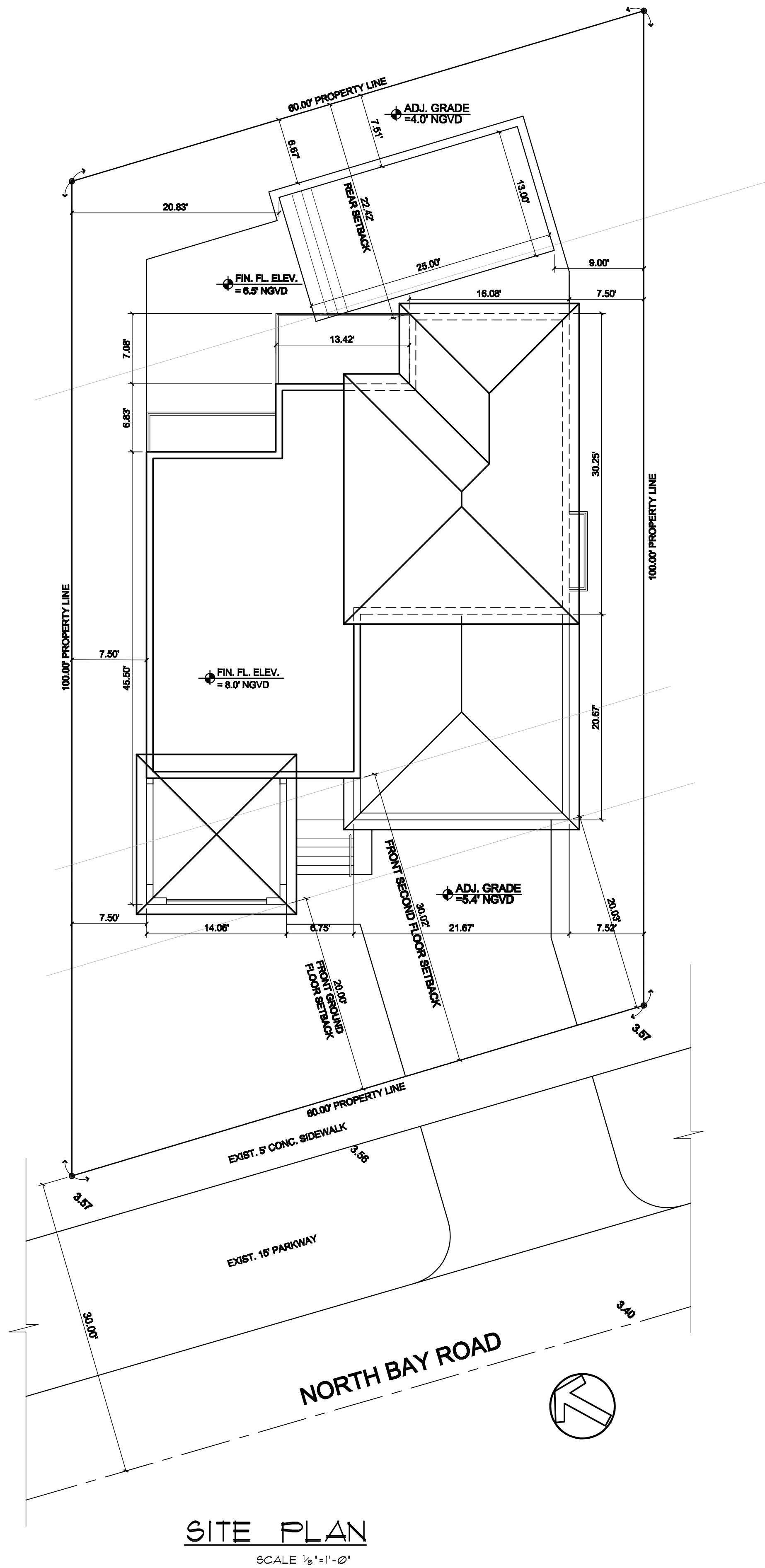


LOCATION MAP

SITE STATISTICS				
1	ADDRESS:	4193 N. BAY ROAD		
2	FOLIO NUMBER:	02-3222-011-1520		
3	BOARD AND FILE NUMBER:	DRB 23246		
4	YEAR BUILT:	1923		
5	BASED FLOOD ELEVATION:	7 FEET		
6	ADJUSTED GRADE (FLOOD+GRADE/2):	5.29		
7	LOT AREA:	5,750.00 SF.		
8	LOT WIDTH:	60.00'		
9	MAX. LOT COVERAGE SF. AND %:	1,725.00 SF. (30 %)		
10	EXISTING LOT COVERAGE SF. AND %:	1,482.48 SF. (25.78%)		
11	FRONT YARD OPEN SPACE SF. AND %: (35% MIN.)	801.18 SF. (76.77%) *		
12	MAX. UNIT SIZE SF. AND %:	2,875.00 S.F. (50%)		
13	EXISTING FIRST FLOOR UNIT SIZE:	1,482.48 SF.		
14	EXISTING SECOND FLOOR UNIT SIZE:	1,094.27 SF.		
		ZONING DISTRICT:	RS-4	
		GRADE VALUE IN NGVD:	4.50	
		FREE BOARD:	0	
		LOT DEPTH:	100.00'	
		PROPOSED LOT COVERAGE SF. AND %:	1500.56 SF. (26.10%)	
		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF.:	464.89 SF	
		REAR YARD OPEN SPACE SF. AND %: (70% MIN.)	849.57 SF. (70.80%) **	
		PROPOSED UNIT SIZE SF. AND %: (50% MAX.)	2,864.96 SF. (49.83%)	
		PROPOSED FIRST FLOOR UNIT SIZE	1,993.58 SF.	
		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF. AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB APPROVAL):	1375.82 SF	
		PROPOSED SECOND FLOOR UNIT SIZE SF. AND %:	1364.42 SF. (69.42%)	
		PROPOSED ROOF DECK AREA SF. AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	325.43 SF. (21.69%)	
15				
16				
		REQUIRED	EXISTING	PROPOSED
17	HEIGHT:	27.00'	20.00'	27.00'
18	SETBACKS:			
19	FRONT FIRST LEVEL:	20.00'	28.42'	20.00'
20	FRONT SECOND LEVEL:	30.00'	28.42'	30.02'
21	SIDE 1:	7.50'	8.33' / 10.33'	7.50'
22	SIDE 2 OR (FACING STREET):	N/A	N/A	N/A
23	REAR:	20.00'	22.58'	20.08'
24	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A
26	SUM OF SIDE YARD:	15.00'	18.66'	15.00'
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT:		NO	
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE:		NO	
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT:		NO	

\* 35% FRONT YARD OPEN SPACE OF 1,200 S.F. = 420 SF. MINIMUM  
\*\* 70% REAR YARD OPEN SPACE OF 1,200 S.F. = 840 SF. MINIMUM



LOT 9

FELIX PARDO  
LIC.# 2236

REVISIONS	BY
02/10/16	SP
04/11/16	SP

FELIX PARDO & ASSOCIATES, INC.  
ARCHITECTURE / PLANNING / INTERIORS  
255 UNIVERSITY DRIVE - CORAL GABLES, FLORIDA 33134  
Phone: (305) 445-4555 Fax: (305) 445-1006 AA 0002476

PROPOSED RESIDENCE FOR:  
Mr. SETH HELLER  
Job Address: 4193 NORTH BAY ROAD MIAMI BEACH, FLORIDA  
Phone: (305) 200-0000

Date	12/01/15
Scale	AS SHOWN
Drawn	SP
Job	201451
Sheet	

SP-1

Of - Sheets



DBB COMMENTS  
DBB COMMENTS

REVISIONS	BY
02/10/16	SP
04/11/16	SP

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Date  
12/01/15  
Scale  
AS SHOWN  
Drawn  
SP  
Job  
201451  
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Of - Sheets

SITE STATISTICS

LOT AREA 5,750.00 SqFt. (100%)

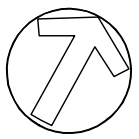
UNIT SIZE  
ALLOWED 2,875.00 SqFt. (50% MAX).  
PROVIDED  
GROUND FLOOR (AVC) 1,500.56 SqFt.  
SECOND FLOOR (AVC) 1,364.42 SqFt.  
TOTAL (AVC) 2,864.98 SqFt. (49.83%)

SECOND FLOOR RATIO  
2nd FLOOR AREA ALLOWED 1,375.82 SqFt. 70% of grd fl max  
PROVIDED 1,364.42 SqFt. (99.42%)

ROOF DECK AREA  
PROVIDED 214.14 SqFt. (14.27%).

UNIT SIZE DIAGRAM

SCALE 1"=10'



LOT COVERAGE  
DIAGRAM

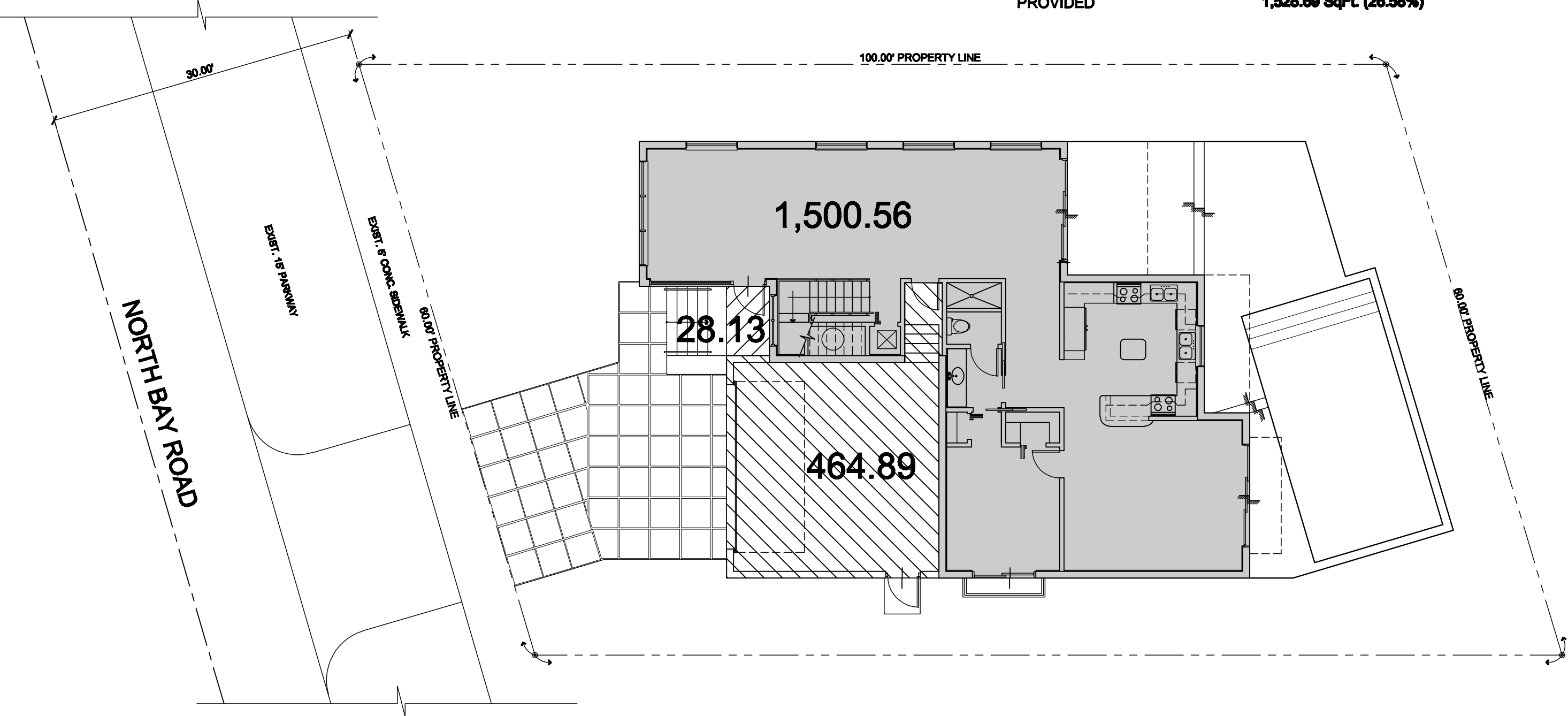
SCALE 1"=10'



SITE STATISTICS

LOT AREA 5,750.00 SqFt. (100%)

LOT COV  
ALLOWED 1,725.00 SqFt. (30% max)  
GROUND FLOOR AREA 1,993.57 SqFt.  
DEDUCTED (GARAGE-STO.) SF.: 464.89 SqFt. (up to 500 sf)  
PROVIDED 1,528.69 SqFt. (26.56%)

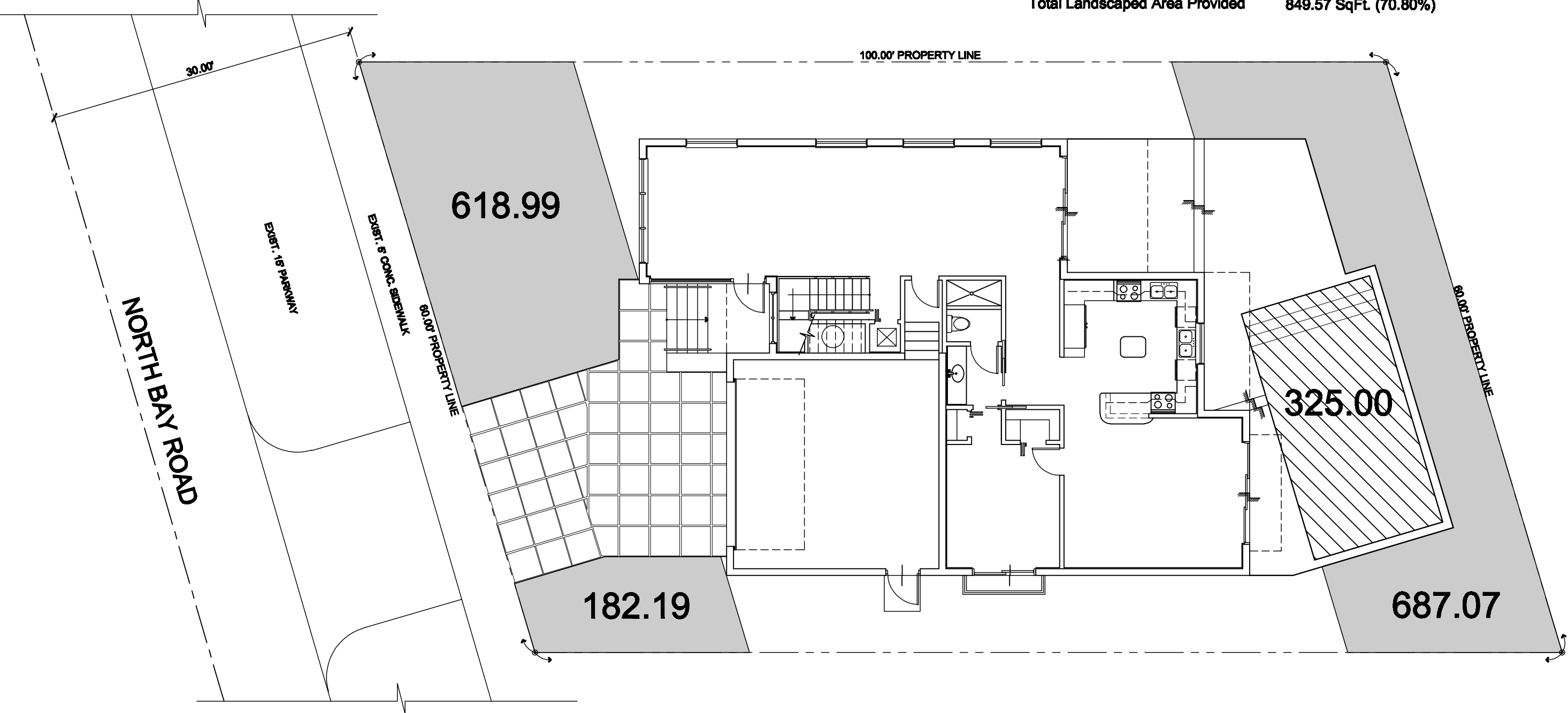


REQUIRED YARD  
DIAGRAM

SCALE 1"=10'

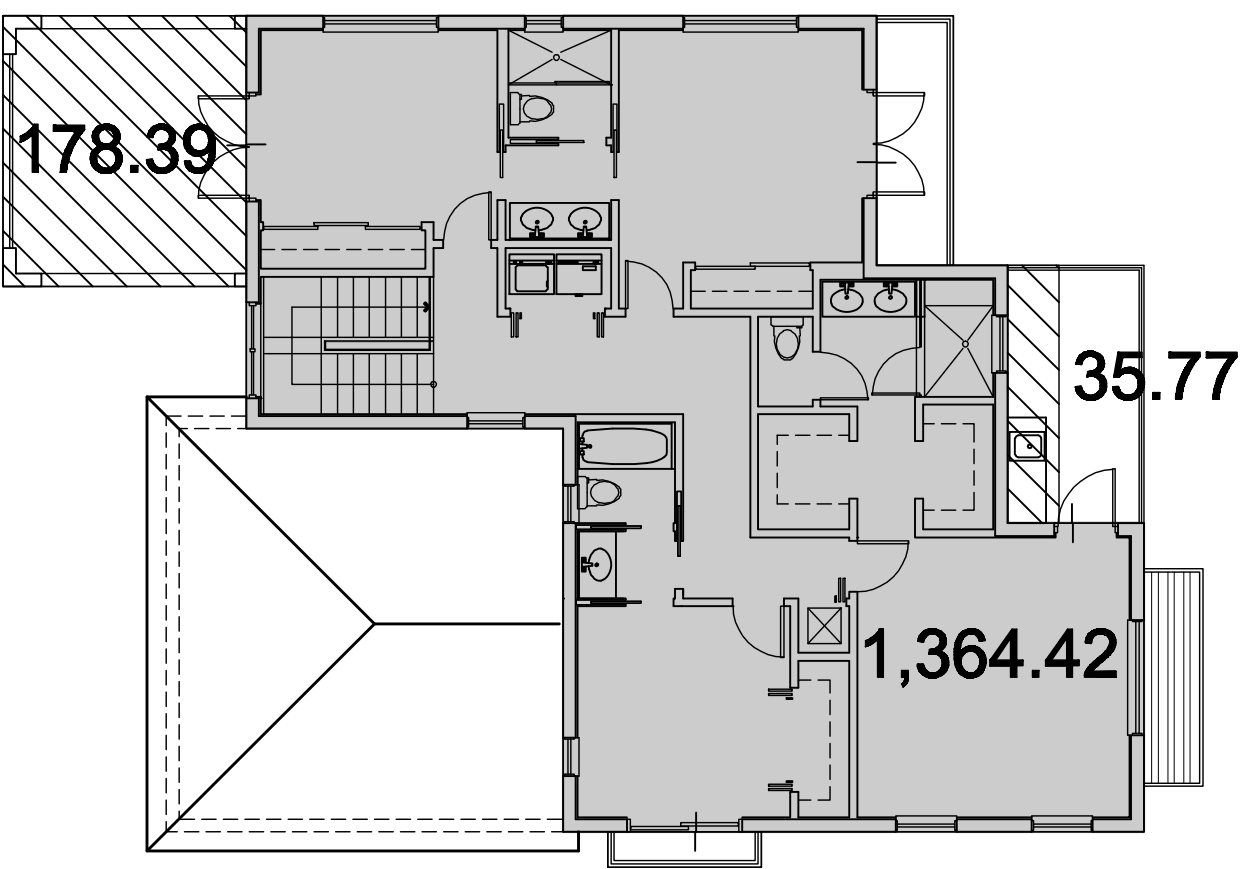
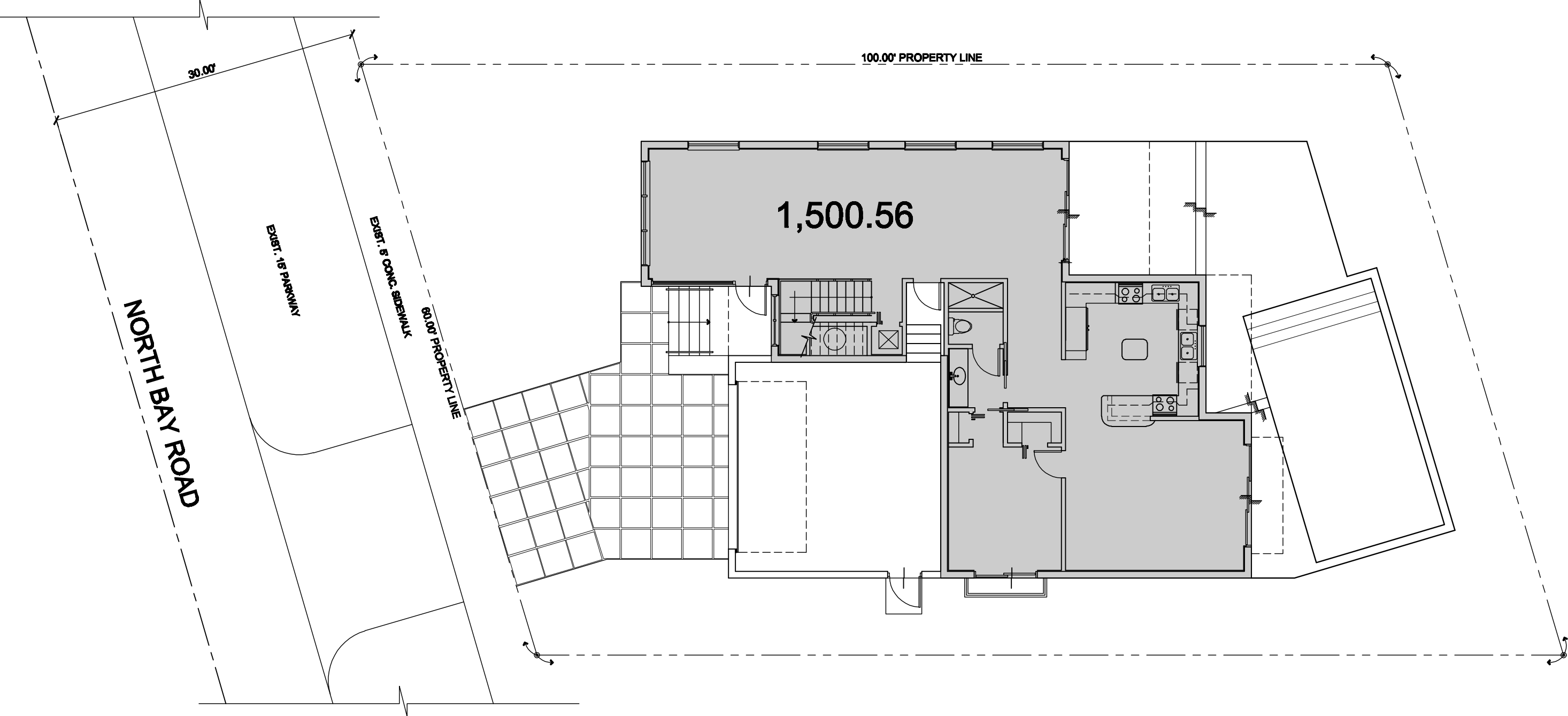


REQUIRED FRONT YARD 1,200 SqFt  
Landscaped pervious open space 420 SqFt. (35%)  
Landscaped area Provided 801.18 SqFt. (76.77%)  
REQUIRED REAR YARD 1,200 SqFt  
Landscaped pervious open space 840 SqFt. (70%)  
Landscaped area 687.07 SqFt.  
Swimming pool (325.00 sf) 162.50 SqFt. (50%)  
Total Landscaped Area Provided 849.57 SqFt. (70.80%)



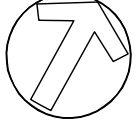
GROUND FLOOR

SCALE 1"=10'



SECOND FLOOR

SCALE 1"=10'



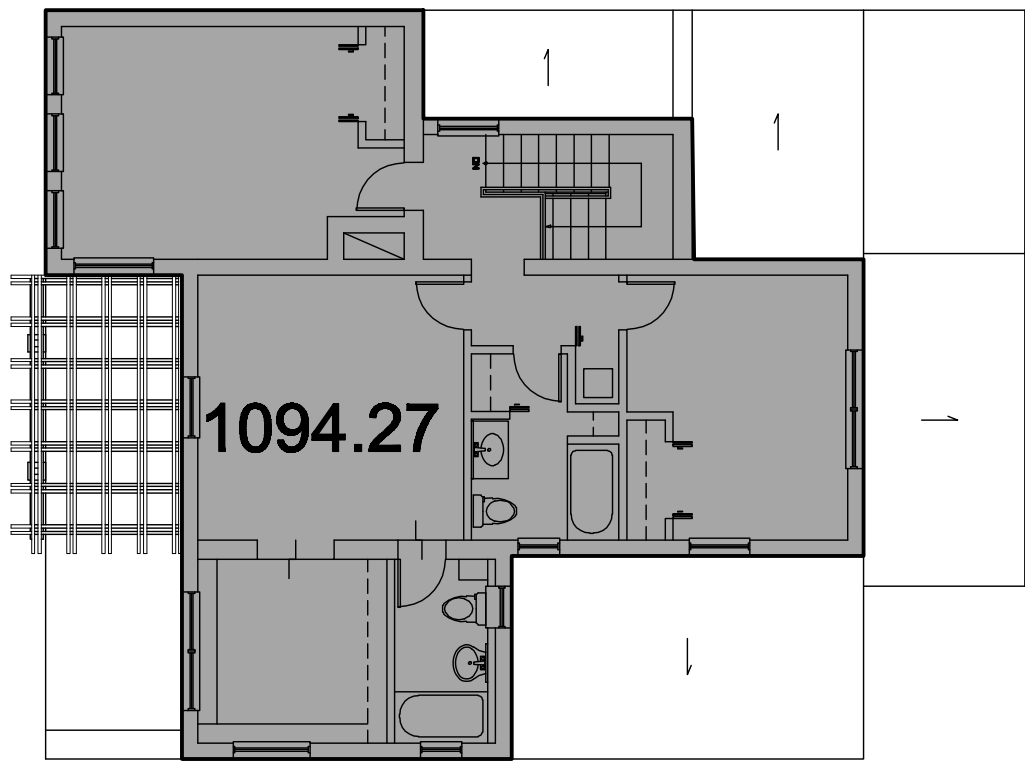
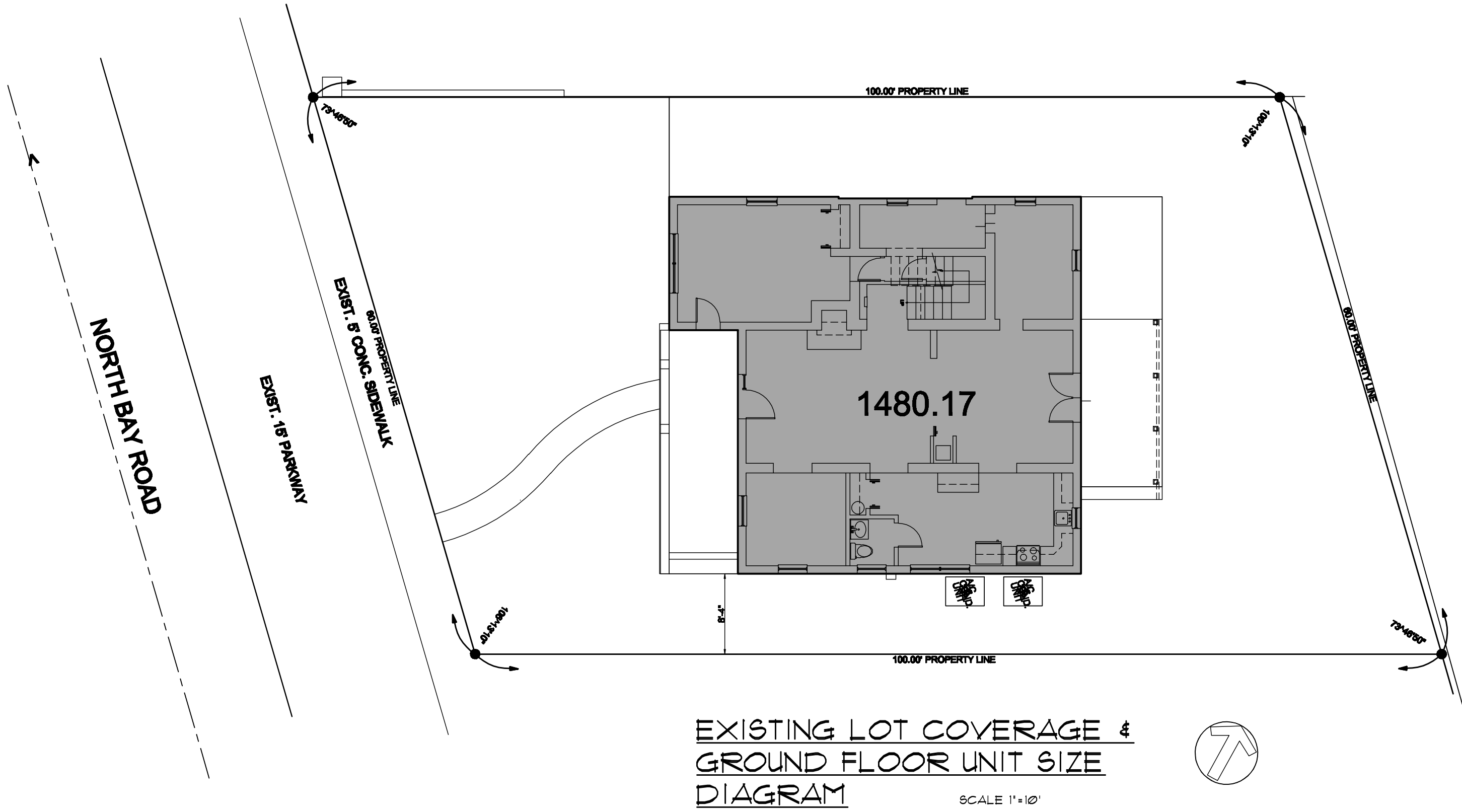
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PROPOSED RESIDENCE FOR:  
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Job Address: 4193 NORTH BAY ROAD, MIAMI BEACH, FLORIDA  
Phone: (305) 200-0000

Date	12/01/15
Scale	AS SHOWN
Drawn	SP
Job	201451
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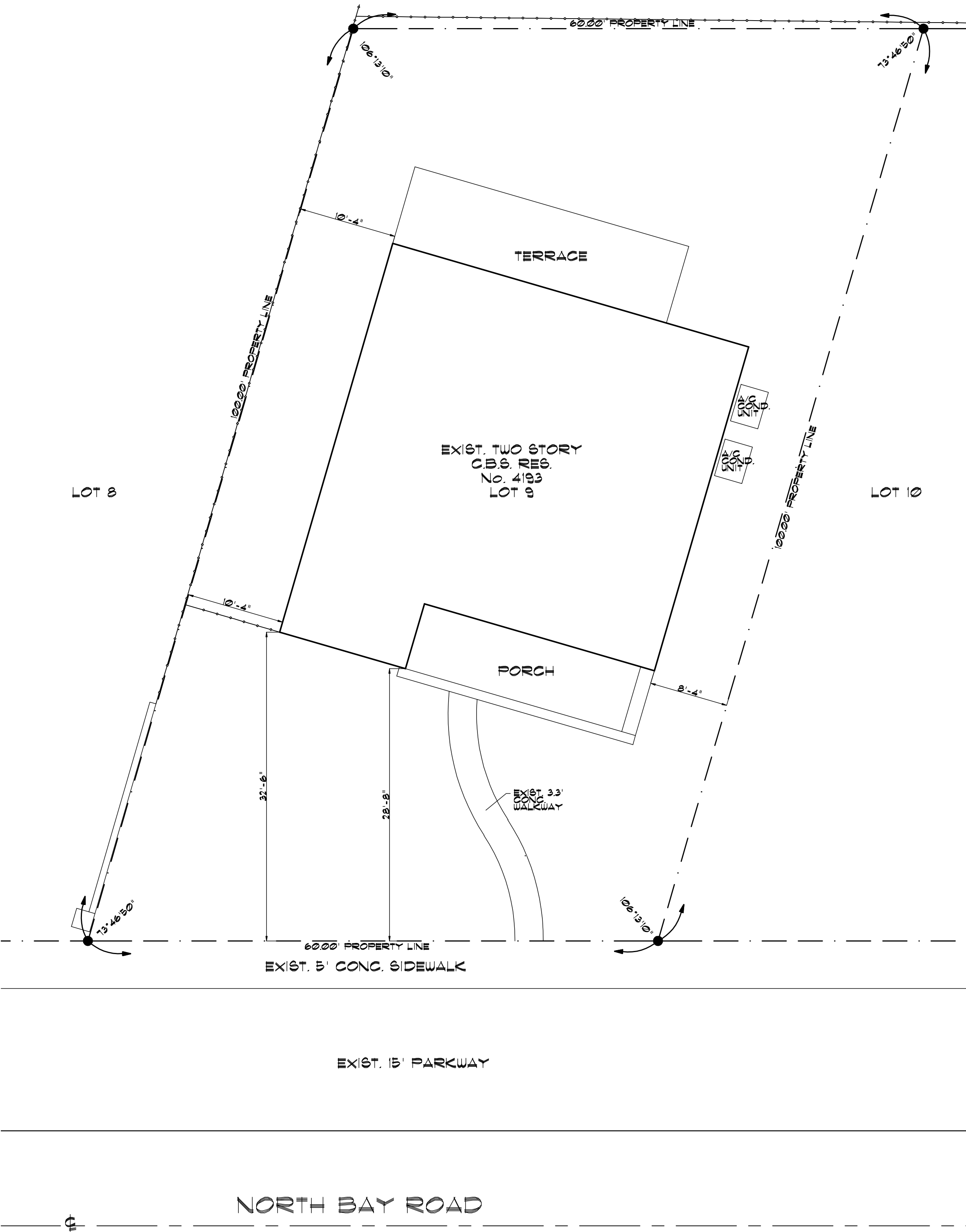
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Of - Sheets



SITE STATISTICS	
LOT AREA	5,781.19 SqFt. (100%)
LOT COV	
ALLOWED	1,728.35 SqFt. (30% max)
PROVIDED	1,480.17 SqFt. (25.69%)
UNIT SIZE	
ALLOWED	2,880.59 SqFt. (50% MAX).
PROVIDED	
GROUND FLOOR (A/C)	1,480.17 SqFt
SECOND FLOOR (A/C)	1,094.27 SqFt
GARAGE	N/A
TOTAL (A/C)	2,574.44 SqFt (44.78%)
SECOND FLOOR RATIO	
GROUND FLOOR (A/C)	1,480.17 SqFt
2nd FLOOR AREA ALLOWED	1036.12 SqFt. 70% of grd fl max
PROVIDED	1,094.27 SqFt (74.13%)

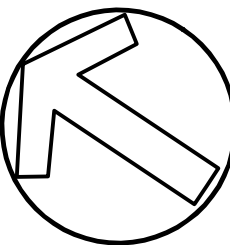
SITE STATISTICS	
LOT AREA	5,781.19 SqFt. (100%)
MAIN HOUSE	1,509.61 SqFt. (28.20%)
GARAGE	0 - (LESS THAN 500 SqFt.)





EXISTING SITE CONDITION

SCALE: 1/8"=1'-0"



FELIX PARDO  
LIC.# 2236

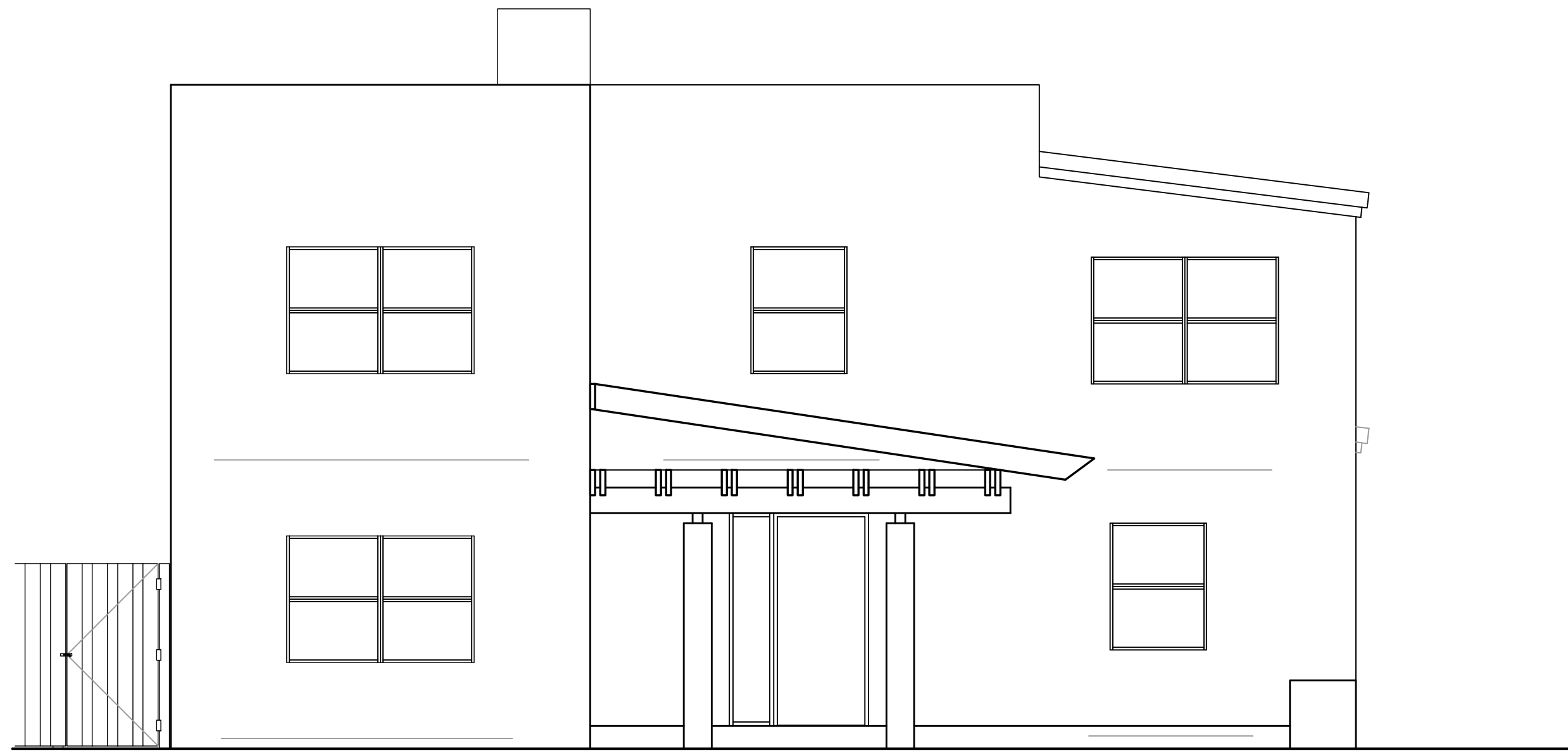
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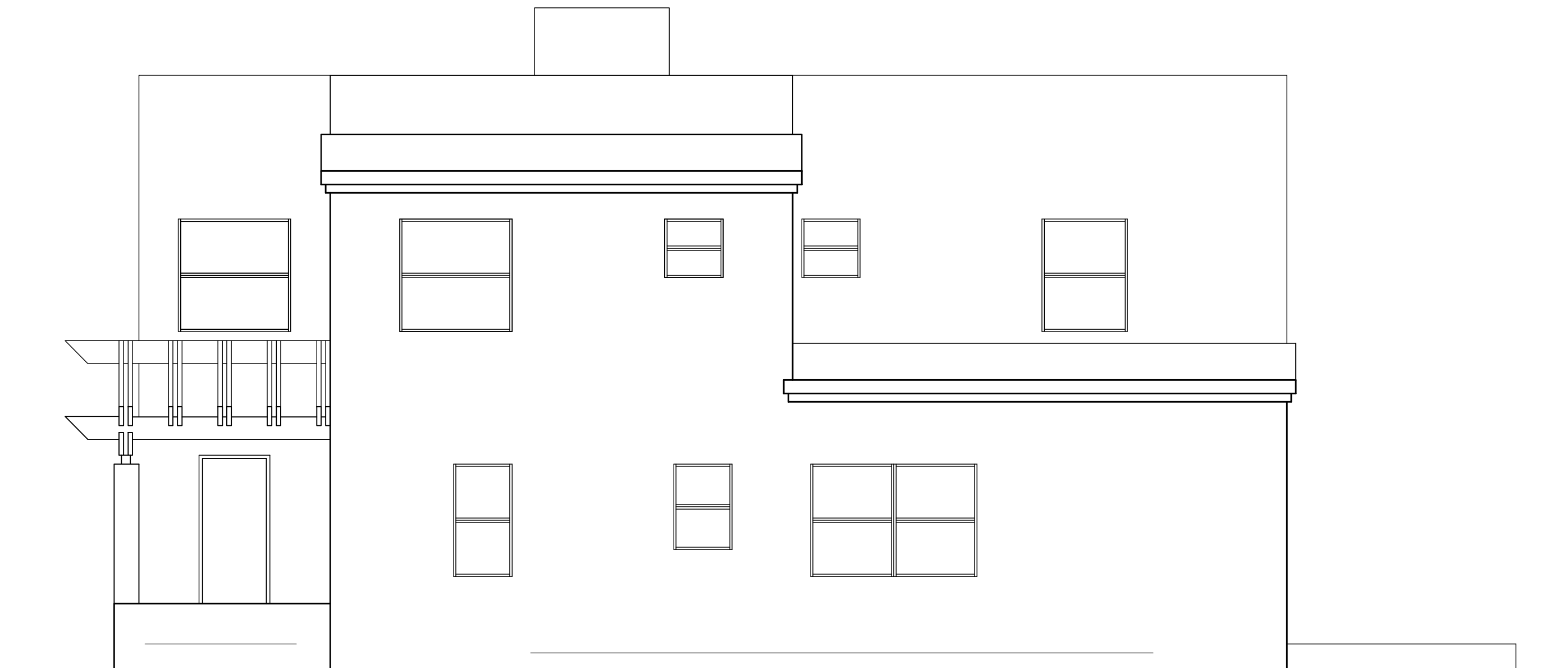
PROPOSED RESIDENCE FOR Mr. SETH HELLER  
FOR Mr. SETH HELLER  
Job Address: 00000000000000000000  
Phone: (305) 000-0000

Date	10/27/14
Scale	AS SHOWN
Drawn	SP
Job	201451
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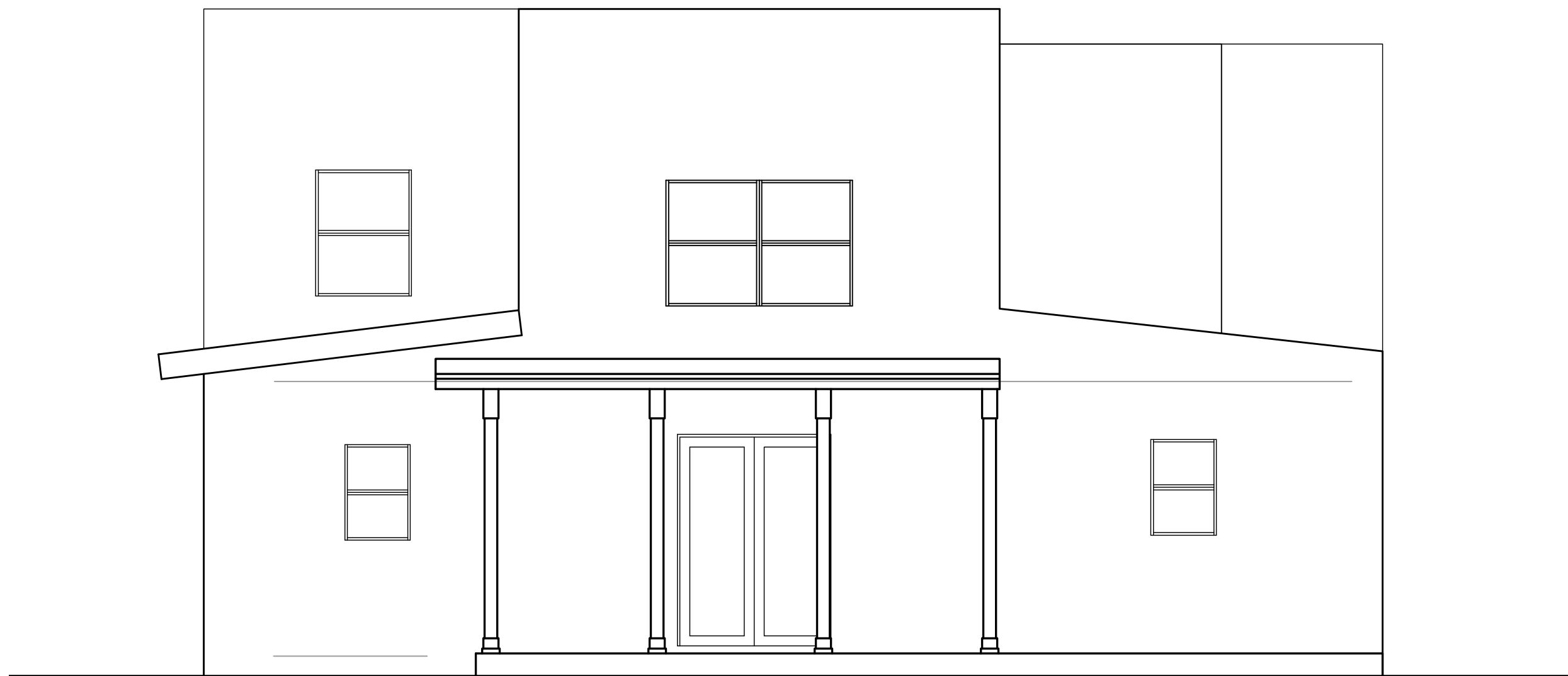




EXISTING WEST ELEVATION  
SCALE: 1/4"=1'-0"



EXISTING SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



EXISTING EAST ELEVATION  
SCALE: 1/4"=1'-0"



EXISTING NORTH ELEVATION  
SCALE: 1/4"=1'-0"

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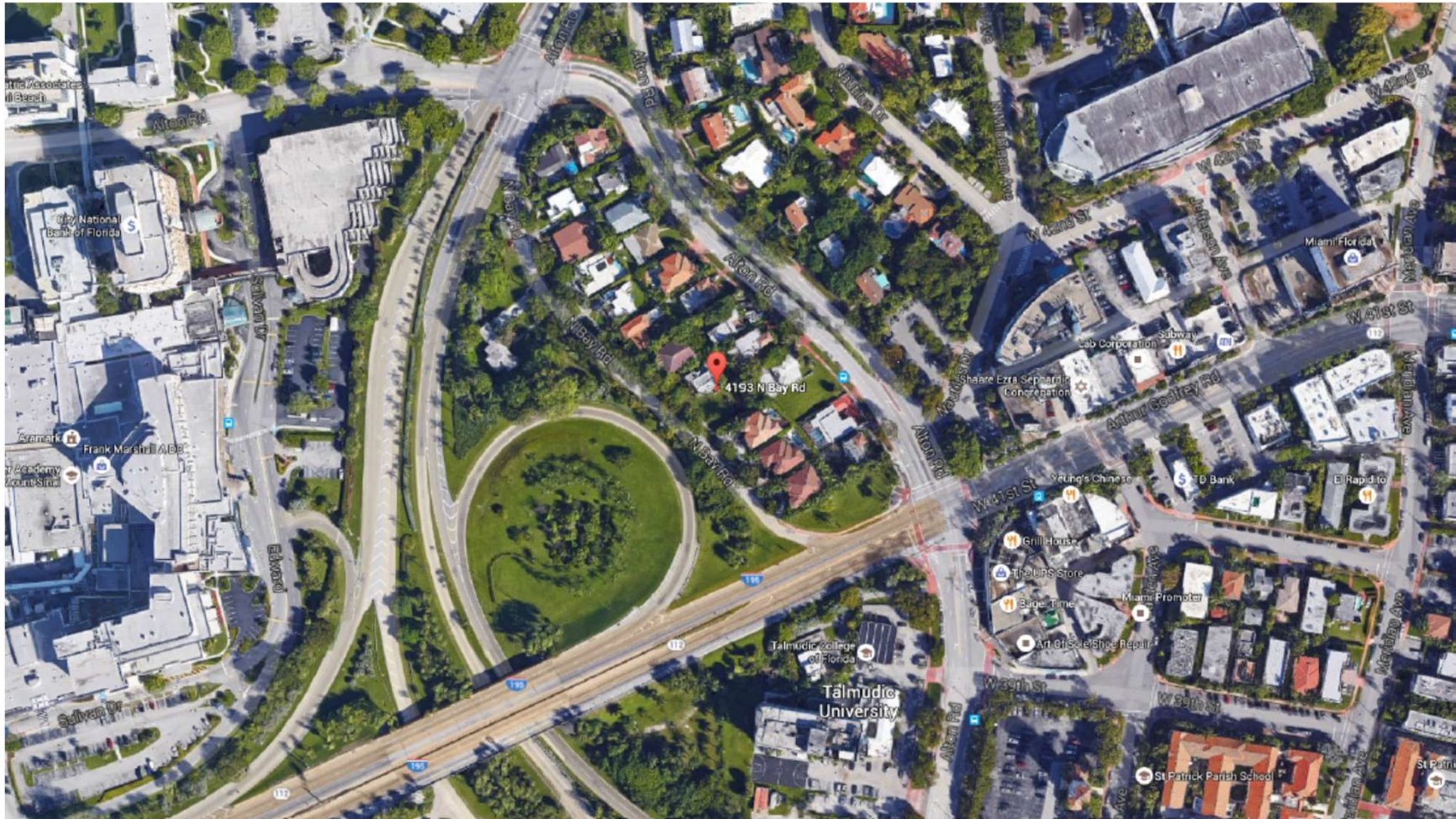
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Phone: (305) 445-4555 Fax: (305) 445-1006 AA 0002418

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Job Address: 4193 NORTH BAY ROAD - MIAMI BEACH, FLORIDA  
Phone: (305) 200-0000

Date	10/27/14
Scale	AS SHOWN
Drawn	SP
Job	201451
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Of - Sheets









LOT 8 (4195 N. BAY ROAD)



LOT 11 (4161 N. BAY ROAD)





LOT 9 (4193 N. BAY ROAD)



LOT 10 (4173 N. BAY ROAD)





LOT 43 (4230 N. BAY ROAD)