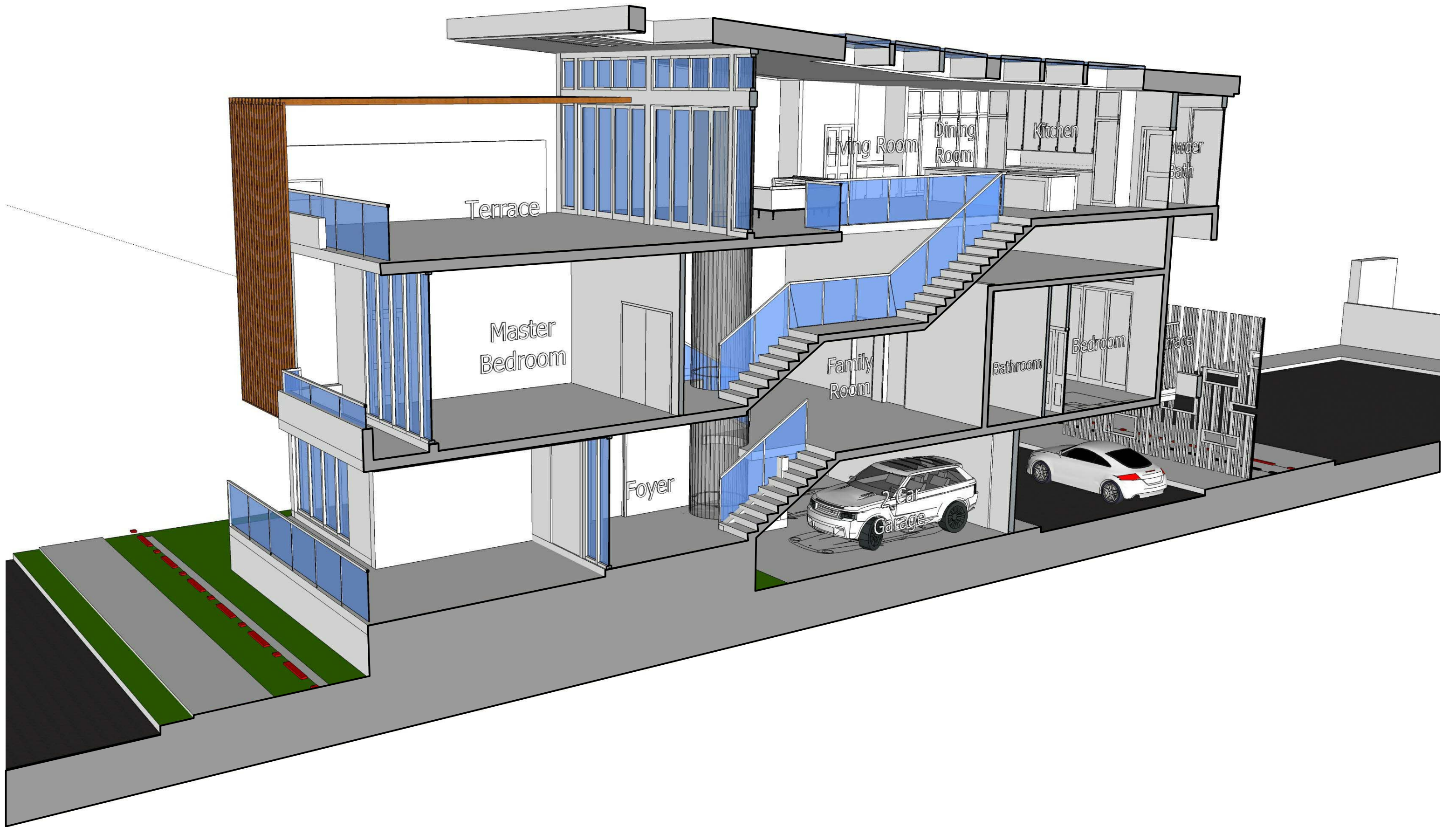


$(33'-2" + 34'-6") / 2 = 33.833'$
 $(34'-6" + 37'-6") / 2 = 36'$
 $(36'-0" + 33.833') / 2 = 34'-11" \text{ (Average Roof Height)}$



End Unit East Elevation

Scale: 3/64" = 1'-0"



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End Unit Section

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