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1825 WEST 24 ST RESIDENCE

1825 WEST 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL 33140

DRB FINAL SUBMITTAL - JULY 6TH, 2017



1825 W 24 STREET - MIAMI BEACH, FLORIDA

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AND INTERIOR DESIGN, INC.
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MIAMI, FLORIDA 33137
T: 305.573.1818

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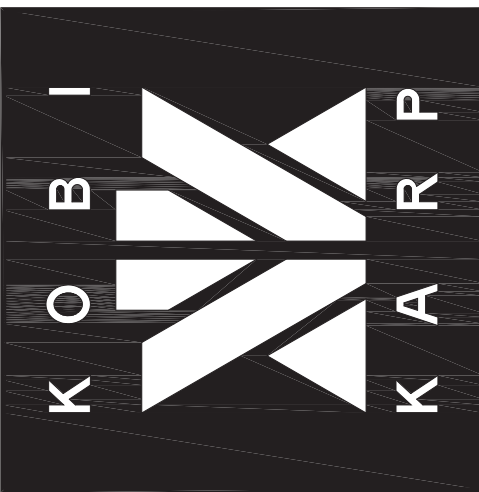
1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL 33140

COVER

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Lic. # AR0012578

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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	ZONING INFORMATION				
1	ADDRESS:	1825 WEST 24 STREET SUNSET ISLAND, MIAMI BEACH, FL			
2	FOLIO NUMBER(S):	02-3228-001-1810			
3	BOARD AND FILE NUMBERS:	N/A			
4	YEAR BUILT:	N/A	ZONING DISTRICT: RS-3 (SINGLE-FAMILY RESIDENTIAL DISTRICTS)		
5	BASE FLOOD ELEVATION:	8'-0" NGVD	FUTURE GRADE VALUE IN NGVD :		5.25' N.G.V.D.
6	FUTURE LAWN AREA:	5.41' NGVD	FREE BOARD %:		1'-0" N.G.V.D.
7	LOT AREA:	13,125 SF			
8	LOT WIDTH:	70'-6 1/2"	LOT DEPTH %:		212'-0"
9	MAX LOT COVERAGE SF AND %:	3,937 SF (30%)	PROPOSED LOT COVERAGE SF AND %:		3,241 SF (24.69%)
10	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:		-500 SF FACTORED IN CALC.
11	FRONT YARD OPEN SPACE SF AND %:	750 SF (50%)	REAR YARD OPEN SPACE SF AND %:		1,381 SF (70.13%)
12	MAX UNIT SIZE SF AND %:	6,562 SF (50%)	PROPOSED UNIT SIZE SF AND %:		6,390 SF (48.70%)
13	EXISTING FIRST FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED FIRST FLOOR UNIT SIZE %:		3,241 SF
14	EXISTING SECOND FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB APPROVAL)		N/A
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:		3,108 SF
16	EXISTING UNIT SIZE (PER MIAMI DADE COUNTY PROPERTY APPRAISER'S WEB SITE)	N/A	PROPOSED ROOF FLOOR AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):		586 SF (19.48%)
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24'- FLAT ROOFS	N/A 24'-0"	(ABOVE MIN. DESIGN FLOOD ELEV. +9.00' NGVD	NONE
		27'- SLOPED ROOFS	N/A	N/A	NONE
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20'-0"	N/A	30'-0"	NONE
20	FRONT SECOND LEVEL:	30'-0"	N/A	30'-0"	NONE
21	SIDE 1: EAST	10'-0" (14.2%)	N/A	10'-0" (13 %)	NONE
22	SIDE 2: WEST	10'-0" (14.2%)	N/A	10'-0" (13 %)	NONE
23	REAR:	31'-10"	N/A	30'-6"	NONE
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	7'-6"	NONE
24	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	NONE
25	ACCESSORY STRUCTURE REAR:	15'-11"	N/A	15'-11"	NONE
26	SUM OF SIDE YARD:	20'-0" (28.35%)	N/A	20'-0" (28.35%)	NONE
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT):		NO		
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?		NO		
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?		NO		
NOTES: IF NOT APPLICABLE WRITE N/A					

SCOPE OF WORK:

NEW 2 STORY SINGLE FAMILY RESINDENCE.

DRAWING INDEX

[illegible]

REVISIONS / SUBMISSIONS

	FINAL SUBMITTAL	07/06/2017
		
		
		
		
		
		
		
		
		
		
		
		
		
		

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INDEX

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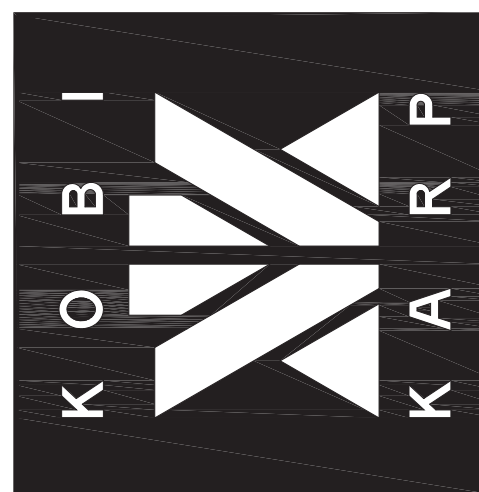
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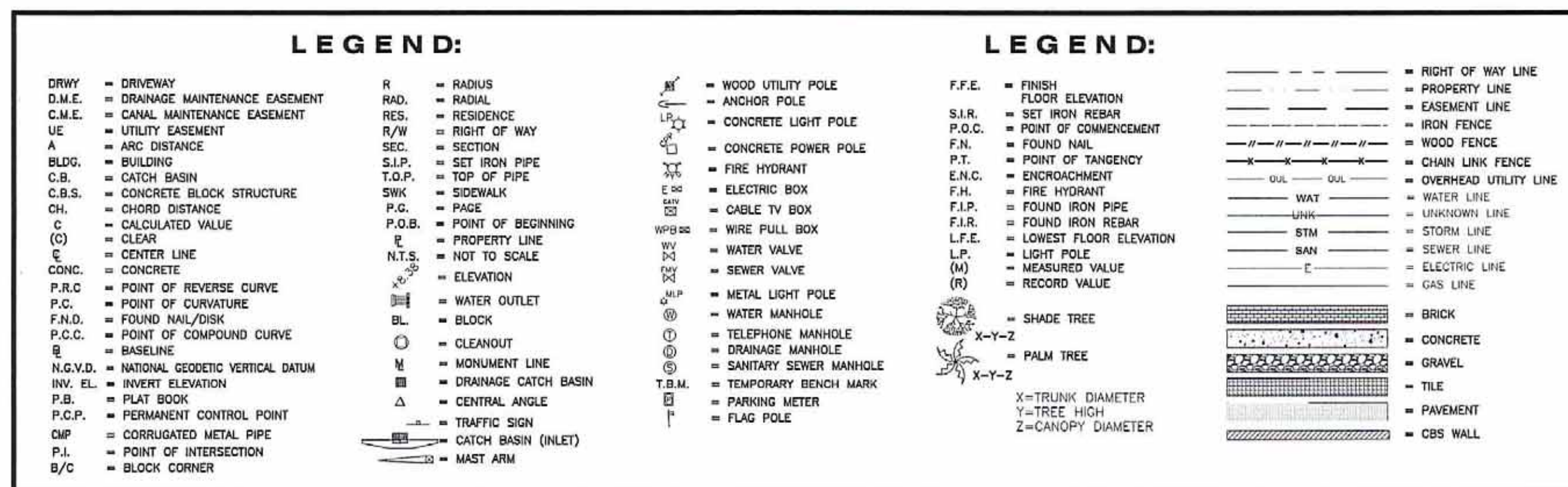
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TREE No	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)	
22	PALM	8	25	8	
27	PALM	24	40	15	
53	PALM	30	50	20	
59	PALM	15	30	25	
72	PALM	15	65	20	2T
74	PALM	18	50	20	
75	PALM	18	50	20	
94	COCO	12	50	15	
95	COCO	12	50	15	
96	COCO	12	50	15	
97	COCO	12	50	15	
98	COCO	12	50	15	
116	PALM	18	50	20	
117	PALM	18	50	20	
118	PALM	18	50	20	
119	PALM	18	45	20	
120	COCO	12	40	15	
161	PALM	6	7	6	
162	PALM	6	7	6	

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

1. The date of completion of the field work of the original Survey was on September 28, 2016.

SECTION 2) LEGAL DESCRIPTION:

Lot 20, in Block 3H, "SUNSET ISLAND NO 3", according to the plat thereof, as recorded in Plat Book 40, at Page 8, of the Public Records of Miami-Dade County Florida.

Property Address:
1825 W 24th Street, Miami Beach, Fl. 33140
Folio No.: 02-3228-001-1810

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=20') or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

(Warranty Deed, dated July 15th, 2016, recorded in Official Records Book 30154, Page 1049, Miami-Dade County Records).

Bearings as shown hereon are based upon the Southerly Boundary Line with an assumed bearing of S88°05'26"W, said line to be considered a well established and monumented line.

This property appears to be located in Flood Zone "AE"
Elevation=8.0, as per Federal Emergency Management Agency
(FEMA) Community Number 120651 (City of Miami Beach), Map
Panel No. 12086C0317, Suffix L, Map Revised Date: September 11,
2009.

Elevations as shown hereon are based on the National Geodetic Vertical Datum of 1929 (NGVD 1929).
Benchmark used, City of Miami Beach, Benchmark
Number CMB 53-02, Elevation 2.99 feet (NAVD-88).
This Benchmark elevation was added 1.55 to be converted to (NGVD 1929) from North American Vertical Datum (NAVD 1988).



LOCATION MAP
NOT TO SCALE

SECTION 5) LIMITATIONS:

Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

Mediterranean Estates, Inc.

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

HADONNE CORP., a Florida Corporation
Florida Certificate of Authorization Number LB7097

By: Abraham Haddad, PSM
For the Firm
Registered Surveyor and Mapper LS6006
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

REVISIONS			
1. UPDATE SURVEY 07-05-2017	6.	7.	16.
2.	7.	12.	17.
3.	8.	13.	18.
4.	9.	14.	19.
	10.	15.	20.



HADONNE

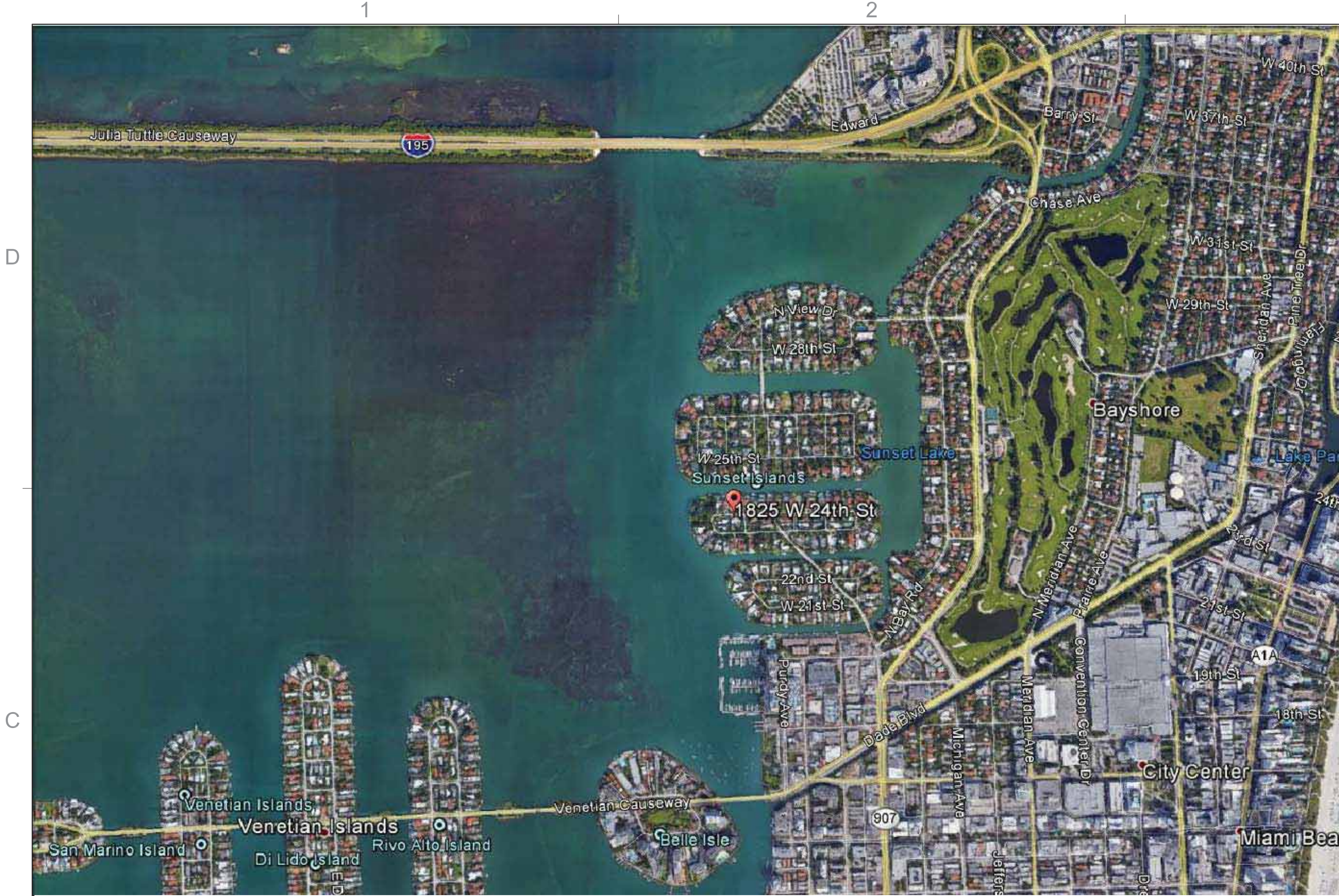
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MAP OF BOUNDARY SURVEY

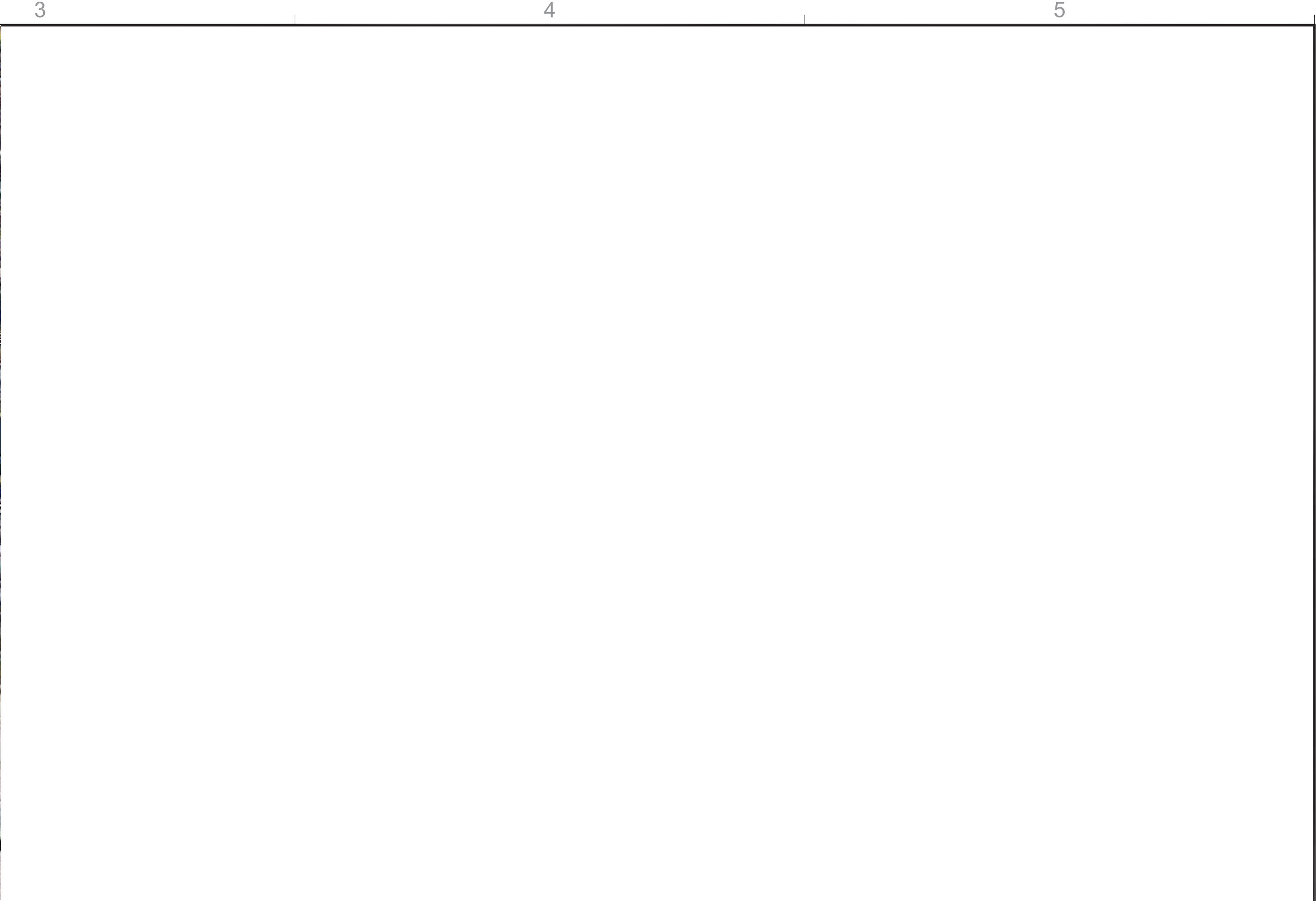
for
MEDITERRANEAN ESTATES, INC
of
1825 W 24TH STREET, MIAMI BEACH, FL., 33140

Field Book:	FILE
DRAWN BY:	BG
TECH BY:	RI
QA/QC BY:	AH

Job No.:	16108
	1/1



PLAN
NORTH
LOCATION MAP - 1
N.T.S.



PLAN
NORTH
LOCATION MAP - 2
N.T.S.



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LOCATION MAP

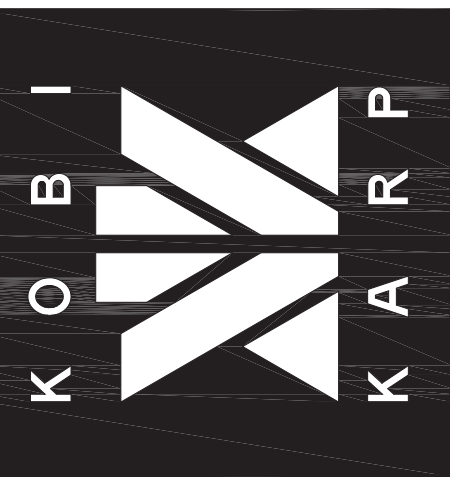
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IMAGES ON SHEET A0.05-CONTEXT
C2 - W 24TH STREET - LOOKING WEST
C3 - SHELTER AVE

IMAGES ON SHEET A0.06-NEARBY PROPERTY
N1 - 1839 W 24TH ST
N2 - 1833 W 24TH ST
N3 - 1821 W 24TH ST
N4 - 1775 W 24TH ST

IMAGES ON SHEET A0.07-NEARBY PROPERTY
N5 - 1745 W 24TH ST
N6 - 1750 W 24TH ST
N7 - 1800 W 24TH ST
N8 - 1830 W 24TH ST

IMAGES ON SHEET A0.08-EXISTING PROPERTY
E1 - FRONT YARD
E2 - REAR YARD
E3 - SIDE YARD - EAST
E4 - SIDE YARD - WEST

PLAN NORTH
IMAGE KEY PLAN
N.T.S.

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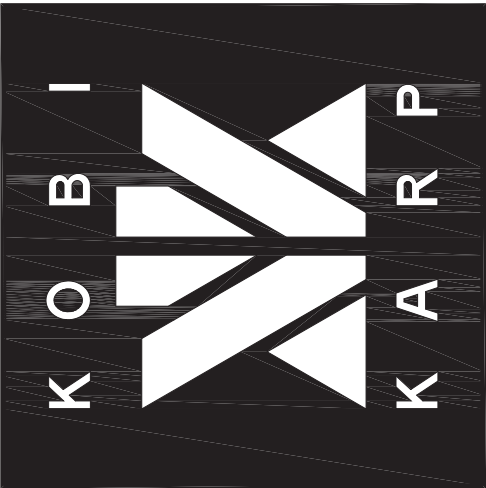
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IMAGE KEY PLAN

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D



C2 - W 24TH STREET - LOOKING WEST
N.T.S.

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C3 - SHELTER AVE
N.T.S.

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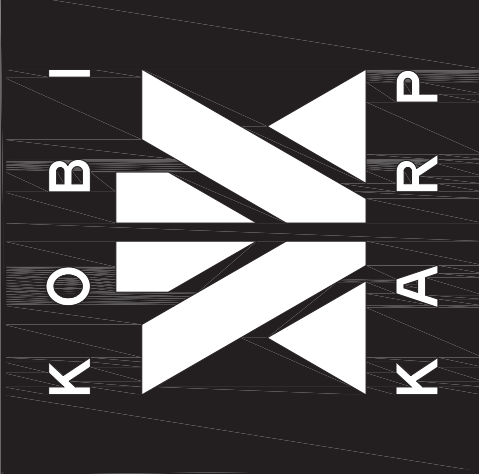
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IMAGES 01

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D



N1 - 1839 W 24TH ST
N.T.S.

C



N2 - 1833 W 24TH ST
N.T.S.

B



N3 - 1821 W 24TH ST
N.T.S.

A



N4 - 1775 W 24TH ST
N.T.S.

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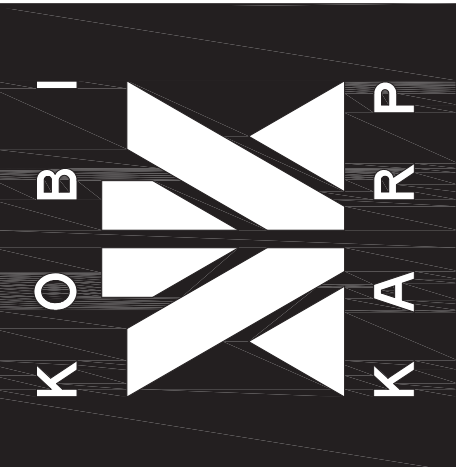
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1825 W 24 STREET SUNSET ISLAND MIAMI BEACH, FL. 33141	IMAGES 02
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N5 - 1745 W 24TH ST
N.T.S.



N7 - 1800 W 24TH ST
N.T.S.



N6 - 1750 W 24TH ST
N.T.S.



N8 - 1830 W 24TH ST
N.T.S.

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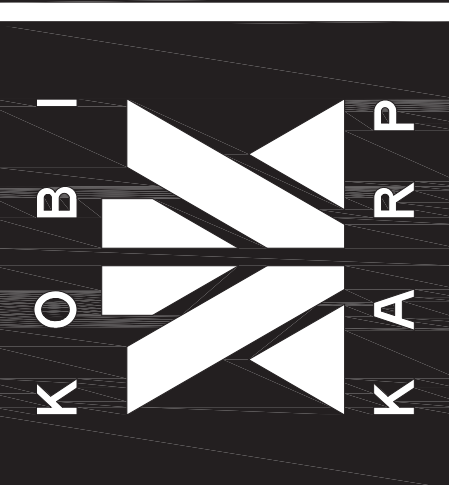
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E1 - FRONT YARD
N.T.S.



E3 - SIDE YARD - EAST
N.T.S.



E2 - REAR YARD
N.T.S.



E4- SIDE YARD - WEST
N.T.S.

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IMAGES 04

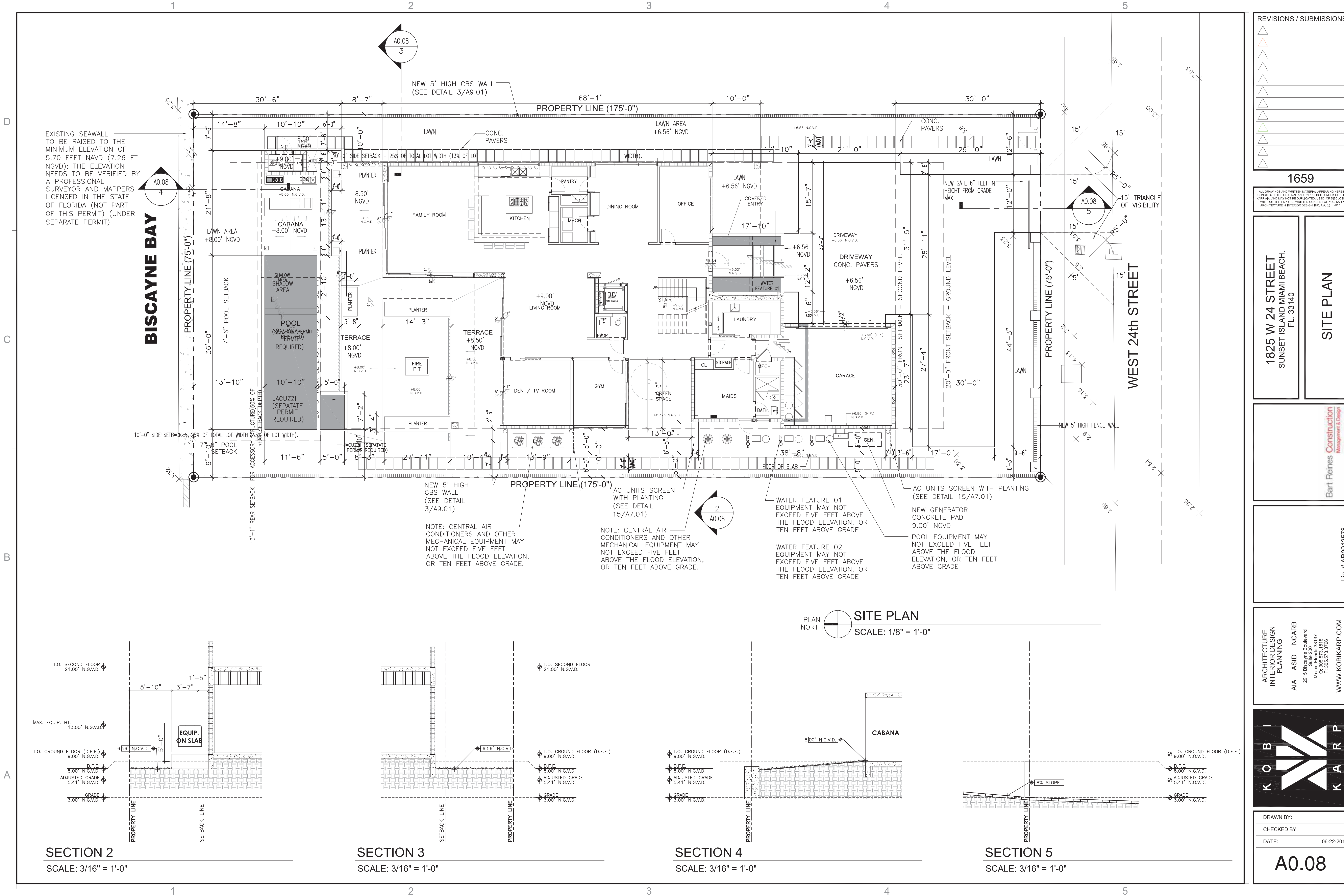
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EXISTING SEAWALL TO BE RAISED TO THE MINIMUM ELEVATION OF 5.70 FEET NAVD (7.26 FT NGVD); THE ELEVATION NEEDS TO BE VERIFIED BY A PROFESSIONAL SURVEYOR AND MAPPERS LICENSED IN THE STATE OF FLORIDA (NOT PART OF THIS PERMIT) (UNDER SEPARATE PERMIT)

BISCAYNE BAY

WEST 24th STREET

PLAN NORTH
SITE PLAN
SCALE: 1/8" = 1'-0"

SECTION 2
SCALE: 3/16" = 1'-0"

SECTION 3
SCALE: 3/16" = 1'-0"

SECTION 4
SCALE: 3/16" = 1'-0"

SECTION 5
SCALE: 3/16" = 1'-0"

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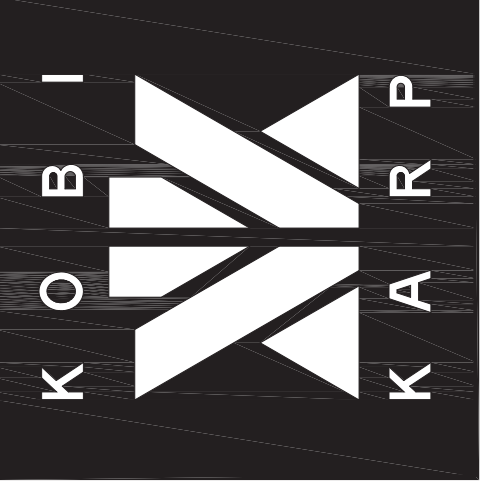
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SITE PLAN

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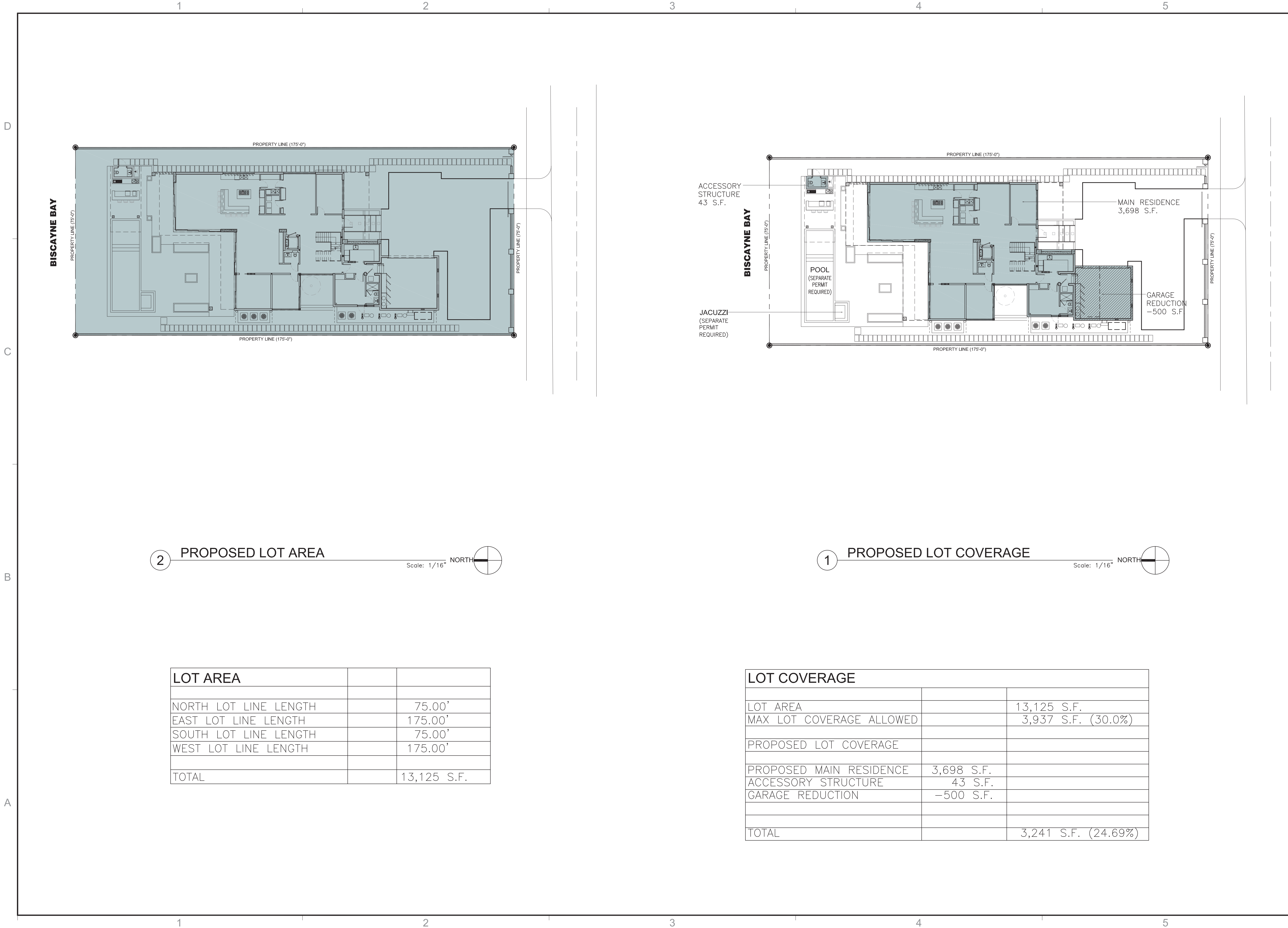
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LOT COVERAGE



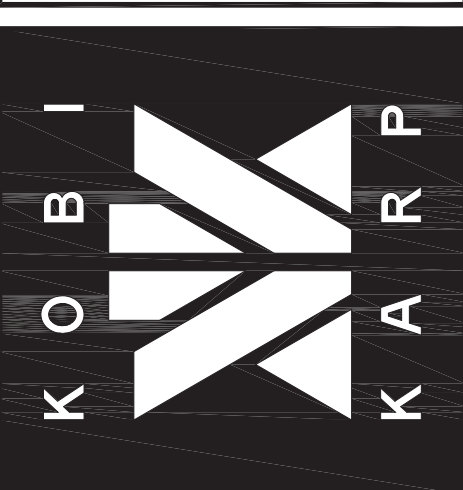
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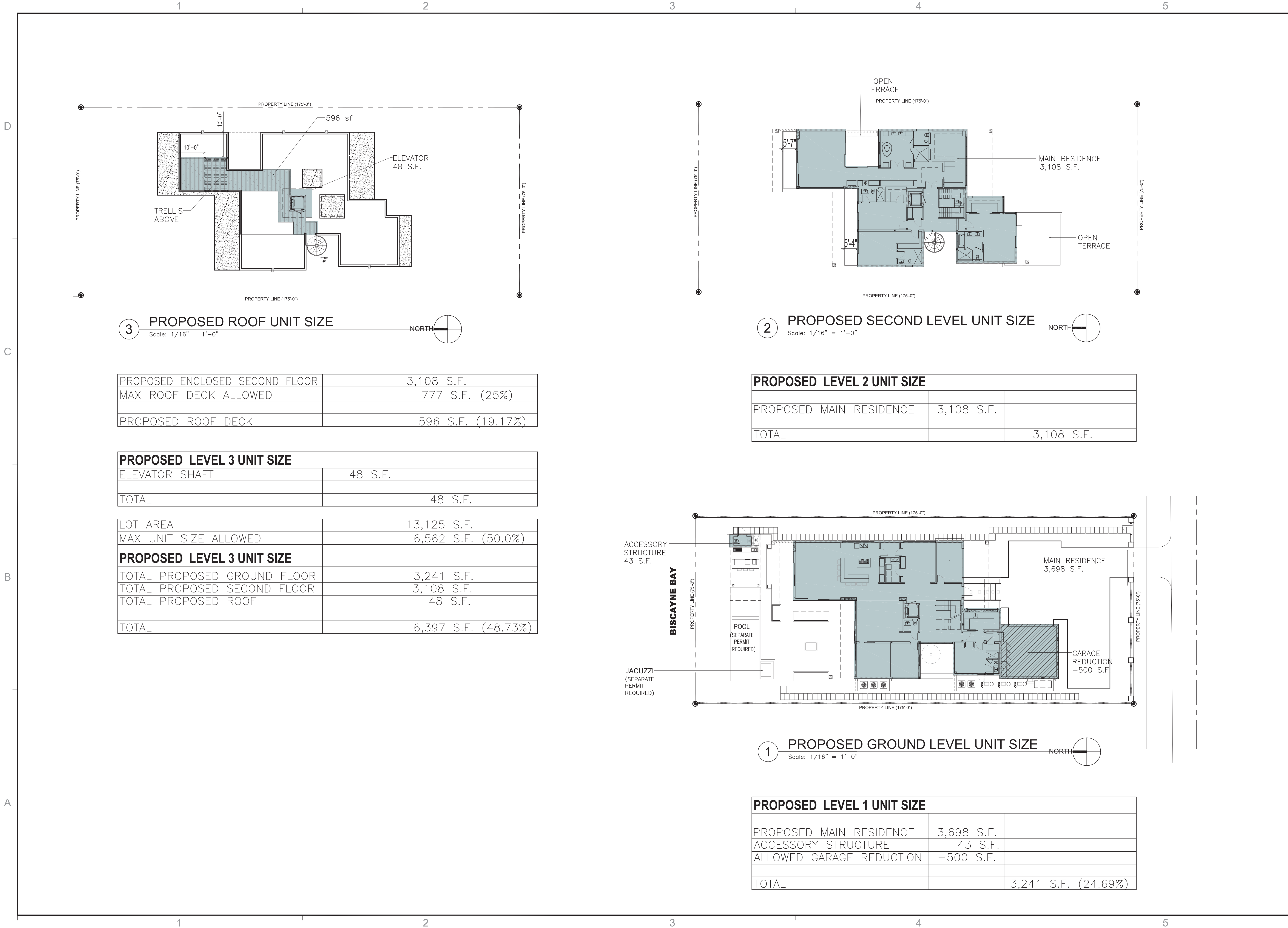


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1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL. 33141

ZONING DIAGRAMS

Bart Reines
Construction
Management & Design

Lic. # AR0012578

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PLANNING

AIA ASID NCARB
2815 Biscayne Boulevard
Suite 200
Miami, FL 33137
M: 305.573.1818
F: 305.573.3766
WWW.KOBKARP.COM

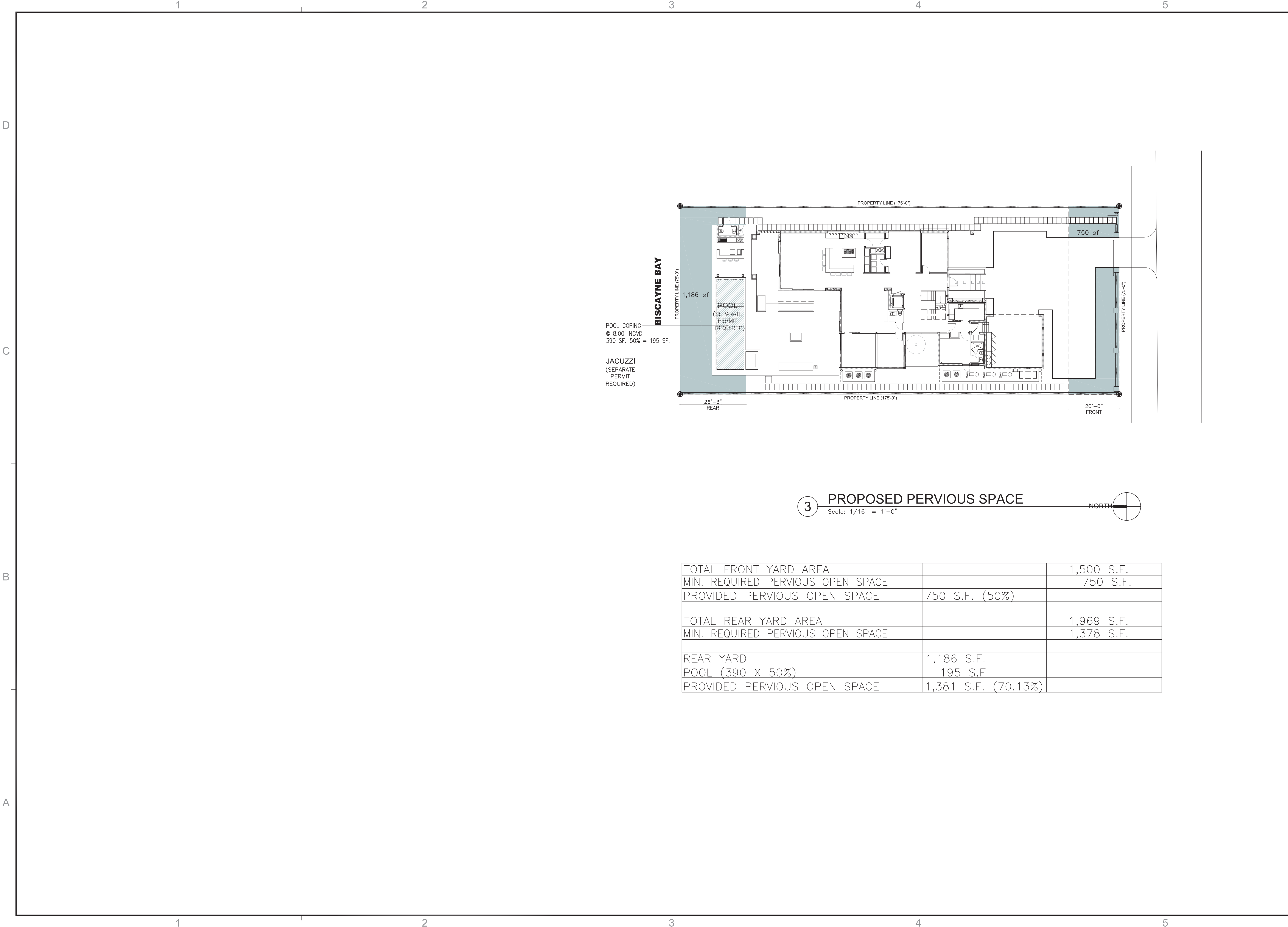
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PROPERTY CONDITIONS	
WATERFRONT LOT	YES
CORNER PROPERTY	NO
SIDEWALK	NO
SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY	N/A
CROWN OF ROAD AT CENTER OF PROPERTY	3.00' N.G.V.D.
FLOOD ELEVATION	8.00' N.G.V.D.
FREEBOARD (PROVIDED)	1.00' N.G.V.D.
DESIGN FLOOD ELEVATION	9.00' N.G.V.D.

INTERIOR SIDE YARD CONDITIONS
 DEFAULT MAX. INTERIOR SIDE YARD ELEVATION
 _____ N.G.V.D.
 IS THE AVERAGE GRADE OF ADJACENT LOT ALONG THE
 ABUTTING SIDE YARD _____
 EQUAL OR GREATER THAN ADJUSTED GRADE?
 IS THE ABUTTING PROPERTY VACANT?
 _____ NO
 IS THEIR A JOINT AGREEMENT BETWEEN ABUTTING PROPERTIES,
 FOR A HIGHER _____ NO
 ELEVATION, NOT TO EXCEED FLOOD ELEVATION?

REAR YARD CONDITIONS
 DEFAULT MAX. REAR YARD ELEVATION
 9.00' N.G.V.D.
 IS THE AVERAGE GRADE OF ADJACENT LOT ALONG THE
 ABUTTING SIDE YARD NO
 EQUAL OR GREATER THAN ADJUSTED GRADE?
 IS THE ABUTTING PROPERTY VACANT?
 NO
 IS THEIR A JOINT AGREEMENT BETWEEN ABUTTING PROPERTIES,
 FOR A HIGHER NO
 ELEVATION, NOT TO EXCEED FLOOD ELEVATION?

RESULTS	
GRADE:	+3.00 N.G.V.D.
FUTURE GRADE:	- N.G.V.D.
FLOOD:	+8.00' N.G.V.D.
DIFFERENCE:	2.75'
ADJUSTED GRADE:	+5.41' N.G.V.D
30" (+2.5') ABOVE GRADE:	+5.32' N.G.V.D
FIRST FLOOR ELEVATION:	+9.00' N.G.V.D
FUTURE ADJUSTED GRADE	- N.G.V.D.

MINIMUM FREEBOARD ELEVATION	9.00'	N.G.V.D.
MAXIMUM FREEBOARD ELEVATION	13.00'	N.G.V.D.
MINIMUM YARD ELEVATION	6.56'	N.G.V.D.
MIN. GARAGE ELEVATION	6.60'	N.G.V.D.



PUBLIC WORKS DEPARTMENT
Tel: 305-673-7080, Fax: 305-673-7028

December 22nd, 2016

Bart Reines Construction
1800 Sunset Harbour Drive
Miami Beach, FL 33139

Re: Sidewalk Elevation
1825 W. 24th Street
Miami Beach, Florida

Dear Bart Reines Construction:

Pursuant to Section 114-1 of the City Code, and in the absence of a sidewalk, the grade at the above referenced property is calculated to be 3.70ft. N.A.V.D. 1988. However, in the near future the proposed grade elevation is intended to increase significantly.

Please call (305) 673-7080 if you should have any further questions or need additional information.

Sincerely,

Bruce Mowry, PhD., P.E.
City Engineer

cc: Tom Mooney

BB/ej

F:\WORKS\ALL\1) EMPLOYEE FOLDERS\BRIAN BELLINO\Sidewalk Grade Elevation for Sidewalk Elevation - 1825 W. 24 St.doc

We are committed to providing excellent public service and safety to all who live, work, and play in our vibrant, tropical, historic community.

— SIDE YARD
MIN. ELEV. = 6.56' N.G.V.D. (PER SEC.142-105 (B)(1)
MAX. ELEV. = - N.G.V.D. (PER SEC. 142-105 (C)(1)&(2)

SIDE YARD _____
MIN. ELEV. = 6.56' N.G.V.D. (PER SEC.142-105 (B)(1)
MAX. ELEV. = 9.00' N.G.V.D. (PER SEC. 142-105 (C)(4)

SIDE YARD
MIN. ELEV. = 6.56' N.G.V.D. (PER SEC.142-105 (B)(1)
MAX. ELEV. = - N.G.V.D. (PER SEC. 142-105 (C)(1)&(2)

— SIDE YARD
MIN. ELEV. = 6.56' N.G.V.D. (PER SEC.142-105 (B)(1)
MAX. ELEV. = - N.G.V.D. (PER SEC. 142-105 (C)(1)&(2)

1 CALCULATION OF YARD ELEVATIONS

PLAN NORTH



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CALCULATION OF YARD ELEVATION

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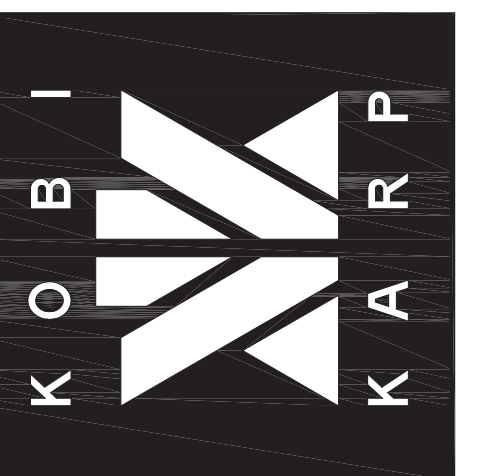
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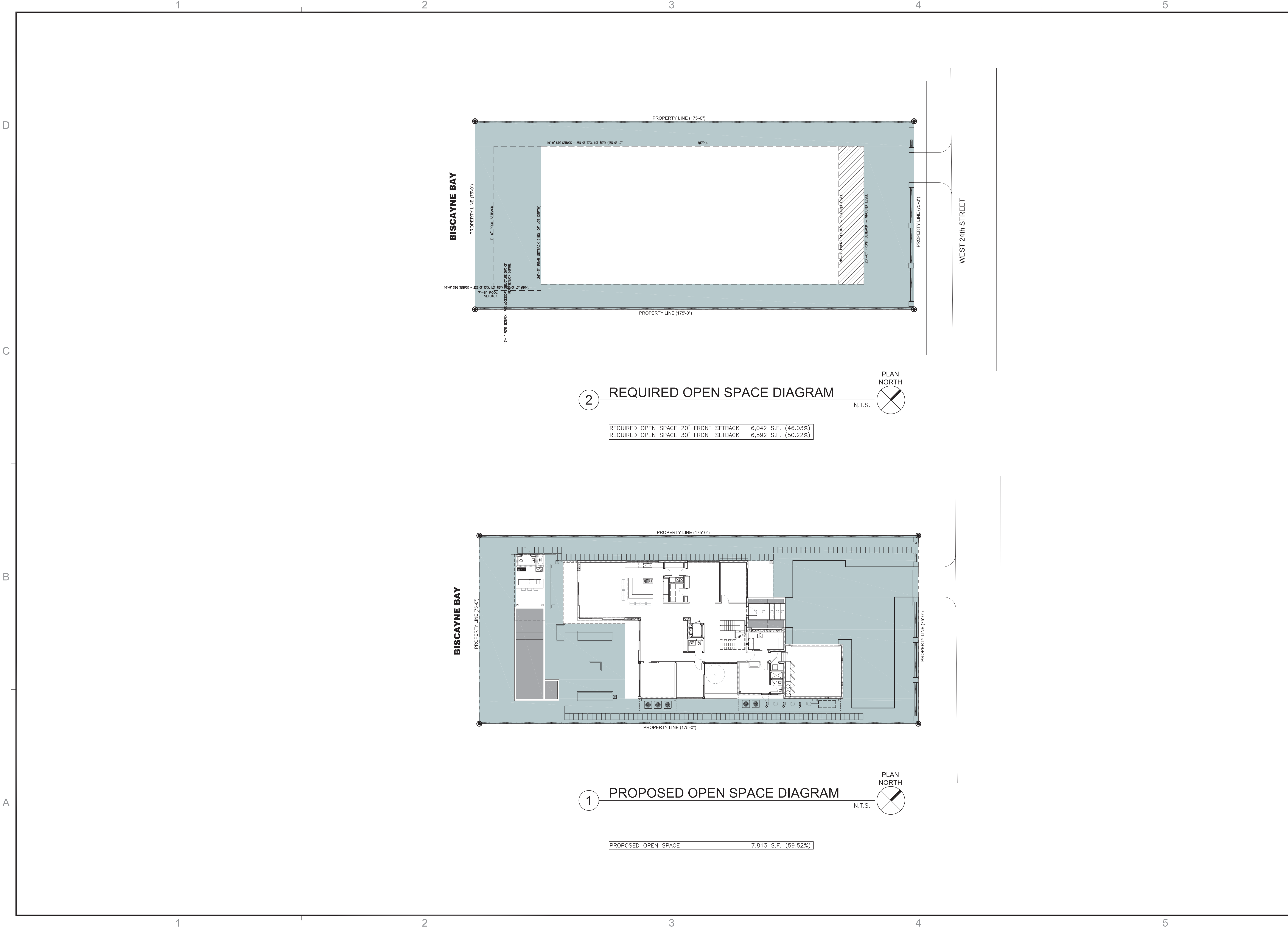
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OPEN SPACE DIAGRAM

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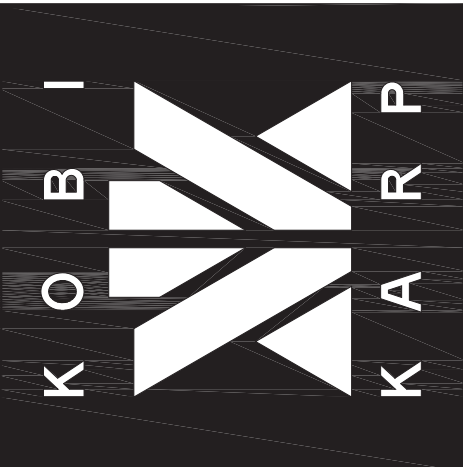
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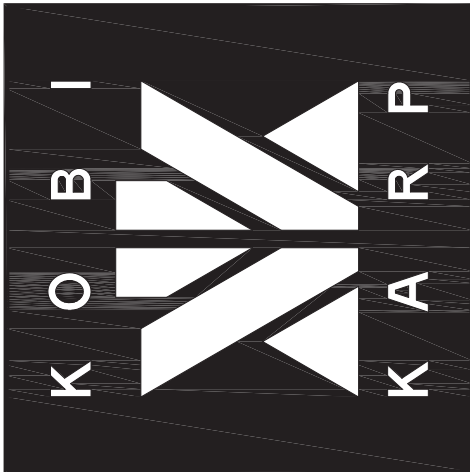
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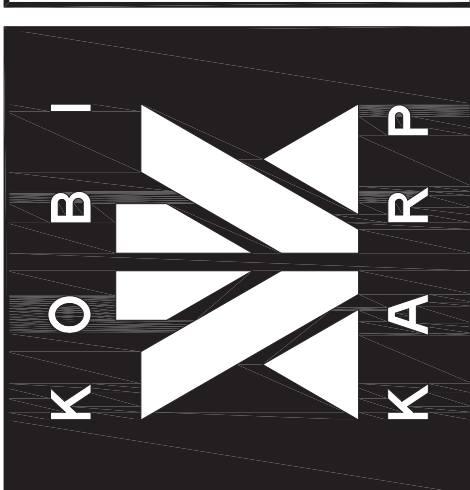
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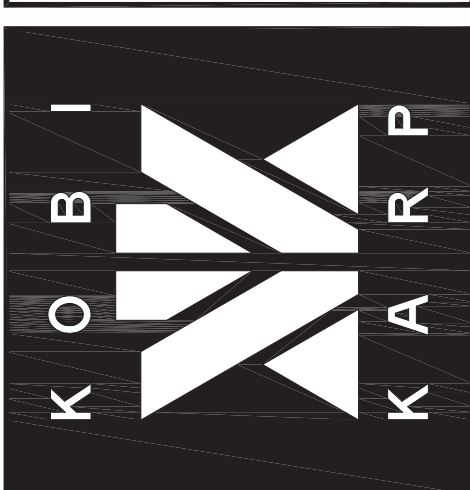
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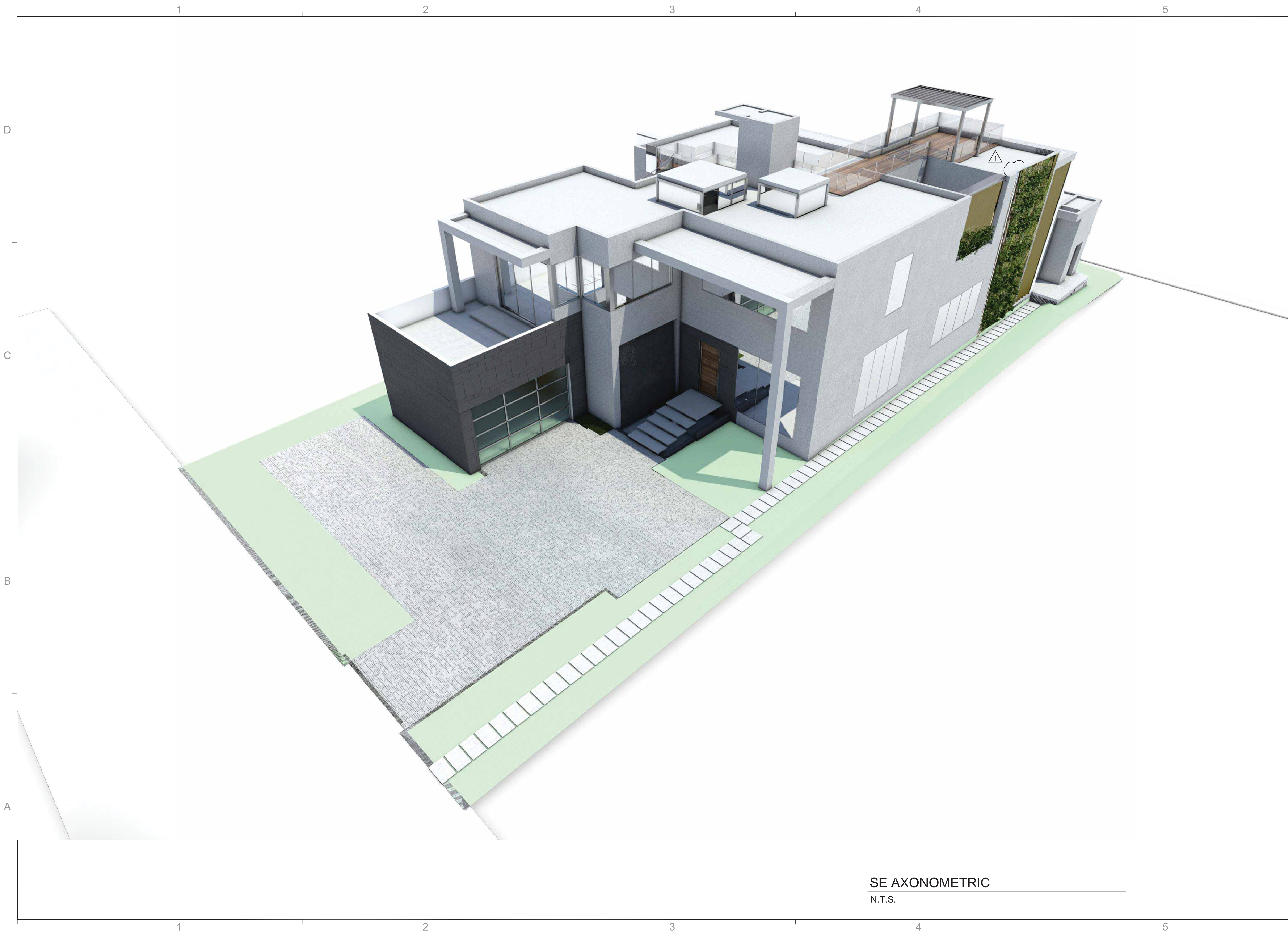


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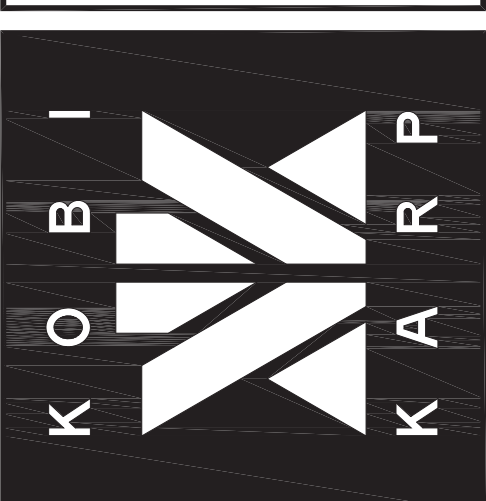
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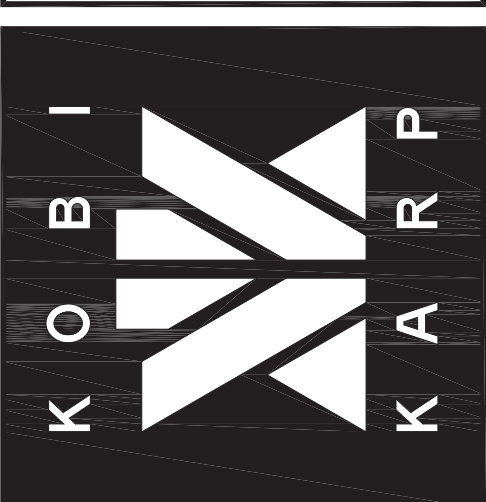
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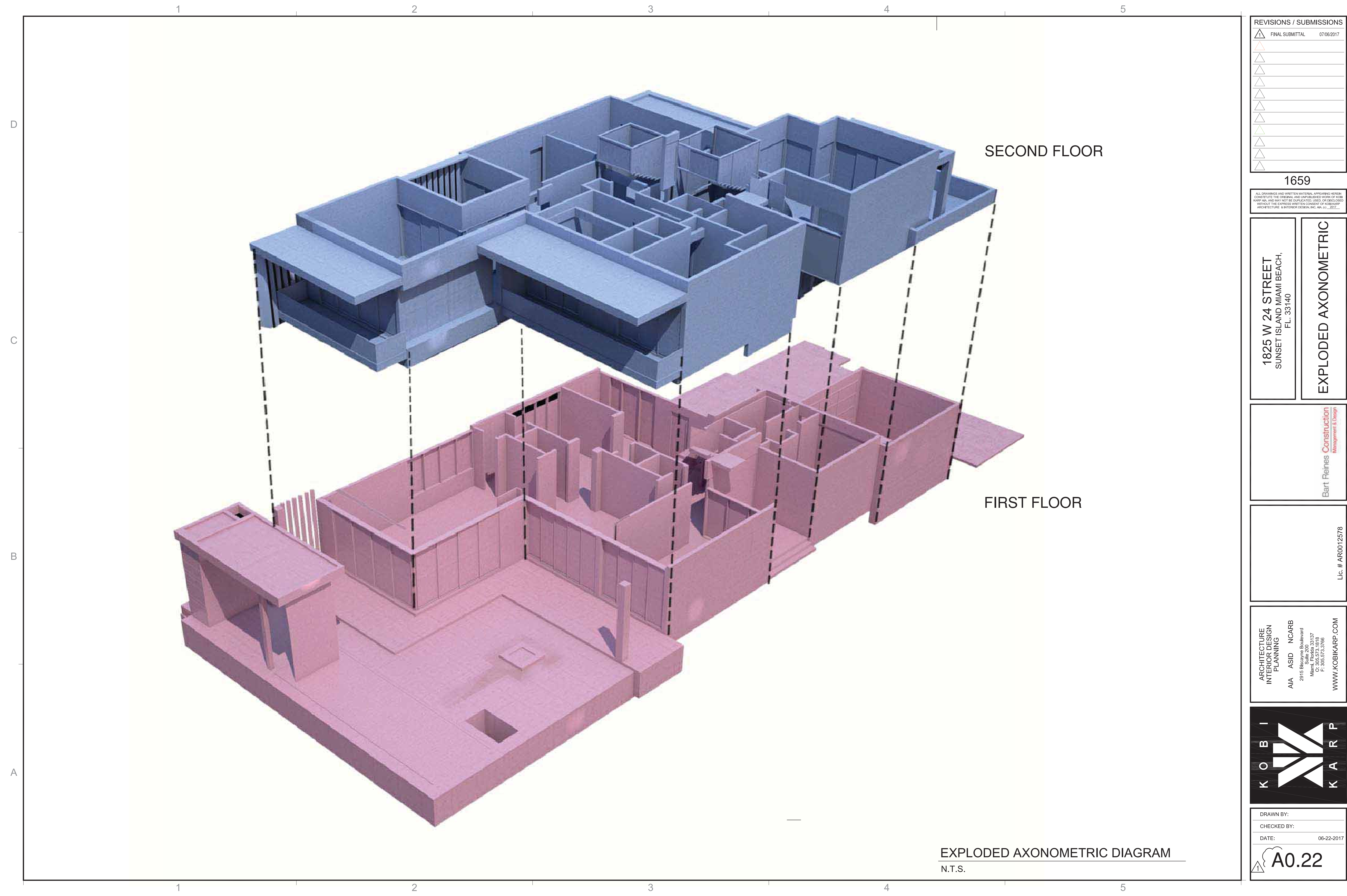


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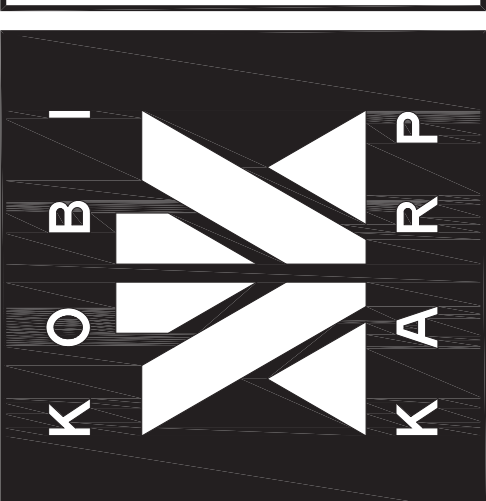
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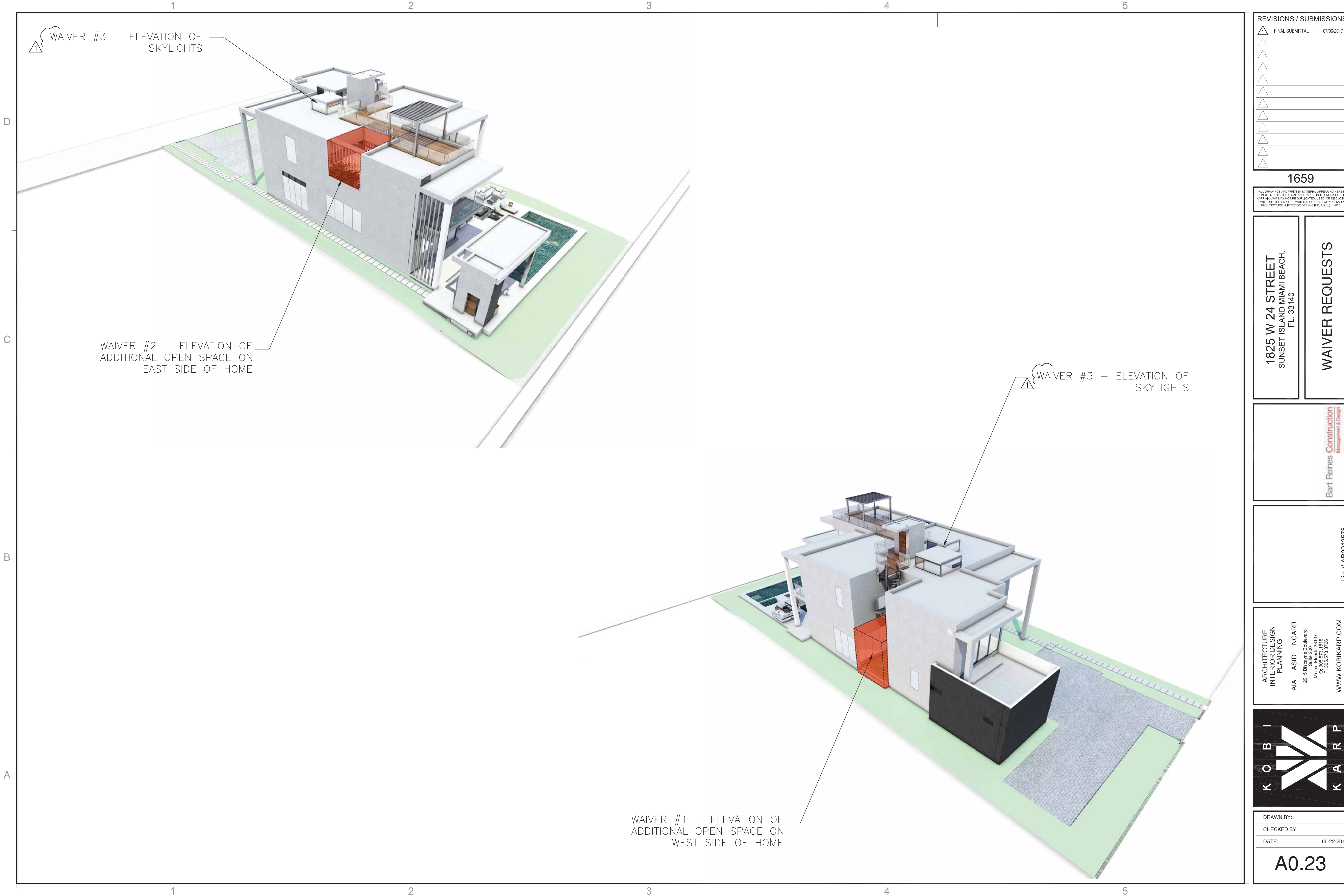


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WAIVER #3 - ELEVATION OF SKYLIGHTS

WAIVER #2 - ELEVATION OF ADDITIONAL OPEN SPACE ON EAST SIDE OF HOME

WAIVER #1 - ELEVATION OF ADDITIONAL OPEN SPACE ON WEST SIDE OF HOME

REVISIONS / SUBMISSIONS		
FINAL SUBMITTAL	07/06/2017	

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WAIVER REQUESTS

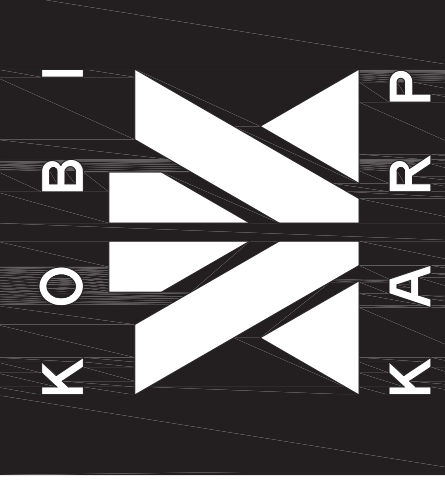
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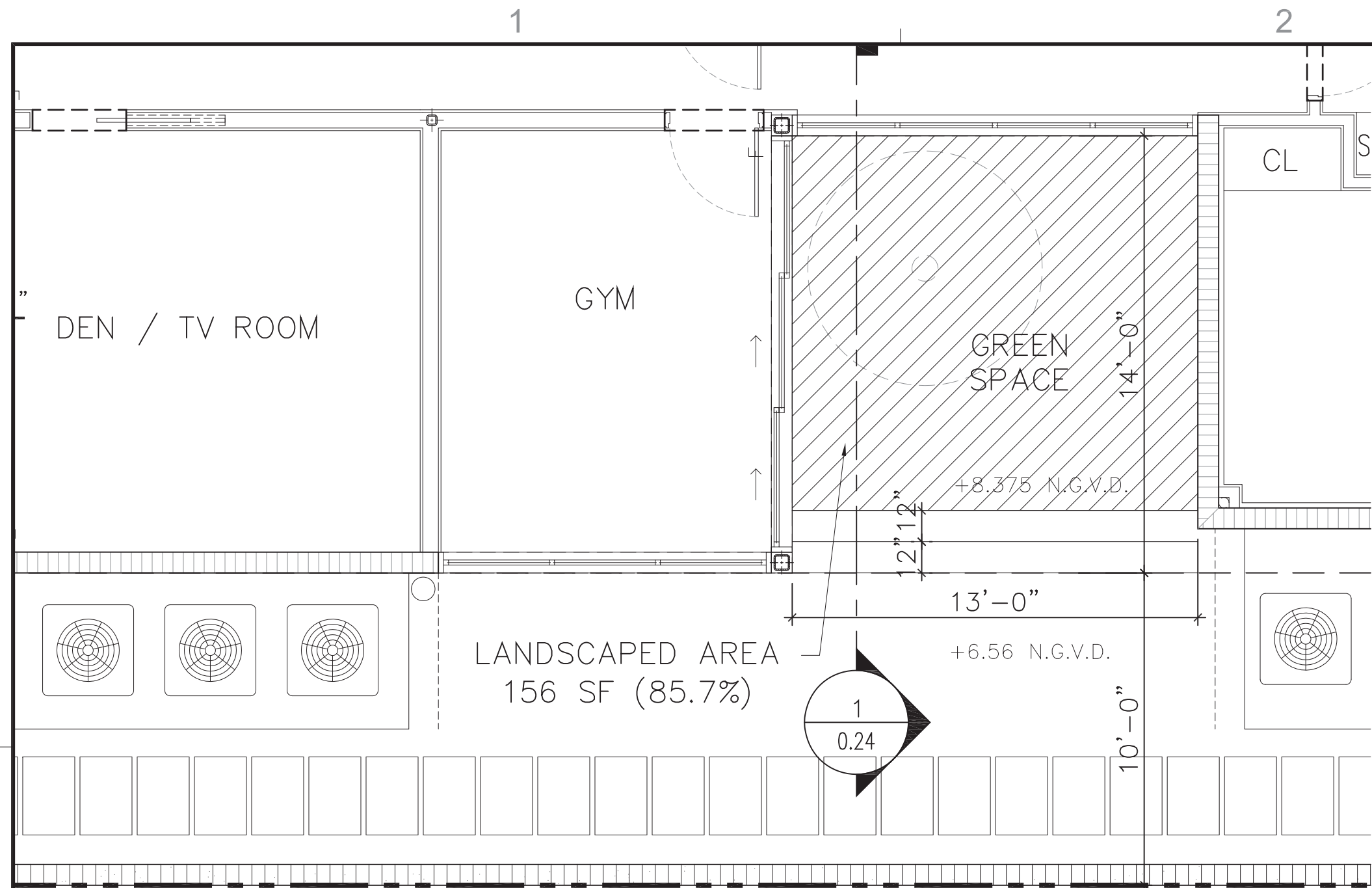


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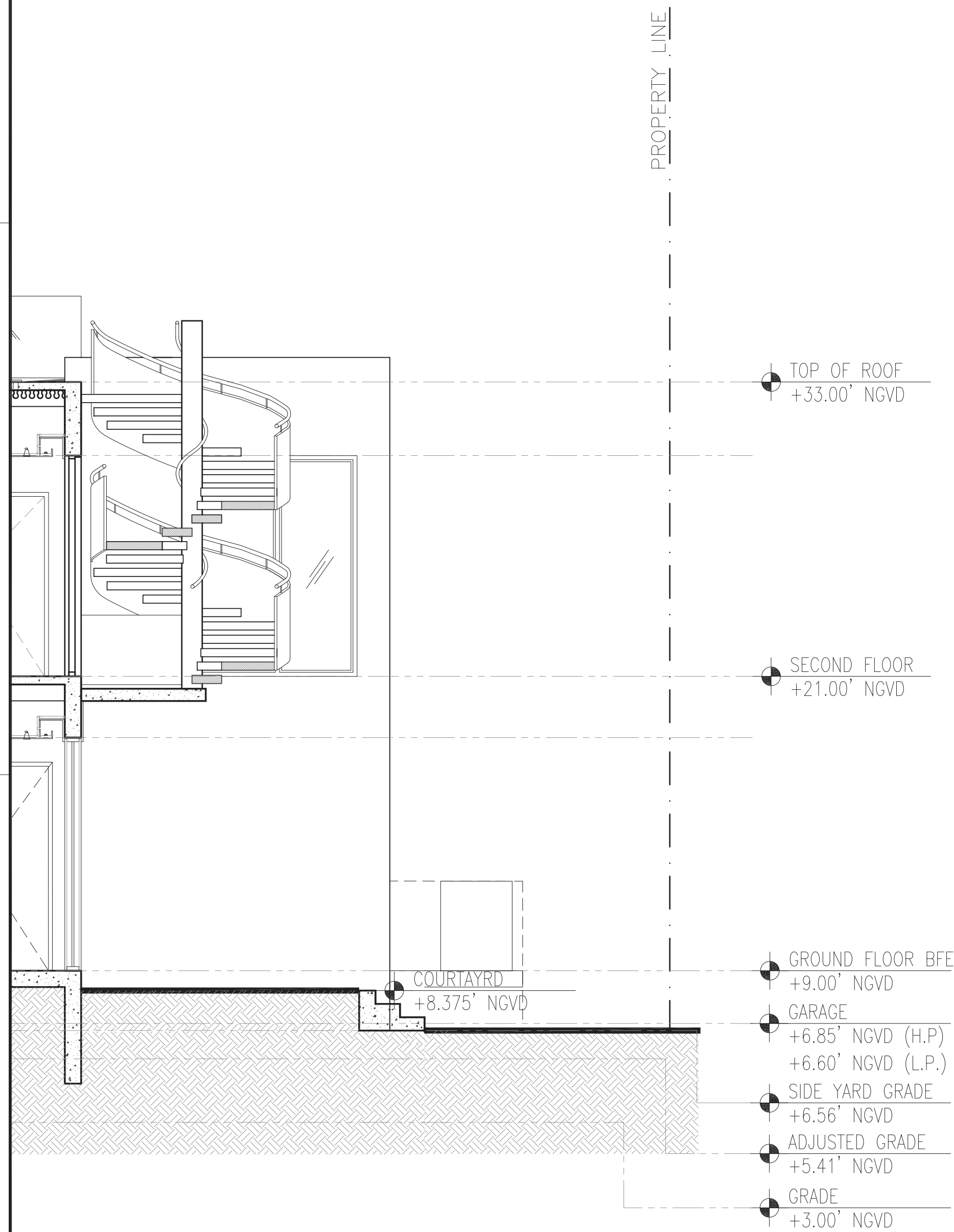
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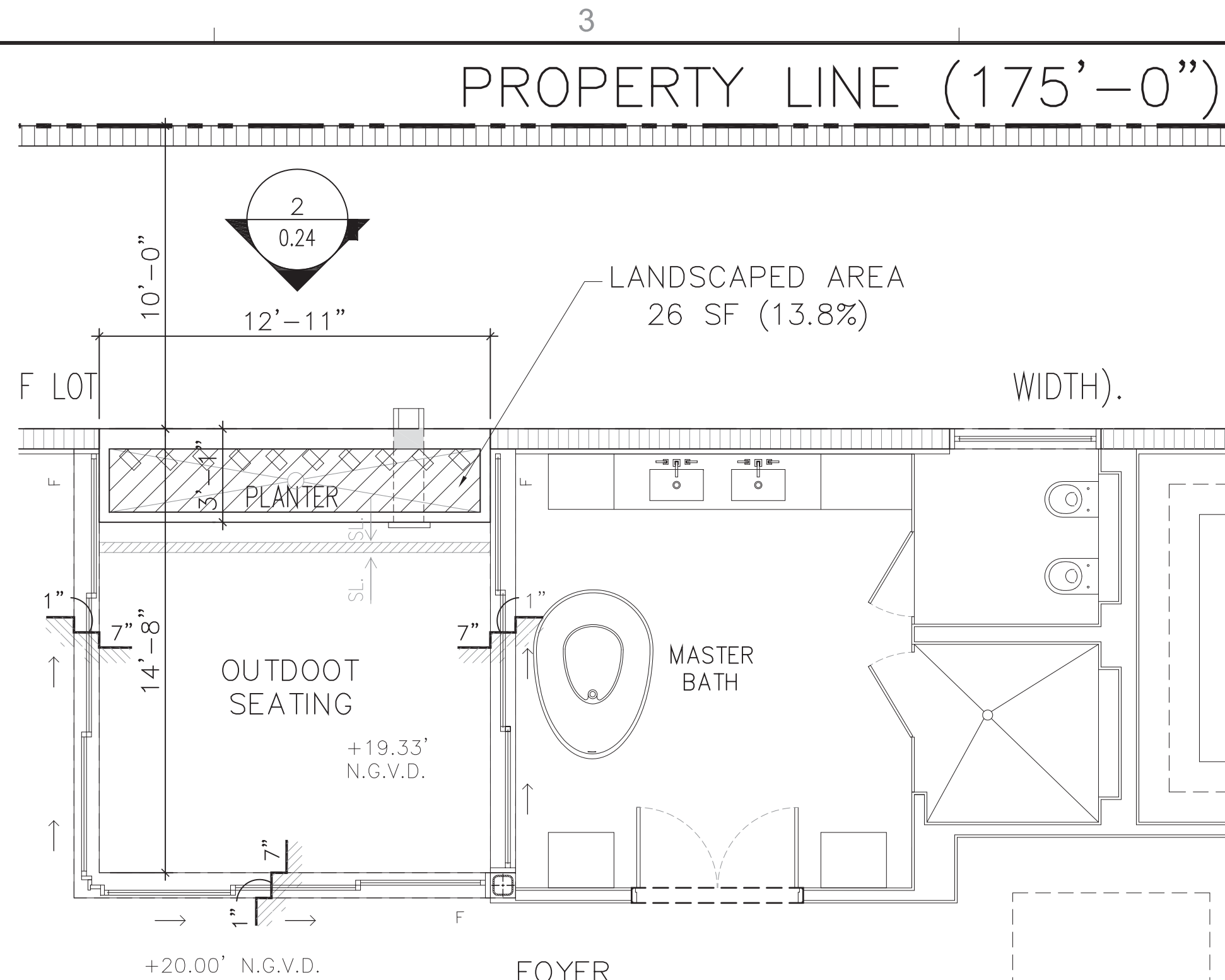


PROPERTY LINE (175'-0")
S01°54'34"E
175.00'(R&M)

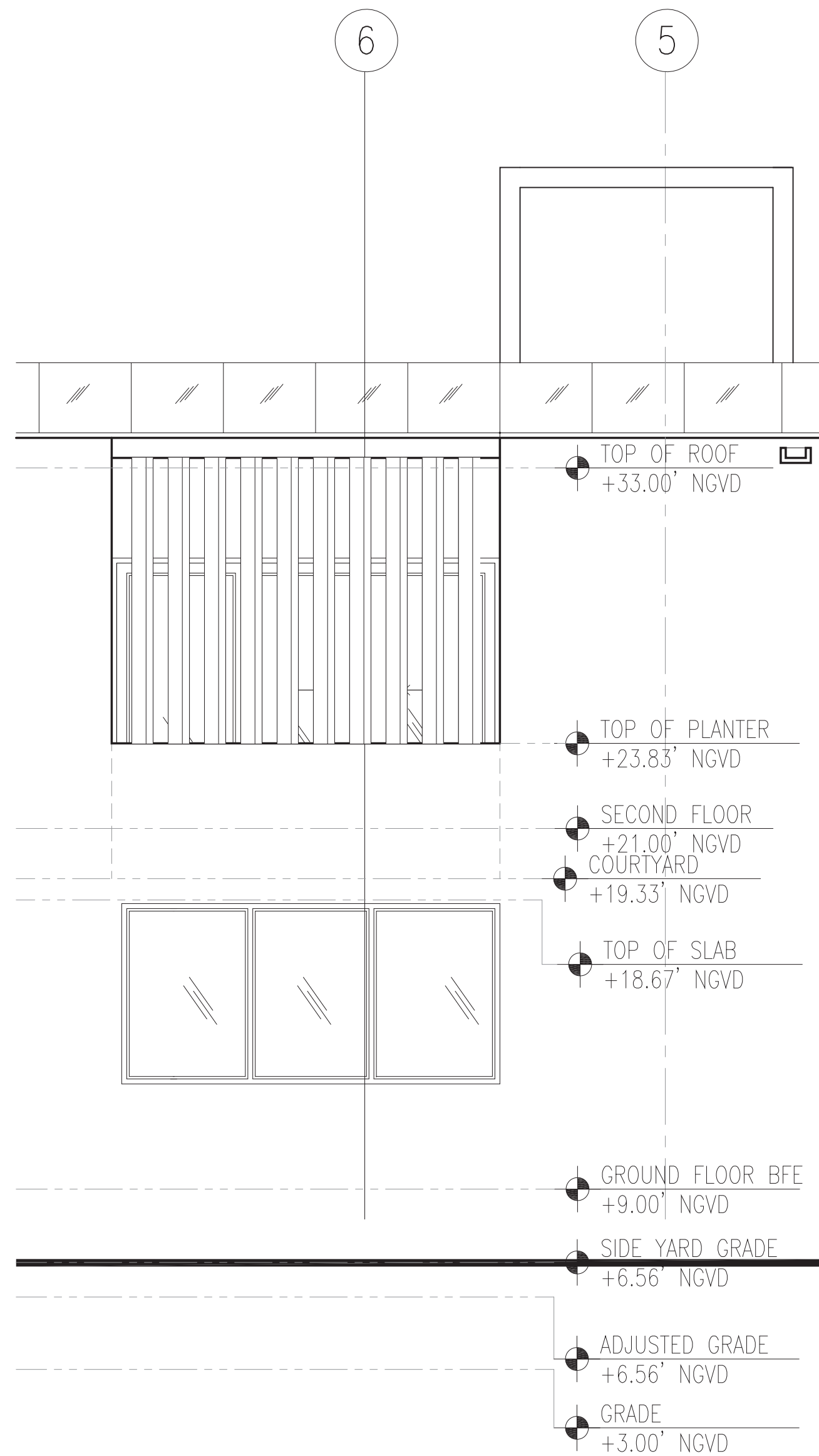
WEST COURTYARD PLAN - WAIVER #1
SCALE: 1/4" = 1'-0"



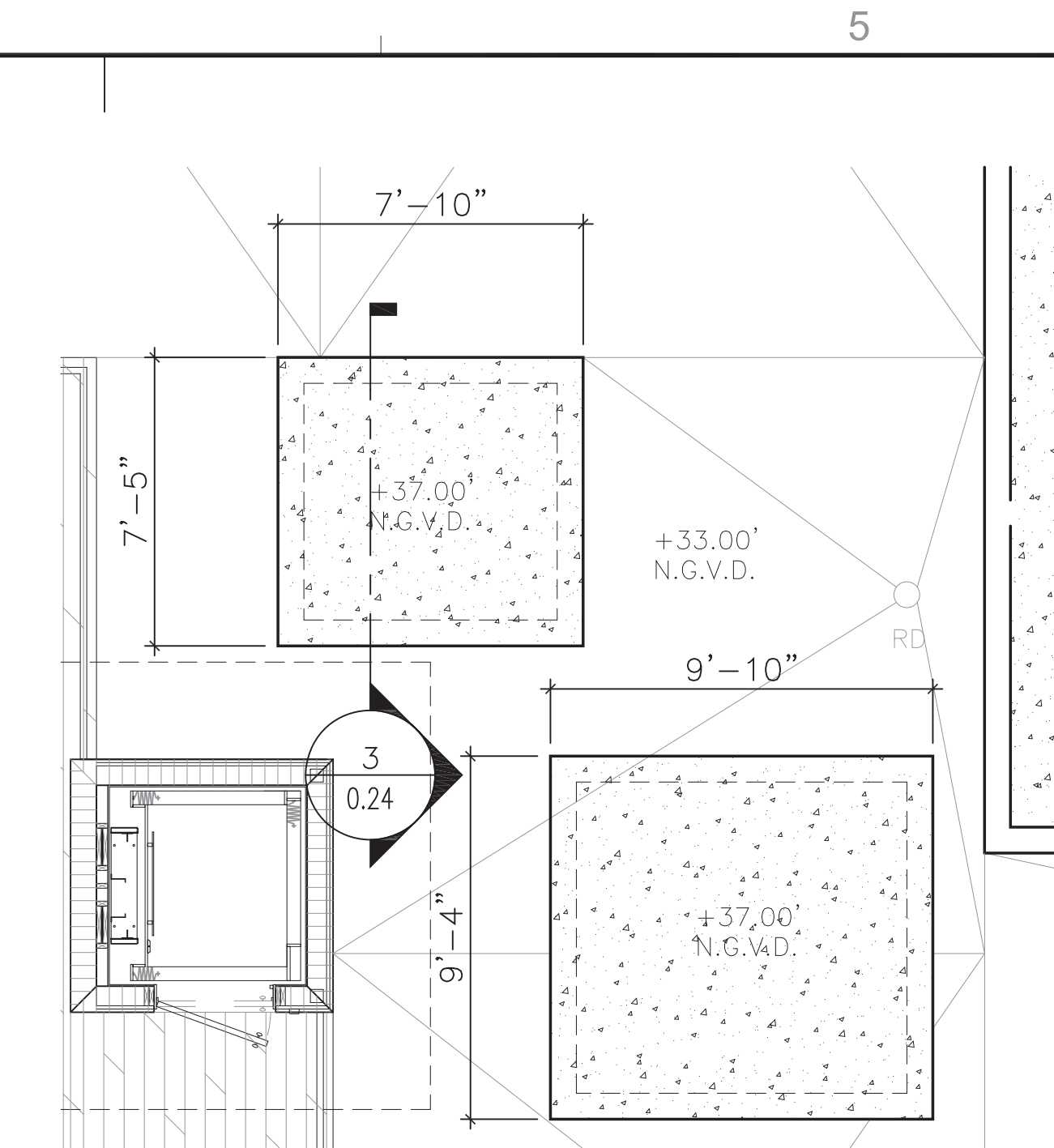
WEST COURTYARD SECTION - WAIVER #1
SCALE: 1/4" = 1'-0"



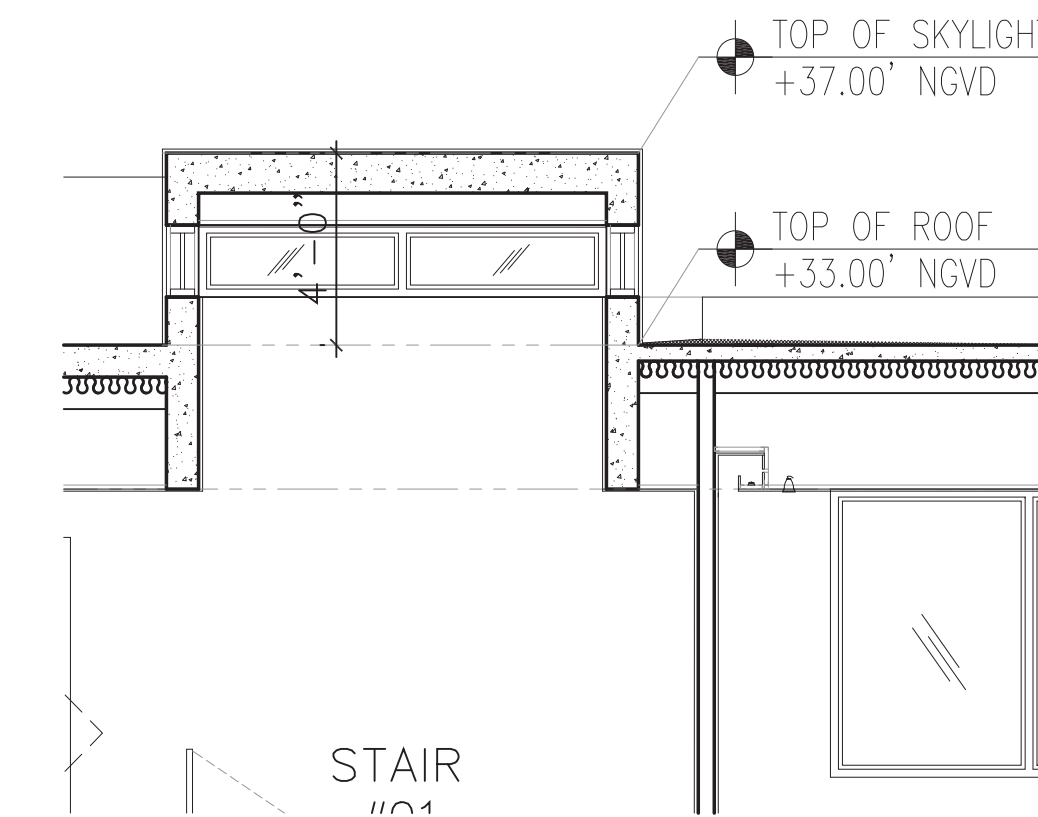
EAST COURTYARD PLAN - WAIVER #2
SCALE: 1/4" = 1'-0"



EAST COURTYARD SECTION - WAIVER #2
SCALE: 1/4" = 1'-0"



SKYLIGHTS PLAN - WAIVER #2
SCALE: 1/4" = 1'-0"



SKYLIGHTS SECTION - WAIVER #3
SCALE: 1/4" = 1'-0"

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WAIVER DIAGRAMS

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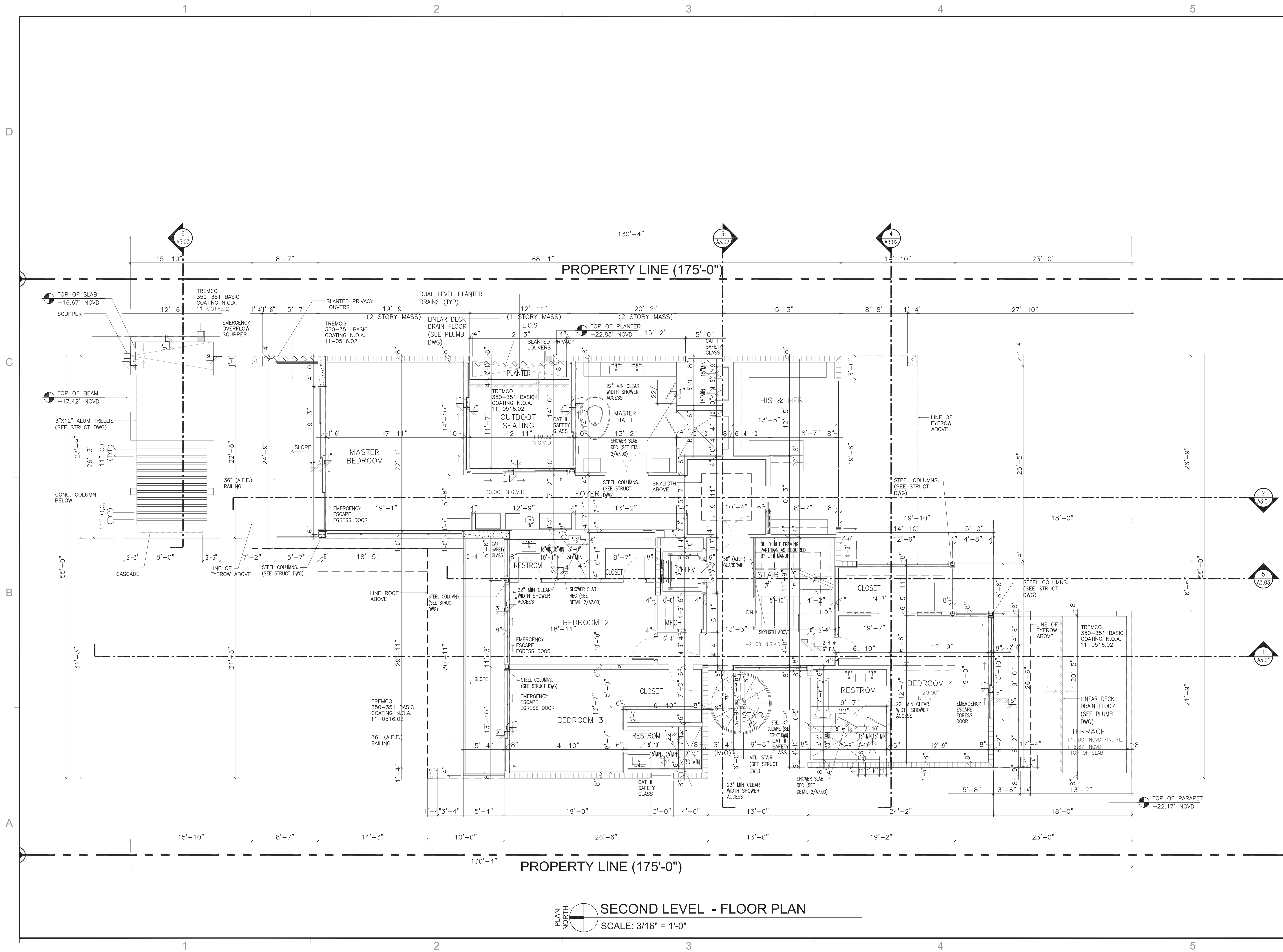
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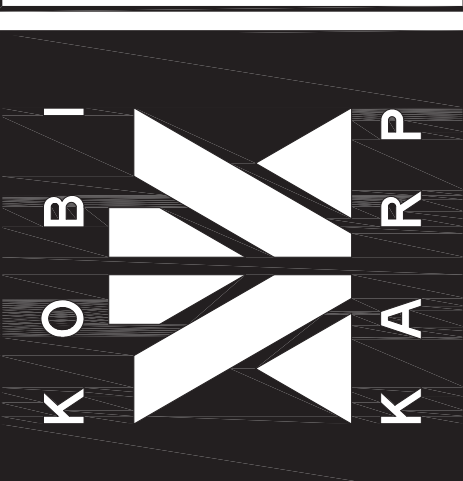
SECOND FLOOR

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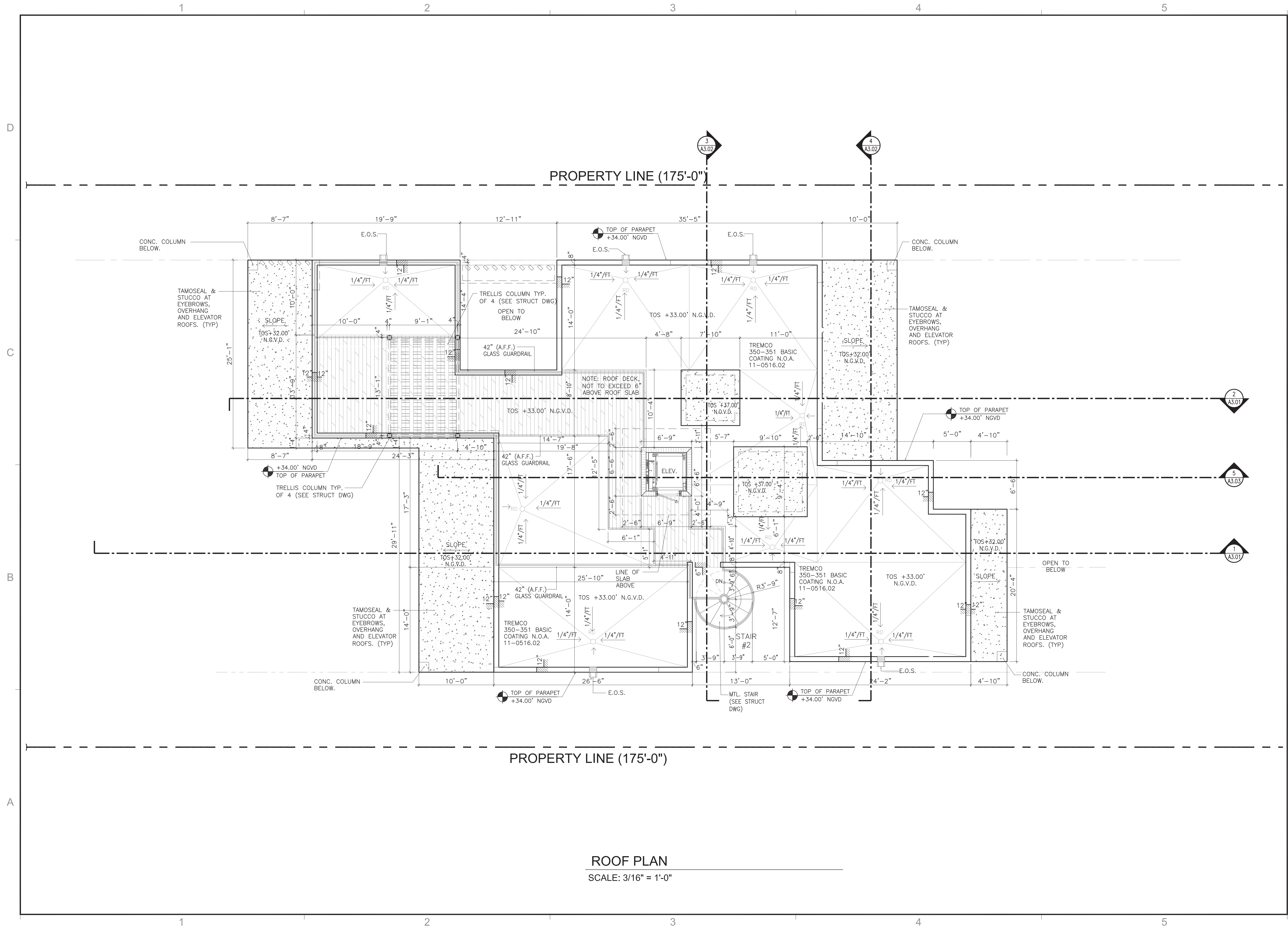


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CHECKED BY:

DATE: 06-22-2017

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ROOF PLAN

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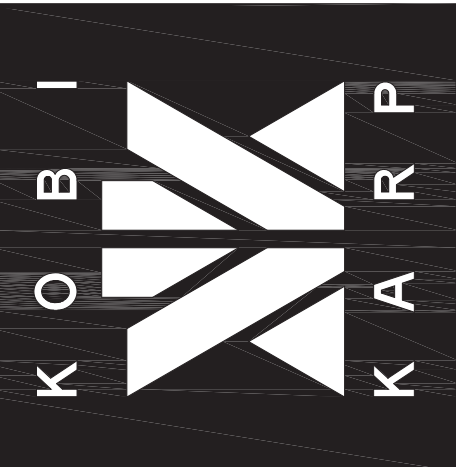
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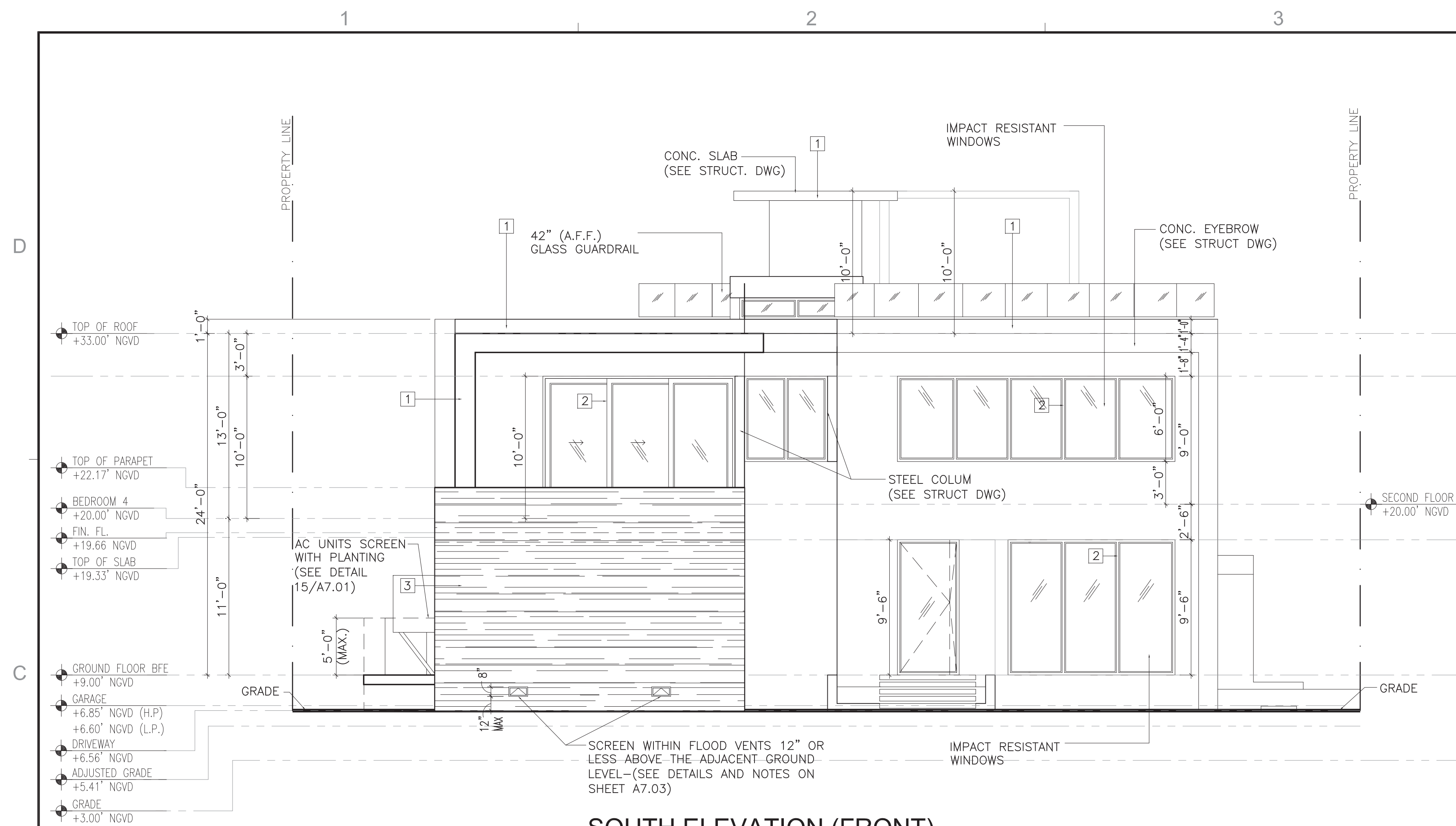


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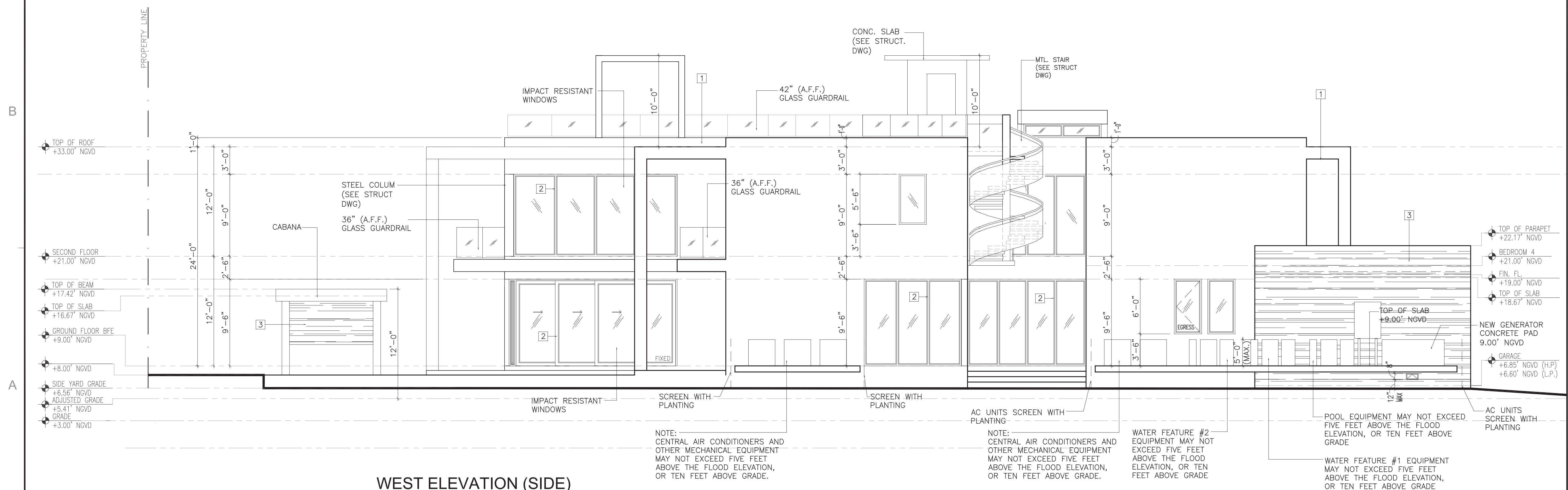
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SOUTH ELEVATION (FRONT)

SCALE: 3/16" = 1'-0"



WEST ELEVATION (SIDE)

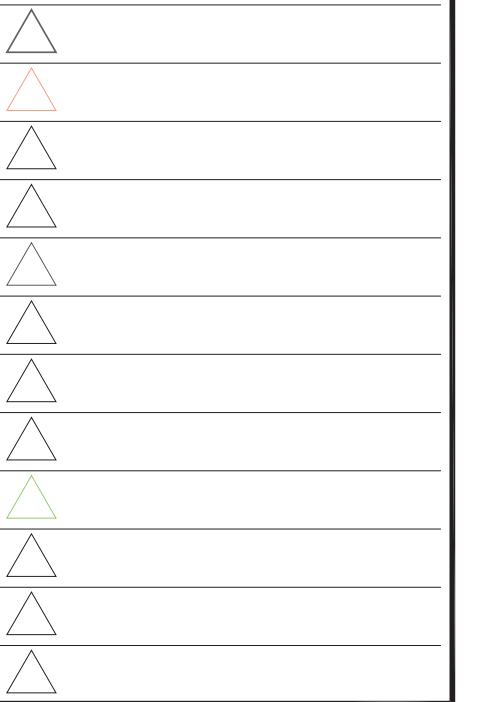
SCALE: 3/16" = 1'-0"

NOTE:
MINIMUM EQUIPMENT AND HABITABLE FINISH
FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND



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ELEVATIONS

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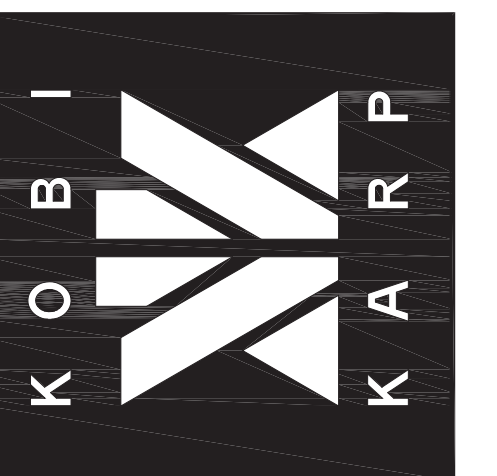
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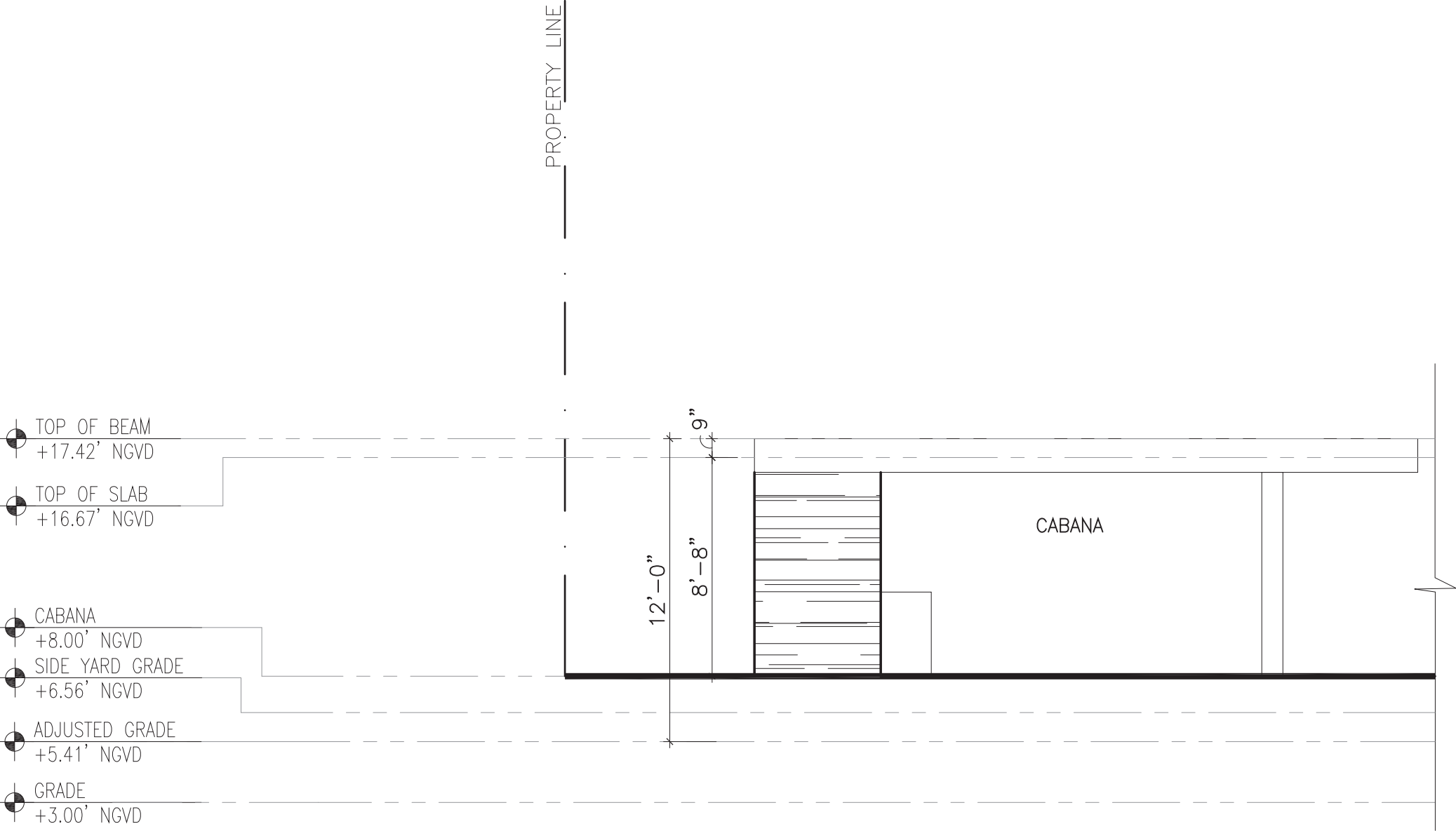
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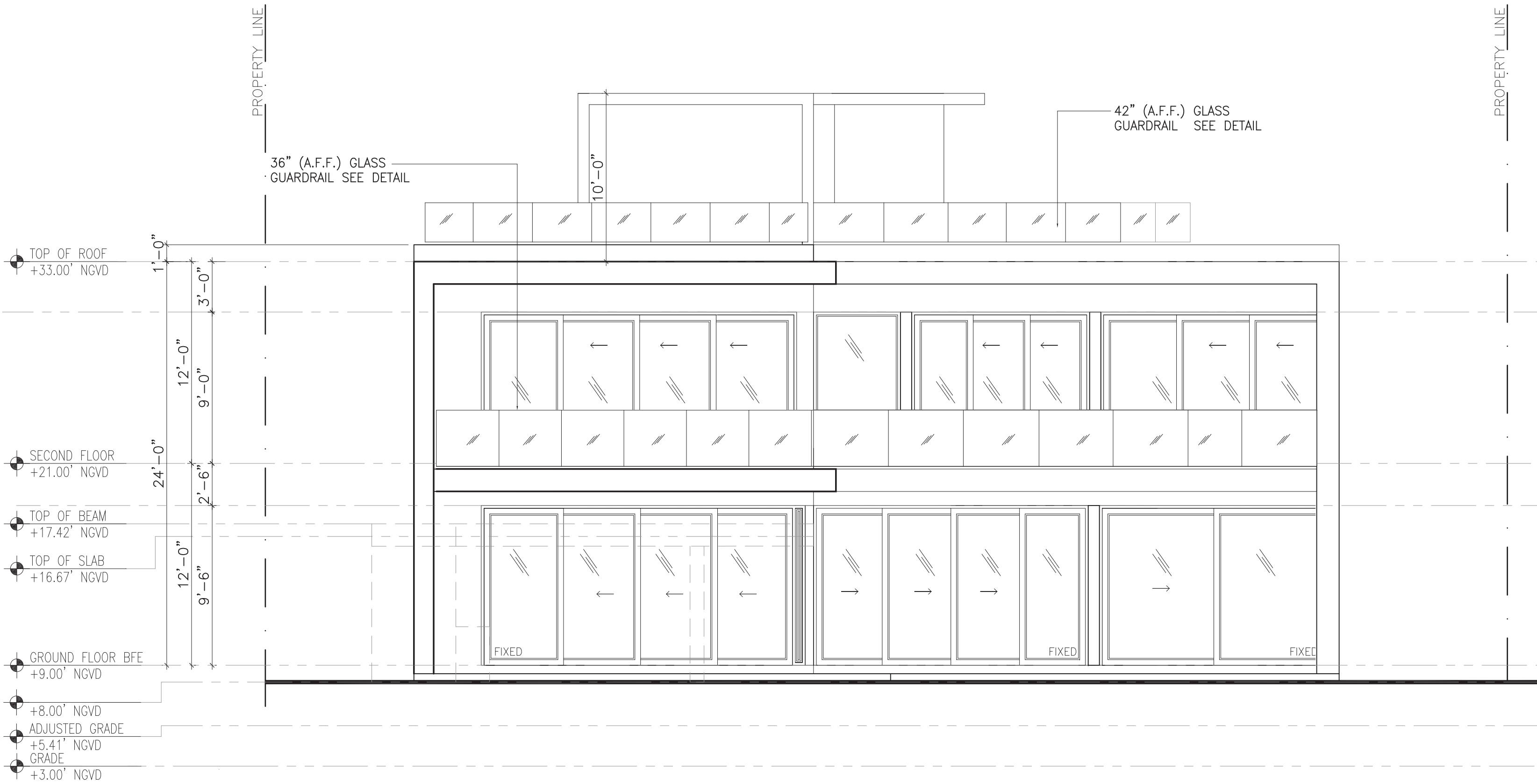
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FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND

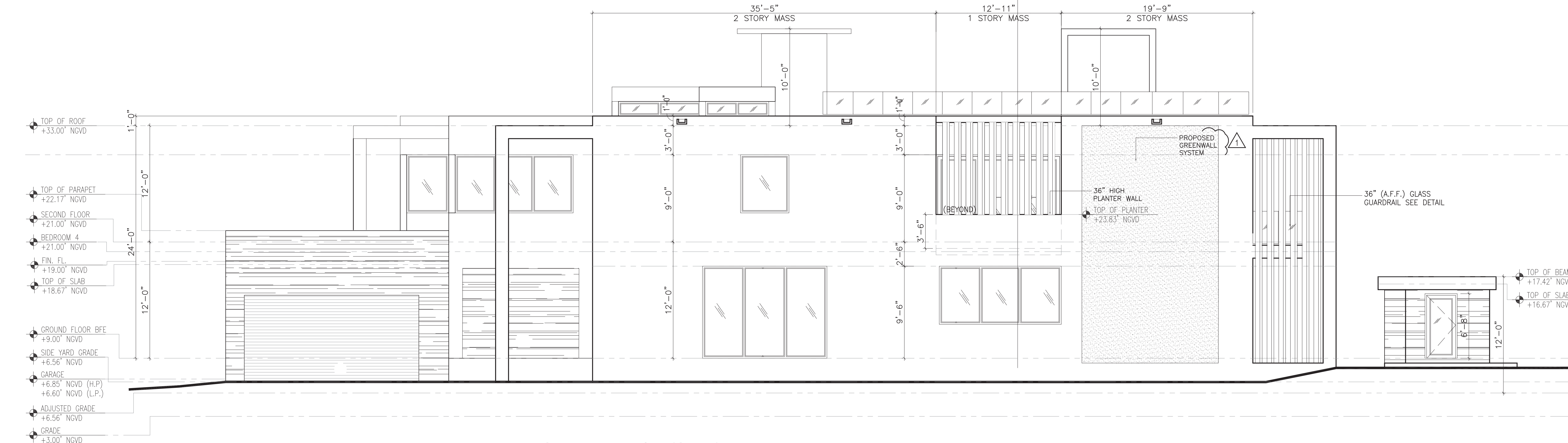
			
1 GRAY WOOD TEXTURE	2 BRONZE TEXTURE	3 HORIZONTAL GRAY STACKED STONE	4 SMOOTH STUCCO



NORTH ELEVATION (CABANA)
SCALE: 3/16" = 1'-0"



NORTH ELEVATION (REAR)
SCALE: 3/16" = 1'-0"



EAST ELEVATION (SIDE)
SCALE: 3/16" = 1'-0"

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	FINAL SUBMITTAL 07/06/2017
	
	
	
	
	
	
	
	
	
	
	

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ELEVATIONS

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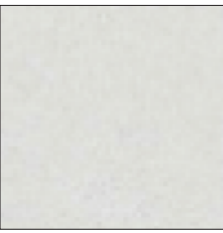
NOTE:
MINIMUM EQUIPMENT AND HABITABLE FINISH
FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND


1 GRAY WOOD
TEXTURE


2 BRONZE
TEXTURE


3 HORIZONTAL GRAY
STACKED STONE


4 SMOOTH
STUCCO



NORTH ELEVATION (REAR)

SCALE: 3/16" = 1'-0"



EAST ELEVATION (SIDE)

SCALE: 3/16" = 1'-0"

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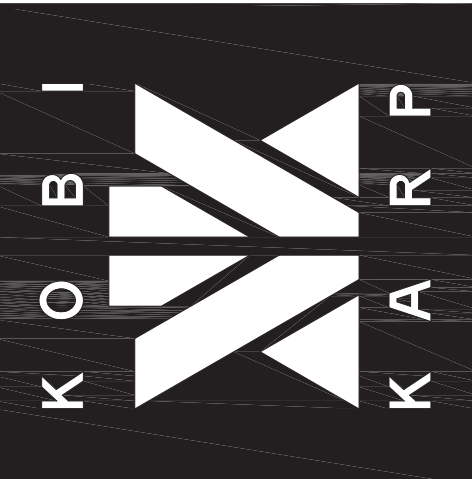
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RENDERED ELEVATIONS

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1833 W 24TH ST

1825 W 24TH ST

1821 W 24TH ST

CONTEXT ELEVATIONS

CONTEXTUAL ELEVATION

SCALE: 1/8" = 1'-0"

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CONTEXTUAL ELEVATION

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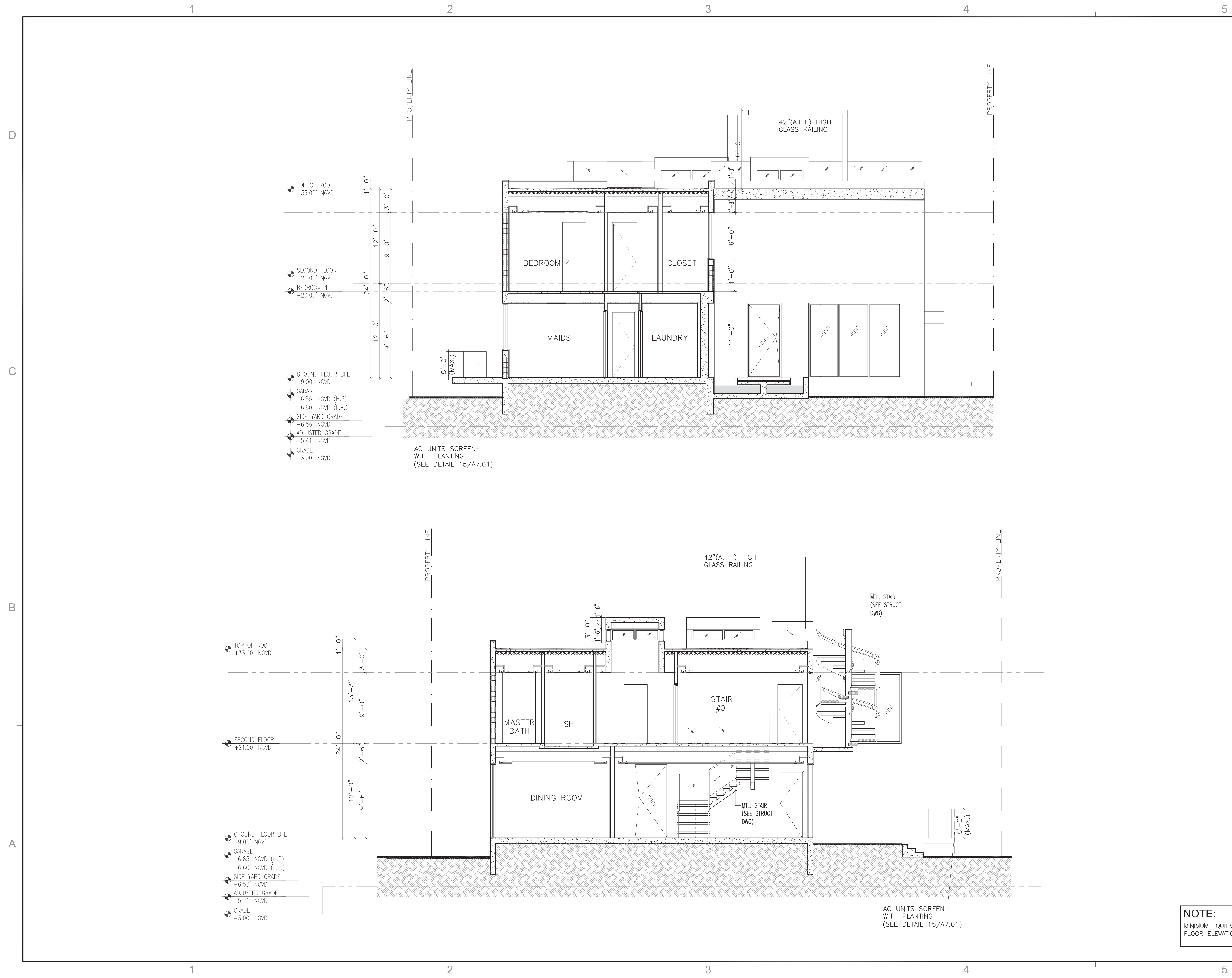
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SECTIONS

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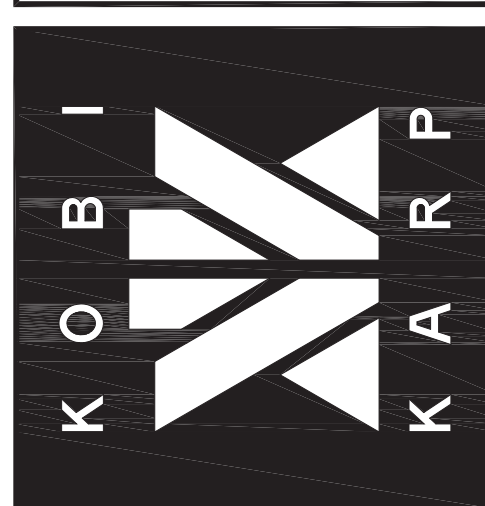
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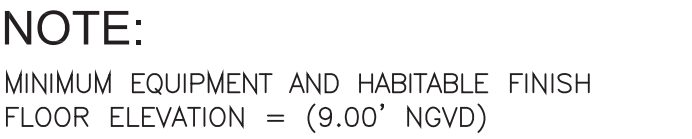
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NOTE:
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FLOOR ELEVATION = (9.00' NGVD)



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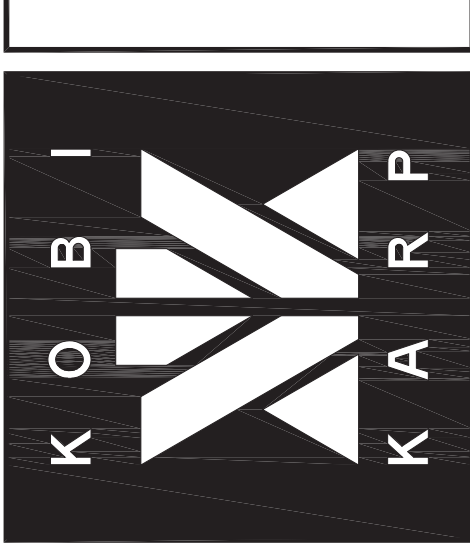
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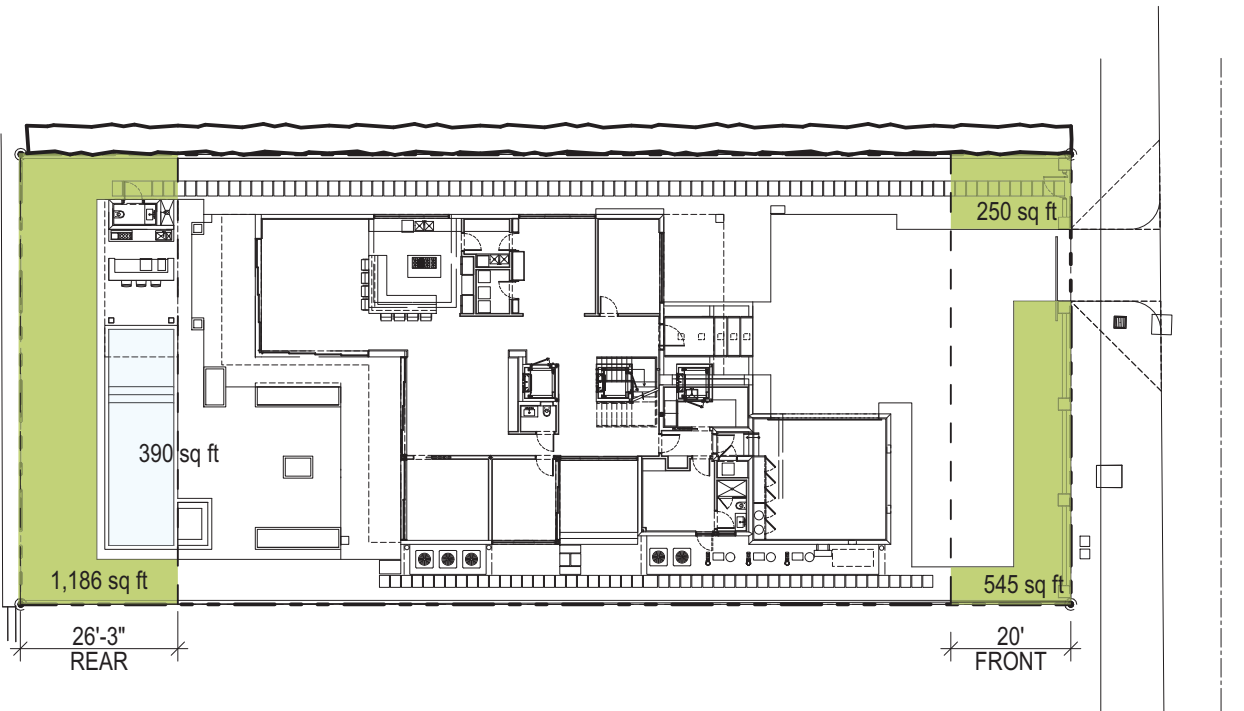
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GENERAL LANDSCAPE NOTES

REFER TO ARCHITECTURE FOR SITE, BUILDING, AND ZONING INFORMATION.

1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
2. The Contractor is responsible to ensure proper watering and maintenance of new and relocated materials during the warranty period.
3. Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner immediately.
4. All planting materials shall meet or exceed Florida Grade # 1 as specified in Grades and Standards for Nursery Plants and Part II, Palms and Trees, current edition.
5. Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage throughout all construction phases unless otherwise noted.
6. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work. Landscape contractor shall provide schedule of his/her works two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
7. Contractor shall be responsible to remove existing ground cover for all planting beds as specified prior to planting relocated material. Contractor shall be responsible to replace all portions of existing landscape and hardscape areas damaged while completing planting installation with same grass or materials species to the satisfaction of the Owner.
8. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for the installation area.
9. All plant material that may need to be replaced shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants", published by the Florida Department of Agriculture and Consumer Services, the project manual and/or specifications. Plant material in some cases may exceed Florida No. 1 grade in order to meet the minimum requirements for the project.
10. Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner and/or Landscape Architect.
11. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner and the Landscape Architect.
12. Any substitutions in size and/or plant material must be approved by the Landscape Architect or Owner prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner before planting can begin. All plant materials will not include any plants considered to be invasive to South Florida's native plant communities.
13. Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
14. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner to supplement irrigation watering and rainfall.
15. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
16. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner.
17. Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
18. Guying I staking practices shall not permit nails, screws, wires etc. , to penetrate outer surface of tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
19. Burlap material, wire cages, plastic straps, etc. , must be cut and removed from top one - third (1/3) of root ball.
20. Trees grown in grow bags or grow bag type material are not allowed.
21. Plant size specifications take precedence over container size.
22. Contractor to verify quantities and report any discrepancies to Owner and/or Landscape Architect.
23. Remove and replace sidewalk. Reconstruct swale. Mill and resurface 2in. avg. using type S-III asphalt mix design on the driving lane. Any work and/or improvements to the right of way including landscaping and irrigation require a separate CMB Public Works Department ROW Construction Permit.
24. The locations of hardscape and landscape, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed by or approved by the landscape architect.
25. Existing grades and existing site information shown on this plan is compiled from base information supplied by the surveyor and architect. The contractor is responsible for confirmation of actual site conditions. Urban robot accepts no responsibility for existing topographic and existing site information.
26. The general contractor shall require landscape installation sub-contractor to provide a detailed report and strategy for the transplanting, staging and reuse of any existing trees or palms within the proposed landscape plans. This shall be verified and approved by the landscape architect.
27. All dimensions and layout information is referenced to coordinates points provided on the survey.
28. The contractor shall verify all existing conditions prior to the commencement of work. Any discrepancies shall be reported to the owner's representative immediately.
29. The contractor shall perform all work in accordance with all local, state and federal regulations and shall obtain all necessary permits for this project.
30. All site work shall be performed in accordance with landscape (I) and, if applicable, civil (c) drawing sets.
31. All notes and dimensions are typical unless otherwise noted.
32. All dimensions are square (parallel or perpendicular) unless otherwise noted. The contractor shall notify the owner/owner's representative immediately in the event of any discrepancies found in the documents and/or field, or of conditions uncovered in the work which are not reflected in the plans.
33. The contractor shall take every precaution to prevent damage to all utilities (both above and below ground) within the project area. Damage to any utilities as a result of actions by the contractor shall be restored by the contractor, at his expense, to conditions equal to or better than before the damage was done.
34. Any areas disturbed by equipment, material storage, demolition and/or installation procedures are to be restored to original (or better) condition by contractor before completion of project and are subject to approval by owner's representative. All existing grassed areas not adequately protected and therefore damaged during construction, shall be replaced by the contractor at no additional cost to the owner.
35. The contractor is responsible for keeping the site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.
36. Contractor is responsible for general clean-out of all drainage basins (new and existing), manholes and/or other drainage features which have accumulated sediment as a result of construction activities.
37. The contractor shall provide all equipment, labor, materials and related work necessary for the prevention and control of dust resulting from operations in the performance of work of this contract. All cost in connection there with shall be considered to be included in the various unit and/or lump sum prices bid for the various item as listed in the bid.
38. Contractor shall submit shop drawings and/or samples of all materials to landscape architect as required within the detail drawings and notes.
39. All installation shall comply with Broward County ordinances as stated in Section 47-21.9. All discrepancies shall be notified to Landscape Architect immediately.

OPEN SPACE CALCULATIONS		
	REQUIRED	PROVIDED
TOTAL FRONT YARD AREA	1500	
Landscaped Pervious Open Space (50%)	750	795
TOTAL REAR YARD AREA	1973	
Landscaped Pervious Open Space (70%)	1380	1186
Pool Area		195
Total Landscaped Pervious Open Space		1381



SCALE: 1/32" = 1'-0"

LANDSCAPE LEGEND			
ZONING DISTRICT:	RS-3	LOT AREA	0.30 Acres
			13,125 s.f.
LAWN AREA CALCULATION		REQUIRED	PROVIDED
A. Square feet of open space required: 50% of Lot Area =		6,563	9,884
B. Maximum lawn area (sod) permitted 50 % x 9,884 s.f.		4,942	0
TREES			
A. Number of trees required, less existing number of trees (12' high / 2' cal min) meeting minimum requirements = 12 trees - 0 existing=		12	17
B. % Native trees required: Number of required trees x 30% =		4	16
C. % Drought tolerant and low maintenance: Number of required trees x 50% =		6	9
D. Street Trees (maximum average spacing of 20' o.c.): 60 linear feet along street / 20 =		3	3
E. Street trees located directly beneath power lines: (maximum average spacing of 20' o.c.): linear feet along street / 20 =		NA	NA
F. Tree Diversity (based on number of required trees)		2	5
G. Trees in Energy Conservation Zone		2	3
SHRUBS			
A. Number of shrubs required (18" min height): (No. of required trees + No. of street trees) x 12 =		180	422
B. % Native shrubs required: Number of required shrubs x 50% =		90	100
C. % large shrubs required (min 6' high installed, 10' high once mature, 50% min native) Number of required shrubs x 10%=		18	42



1825 WEST 24 ST RESIDENCE.

1825 WEST 24 ST SUNSET ISLAND
MIAMI BEACH, FL 33139

SHEET INDEX

ID	Name
L001	COVER SHEET
L100	TREE PROTECTION & REPLACEMENT PLAN
L200	SITE PLANTING PLAN
L202	PLANTING DETAILS
L300	SITE LIGHTING PLAN
L400	SITE IRRIGATION PLAN
L401	IRRIGATION DETAILS AND SPECIFICATIONS

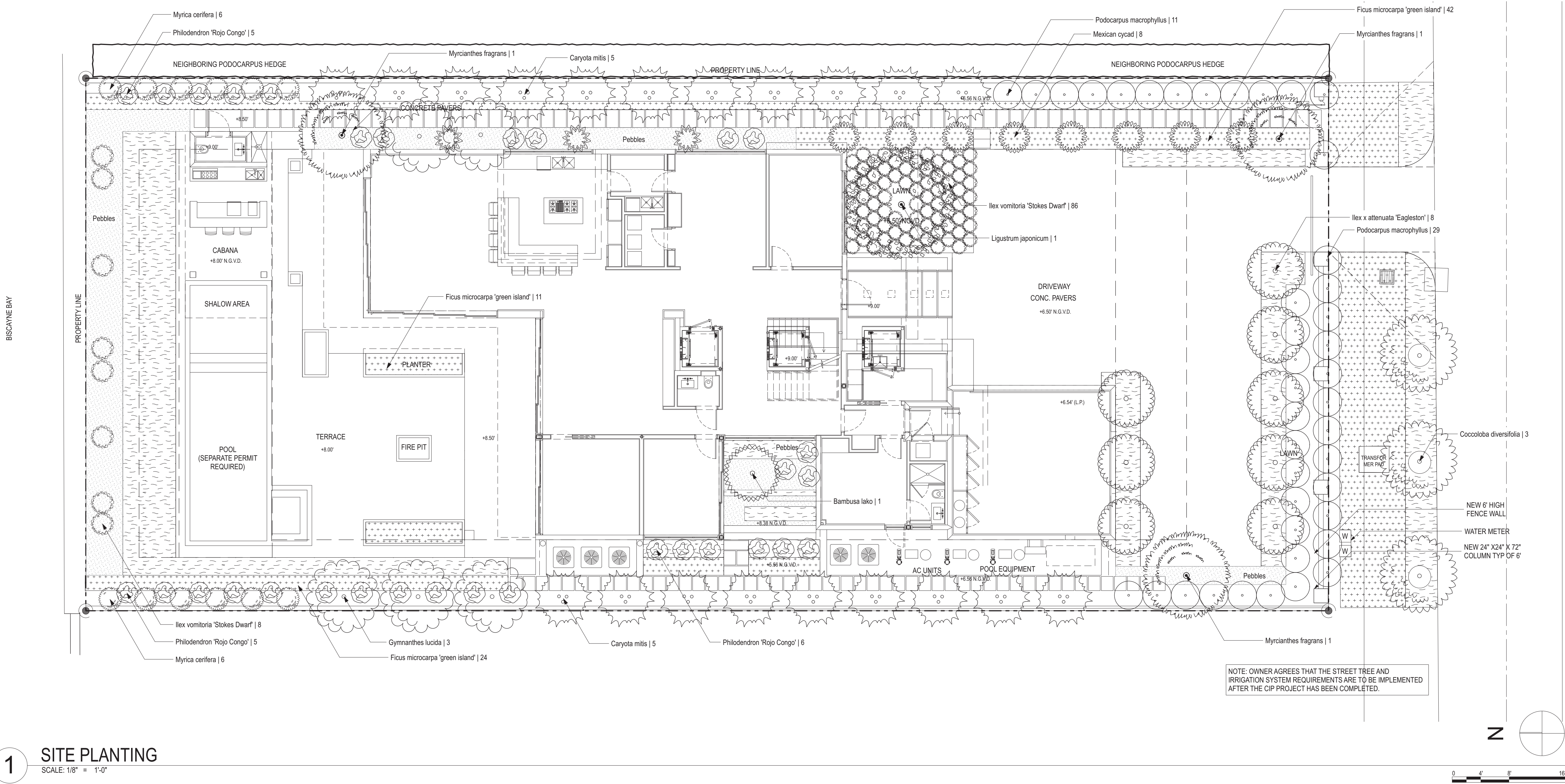
REVISIONS

ID	Date	Description
01	07/06/2017	Final Submittal

L100

Tree Schedule									
Symbol	ID	Qty	Botanical Name	Common Name	Cal	Height	Spread	Native	Remarks
	BI	1	Bambusa lako	Black Bamboo	Clump	8'	8'	N	10 clums min.
	CM	20	Caryota mitis	Fishtail Palm	Clump	25'	8'	N	
	GL	5	Gymnanthes lucida	Crabwood	2" min	12'	10'	Y	collected specimen
	IA	8	Ilex x attenuata 'Eagleston'	Holly 'Fosters'		16'	8'	Y	collected specimen
	MF	3	Myrcianthes fragrans	Simpson's Stopper	18"	20'-25'	16'	Y	multitrunk; specimen
	MF2	1	Ligustrum japonicum	Japanese Privet	18"	15'	15'	N	multitrunk; specimen
	RE	3	Rhapsis excelsa	Lady Palm		8'	4'	N	65g
	pp	3	Coccoloba diversifolia	Pigeon Plum	4"	16'	8'	Y	

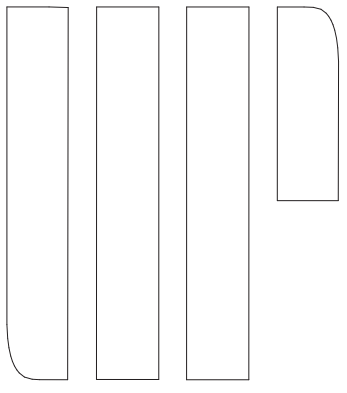
Shrub Schedule											
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Spacing	Native	Remarks	
	DE	8	Mexican cycad	Dioone edule	7g	5'	4'	4'	N	collected specimen	
	IV	88	Ilex vomitoria 'Stokes Dwarf'	Holly	7g	18"	30"	36"	Y		
	Mc	12	Myrica cerifera	Wax Myrtle	15g	48"	36"	plan	Y	collected specimen	
	PR	31	Philodendron 'Rojo Congo'	Rojo Congo Philodendron	7g	36"	30"	36"	N		
	Pm	42	Podocarpus macrophyllus	Plume Pine		8'	3'	4'	Y		
	Fm	241	Ficus microcarpa 'green island'	Green Island Ficus	3g	18"	24"	30"	N	1,272.52	
	TA		Trachelospermum asiaticum	Asiatic Jasmine	Liner	6"	6"	6"	N	1,275.20	



1

SITE PLANTING

SCALE: 1/8" = 1'-0"



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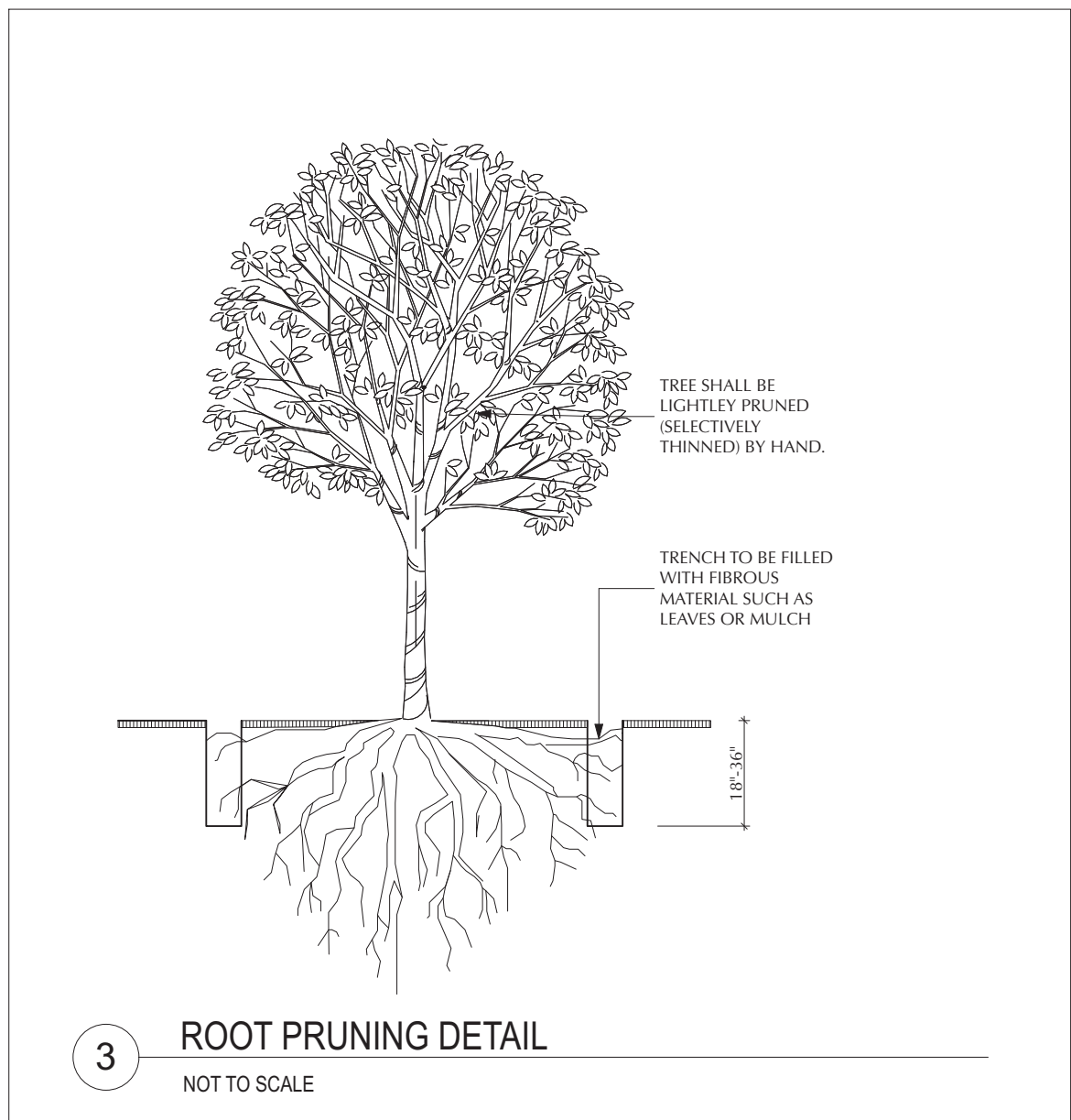
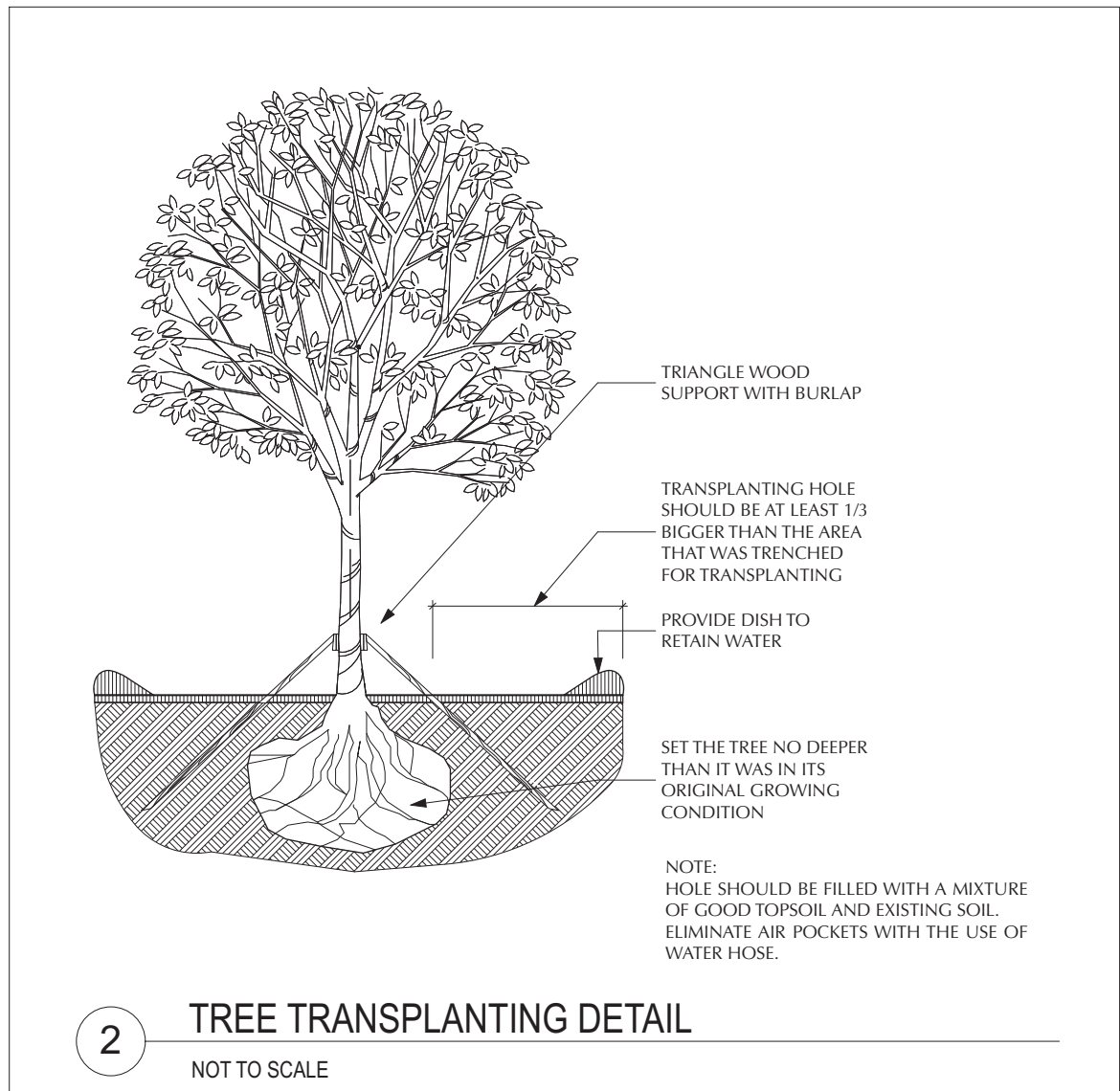
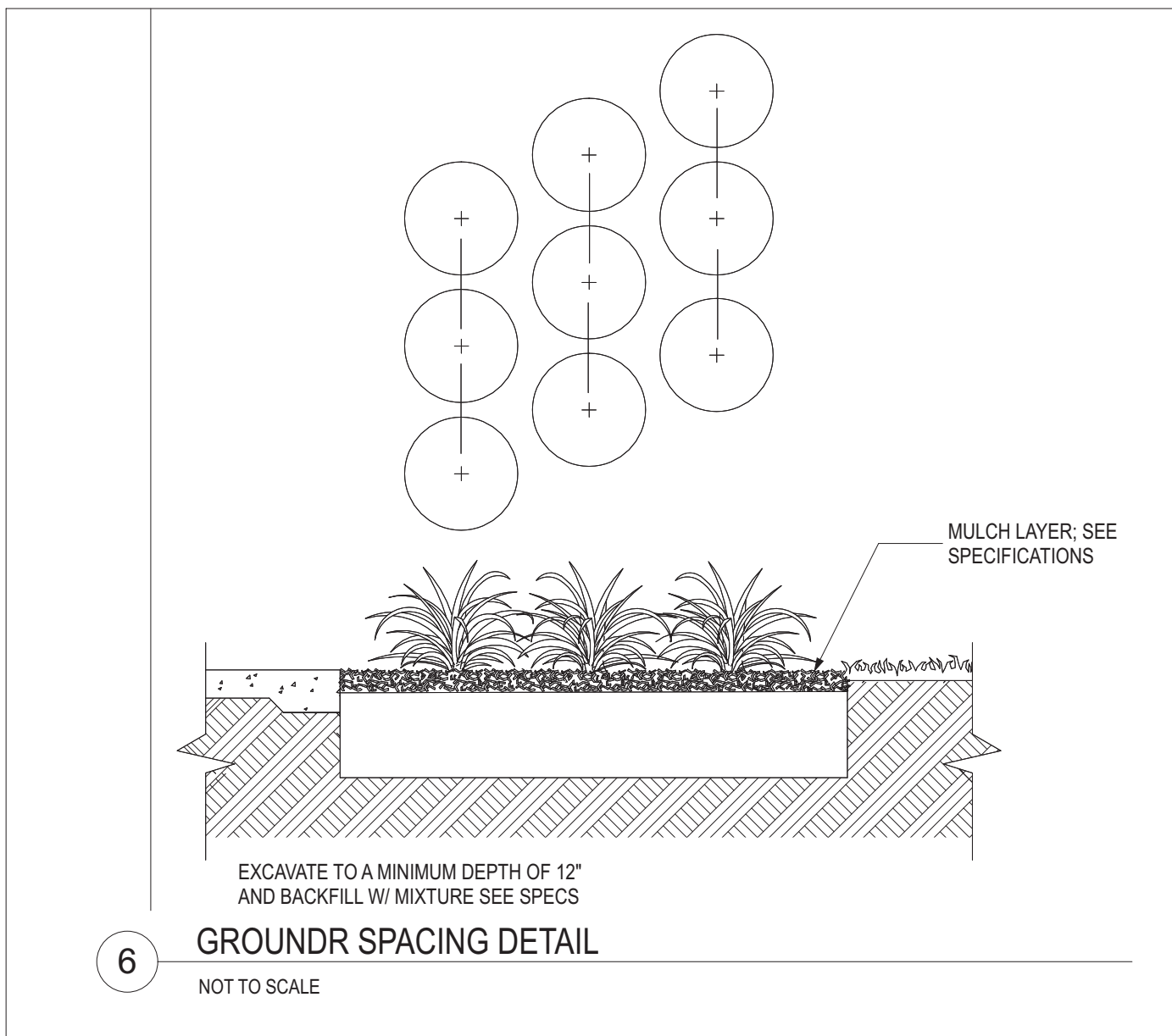
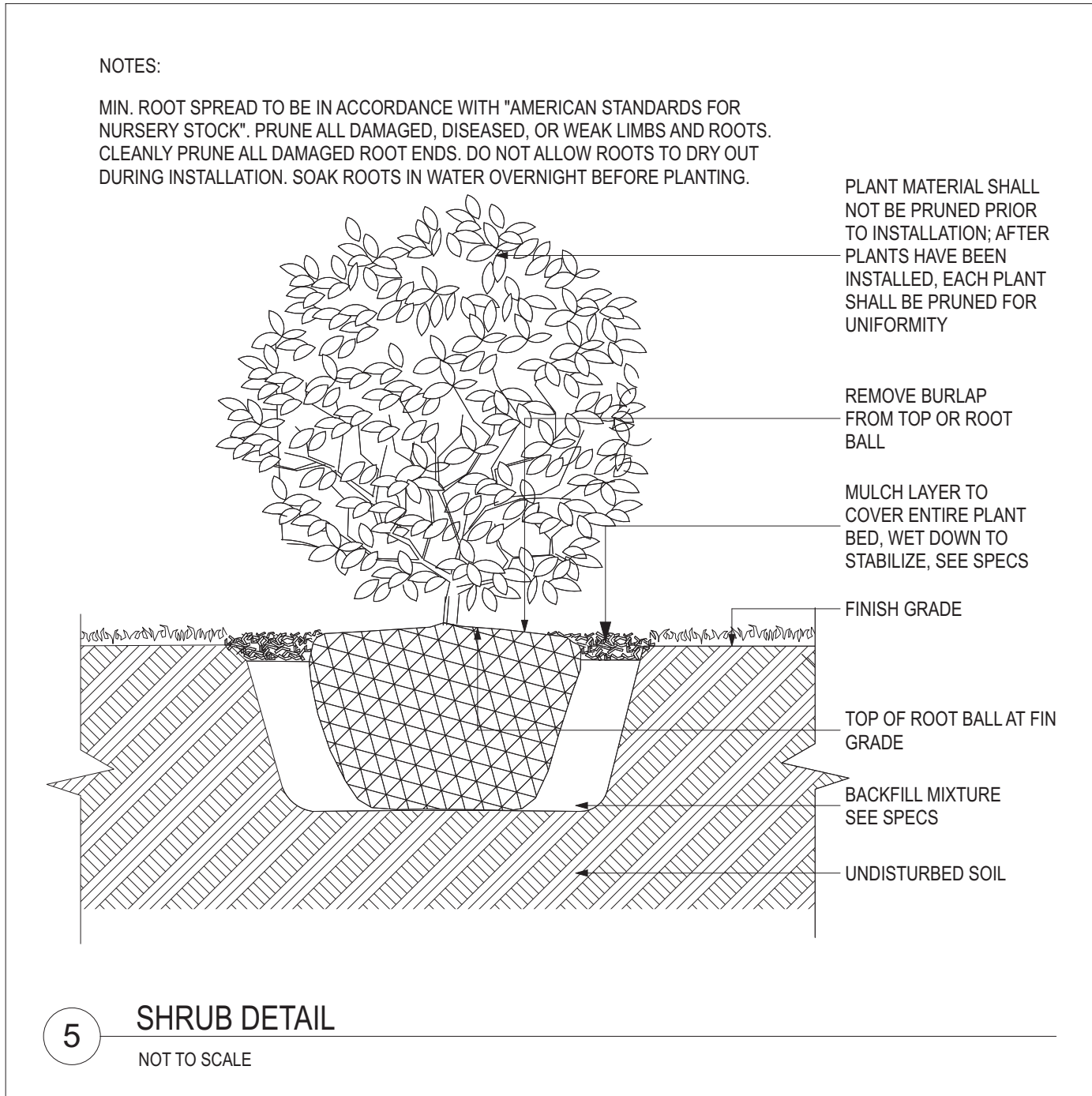
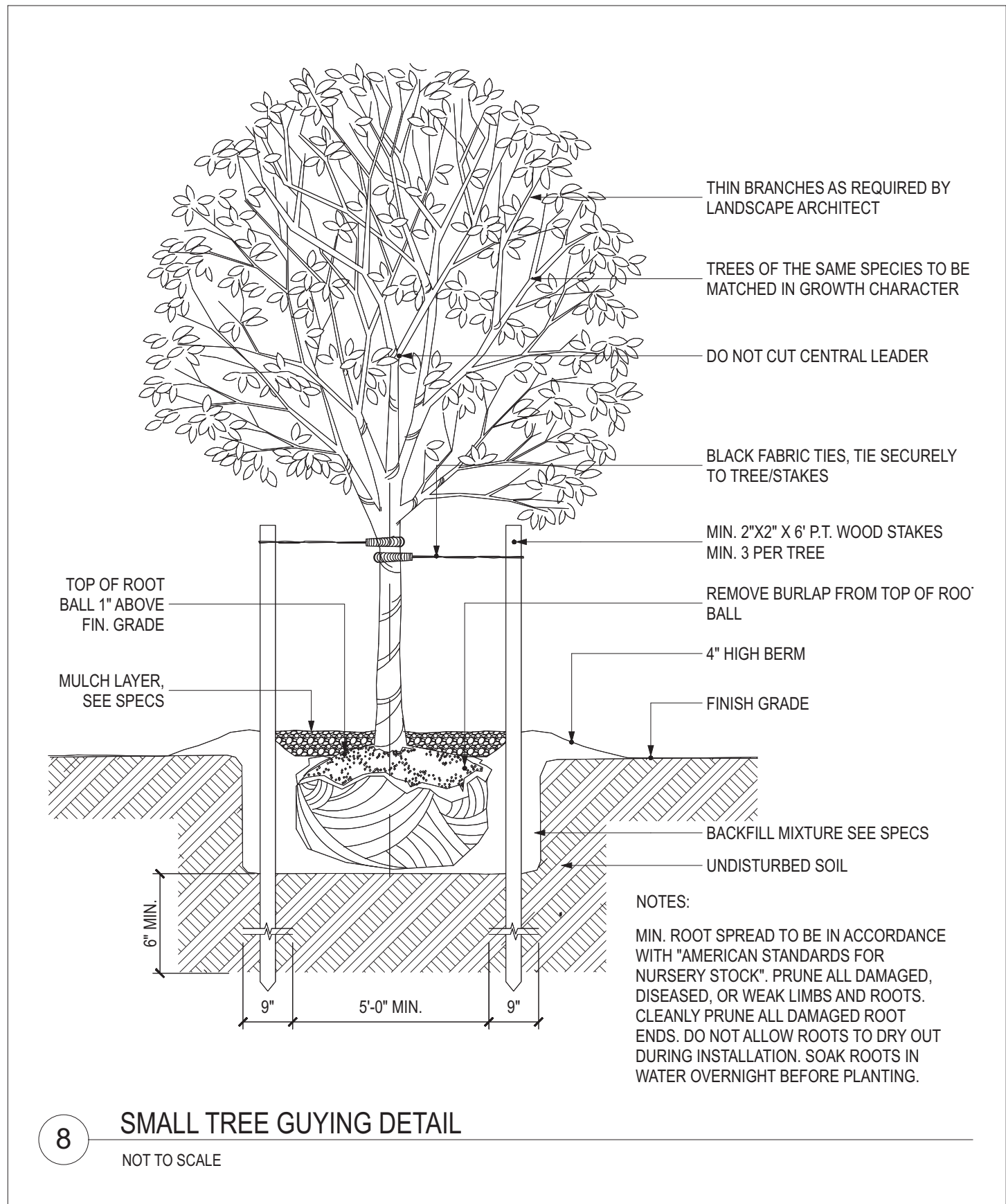
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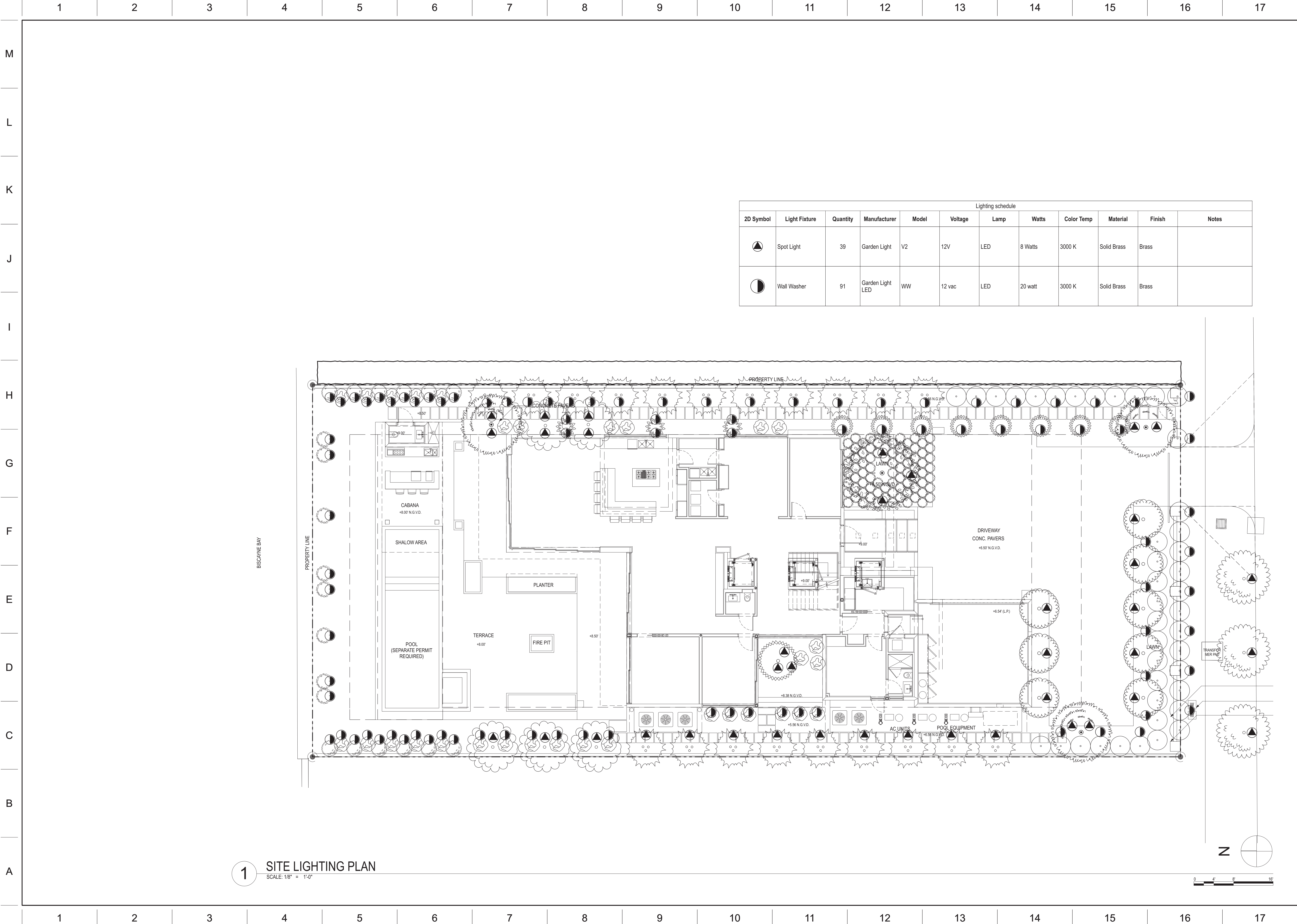
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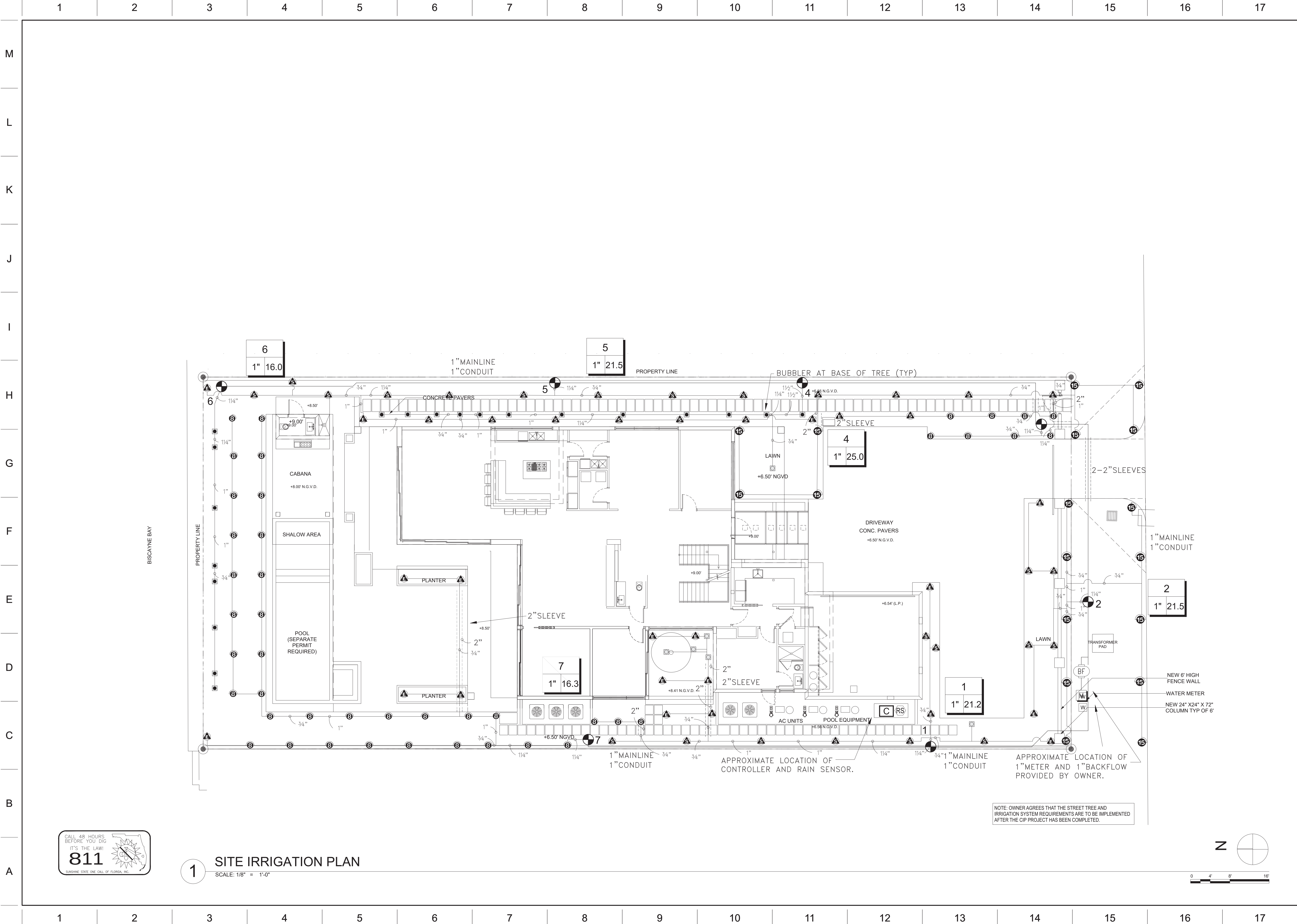
SITE PLANTING PLAN

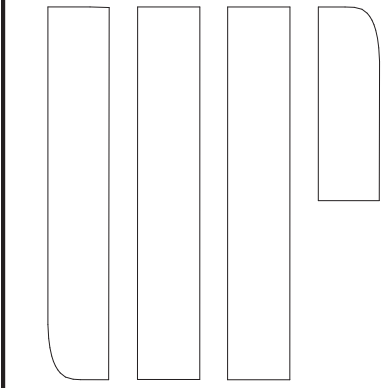
L200



2. Any other mulch must be must be submitted to and approved







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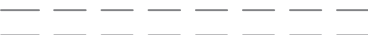
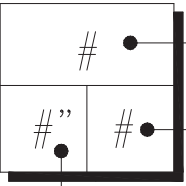
SITE IRRIGATION PLAN

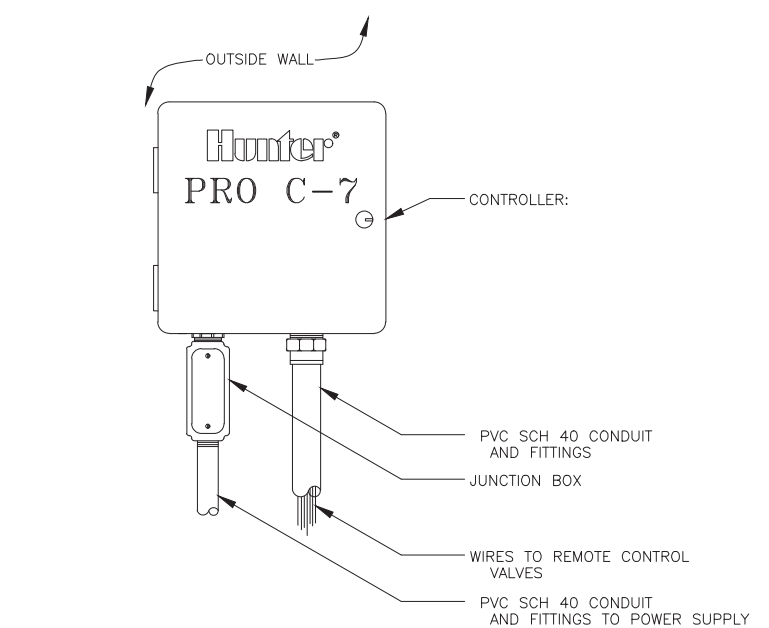
L400

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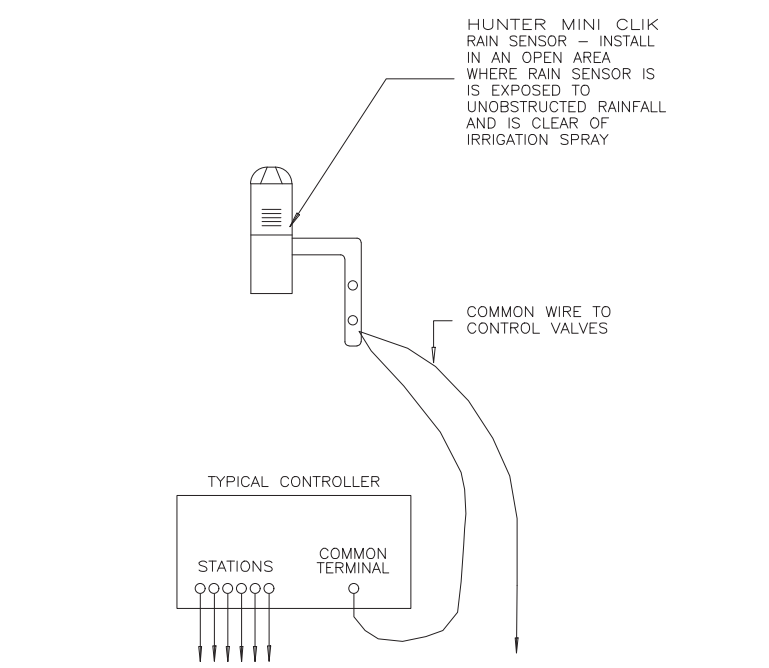
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Hunter PROS-12 5' strip spray Shrub Spray, 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30
	Hunter PROS-12 8' radius Shrub Spray, 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30
	Hunter PROS-12 15' radius Shrub Spray, 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.	30
	Hunter AFB Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	30

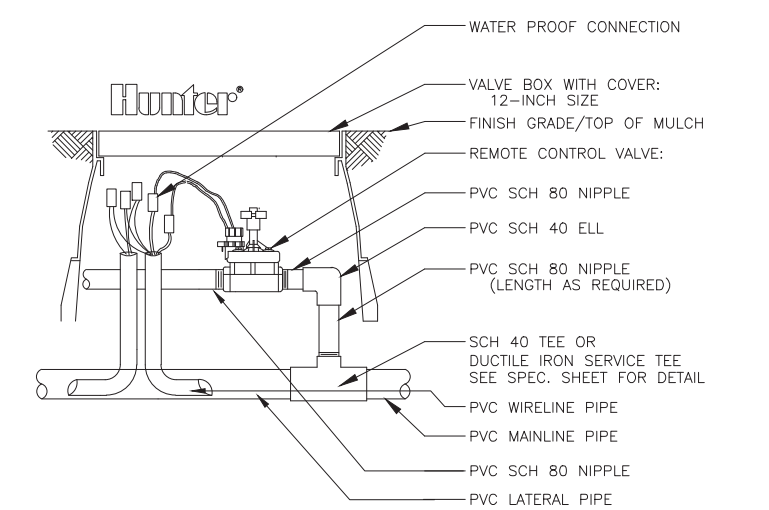
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICV-G 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.
	Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.
	Hunter PC-400 with (O) PCM-300 Light Commercial & Residential Controller, 7-station expanded module controller, 120 VAC, Outdoor model
	Hunter MINI-CLIK Rain Sensor, mount as noted
	Water Meter 1" 1" Irrigation Sub Water Meter
	Irrigation Lateral Line: PVC Schedule 40 PVC Schedule 40 irrigation pipe.
	Irrigation Mainline: PVC Schedule 40 PVC Schedule 40 irrigation pipe.
	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
	Valve Callout



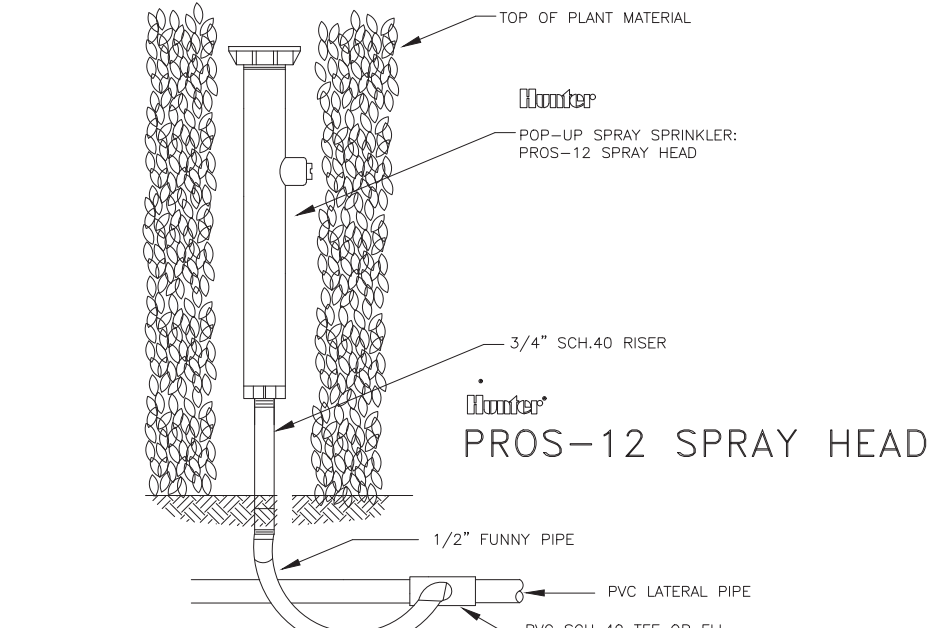
CONTROLLER



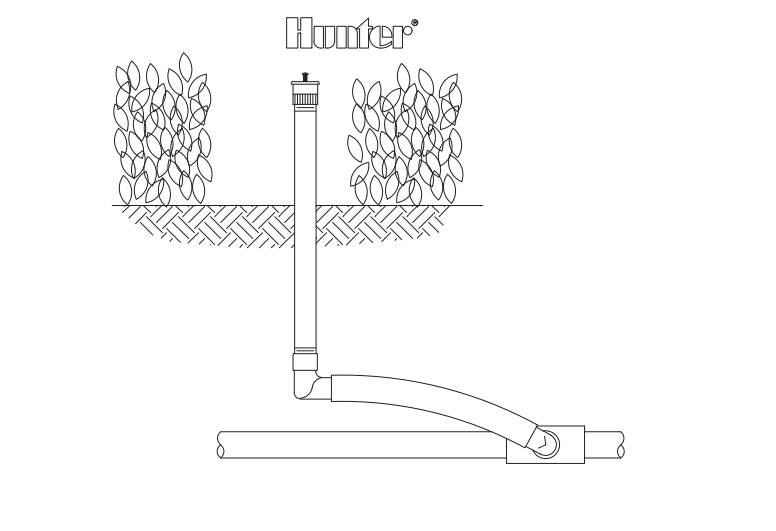
AUTOMATIC RAIN SENSOR



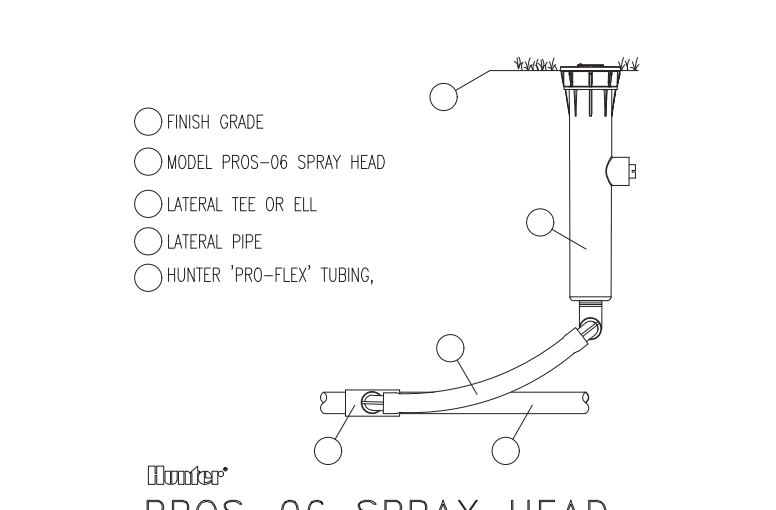
HUNTER ICV VALVE



POP-UP SPRAY SPRINKLER ON RISER



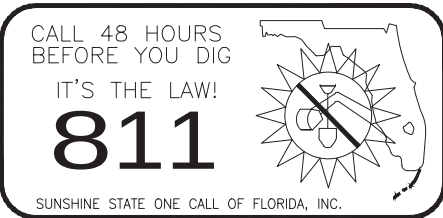
BUBBLER ON RISER



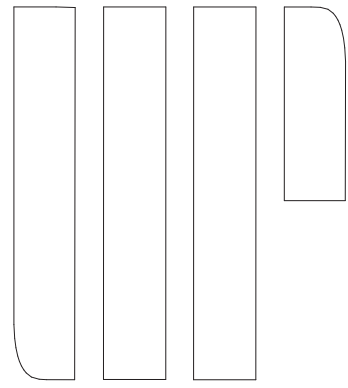
SPRAY HEAD

GENERAL NOTES

- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
- Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
- 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
- All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
- The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
- All control wires shall be installed in PVC conduit.
- All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers.
- The installation devices are to be guaranteed for the period of (1) year from the date of final acceptance.



SITE_IRRIGATION_DETAILS
SCALE:N.T.S.



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IRRIGATION DETAILS
AND
SPECIFICATIONS

L401