



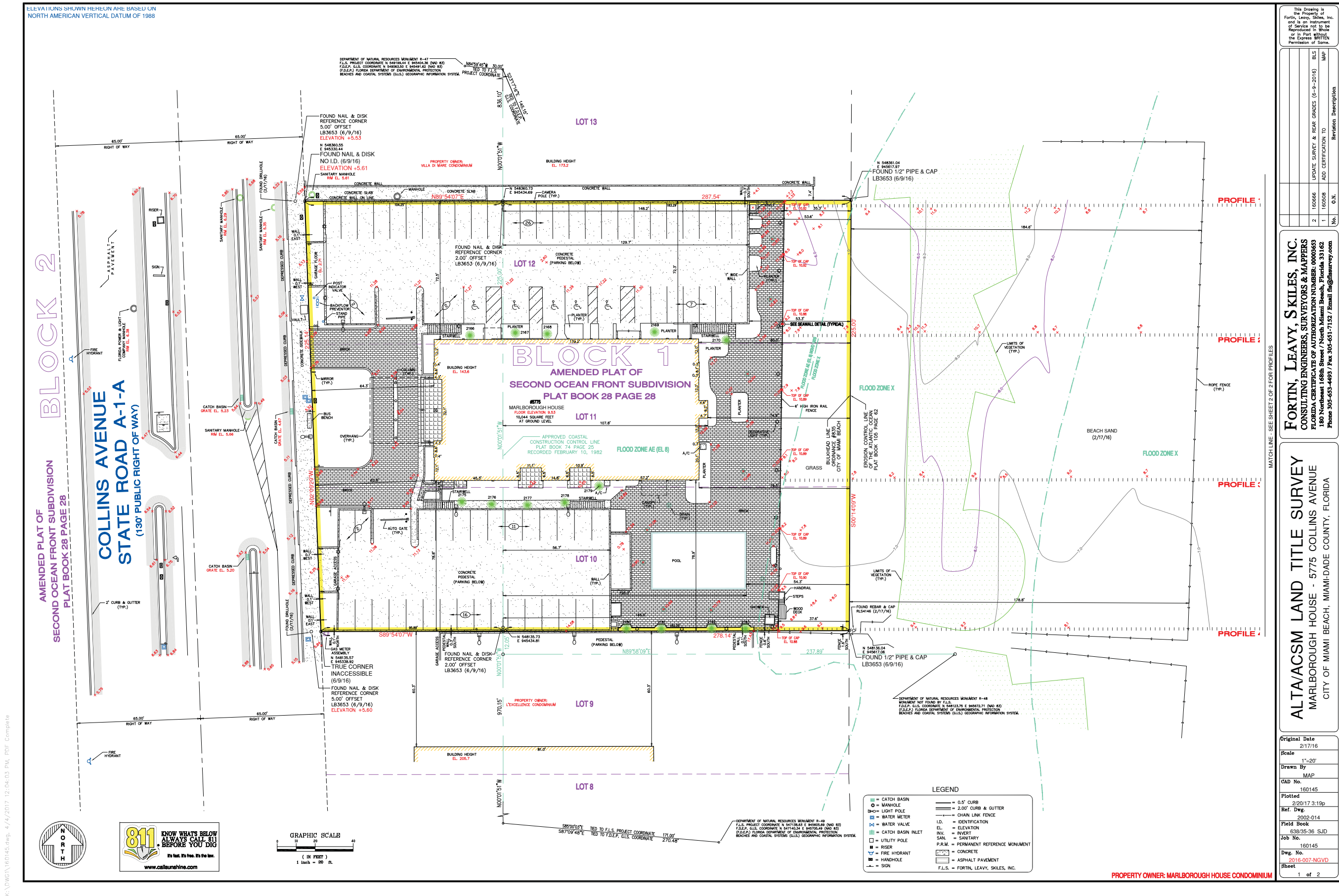
5775 COLLINS AVENUE

REVISED FINAL DRB SUBMITTAL

APRIL 28, 2017

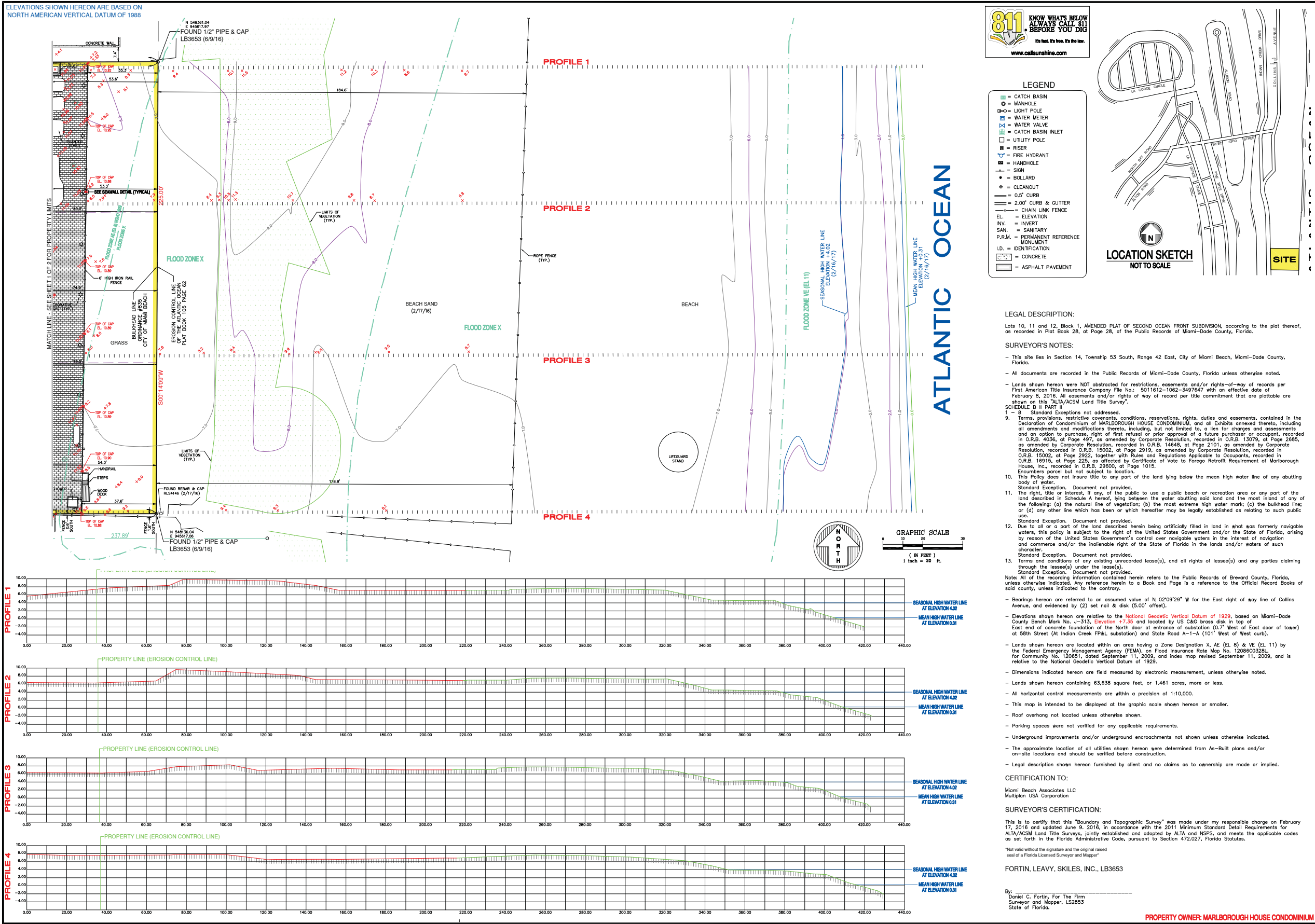
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UPDATE SURVEY & REAR GRADES (6-9-2016) BLS

ADD CERTIFICATION TO MAP

No. 1 O.N.

Revision Description

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ALTA/ACSM LAND TITLE SURVEY
MARLBOROUGH HOUSE - 5775 COLLINS AVENUE
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date
2/17/16

Scale
1"=20'

Drawn By
MAP

CAD No.
160145

Plotted
2/20/17 3:19p

Ref. Dwg.
2002-014

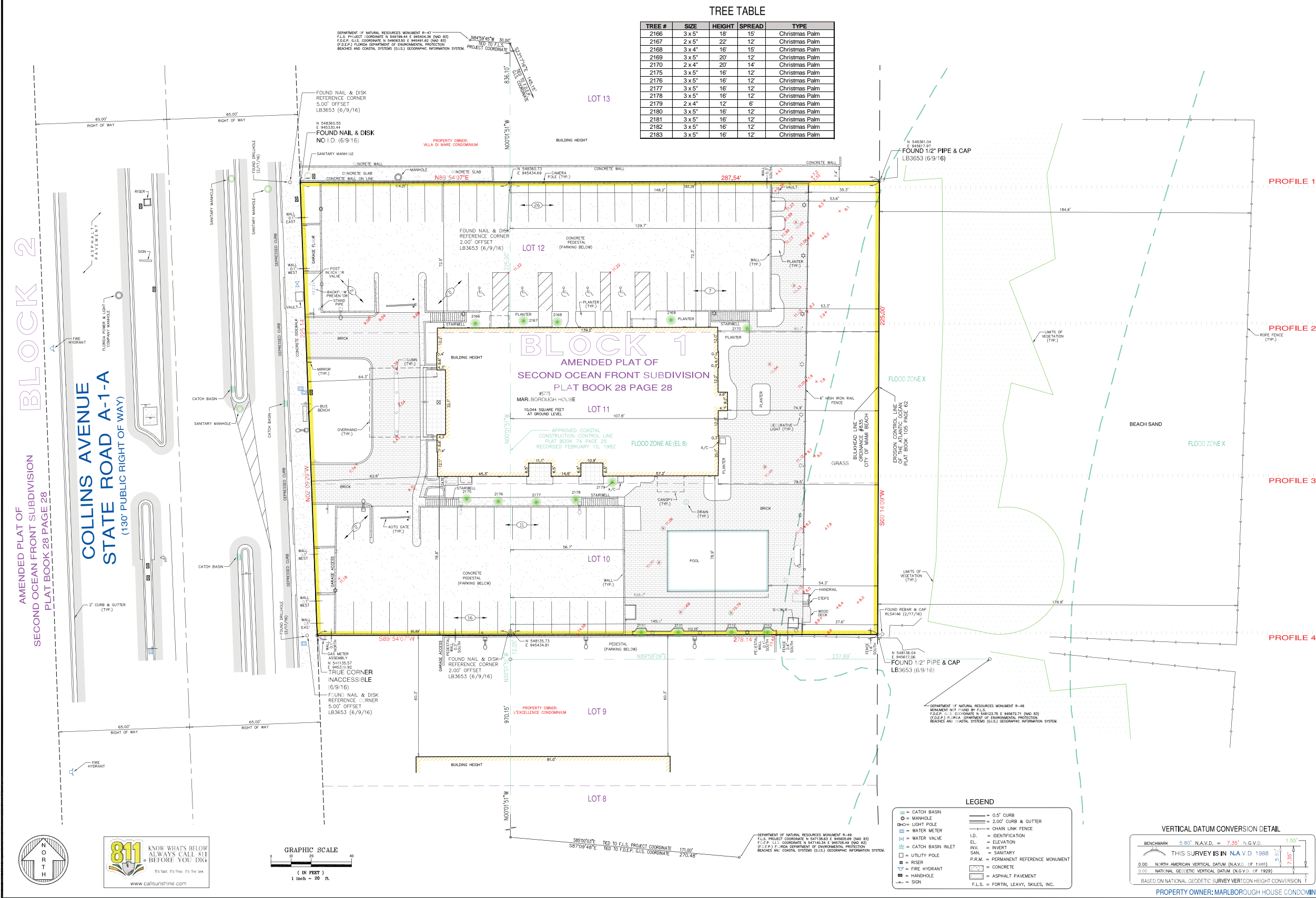
Field Book
63835-36 SJD

Job No.
160145

Dwg. No.
2016-007-NGVD

Sheet
2 of 2

ELEVATIONS SHOWN HEREON ARE BASED ON
NORTH AMERICAN VERTICAL DATUM OF 1988



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FORTIN, LEVY, SKILES, INC.
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ALTA/ACSM LAND TITLE SURVEY
MARLBOROUGH HOUSE - 5775 COLLINS AVENUE
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date: 2/17/16
Scale: 1"=20'
Drawn By: MAP
CAD No.: 160145
Plotted: 2/20/17 3:19p
Ref. Dwg: 2002-014
Field Book: 638/35-36 SJD
Job No.: 160145
Dwg. No.: 2019.007 NAVD
Sheet: 1 of 2

Revision Description
2 170101 ADD TREE INFORMATION
1 160508 ADD CERTIFICATION TO MAP
O.N.

5775 COLLINS AVE

SITE DATA & DEVELOPMENT PROGRAM

I. GENERAL LOT INFORMATION		
ZONING CLASSIFICATION:	RM-3	
FOLIO NUMBER:	02-3211-016-0001	
PROPERTY ADDRESS:	5775 COLLINS AVENUE	
FEMA ZONE:	FLOOD ZONE AE	
	REQUIRED / ALLOWED	PROVIDED
LOT AREA:	7000 S.F. MIN	63,638 SF / 1.46 ACRES
LOT WIDTH:	50 FT MIN	225'-0"
LOT DEPTH:		282'-5" (AT MID POINT)
FLOOR AREA RATIO:	3	
MAXIMUM ALLOWABLE AREA:	190,914 SF MAX.	190,617 SF
DENSITY:	150 DU/ACRE MAX. = 219 DU	86 DU
II. SETBACKS & YARD REQUIREMENTS		
	REQUIRED / ALLOWED	PROVIDED
SUBTERRANEAN SETBACK: FRONT	20'-0"	20'-1"
SIDE	5 FEET, OR 5%OF LOT WIDTH, WHICHEVER IS GREATER	18'-1"
REAR	50'-0"	55'-6"
PEDESTAL SETBACK: FRONT	20'-0"	68'-10 ¹ / ₄ "
SIDE	SUM OF THE SIDE YARDS SHALL EQUAL 16% OF LOT WIDTH - 7.5 FEET OR 8% OF LOT WIDTH WHICHEVER IS GREATER	31'-10" (SOUTH) 31'-11" (NORTH))
REAR	20% OF LOT DEPTH, 50 FEET FROM THE BULKHEAD LINE WHICHEVER IS GREATER	112'-3"
TOWER SETBACK: FRONT	20 FEET +1 FT FOR EVERY FT INCREASEIN HEIGHT ABOVE 50 FT, TO A MAX. OF 50 FT, THEN SHALL REMAIN CONSTANT	97'-3 ¹ / ₂ "
SIDE	THE REQUIRED PEDESTAL SETBACK PLUS 0.10 OF THE HEIGHT OF THE TOWER PORTION OF THE BUILDING. THE TOTAL SETBACK SHALL NOT EXCEED 50'-0".	38'-2" (SOUTH) 38'-5 ³ / ₄ " (NORTH)
REAR	20% OF LOT DEPTH,75 FEET MIN. FROM THE BULKHEAD LINE WHICHEVER IS GREATER	113'-7""

III. OCEANFRONT OVERLAY REQUIREMENTS

OCEANFRONT OVERLAY

ADDITIONAL REGULATIONS FOR OCEANFRONT LOTS. THESE REGULATIONS APPLY TO BUILDINGS AND STRUCTURES LOCATED WEST OF THE BULKHEAD LINE.

LOT COVERAGE:

50 % OF THE REQUIRED REAR YARD SETBACK

REAR YARD SETBACK:

50'-0" FOR GRADE AND SUBTERRANEAN LEVELS
MEASURED FROM THE BULKHEAD LINE

56'-6" PROVIDED

SIDE SETBACK:

15'-0"

MAXIMUM HEIGHT:

30'-0" ABOVE GRADE

IV. PARKING REQUIREMENTS

REQUIRED

PROVIDED

RESIDENTIAL:

1.5 PARKING SPACES PER 550-999 SF UNITS

1.75 PARKING SPACES PER 1000-1200 SF UNITS

2 PARKING SPACES PER UNITS ABOVE 1200 SF

GUEST:

10% OF TOTAL PARKING SPACES

ACCESSIBLE:

151-200 PS

TOTAL PARKING REQUIRED:

BICYCLE PARKING:

4 PER PROJECT OR 1 PER 10 UNITS

1.75 x 16 DU = 28 PS

2 x 70 DU = 140 PS

17 PS

6 PS

185 PS

185 PS

9

V. LOADING ANALYSIS

REQUIRED

PROVIDED

RESIDENTIAL

OVER 50 UNITS BUT
LESS THAN 100 UNITS:

2 LOADING BERTHS

2 (10' x 20') BERTHS

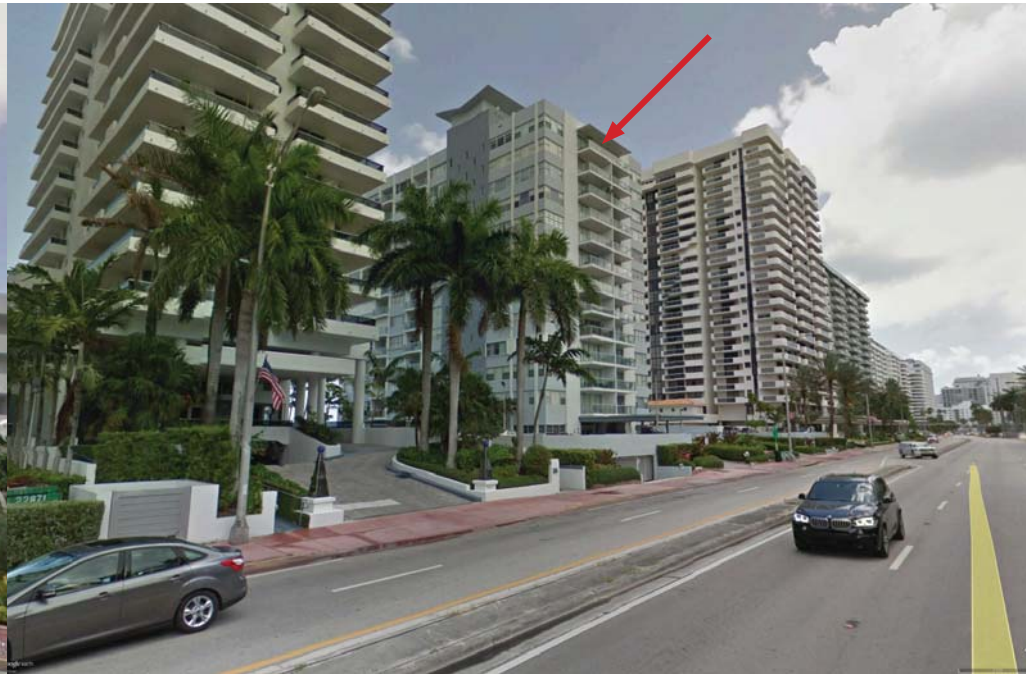
VI. F.A.R SCHEDULE

LEVEL	AREA	# OF LEVELS	TOTAL
GARAGE LVL -1	362 SF	1	362 SF
GARAGE LEVL-2	362 SF	1	362 SF
GROUND	9,969 SF	1	9,969 SF
TYPICAL LOWER LEVELS 2-11	10,741 SF	10	107,410 SF
TYPICAL LOWER LEVEL 12	10,641 SF	1	10,641 SF
TYPICAL UPPER LEVELS 13-17	10,741 SF	5	53,705 SF
PENTHOUSE LEVEL	8,031 SF	1	8,031 SF
MECHANICAL LVL	137 SF	1	137 SF
ROOF LVL	0 SF	1	0 SF
GRAND TOTAL	190,914 SF (ALLOWED)		190,617 SF

EXISTING MARLBOROUGH HOUSE BUILDING (FAR)				
LEVEL	AREA	# OF LEVELS	TOTAL	
GROUND	10,044 SF	1	10,044 SF	
TYPICAL LOWER LEVELS - 2-13	10,044 SF	12	120,528 SF	
GRAND TOTAL			130,572 SF	
UNIT MATRIX				
UNIT	BED / BATH	SQ. FT.	QTY.	TOTAL S.F.
UNIT A	3 BED / 3.5 BATH	1935 SF	10	19350 SF
UNIT B	2 BED / 3.5 BATH	1700 SF	16	27200 SF
UNIT C	3 BED / 3.5 BATH	1935 SF	10	19350 SF
UNIT D	2 BED / 2.5 BATH	1252 SF	10	12520 SF
UNIT E	2 BED / 2.5 BATH	1183 SF	16	18928 SF
UNIT F	2 BED / 2.5 BATH	1259 SF	10	12590 SF
UNIT G	4 BED / 5.5 BATH	3331 SF	6	19986 SF
UNIT H	4 BED / 5.5 BATH	3242 SF	6	19452 SF
PH A	4 BED / 5.5 BATH	3467 SF	1	3467 SF
PH B	4 BED / 5.5 BATH	3462 SF	1	3462 SF
TOTAL	30 BED / 40 BATH		86	156,305 SF



View from Collins looking Northbound



View from Collins looking South at existing building



View Collins to existing building



View from Collins South of existing building



View from Collins looking Northbound



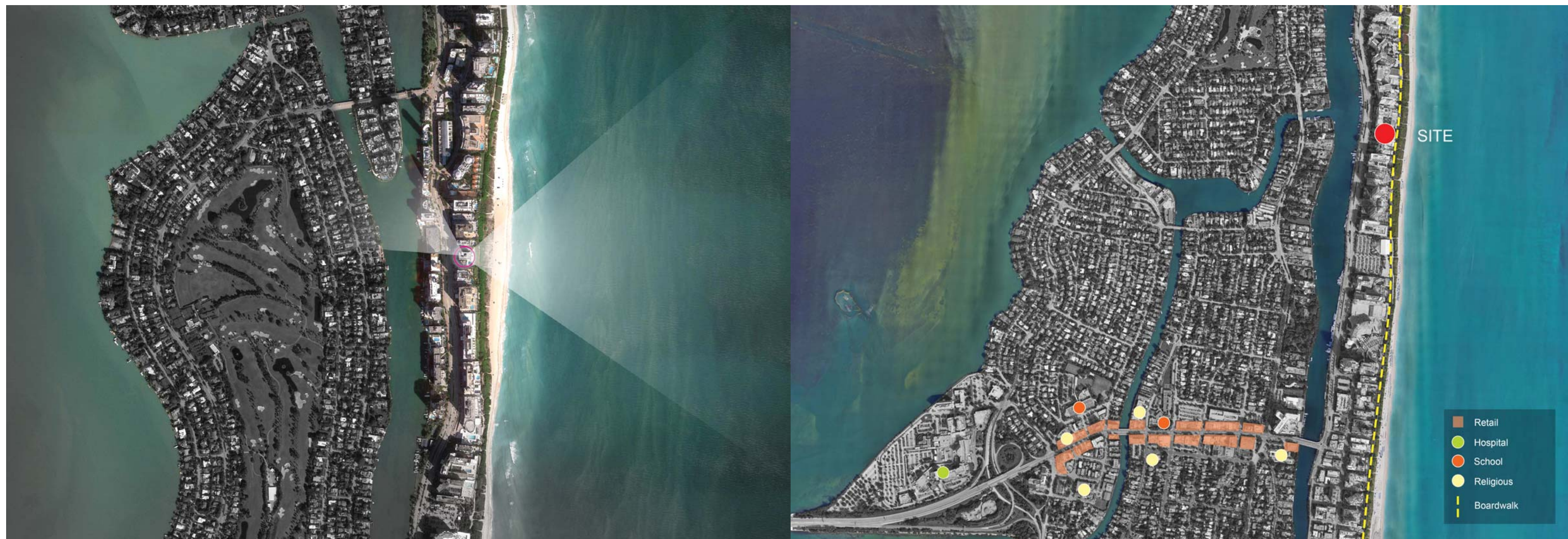
View from Collins looking Southbound



5775 COLLINS AVE

SITE PHOTO_EXISTING

2017.04.28 A-0-02



5775 COLLINS AVE

PROJECT LOCATION_ PROXIMITIES

2017.04.28 A-0-03

MULTIPLAN

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