

REQUEST FOR DRB APPROVAL FOR:
SAN MARINO ISLAND RESIDENCE

421 E. SAN MARINO DRIVE

DRB FINAL SUBMITTAL
JULY 6, 2017

MIAMI BEACH, FLORIDA



CLIENT
421 E. SAN MARINO DRIVE
MIAMI BEACH, FL, 33139

ARCHITECT
CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECTURE
CHRISTOPHER CAWLEY LANDSCAPE
ARCHITECTURE LLC
780 NE 69TH ST. STE 1106
MIAMI, FL 33138
(305) 979-1585
LC 26000460

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT 421 E. SAN MARINO DR. MIAMI BEACH, FL

WAIVERS:

1.

REQUEST FOR WAIVER TO EXCEED THE 10%
SECOND TO FIRST FLOOR RATIO.

2.

REQUEST TO WAIVE THE 24'-0" HEIGHT
REQUIREMENT. HEIGHT REQUESTED AT 26'-0"

ITEM #	New Construction Floodplain Management Data	
1	Flood Zone:	AE +9
2	FIRM Map Number	12086C0316L
3	Base Flood Elevation (BFE):	9.00' NGVD
4	Proposed Flood Design Elevation:	10.00' NGVD
5	Crown of Road Elevation:	5.26' NGVD
6	Classification of Structure:	Category II
7	Building Use:	Single-Family Residence, Garage, & Cabana
8	Lowest Elev. of Equip	10.00' NGVD
9	Lowest Adjacent Grade	5.76' NGVD
10	Highest Adjacent Grade	5.94' NGVD

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	421 E San Marino Dr., Miami Beach, FL 33139 Lot 13 and 14, of Block 3, of SAN MARINO, according to the plat thereof, as recorded in Plat Book 9, Page 22, of the public records of Miami-Dade County, FLORIDA			
2	Folio number(s):	02-3232-003-0420			
3	Board and file numbers :	DRB #TBD			
4	Year built:	1939	Zoning District:		RS-3
5	Based Flood Elevation:	9.00' NGVD	Grade value in NGVD:		5.26' NGVD
6	Adjusted grade (Flood+Grade/2):	7.13' NGVD	Free board:		10.00' NGVD
7	Lot Area:	24,938 SF			
8	Lot width:	147.5' (AVG.)	Lot Depth:		175.00' (AVG.)
9	Max Lot Coverage SF and %:	7,481.4 SF (30%)	Proposed Lot Coverage SF and %:		7,587 SF (30%)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:		500 SF
11	Front Yard Open Space SF and %:	1,540 SF (76.7%)	Rear Yard Open Space SF and %:		3,800 SF (79.2%)
12	Max Unit Size SF and %:	12,469 SF (50%)	Proposed Unit Size SF and %:		11,680 SF (46.8%)
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size:		6,763 SF
			Proposed First Floor Unit Size (Volumetric):		5,897 SF
14			Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)		5,579 SF (94.6%)
15			Proposed Second Floor Unit Size:		4,917 SF
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		1,187 SF (21.3%)

		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"		26'-0"	
18	Setbacks:				
19	Front First level:	20'-0"		30'-0"	
20	Front Second level:	30'-0"		60'-7 1/2"	
21	Side 1:	18'-5"		18'-5"	
22	Side 2 or (facing street):	18'-5"		18'-5"	
23	Rear:	26' - 3"		41'-10"	
	Accessory Structure Side 1:	7'-6"		18'-5"	
24	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
25	Accessory Structure Rear:	13' - 1 1/2"		13'-1 1/2"	
26	Sum of Side yard :	20'-0"		36'-10"	
27	Located within a Local Historic District?		Yes or no		
28	Designated as an individual Historic Single Family Residence Site?		Yes or no		
29	Determined to be Architecturally Significant?		Yes or no		
Notes:					
If not applicable write N/A					

seal

Ralph Choeff
registered architect
AR0009679

comm no.

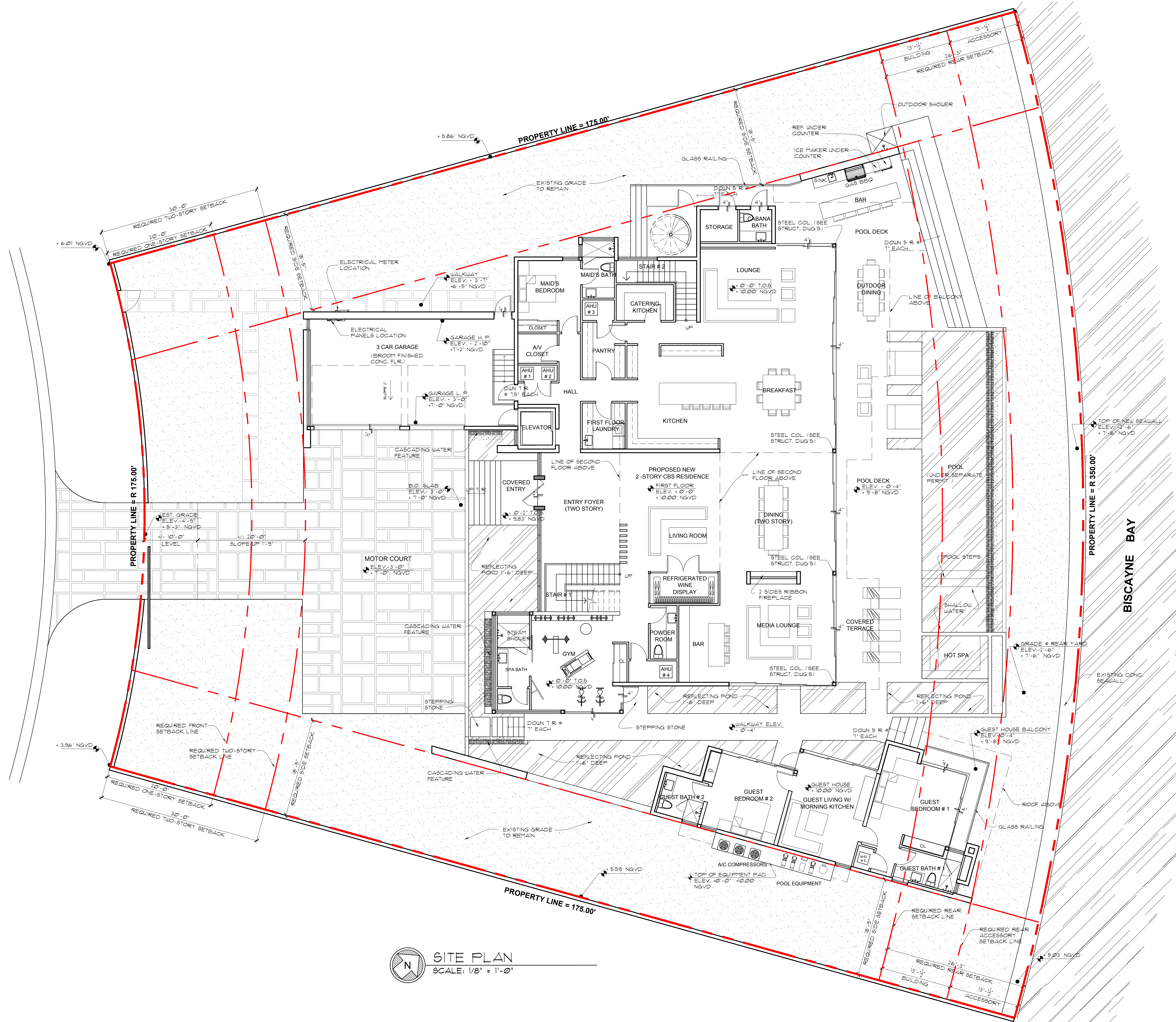
1660

date:
07/06/2017

revised:

sheet no.

E. SAN MARINO DRIVE



SITE PLAN
SCALE: 1/8" = 1'-0"

NEW RESIDENCE

421 E SAN MARINO DR.
MIAMI, FL 33139

seal

Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/2017

revised:

sheet no.

A-1.0

SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES	650 SQ. FT.
OVERHANGS	487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

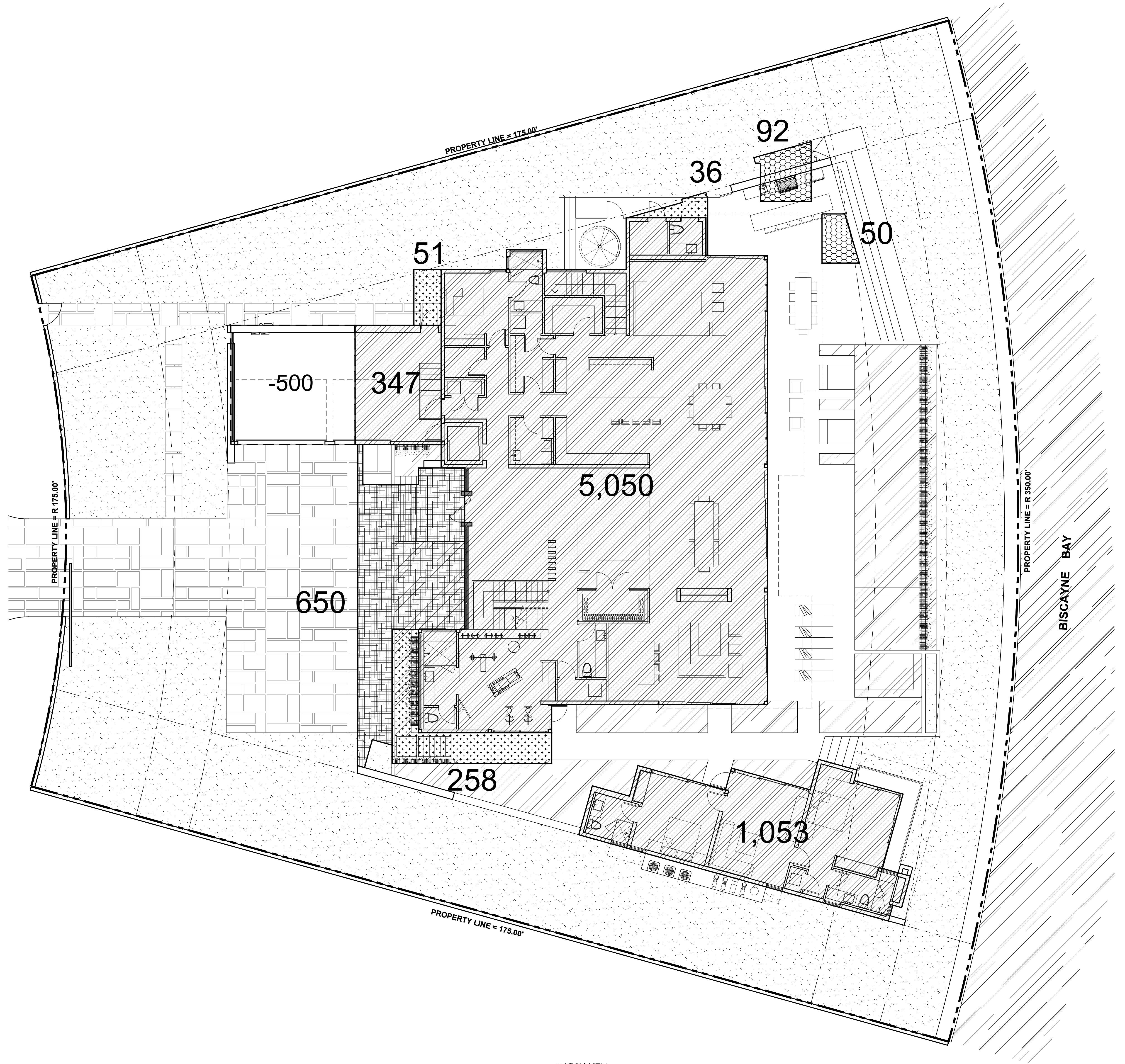
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/C X 811-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,519 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

ROOF DECK CALCULATIONS

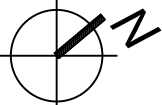
TOTAL SECOND FLOOR AREA	5,519 SQ. FT.
TOTAL ROOF DECK AREA	1,187 SQ. FT. (21.3%)



HATCH KEY:

	MAIN RESIDENCE
	3 SIDED ENCLOSURES / COURTYARD SPACE
	ENCLOSED A/C SPACE ABOVE
	PROJECTION OF 10 FT OR GREATER

1
A-05
SCALE
PROPOSED LOT COVERAGE
(1/8" = 1'-0")



seal

Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/17

revised:

sheet no.

A-0.5

SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES	650 SQ. FT.
OVERHANGS	487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

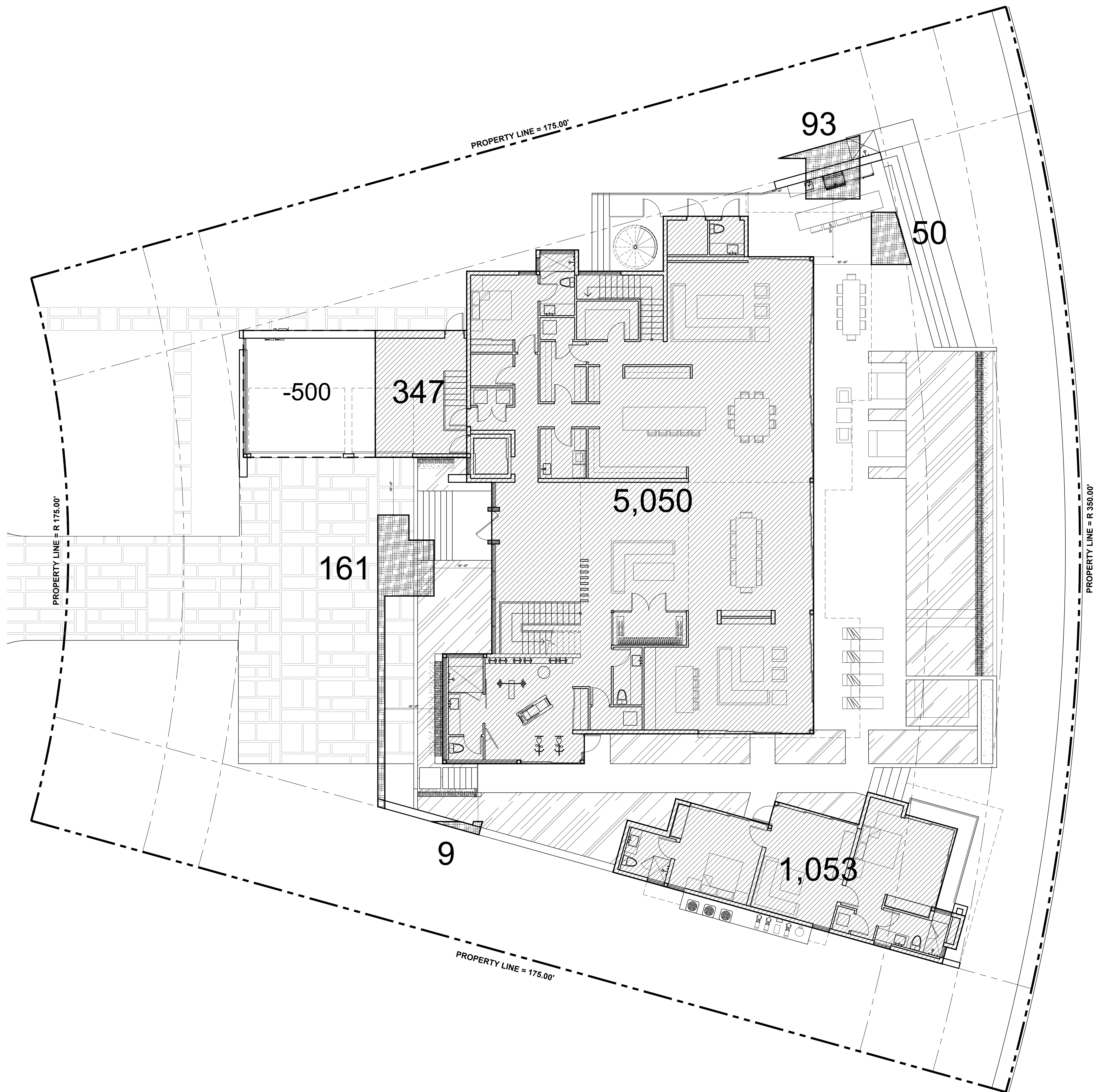
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/C)(871-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,519 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

ROOF DECK CALCULATIONS

TOTAL SECOND FLOOR AREA	5,519 SQ. FT.
TOTAL ROOF DECK AREA	1,187 SQ. FT. (21.3%)



HATCH KEY:	
	MAIN RESIDENCE
	PROJECTION OF 10 FT OR GREATER

1
A-05
SCALE
PROPOSED 1ST FLOOR UNIT SIZE
(1/8" = 1'-0")

SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES	650 SQ. FT.
OVERHANGS	487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

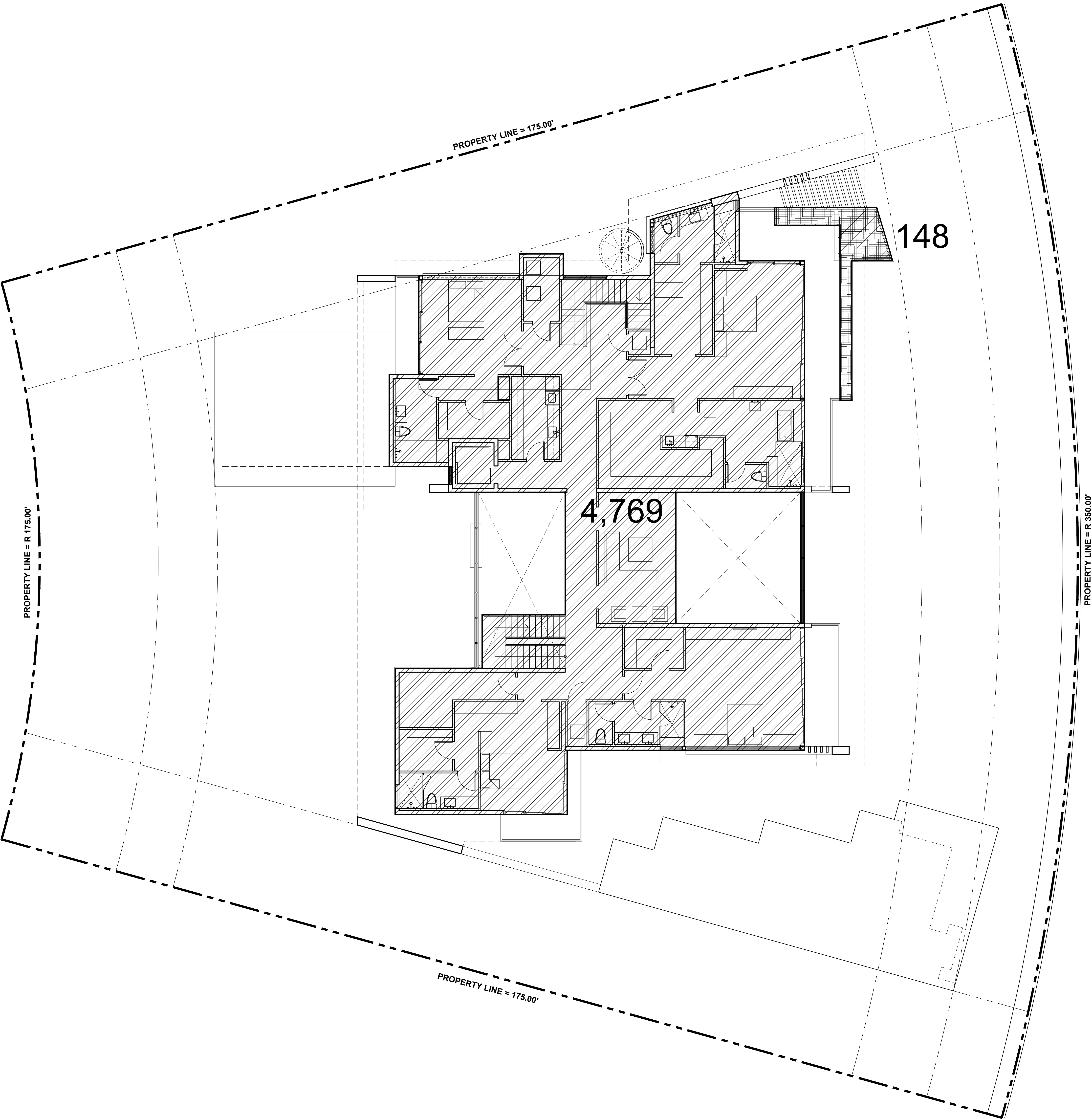
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/CX811-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,519 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

ROOF DECK CALCULATIONS

TOTAL SECOND FLOOR AREA	5,519 SQ. FT.
TOTAL ROOF DECK AREA	1,187 SQ. FT. (21.3%)



HATCH KEY:

	MAIN RESIDENCE
	BALCONY PROJECTION OF 6 FT OR GREATER

1
A-05 SCALE PROPOSED 2ND FLOOR UNIT SIZE
(1/8" = 1'-0")

seal

Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/17

revised:

sheet no.

A-0.5.2

SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES OVERHANGS	650 SQ. FT. 487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

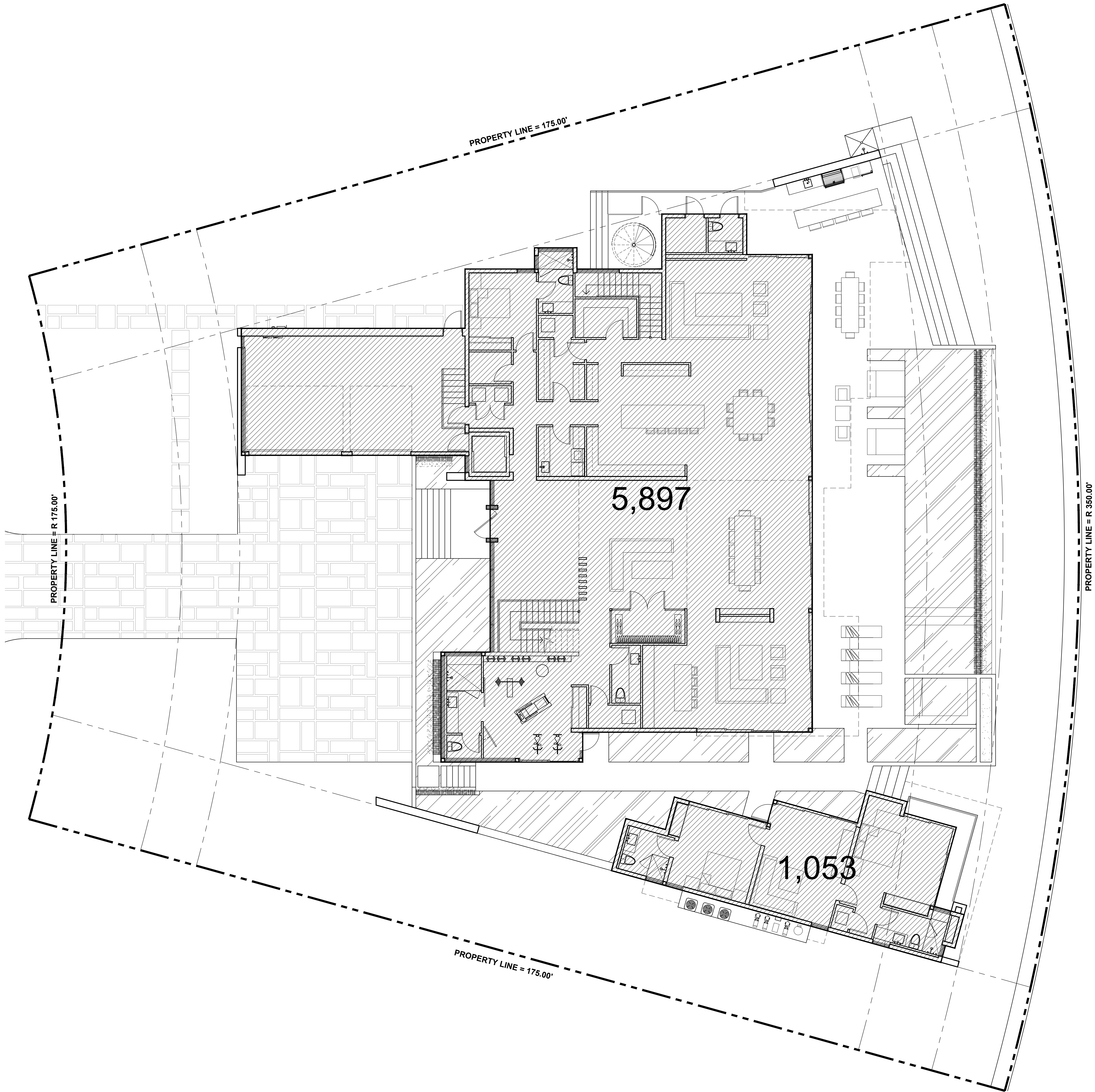
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/C)(811-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,519 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

ROOF DECK CALCULATIONS

TOTAL SECOND FLOOR AREA	5,519 SQ. FT.
TOTAL ROOF DECK AREA	1,187 SQ. FT. (21.3%)



SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES	650 SQ. FT.
OVERHANGS	487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

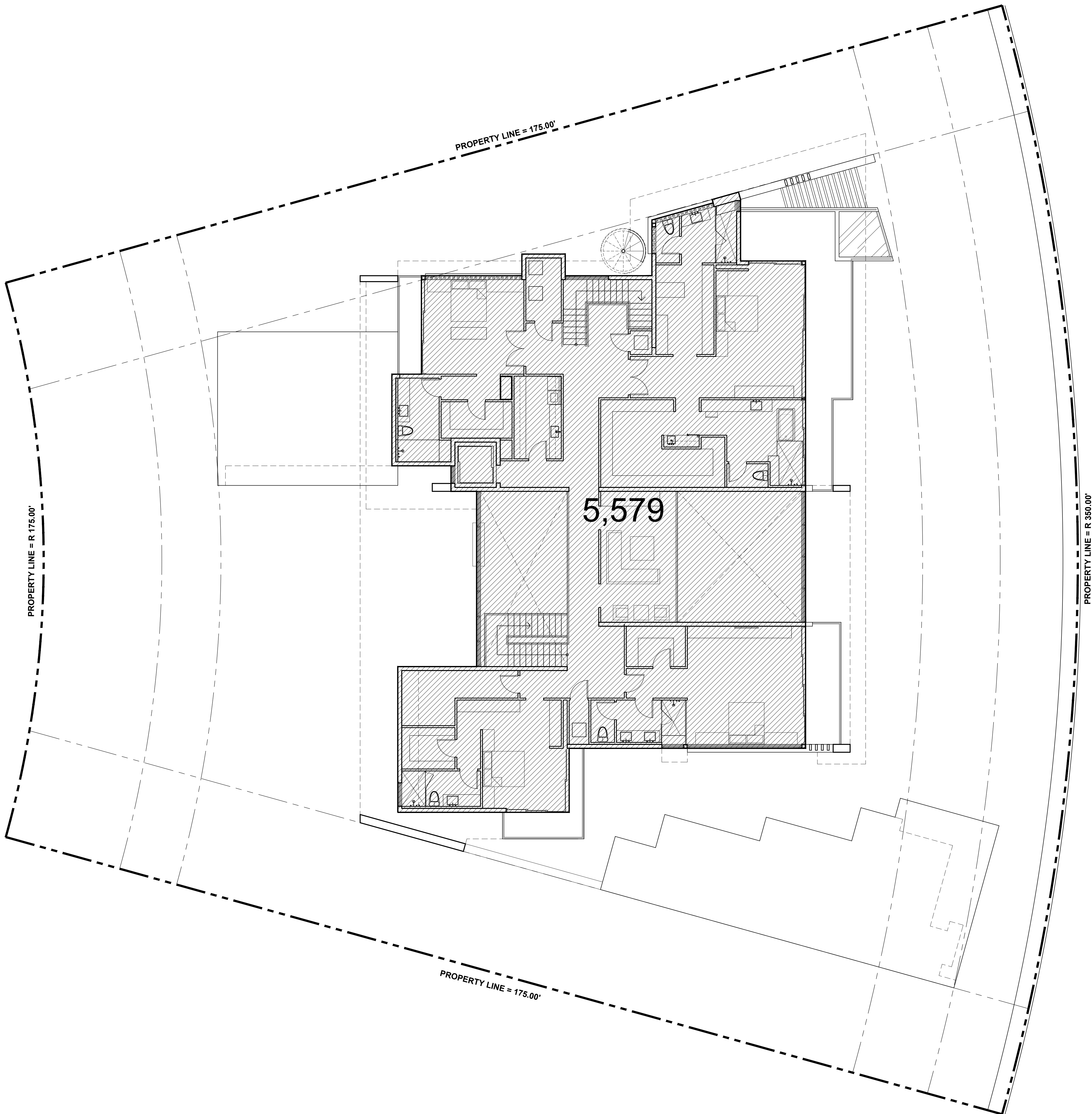
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/C)(811-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,579 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

ROOF DECK CALCULATIONS

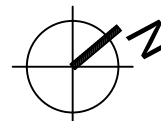
TOTAL SECOND FLOOR AREA	5,579 SQ. FT.
TOTAL ROOF DECK AREA	1,071 SQ. FT. (21.3%)



HATCH KEY:

MAIN RESIDENCE (VOLUMETRIC AREA)

1 2ND FLOOR VOLUMETRIC
A-05 SCALE 1/8" = 1'-0"



SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES	650 SQ. FT.
OVERHANGS	487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

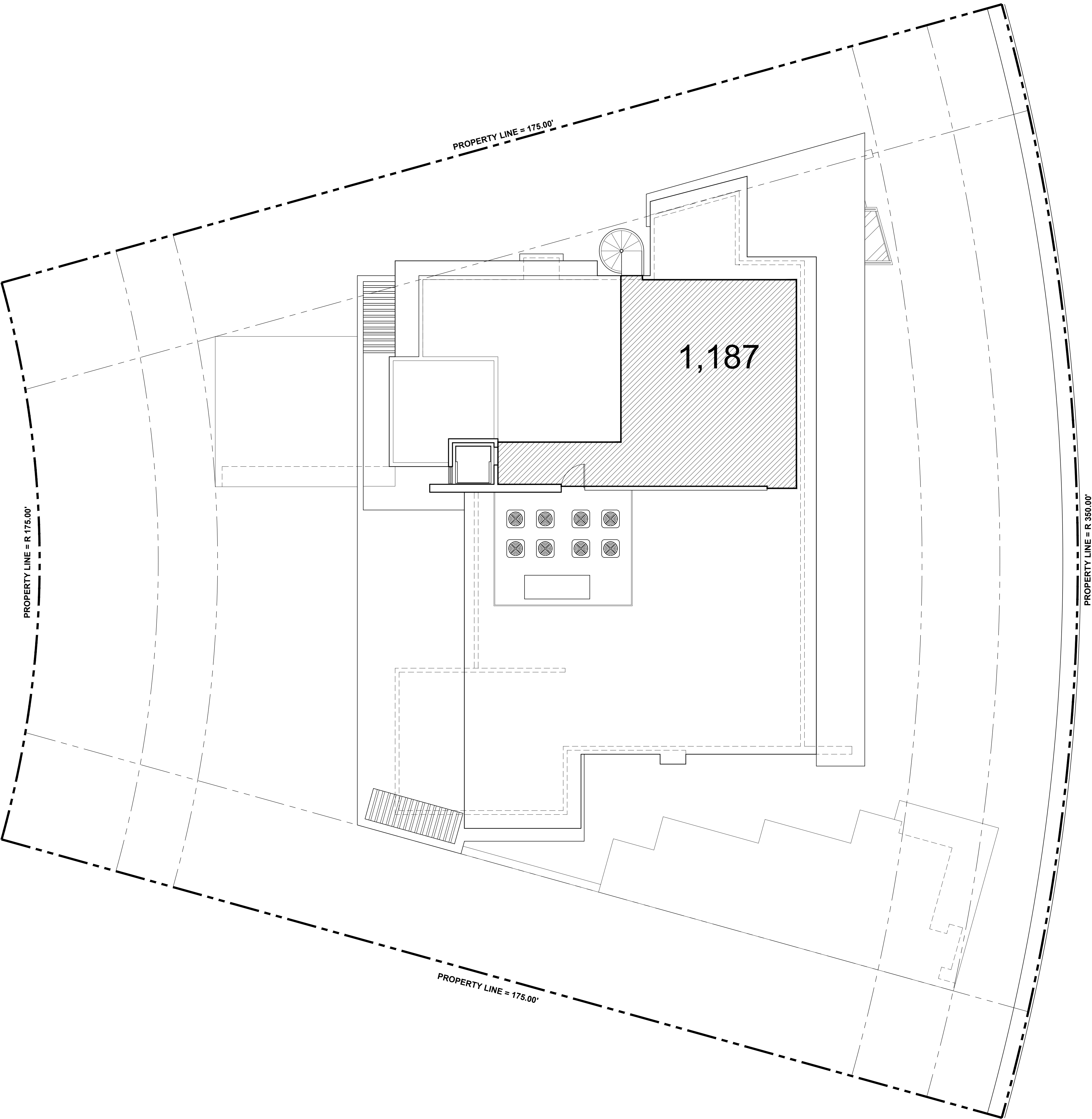
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/C X 811-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

FLOOR RATIO PERCENTAGE

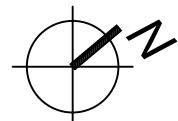
MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,519 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

ROOF DECK CALCULATIONS

TOTAL SECOND FLOOR AREA	5,519 SQ. FT.
TOTAL ROOF DECK AREA	1,187 SQ. FT. (21.3%)



1
A-05
PROPOSED ROOF DECK
SCALE 1/8" = 1'-0"



seal

Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/17

revised:

sheet no.

A-0.5.5

SITE DATA

EXISTING LOT SIZE	24,938 SQ. FT. 100 %
BUILDING LOT COVERAGE	
MAIN HOUSE	5,050 SQ. FT.
GARAGE (-500 SQ. FT.)	347 SQ. FT.
GUEST HOUSE	1,053 SQ. FT.
3 SIDED ENCLOSURES	650 SQ. FT.
OVERHANGS	487 SQ. FT.
TOTAL BUILDING LOT COVERAGE	7,587 SQ. FT. 30%

FRONT YARD CALCULATIONS

AREA	2,009 SQ. FT.
IMPERVIOUS AREA	468 SQ. FT.
LANDSCAPE AREA	1,540 SQ. FT. (76.7%)

REAR YARD CALCULATIONS

AREA	4,801 SQ. FT.
IMPERVIOUS AREA	1,001 SQ. FT.
LANDSCAPE AREA	3,800 SQ. FT. (79.2%)

BUILDING DATA

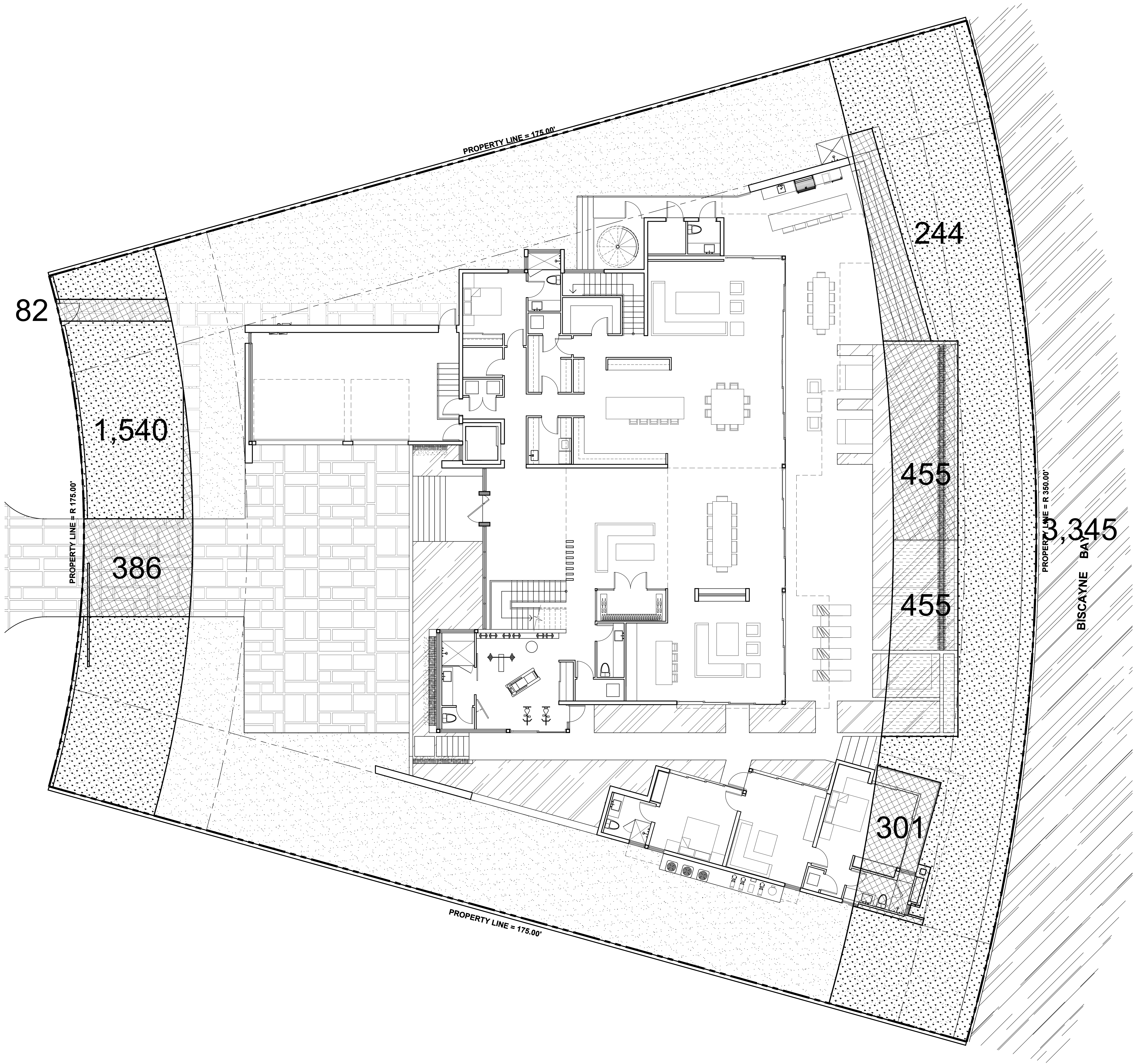
MAIN HOUSE:	
FIRST FLOOR (AC)	6,103 SQ. FT.
SECOND FLOOR (AC)	4,769 SQ. FT.
TOTAL (AC):	10,872 SQ. FT.
GARAGE (NON A/C)(811-500)	347 SQ. FT.
BALCONIES & OVERHANGS	461 SQ. FT.
TOTAL (NON AC):	808 SQ. FT.
TOTAL UNIT SIZE (AC + NON AC):	11,680 SQ. FT. (46.8%)

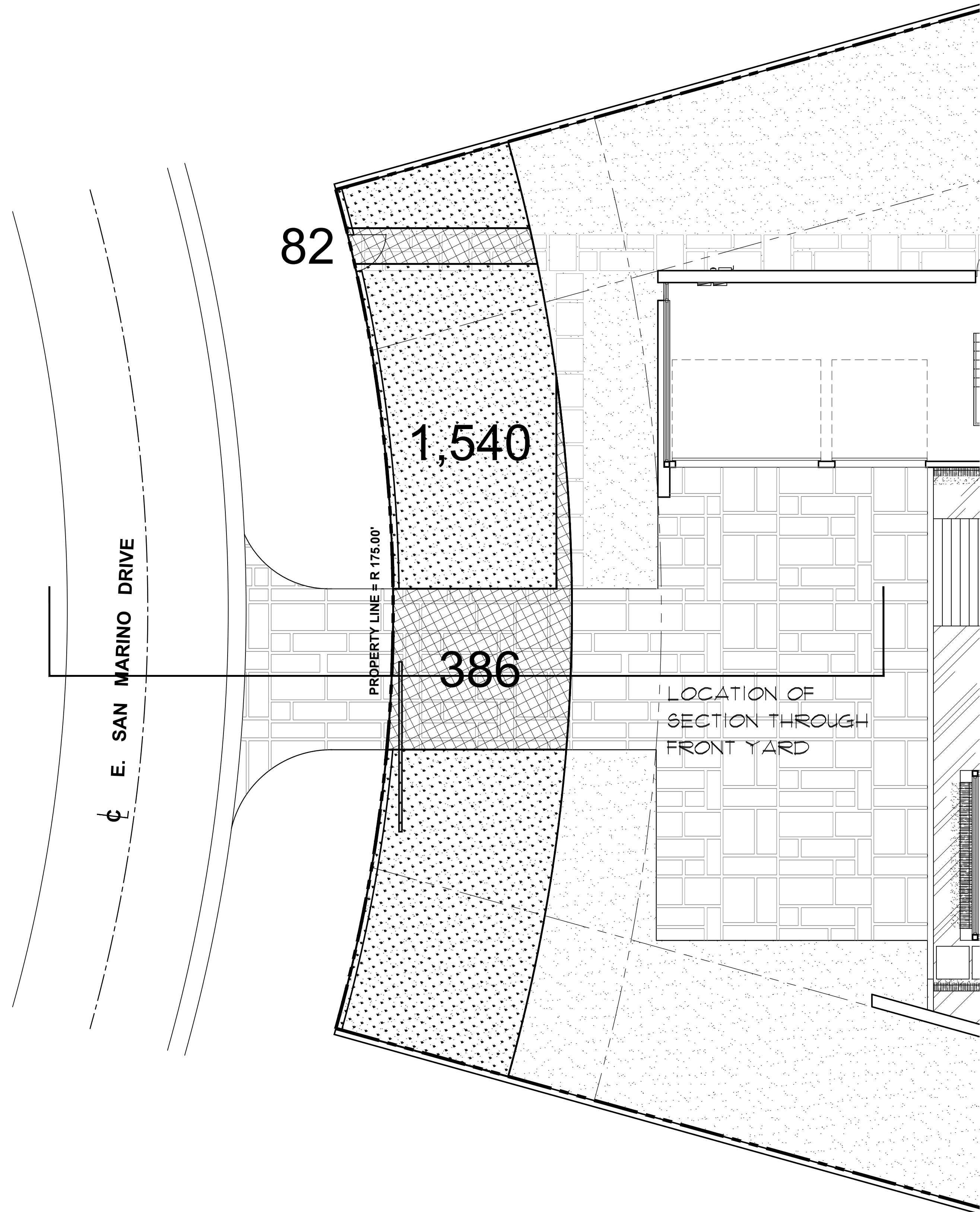
FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	5,897 SQ. FT.
DETACHED STRUCTURE (VOLUMETRIC)	1,053 SQ. FT.
TOTAL SECOND FLOOR (VOLUMETRIC)	5,519 SQ. FT.
TOTAL INCLUDING DETACHED STRUCTURE:	80.3%
TOTAL EXCLUDING DETACHED STRUCTURE:	94.6%

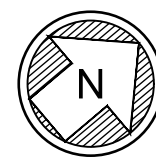
ROOF DECK CALCULATIONS

TOTAL SECOND FLOOR AREA	5,519 SQ. FT.
TOTAL ROOF DECK AREA	1,187 SQ. FT. (21.3%)

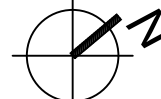


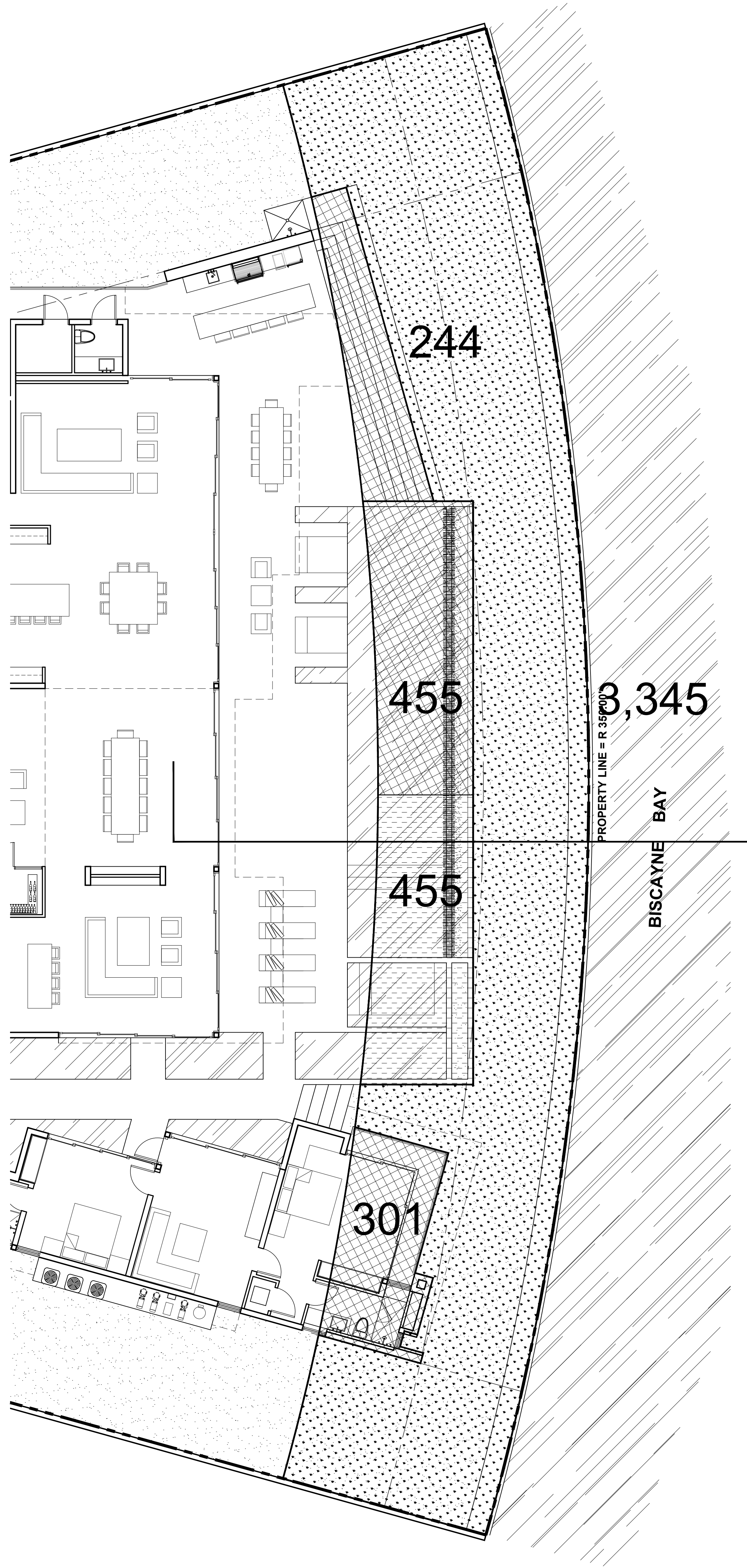


LOCATION OF
SECTION THROUGH
FRONT YARD
REFERENCE PLAN
SCALE: 1/8" = 1'-0"



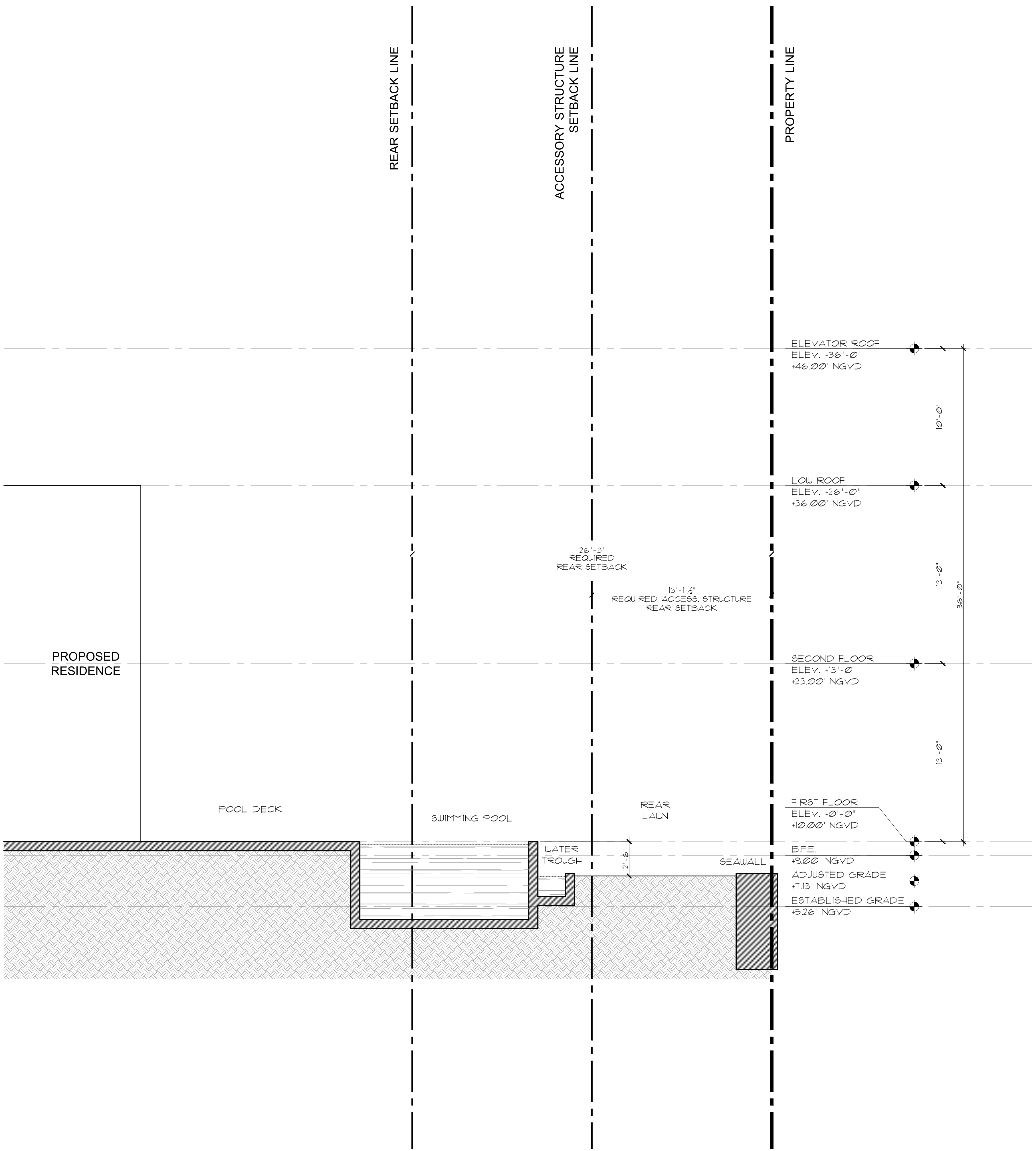
1 FRONT YARD DIAGRAM
A-01 SCALE 1/4" = 1'-0"





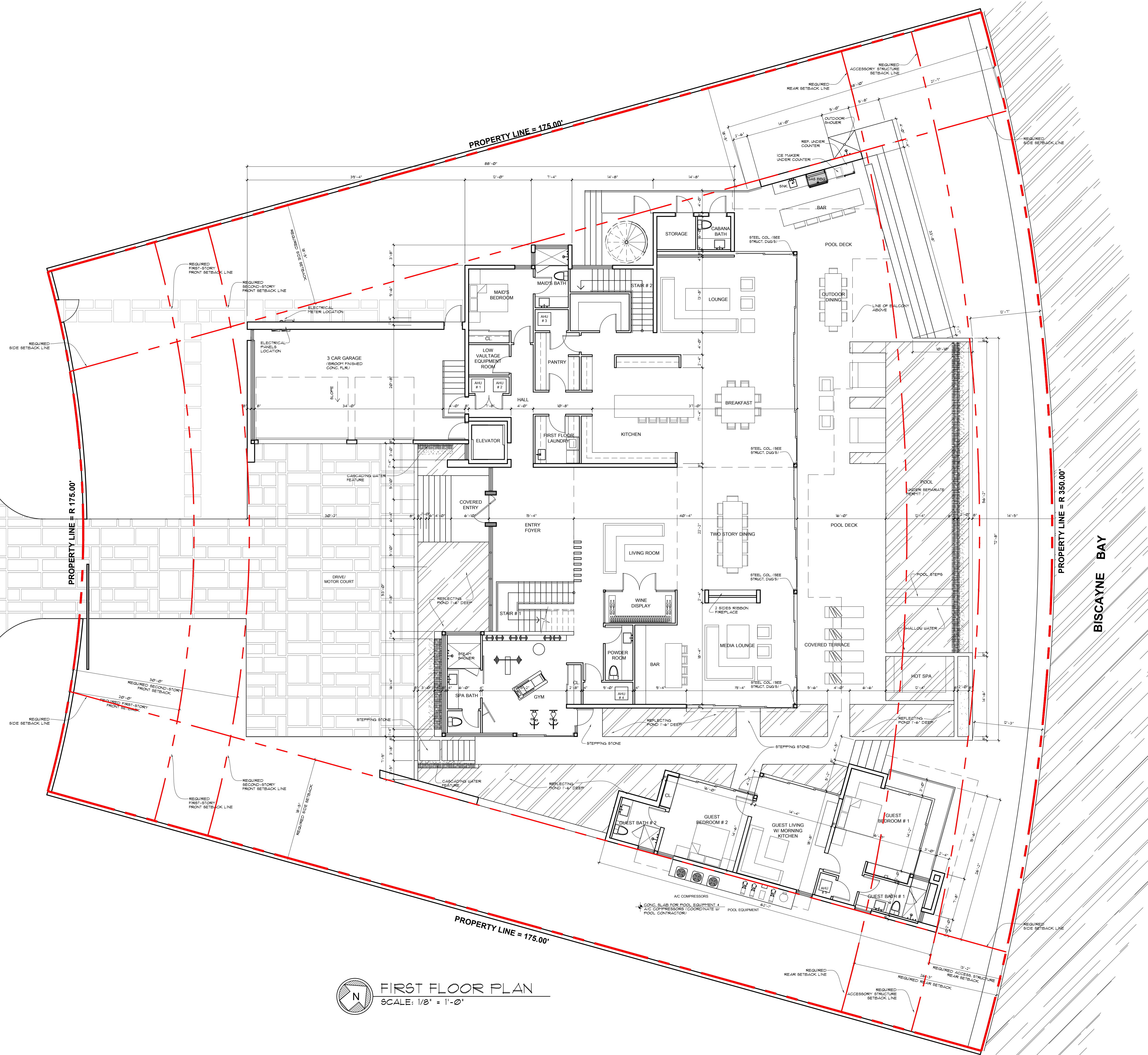
LOCATION OF
SECTION THROUGH
REAR YARD

REFERENCE PLAN
SCALE: 1/8" = 1'-0"



REAR YARD DIAGRAM
SCALE: 1/4" = 1'-0"

CL E. SAN MARINO DRIVE



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



 **SECOND FLOOR PLAN**
SCALE: 1/8" = 1'-0"

NEW RESIDENCE
421 E SAN MARINO DR.
MIAMI, FL 33139

seal

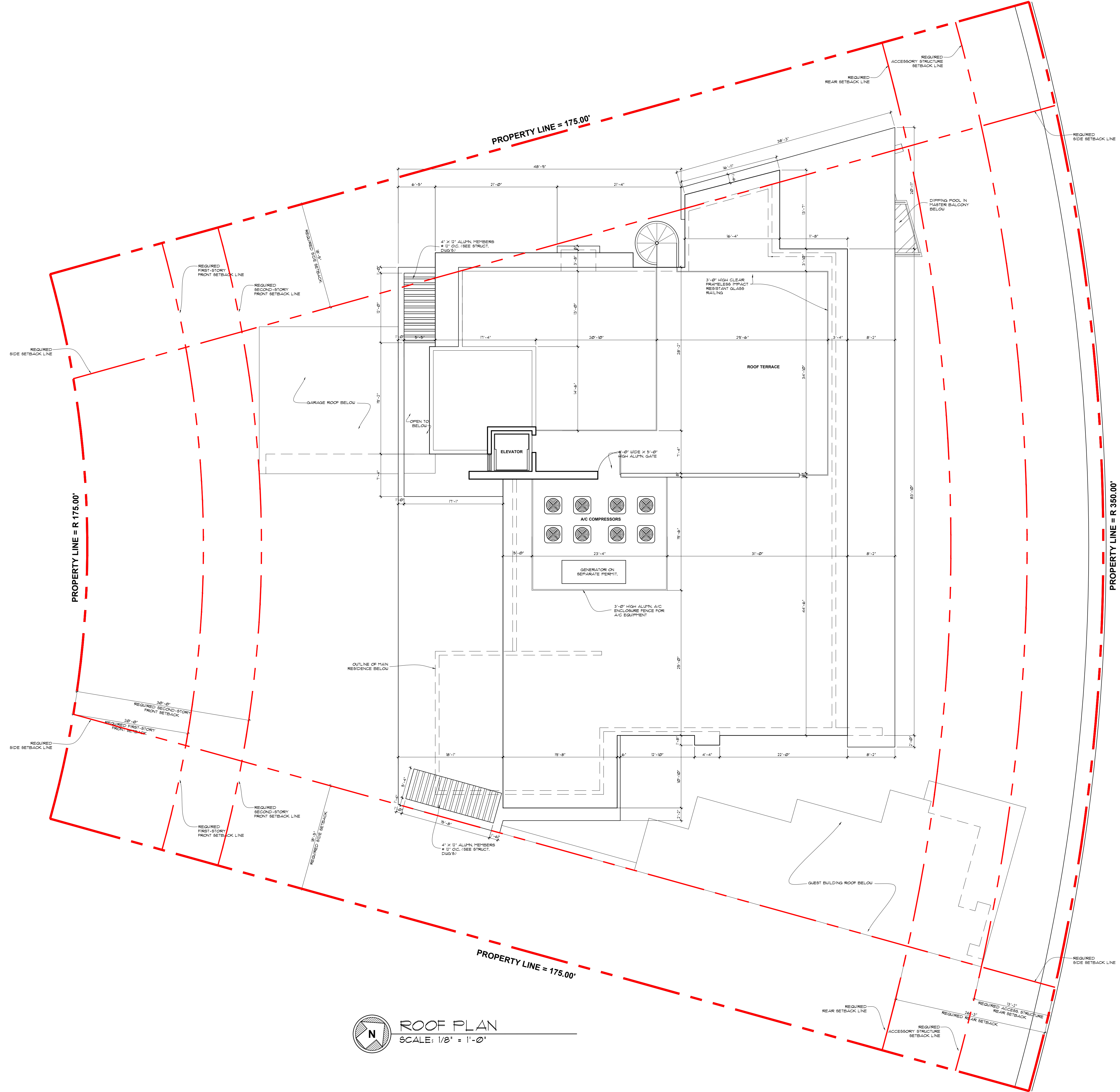
Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/2017

revised:

sheet no.



 **ROOF PLAN**
SCALE: 1/8" = 1'-0"

NEW RESIDENCE
421 E SAN MARINO DR.
MIAMI, FL 33139

seal

Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/2017

revised:

sheet no.

NEW RESIDENCE

421 E SAN MARINO DR.
MIAMI, FL 33139

seal

Ralph Choeff
registered architect
AR0009679

comm no.

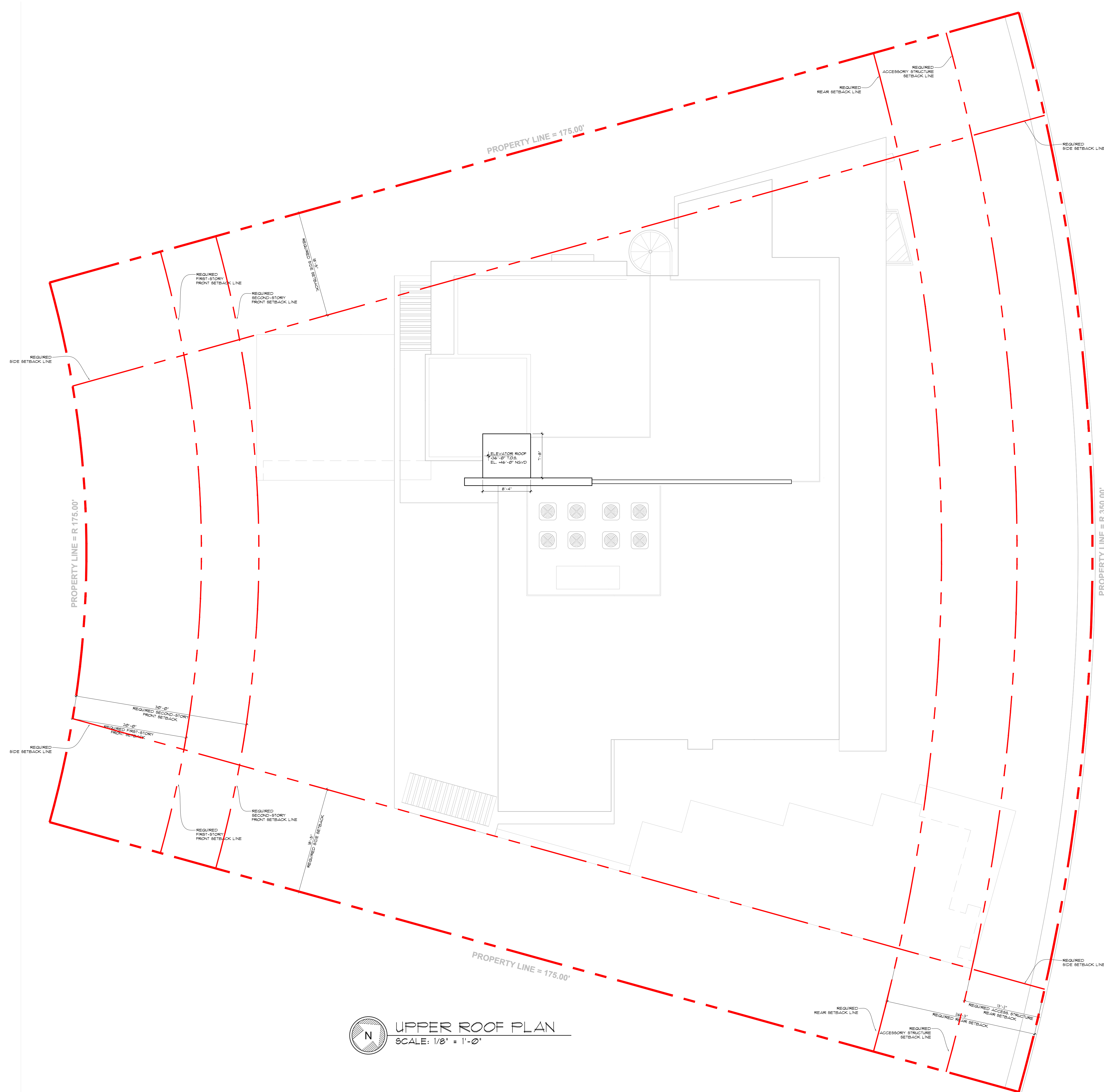
1660

date:
07/06/2017

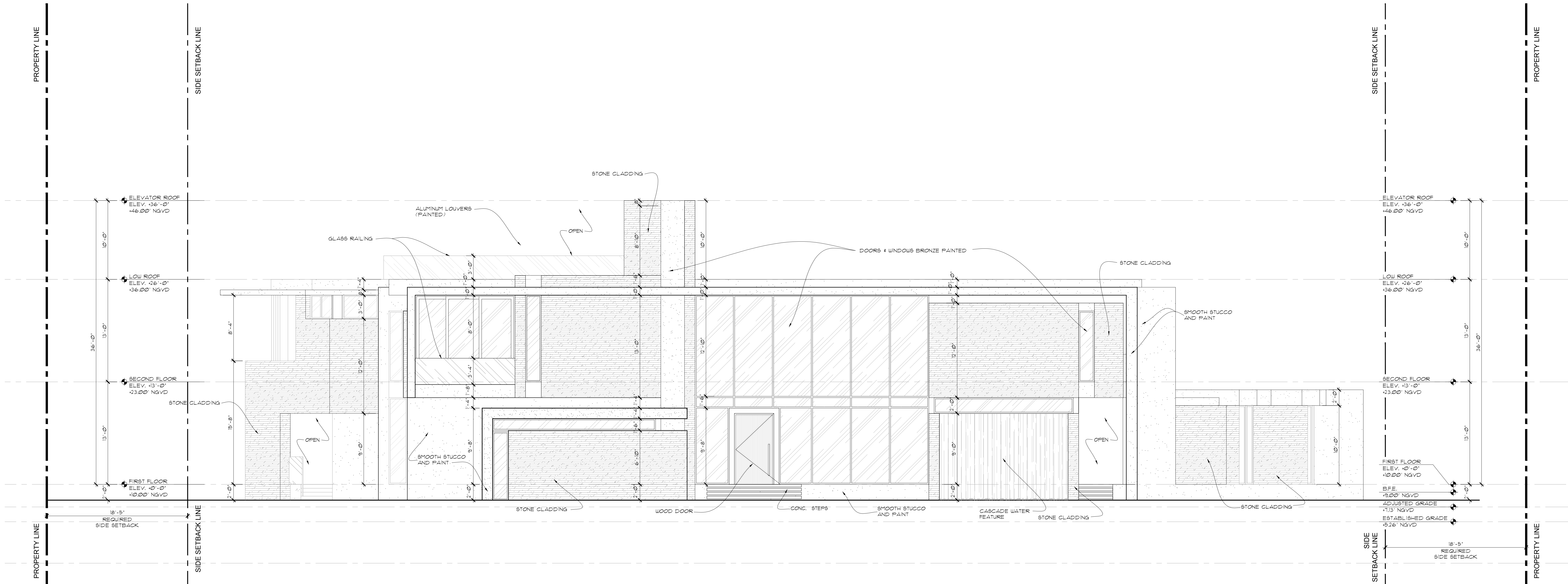
revised:

sheet no.

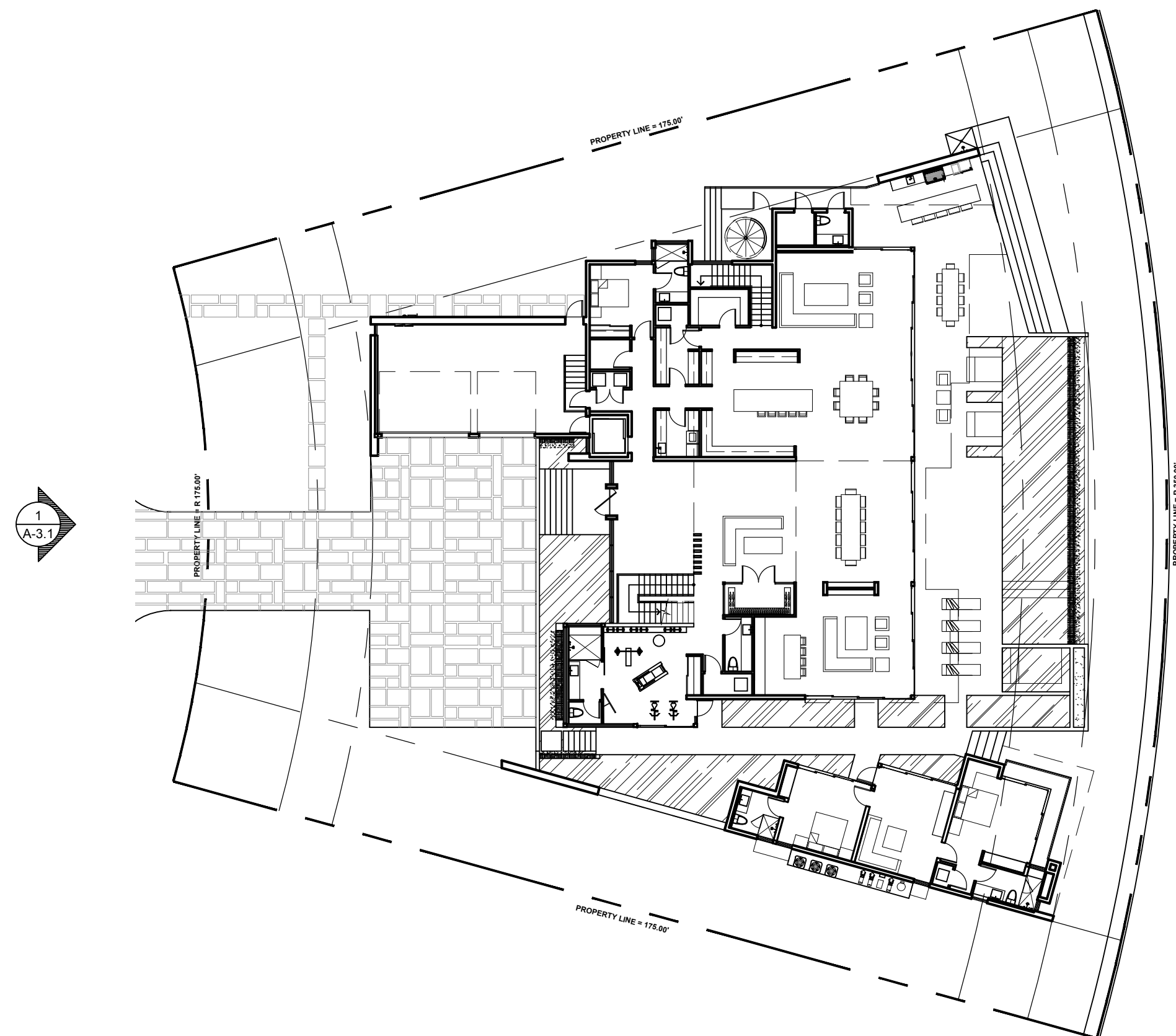
A-1.4



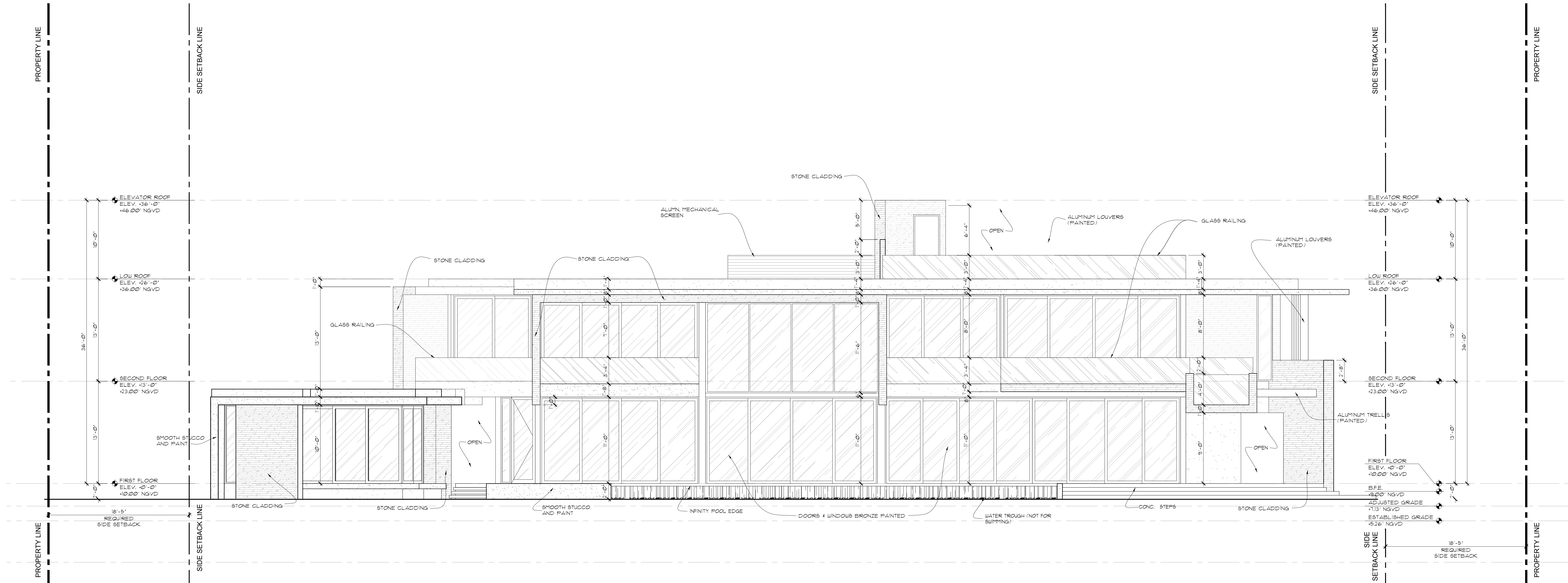
UPPER ROOF PLAN
SCALE: 1/8" = 1'-0"



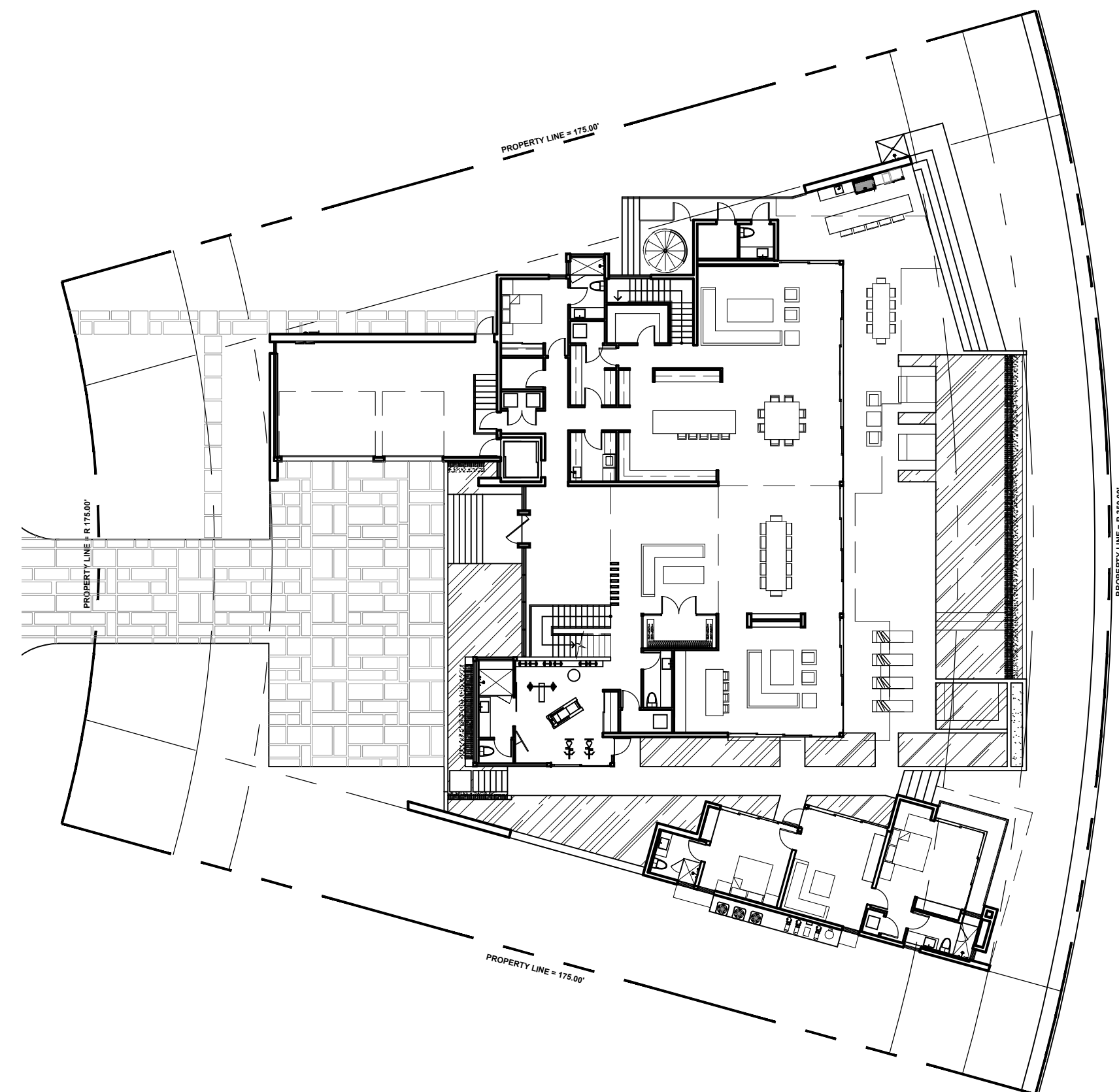
1
A-3.1 FRONT ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"



REFERENCE PLAN
SCALE: NOT TO SCALE



2 REAR ELEVATION (NORTH)
A-3.2 SCALE: 3/16"=1'-0"



REFERENCE PLAN
SCALE: NOT TO SCALE

seal

Ralph Choeff
registered architect
AR0009679

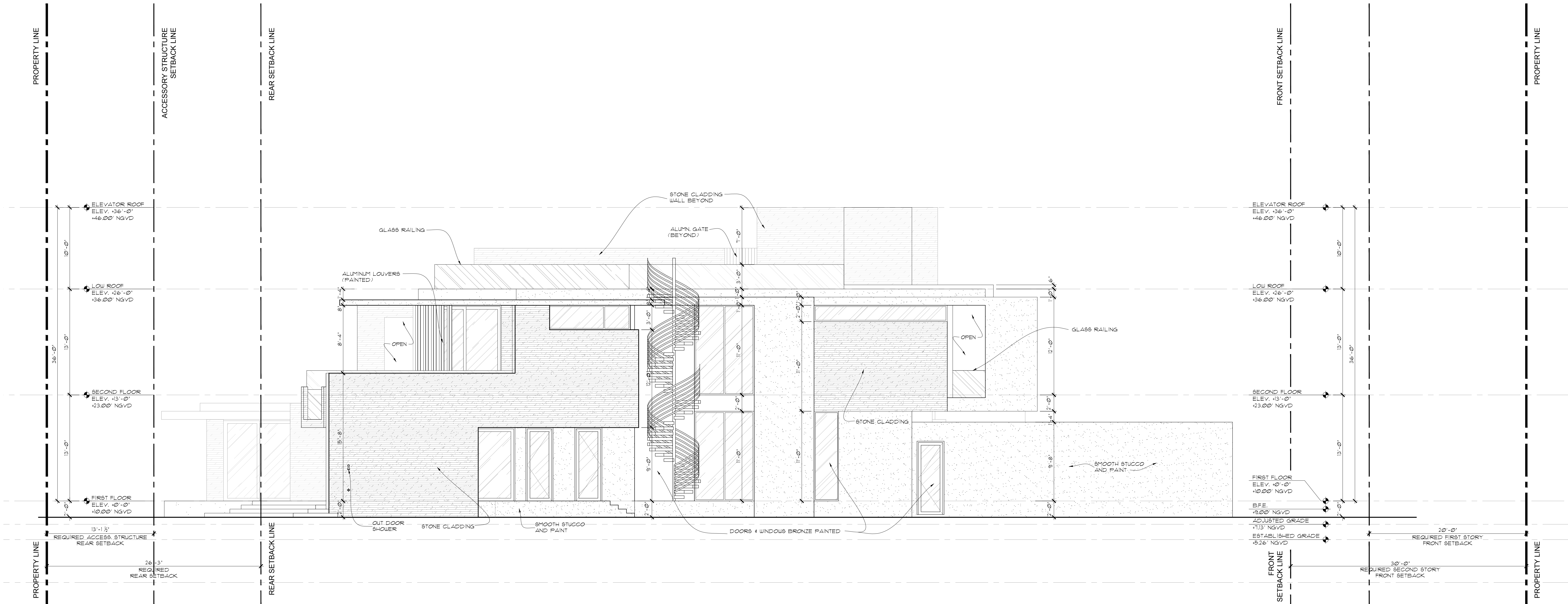
comm no.
1660

date:
07/06/17

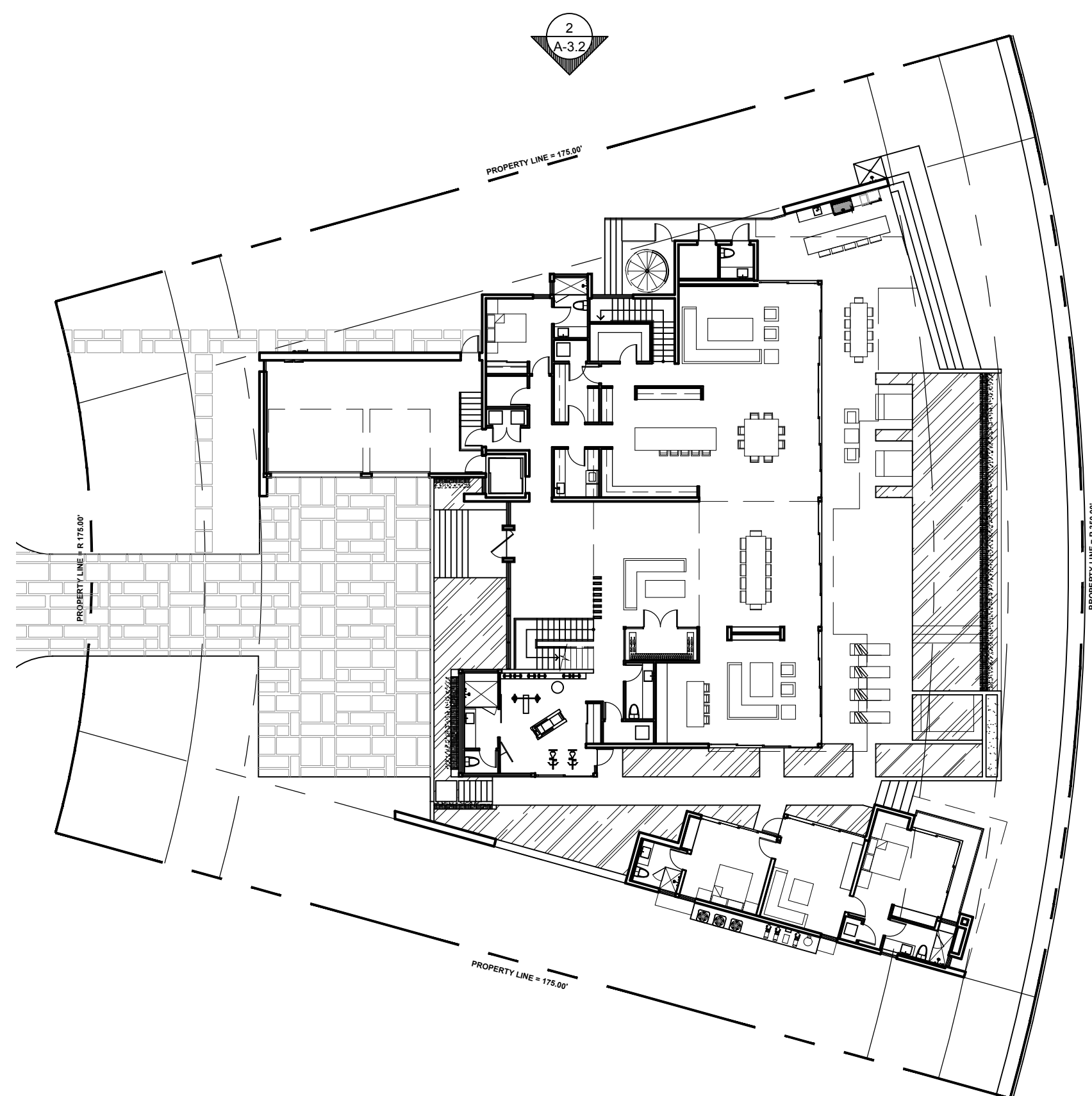
revised:

sheet no.

A-3.2



3 SIDE ELEVATION (WEST)
SCALE: 3/16"=1'-0"



REFERENCE PLAN
SCALE: NOT TO SCALE

seal

Ralph Choeff
registered architect
AR0009679

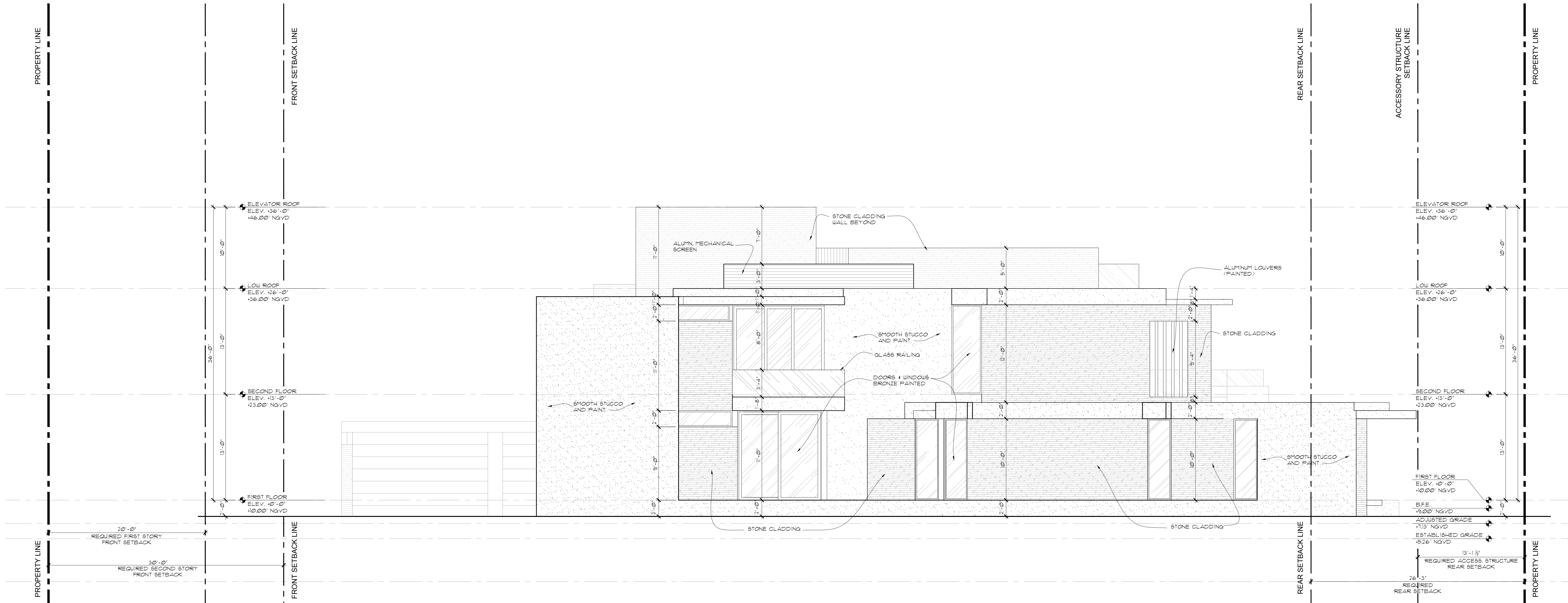
comm no.
1660

date:
07/06/17

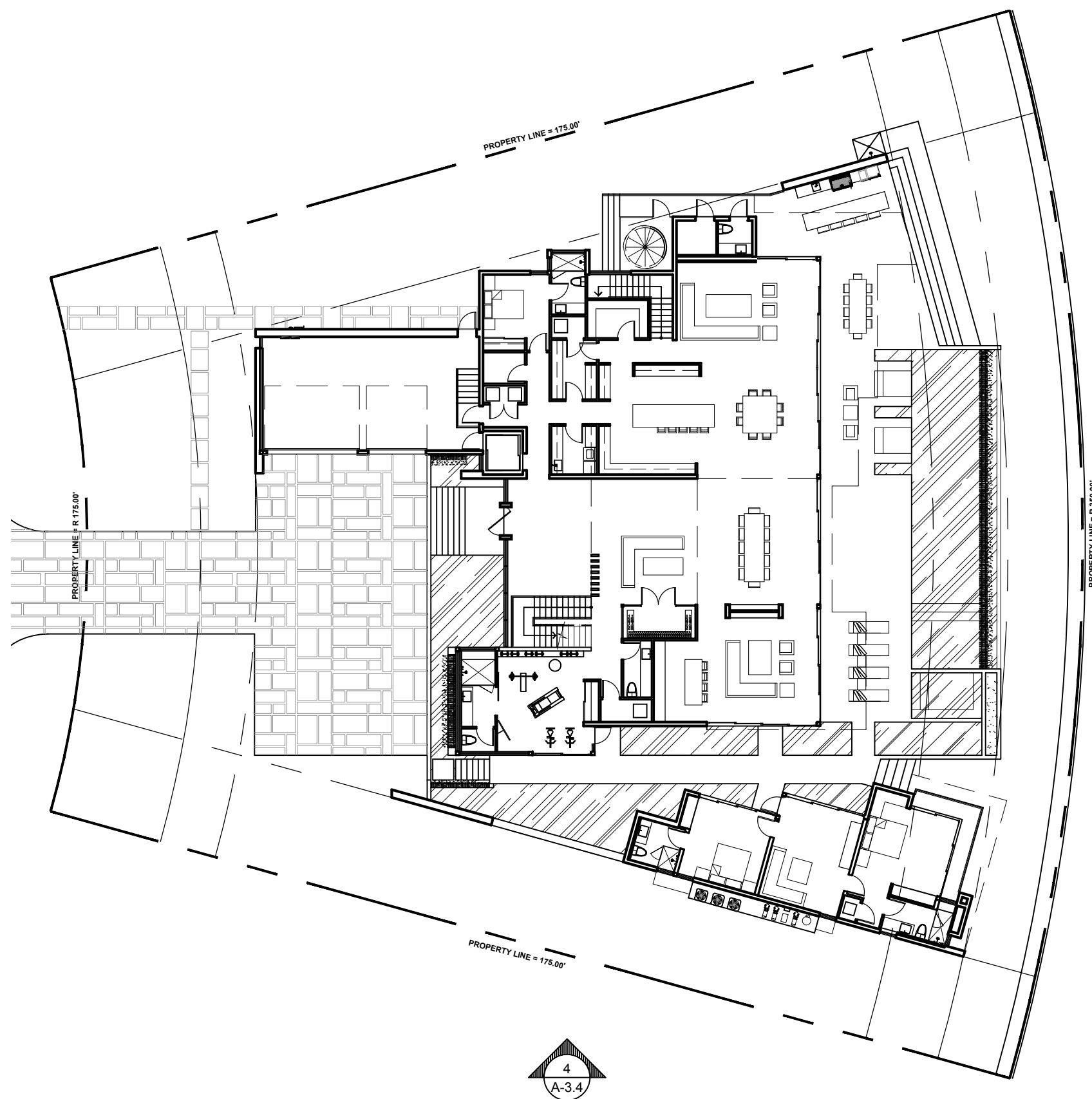
revised:

sheet no.

A-3.3



4 SIDE ELEVATION (EAST)
A-3.4 SCALE: 3/16"=1'-0"



REFERENCE PLAN
SCALE: NOT TO SCALE

seal

Ralph Choeff
registered architect
AR0009679

comm no.
1660

date:
07/06/17

revised:

sheet no.

A-3.4



Front View



Rear View



26'-0" - REQUESTED
RS-3 HEIGHT
24'-0"

Front Elevation (SOUTH)

Scale: 3/16" = 1'-0"



Rear Elevation (NORTH)

Scale: 3/16" = 1'-0"



Side Elevation (WEST)

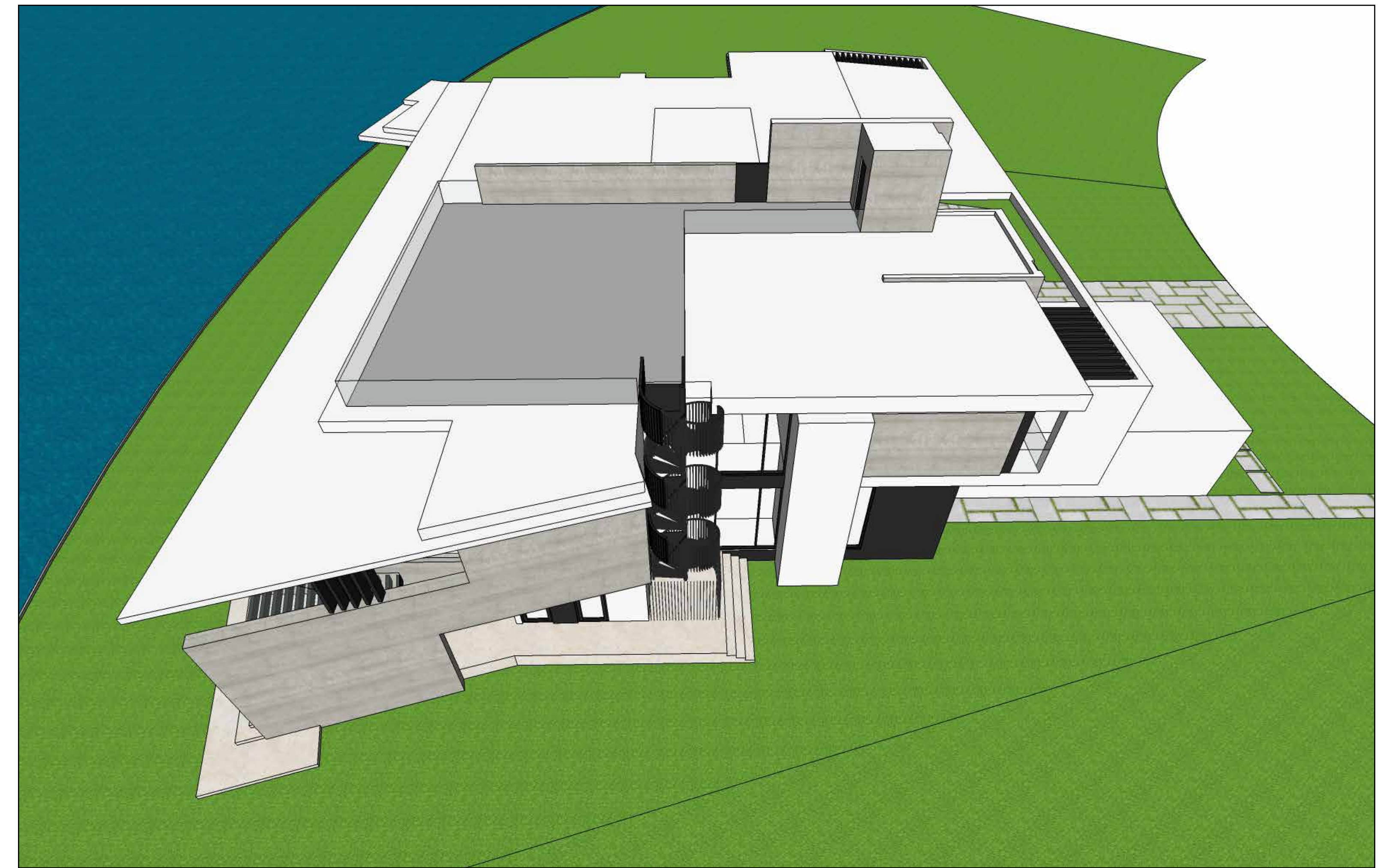
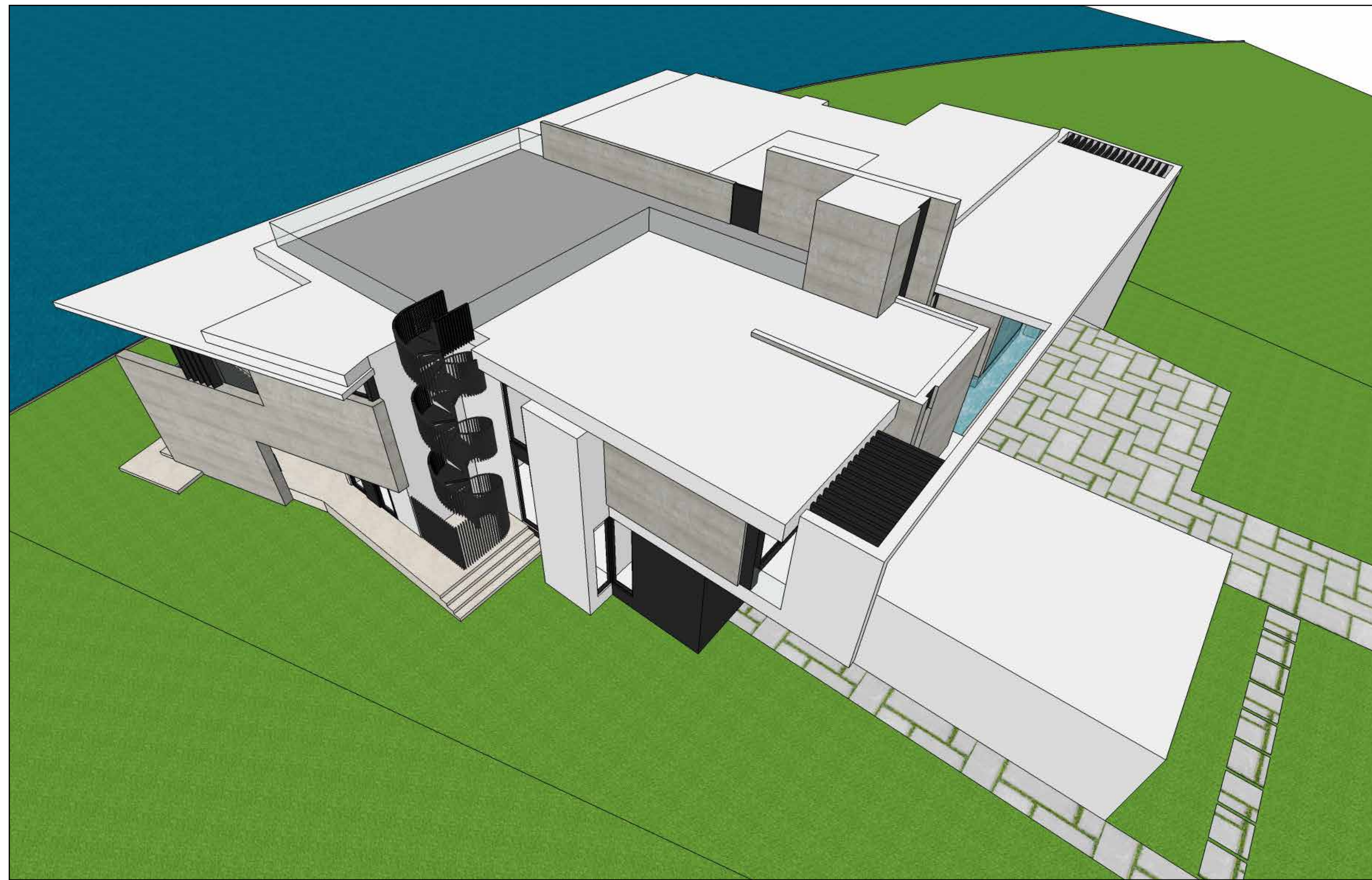
Scale: 3/16" = 1'-0"



Side Elevation (EAST)

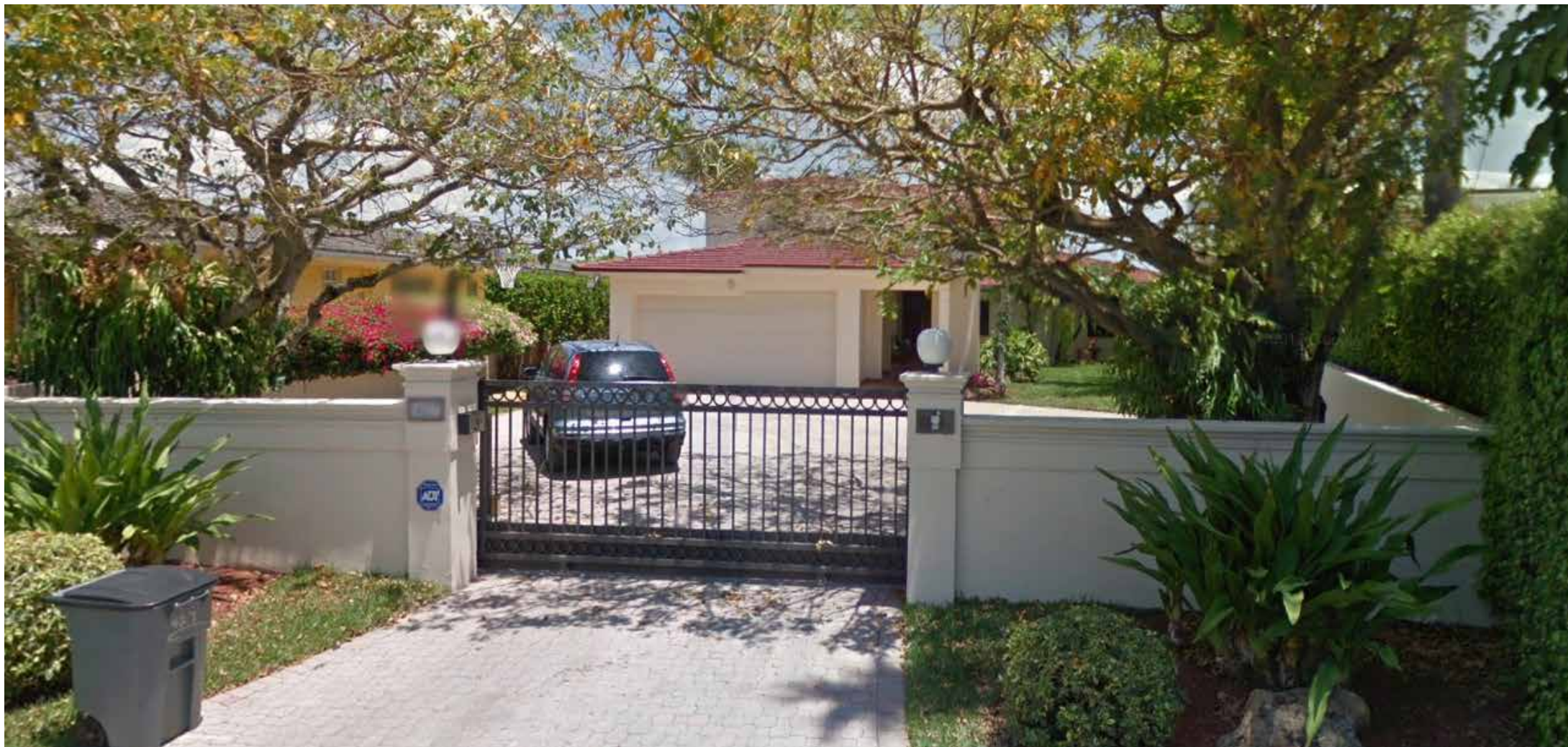
Scale: 3/16" = 1'-0"







Residence 1



Residence 2



Subject Property (421 E San Marino Dr)



Residence 3



Residence 4



Residence 5



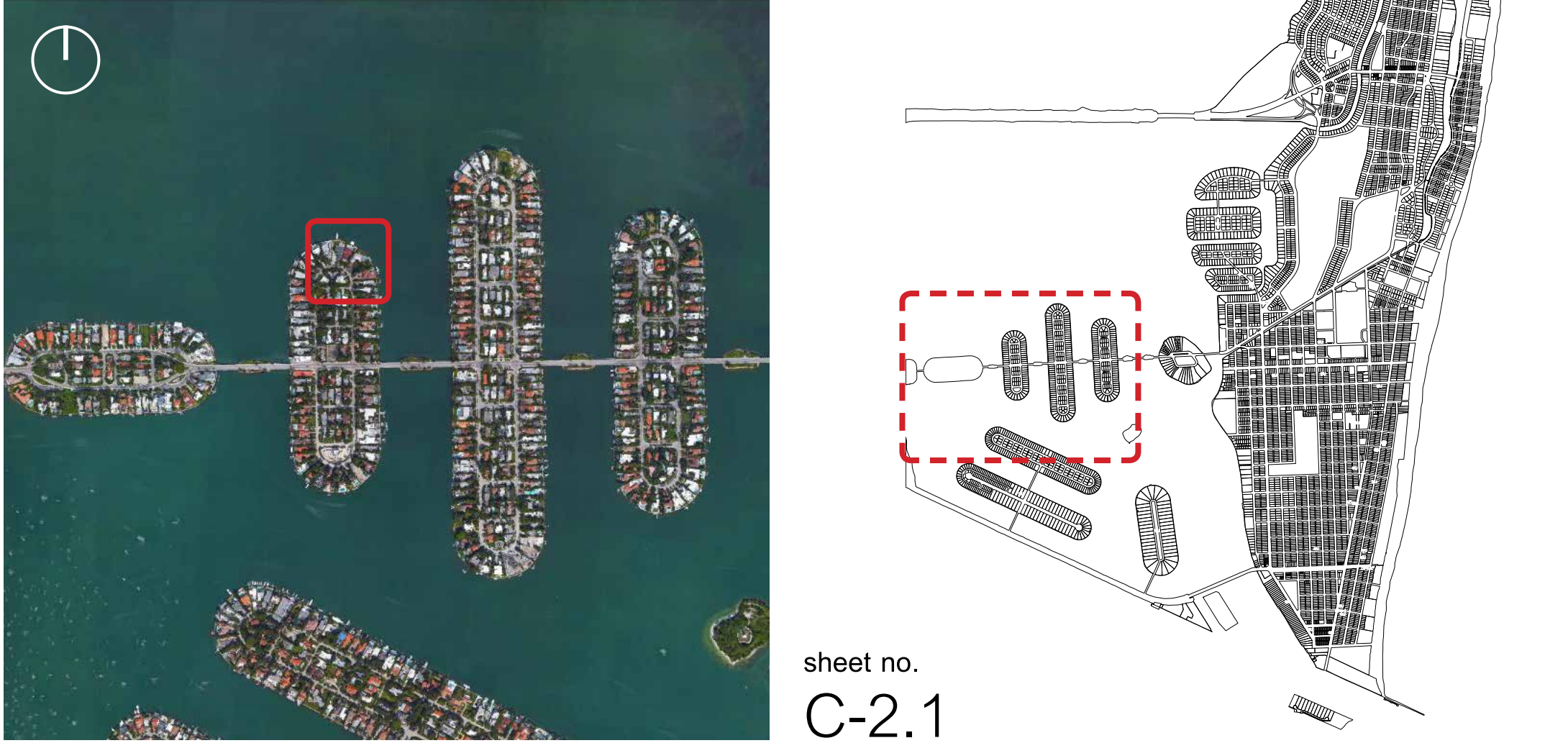
Residence 6



Aerial Photograph of Surrounding Properties

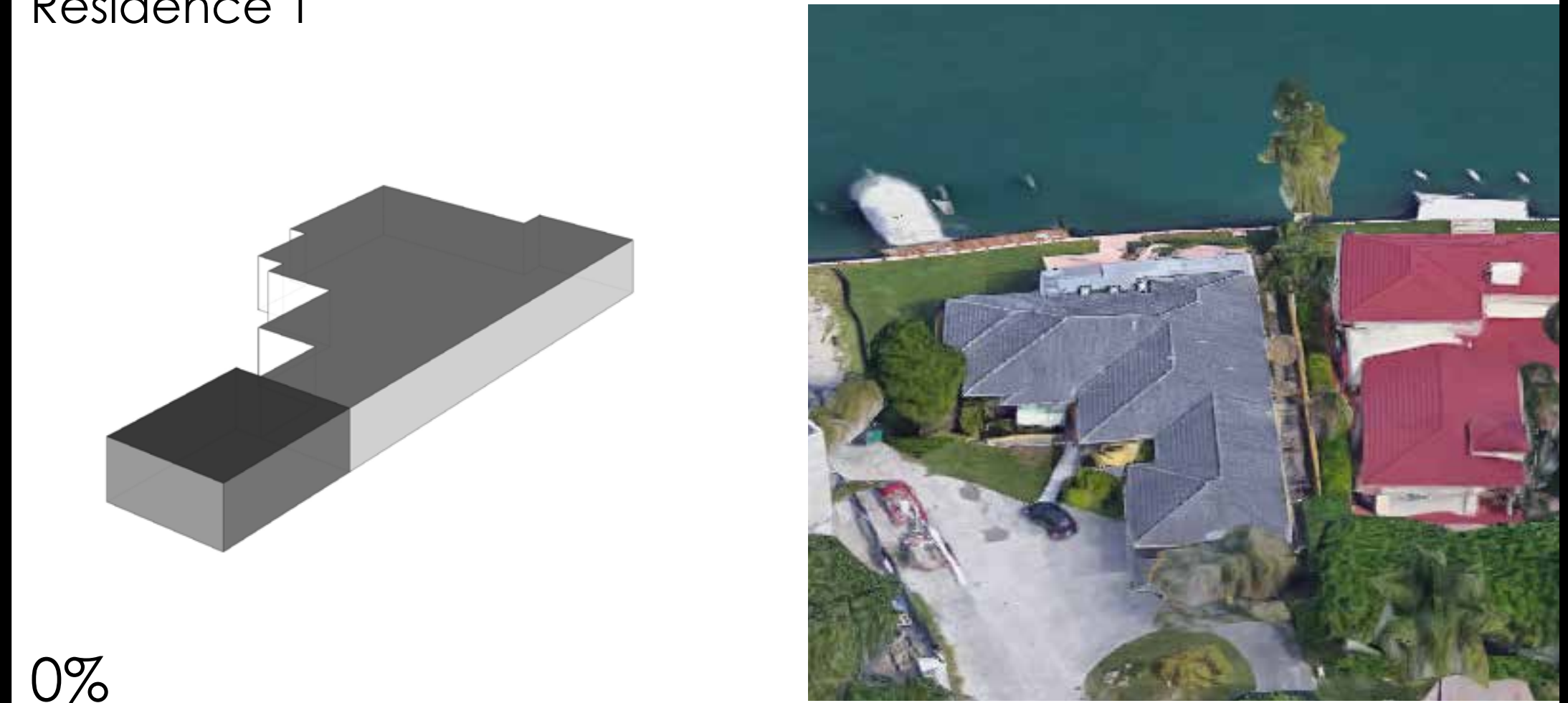


Aerial Photograph of Surrounding Properties





Residence 1



0%

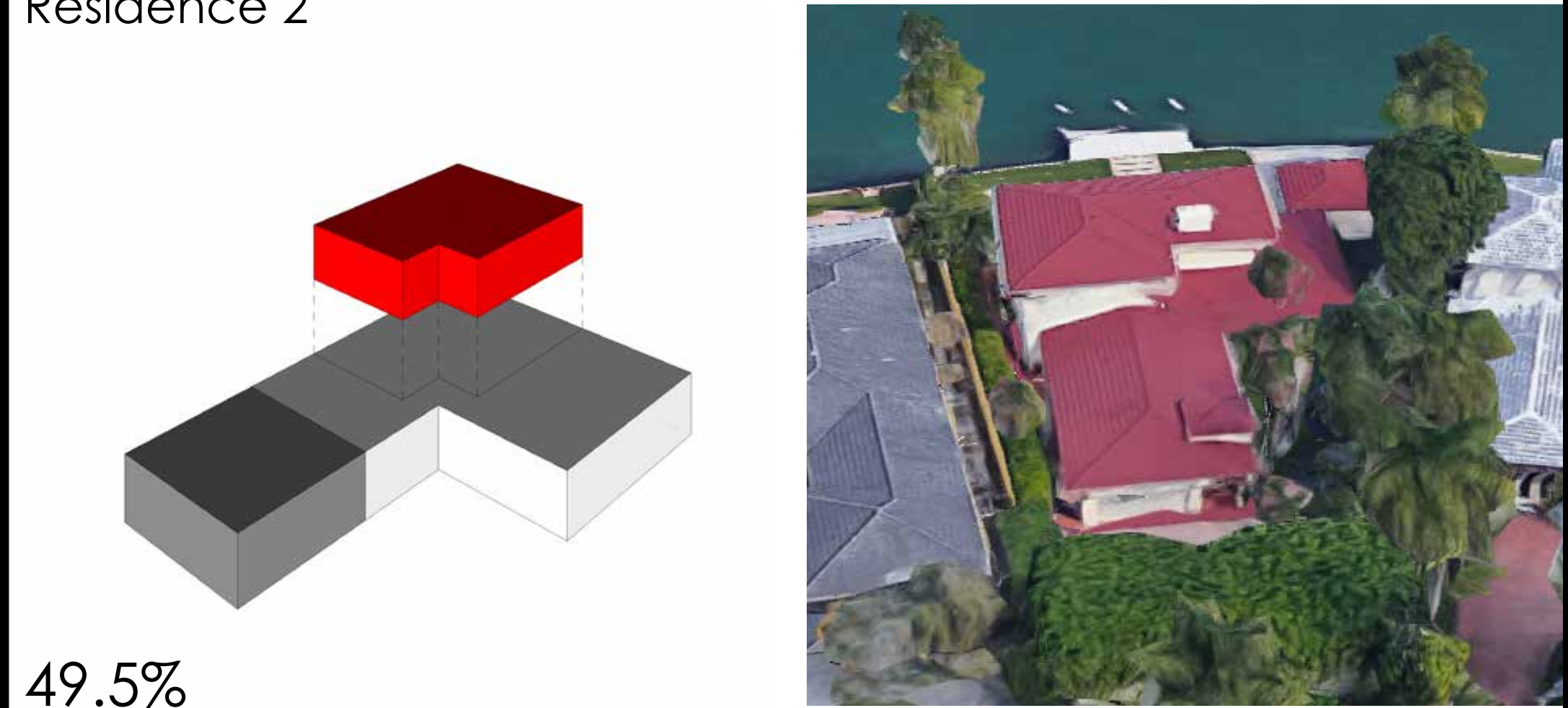
Massing Diagram



Aerial View



Residence 2



49.5%

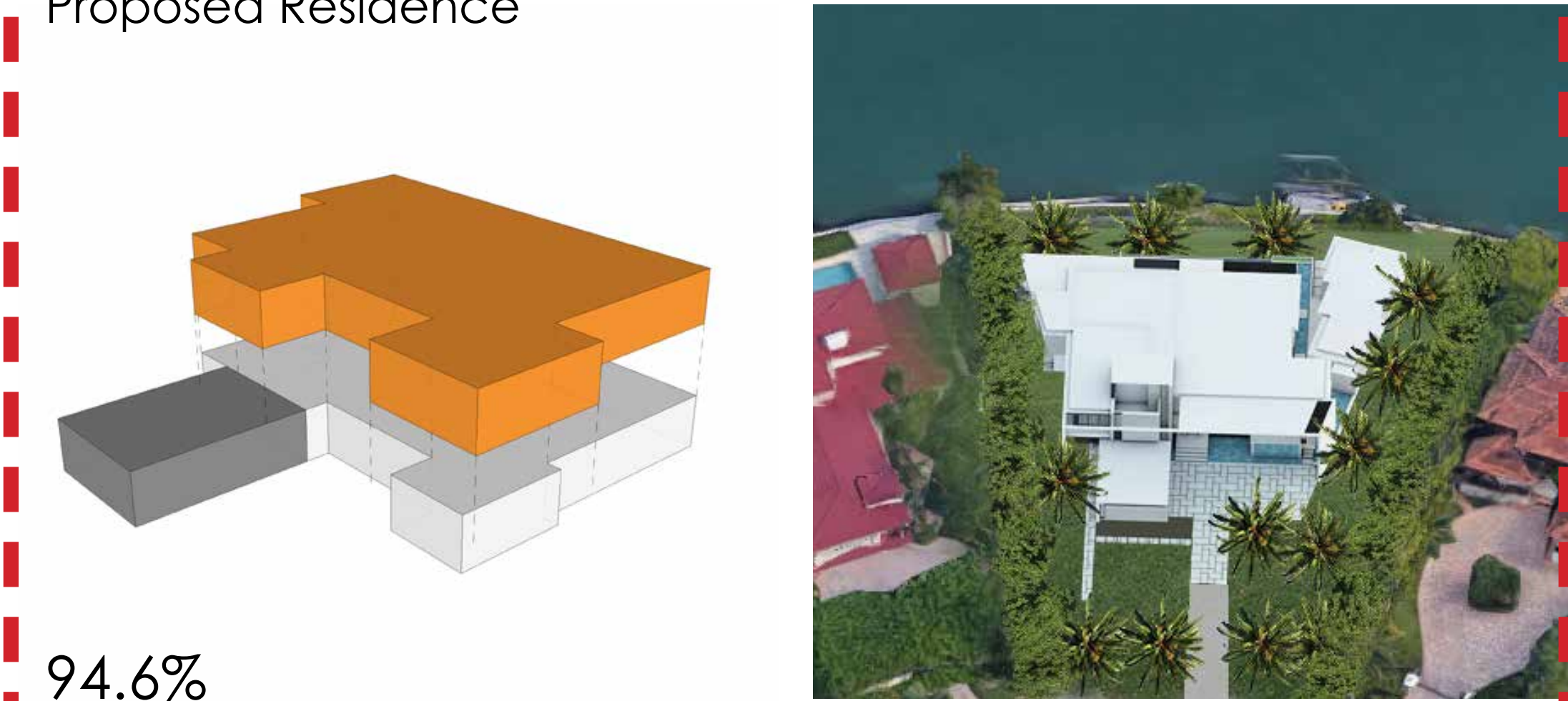
Massing Diagram



Aerial View



Proposed Residence



94.6%

Massing Diagram



Aerial View



Residence 3



91.3%

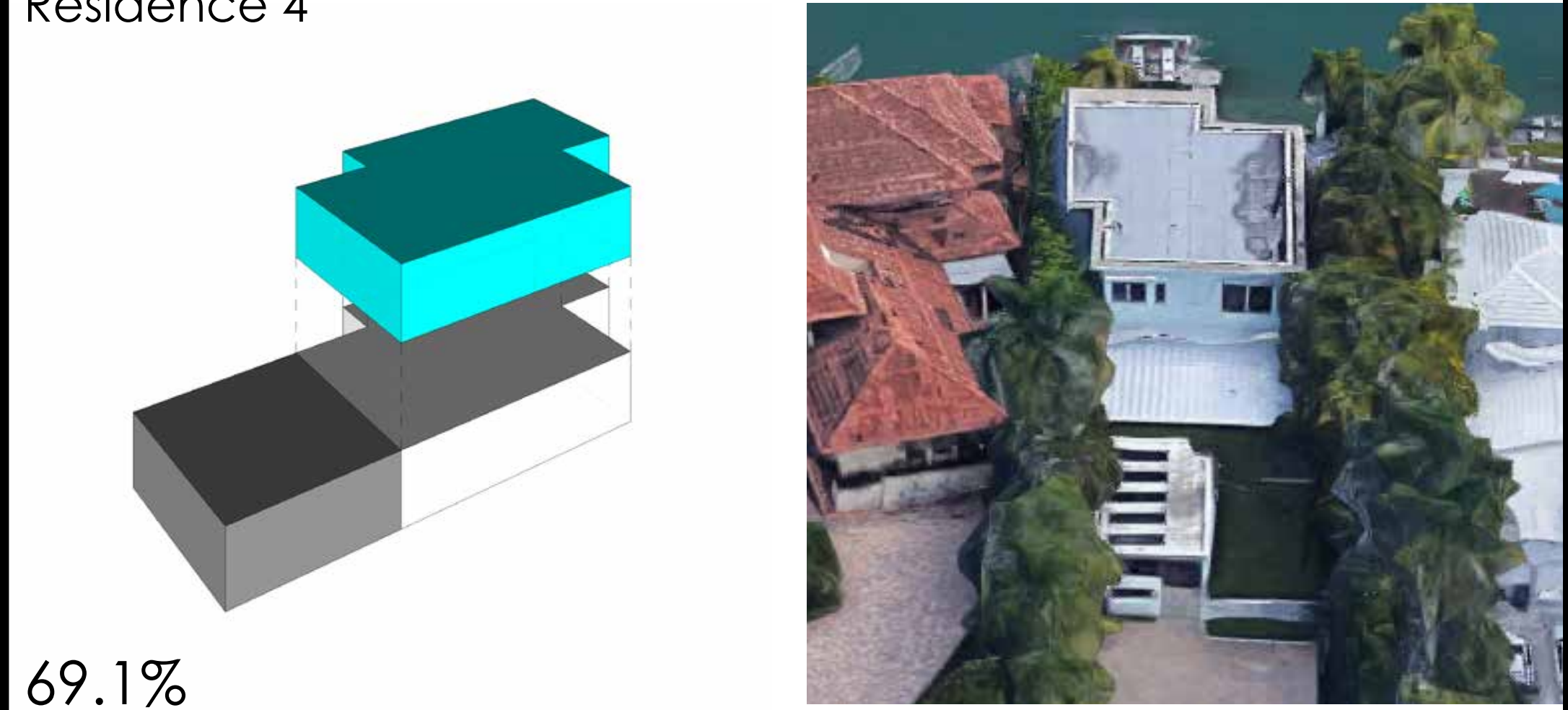
Massing Diagram



Aerial View



Residence 4



69.1%

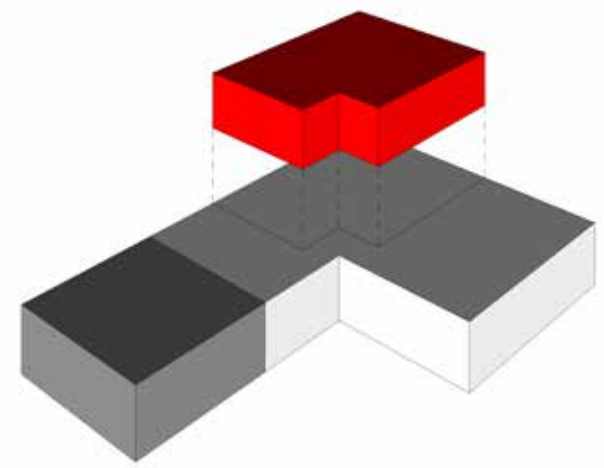
Massing Diagram



Aerial View



Location Key



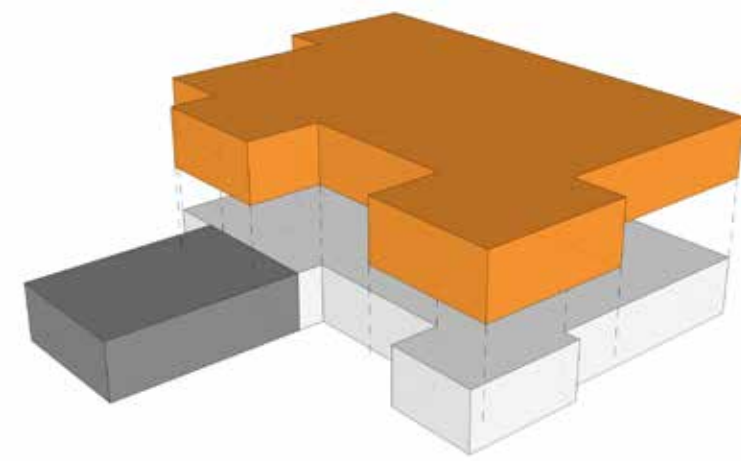
427 E San Marino Dr

Adjacent Property

Lot Size: 12,906 Sq. Ft

Approx. Lot Coverage: 31.1%

Approx. First-Second Ratio: 49.5%



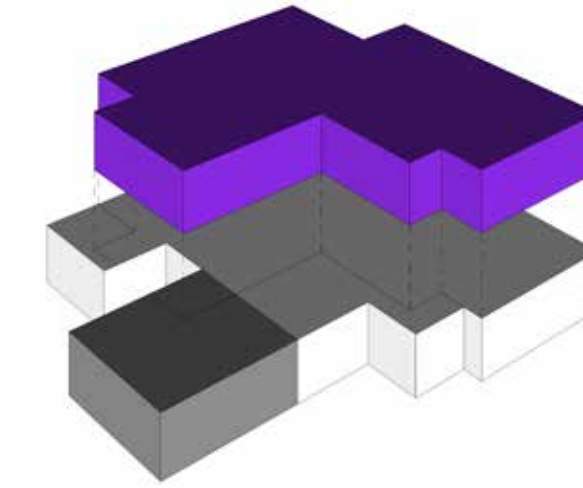
421 E San Marino Dr

Proposed Property

Lot Size: 25,812 Sq. Ft

Lot Coverage: 30%

First-Second Ratio: 94.6 %



409 E San Marino Dr

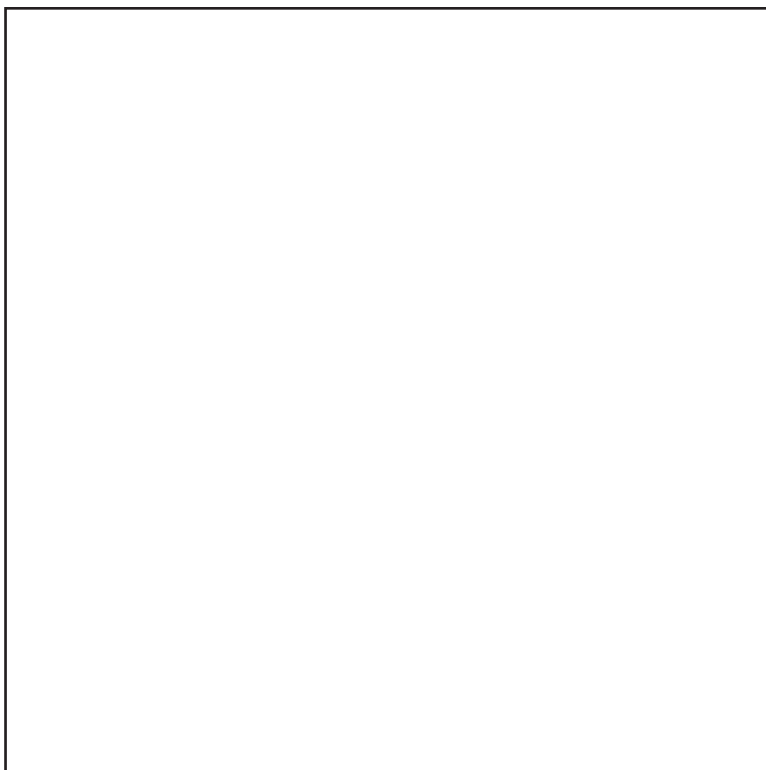
Adjacent Property

Lot Size: 12906 Sq. Ft

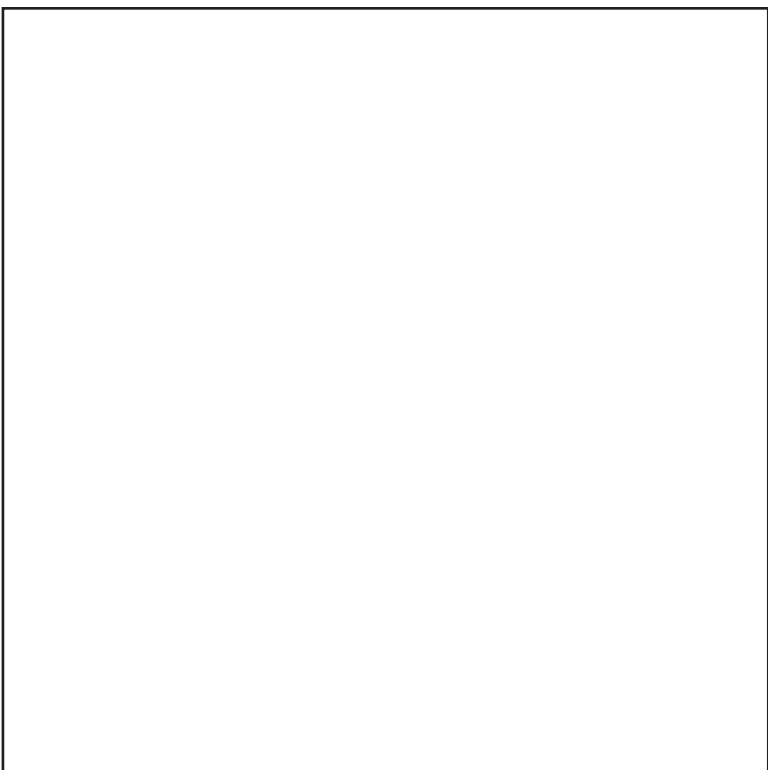
Approx. Lot Coverage: 39%

Approx. First-Second Ratio: 91.3%





1



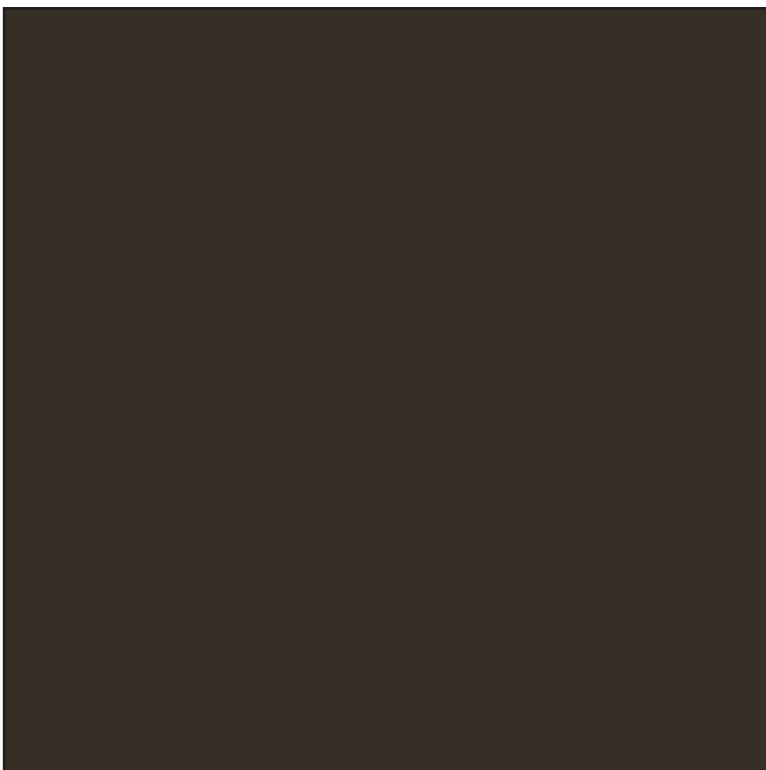
2



3



4



5

DESCRIPTION		SPECIFICATION
1	Exterior Paint	White Dove
2	Glazing	Clear Low-E Glass
3	Decking	Limestone Decking
4	Stone Finish	Vena Grigio Stone
5	Mullion Coating	Statuary Bronze