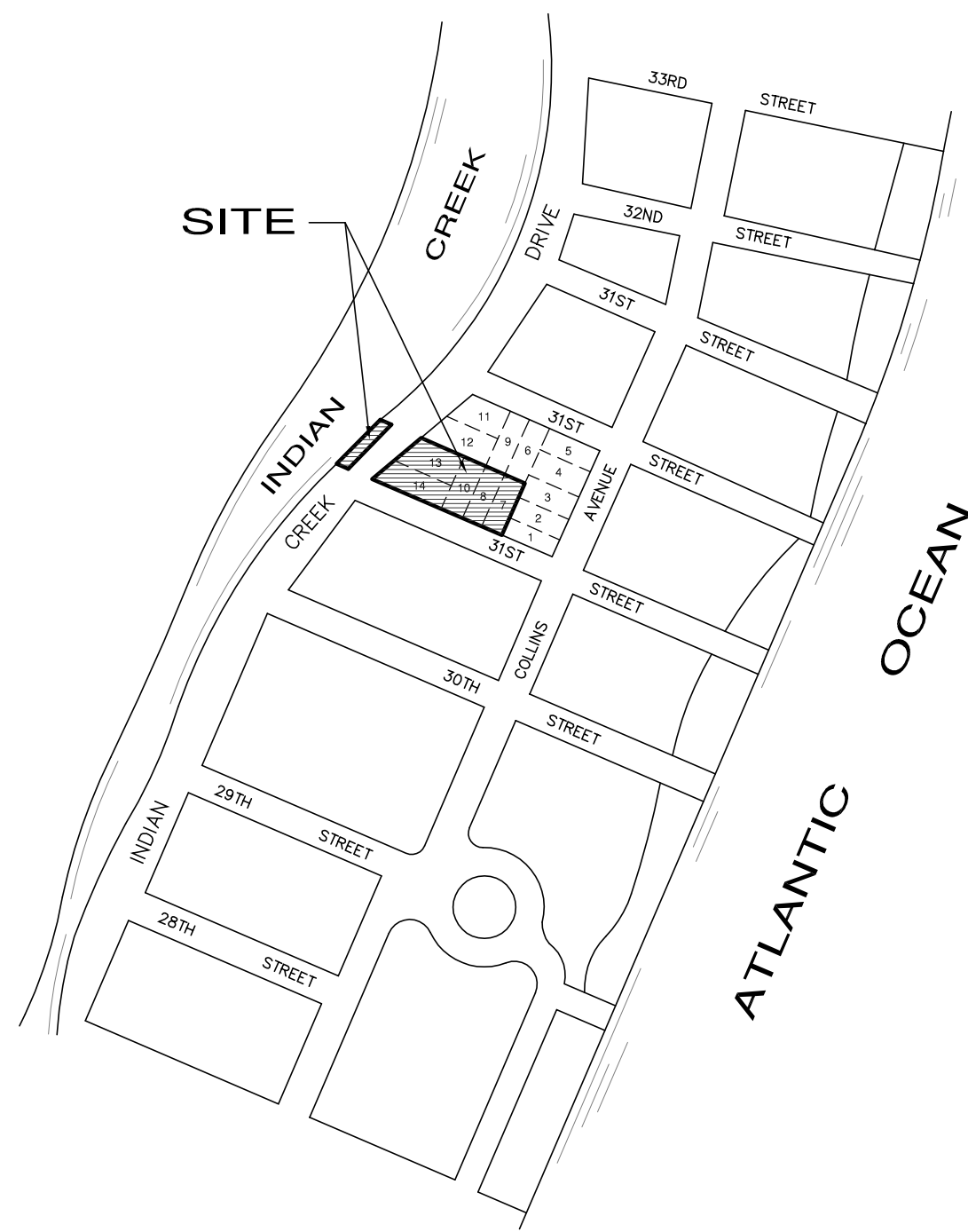


No.	Revision Description
1	170429 O.N. UPDATE SURVEY (4/28/17) S.D. BLS

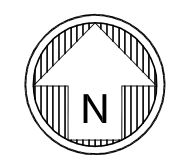
FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@flsurvey.com

BOUNDARY & TOPOGRAPHIC SURVEY
SOUTH BEACH BAYSIDE CONDOMINIUM
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	10/30/00
Scale	1"=20'
Drawn By	MAP
CAD No.	001438
Plotted	
Ref. Dwg.	5/2/17 6:43a
Field Book	940676
Job No.	530/7 JWL
Dwg. No.	001438
Sheet	2000D-210
	1 of 1



LOCATION SKETCH
SCALE: 1" = 300'



LEGAL DESCRIPTION:

Lots 7, 8, 10, 13 and 14 in Block 16, OCEAN FRONT PROPERTY OF THE MIAMI IMPROVEMENT COMPANY, according to the plat thereof, as recorded in Plat book 5, Pages 7 and 8 of the Dade County, Florida. Also out lots opposite Lots 13 and 14 of Block 16, as the same is shown by map or Plat of the OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, recorded in Plat book 5, Pages 7 and 8, described as follows:

BEGINNING at the Intersection of the North line of Seventh Street (now known as 31st Street) and the West line of Indian Creek Drive as shown in Plat book 5, Pages 7 and 8 of the Public Records of Dade County, Florida; thence North along the West line of Indian Creek Drive to the Intersection of said West line and the North line of said lot 13 Projected Westerly; thence West parallel to the North line of Seventh Street (now known as 31st Street) along the North line of said lot 13 project Westerly to the water of Indian Creek; thence South along the waters of Indian Creek to the North line of Seventh Street (now known as 31st Street); thence East along the North line of Seventh Street (Now known as 31st Street) to the POINT OF BEGINNING, being the premises adjacent to said lots 13 and 14 of Block 16 above described, situated between Indian Creek Drive and Indian Creek.

SURVEYOR'S NOTES:

- This site lies in Section 26, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N 89°58'29" W for the North right of way line of N.E. 31st Street (7th Street), and evidenced by (2) found nail & disk.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. B-313, Elevation +4.33 Located at N.E. 36th Street and Collins Avenue.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No.12086C0317L and Map No. 13066C0356L, for Community No. 12651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Total lands shown hereon containing 24,899 square feet, or 0.572 acres, more or less. Lots 7, 8, 10, 13 and 14 shown hereon containing 23,521 square feet, or 0.540 acres, more or less. Out lots opposite Lots 13 and 14 shown hereon containing 1,378 square feet, or 0.032 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- Roof overhang not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.

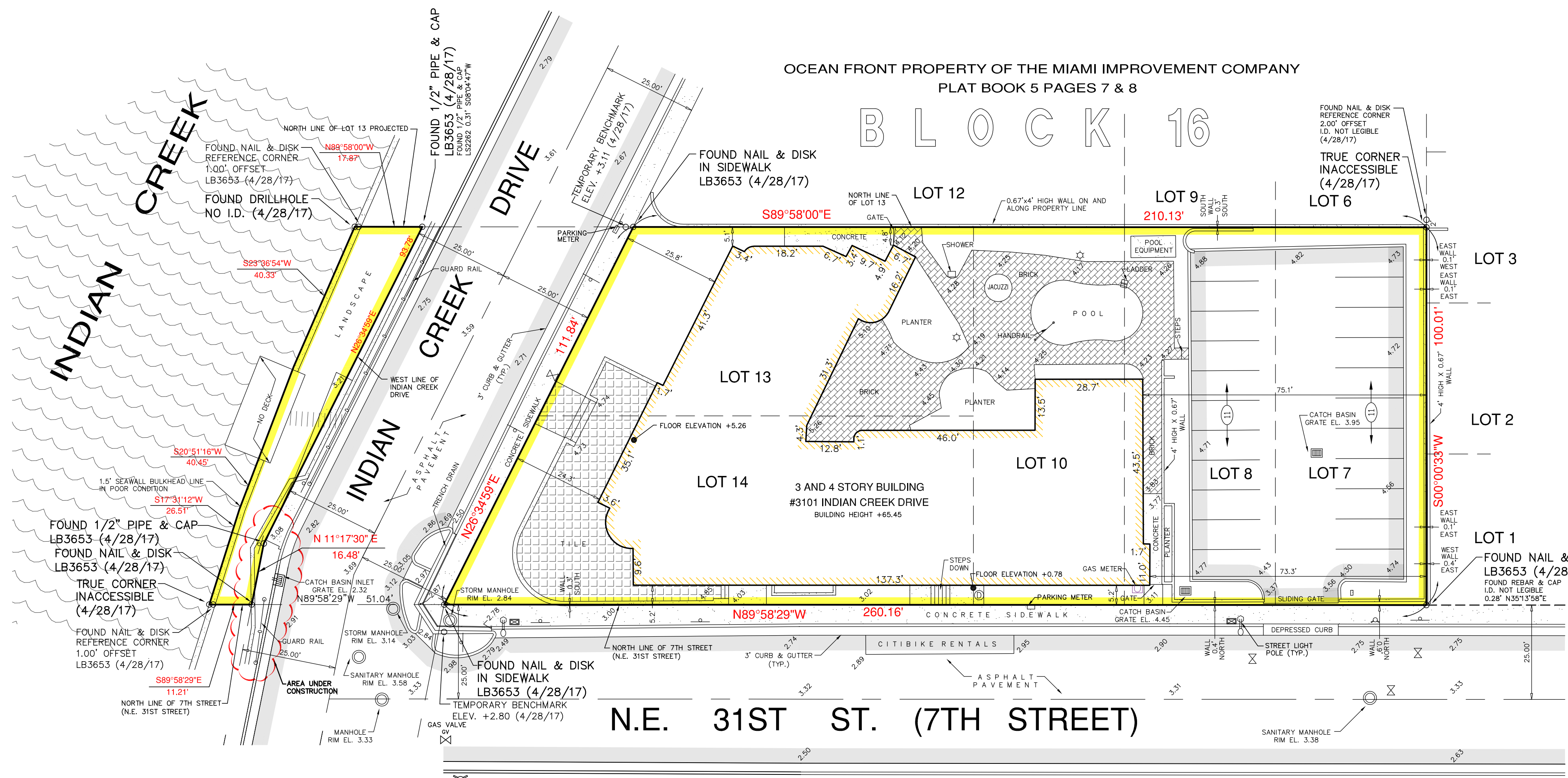
SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary & Topographic Survey" was made under my responsible charge on October 30, 2000, and updated April 28, 2017, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on April 28, 2017.

"Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper"

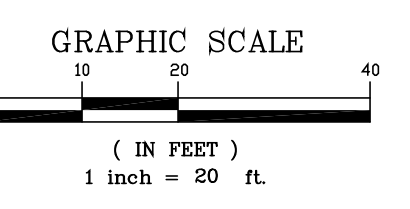
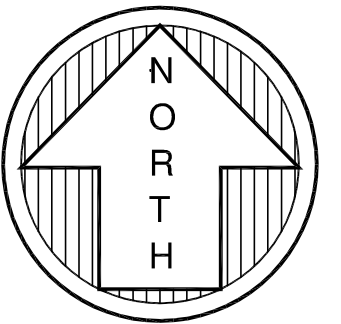
FORTIN, LEAVY, SKILES, INC., LB3653

By: Daniel C. Fortin, For The Firm
Surveyor and Mapper, LS2853
State of Florida.



LEGEND

■ = CATCH BASIN	— = 0.5' CURB
○ = MANHOLE	— = 2.00' CURB & GUTTER
□ = LIGHT POLE	— = CHAIN LINK FENCE
□ = WATER METER	I.D. = IDENTIFICATION
□ = WATER VALVE	EL. = ELEVATION
□ = CATCH BASIN INLET	INV. = INVERT
□ = UTILITY POLE	SAN. = SANITARY
□ = RISER	P.R.M. = PERMANENT REFERENCE MONUMENT
□ = FIRE HYDRANT	— = CONCRETE
□ = HANDHOLE	— = ASPHALT PAVEMENT
— = SIGN	



04.25.2017

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

ITEM #	Zoning Information			
1	Address:	3101 INDIAN CREEK DRIVE,Miami Beach , FL 33139-2412		
2	Board and File numbers:			
3	Folio number(s):	02-3226-035-0001		
4	Year constructed:	1941	Zoning District:	RM-2
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	3.02 NGVD
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	24,899 SF
7	Lot Width	100'-0"	Lot Depth:	260.16'
8	Minimum Unit Size	SEE UNIT SIZE CHART	Average Unit Size:	N/A
9	Existing User	APART/HOTEL	Proposed Use:	HOTEL

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	44'	NO CHANGE IN HEIGHT	
11	Number of Stories	5 STORIES	4	4 STORIES	-
12	FAR	2	N/A	N/A	-
13	FLOOR AREA Square Footage	49,778	27,802 SF	27,802 SF	-
14	Square Footage by use	N/A	N/A	N/A	-
15	Number of Units Residential	N/A	41	0	-
16	Number of Units Hotel	N/A	CERTAIN UNITS ARE LICENSED FOR HOTEL USE	70	-
17	Number of Seats	N/A	0	0	-
18	Occupancy Load	N/A	N/A	N/A	-

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	20'	N/A	N/A	-
20	Side Setback:	5'	N/A	N/A	-
21	Side Setback facing Street:	5'	5'	5'	-
22	Rear Setback:	0'	75.25'	75.25'	-
23					
	At Grade Parking:				
24	Front Setback:	20'-0"	N/A	N/A	-
25	Side Setback:	5'-0"	5'-0"	5'-0"	-
26	Side Setback facing Street:	5'-0"	5'-0"	5'-0"	-
27	Rear Setback:	5'-0"	5'-0"	5'-0"	-
28					
	Pedestal 3-5				
29	Front Setback (West):	20'-0"	24.07'	24.07'	-
30	Side Setback (North):	8'-0"	5.00'	5.00'	-
31	Side Setback facing Street (South):	8'-0"	4.96'	4.96'	-
32	Rear Setback: (East)	26'-0"	75.25'	75.25'	-

	Parking	Required	Existing	Proposed	Deficiencies
33	Parking District	1	1	1	-
34	Total # of parking spaces	0	22	22	-
35	30% PARKING REDUCTION	N/A	-	-	-
36	# of parking spaces per use (Provide a	0	N/A	18 SPACES FOR HOTEL USE	-
37	# of parking spaces per level (Provide a	N/A	N/A	N/A	-
38	Parking Space Dimensions	8.5' X 18'			-
39	Parking Space Configurations	90 DEGREE	90 DEGREE	90 DEGREE	-
40	ADA Spaces	1	N/A	1	-
41	Tandem Spaces	N/A	N/A	N/A	-
42	Drive Aisle Width	22'	22'	22'	-
43	Valet Drop off and pick up	11'	N/A	N/A	-
44	Loading zones and Trash collection areas	2	0	1 ON-STREET/1 onsite	req. waiver
45	Racks	0	N/A	0	-

	Restaurants, Cafes, Bars, Lounges,	Required	Existing	Proposed	Deficiencies
46	Type of use	N/A	APART/HOTEL	HOTEL	-
47	Total # of Seats	N/A	N/A	0	-
48	Total # of Seats per venue (Provide a	N/A	N/A	N/A	-
49	Total Occupant Content	N/A	N/A	N/A	-
50	Occupant content per venue (Provide a	N/A	N/A	N/A	-

51	Is this a contributing building?	YES
52	Located within a Local Historic District?	YES

Notes: If not applicable write N/A
All other data information may be required and presented like the above format.
* SEE PARKING REQUIREMENTS (A)



PROJECT:

3101 Indian Creek Drive
MIAMI BEACH,
FLORIDA

DRAWING:

ZONING DATA

SEAI

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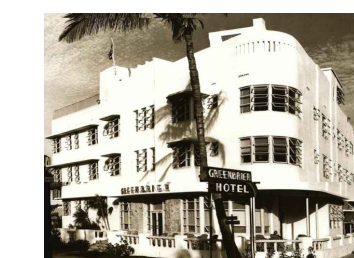
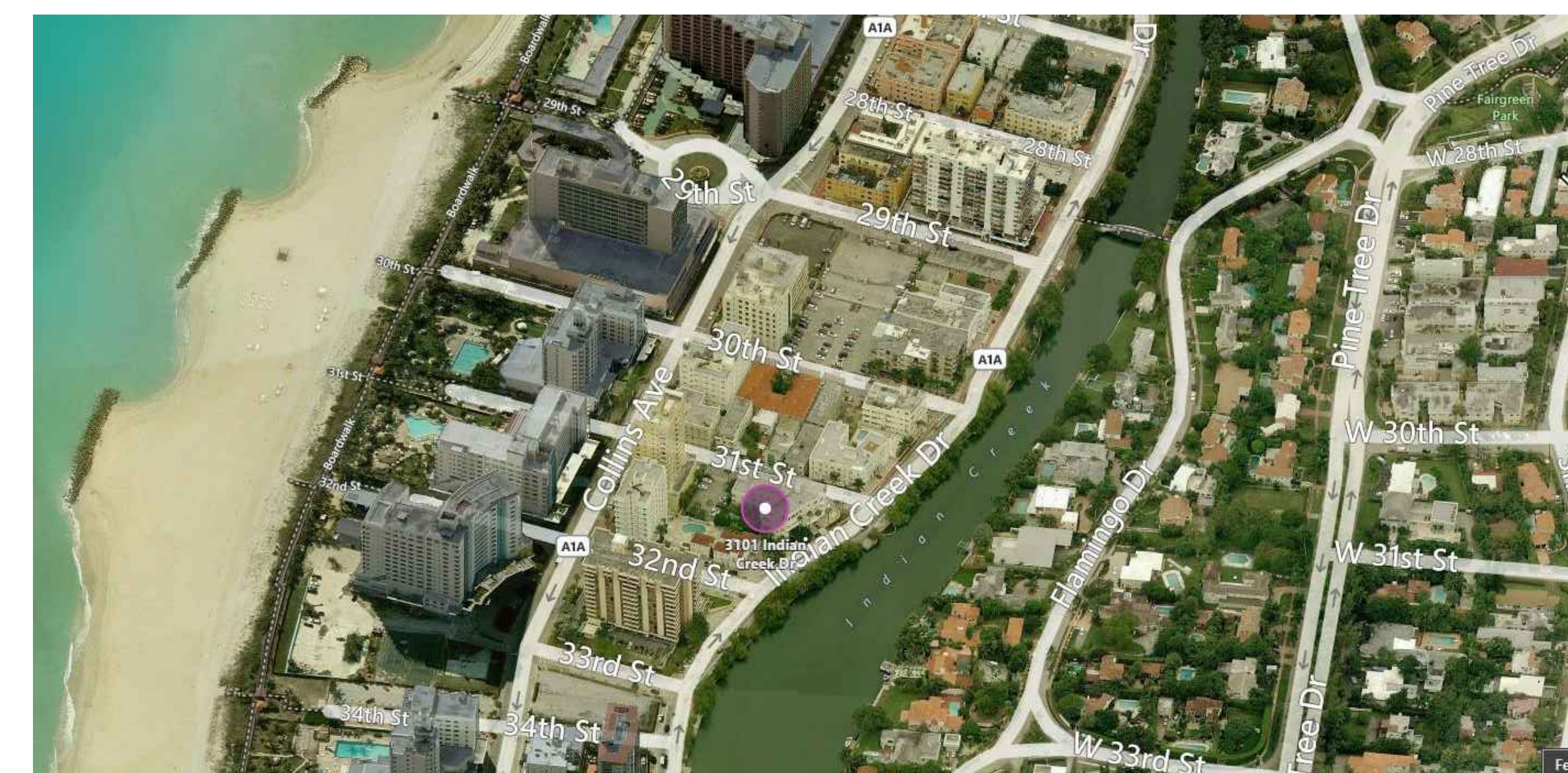
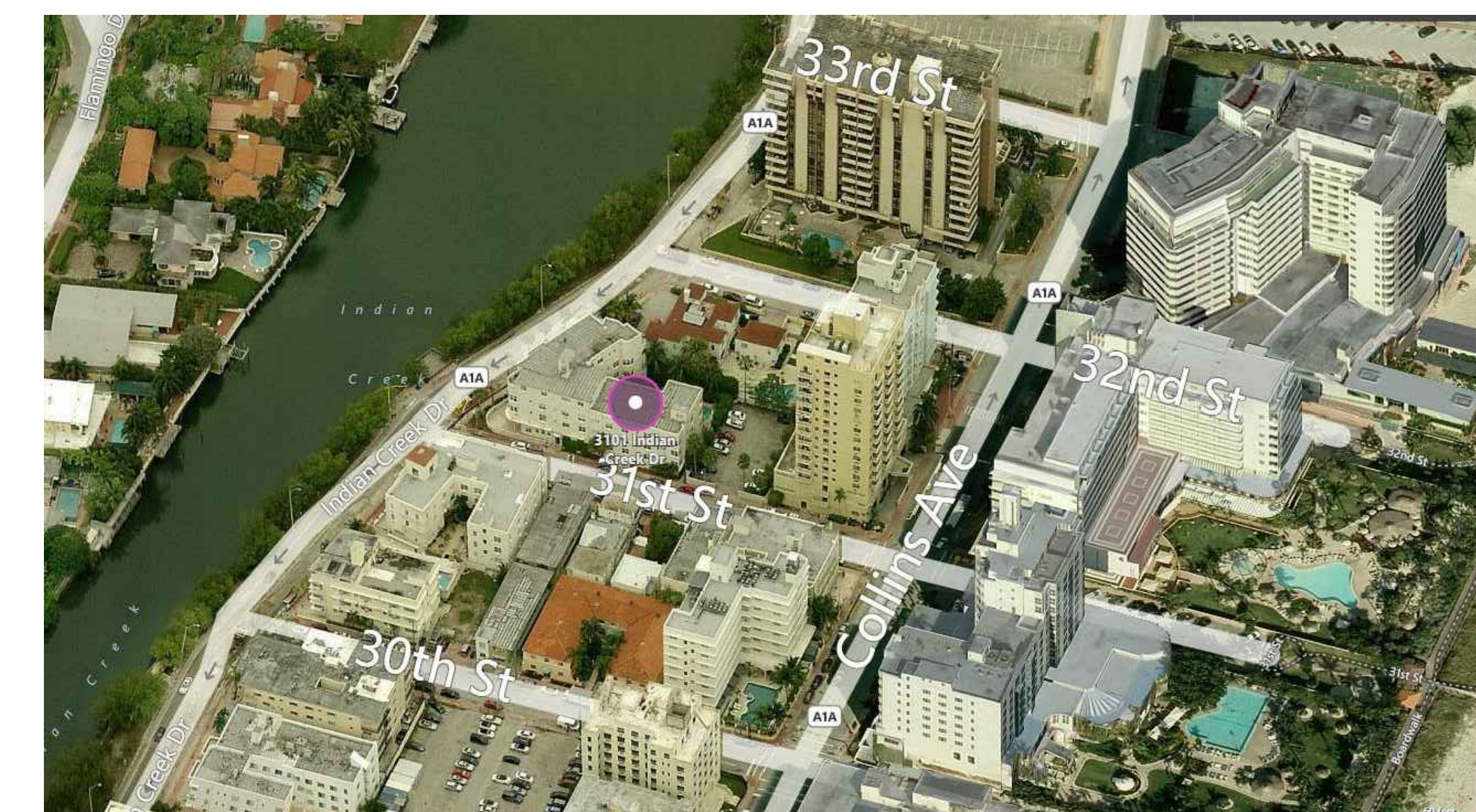
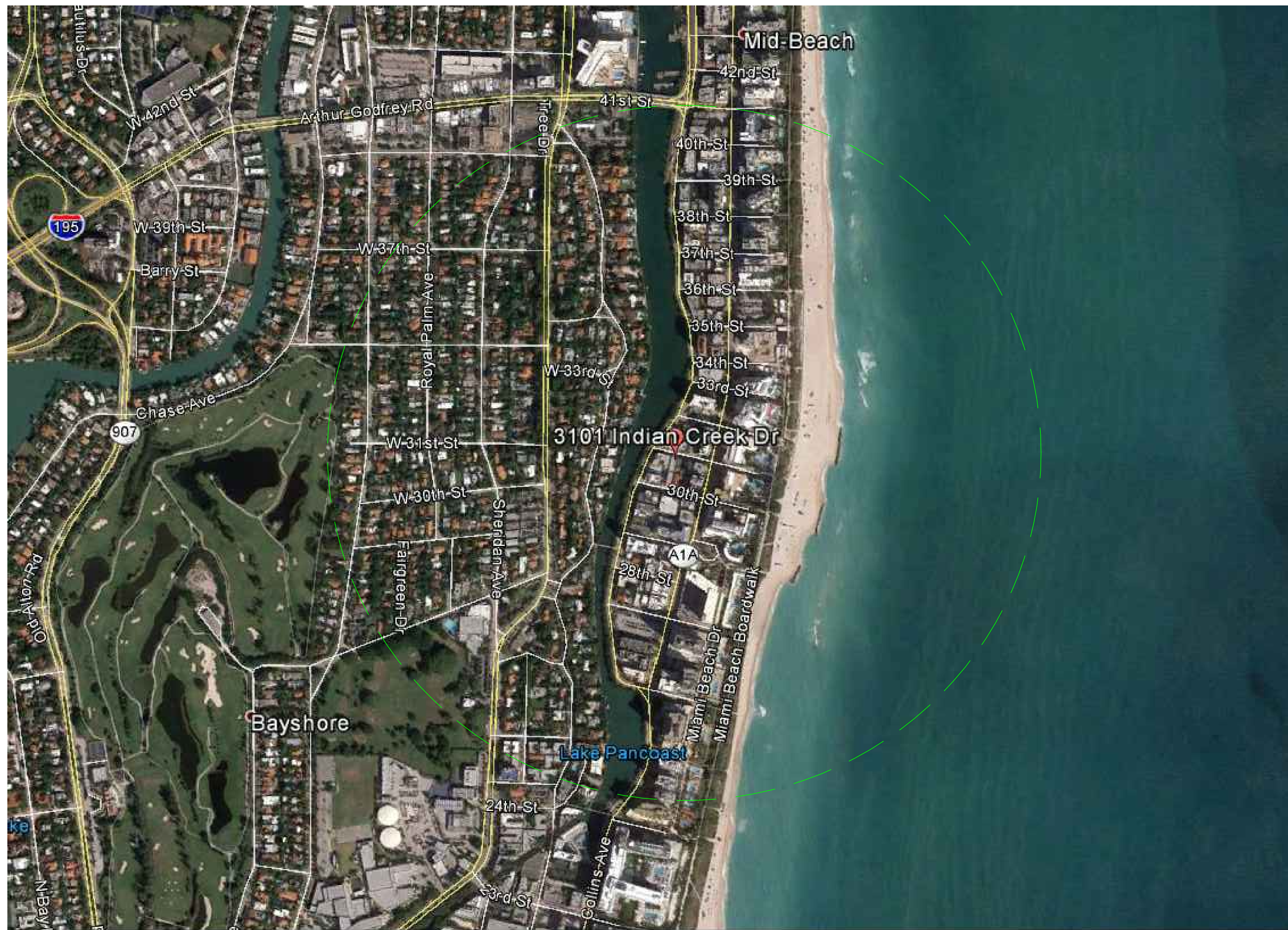
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DATE: 05/10/2017

PROJECT NO.: 1717

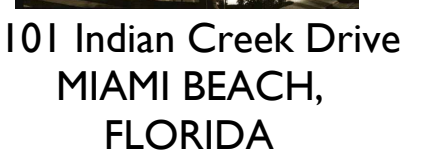
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A-00 I

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PROJECT:
GREENBRIER
HOTEL



SITE PLAN

1

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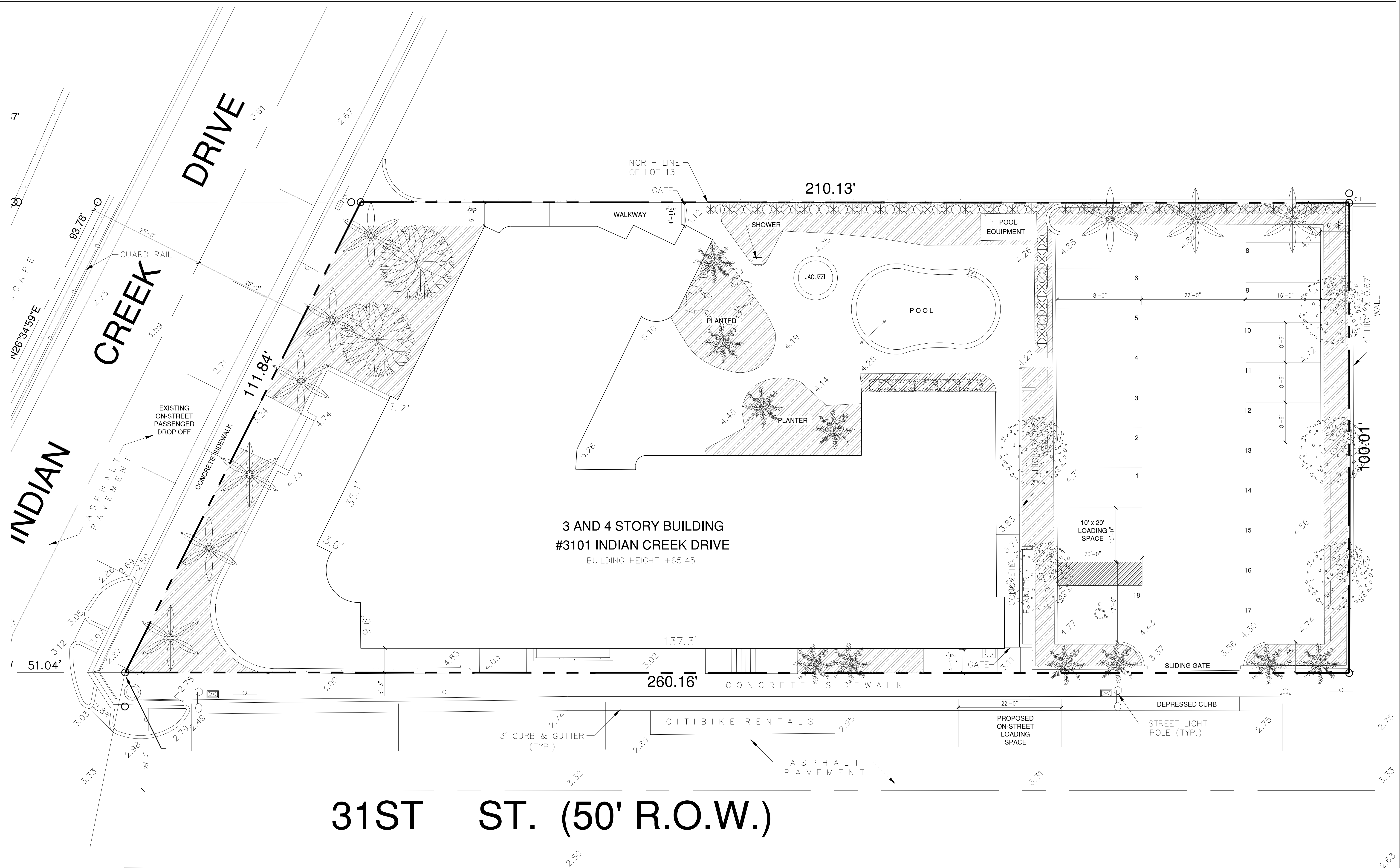
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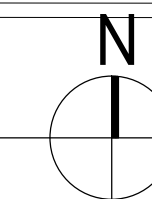
ATE: 05/10/2017

PROJECT NO.: 1717

A-003



1 SITE PLAN
A-003 Scale: 1/16" = 1'-0"



A-003



VIEW FACING EAST ON INDIAN CREEK



VIEW SOUTH EAST ON INDIAN CREEK WITH NORTH ELEVATION ON LEFT



VIEW OF SOUTH ELEVATION



DETAIL VIEW OF SOUTH ELEVATION

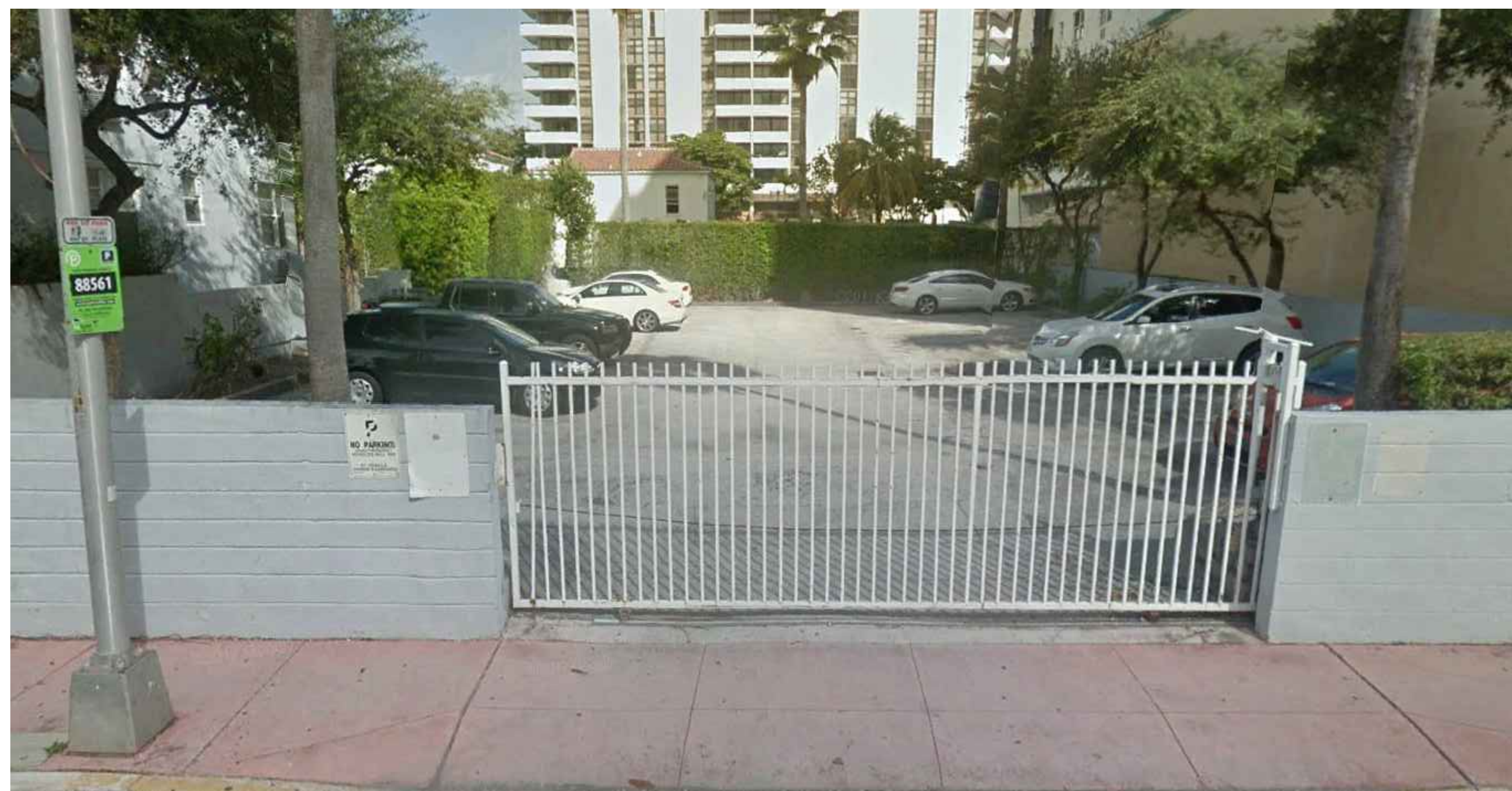


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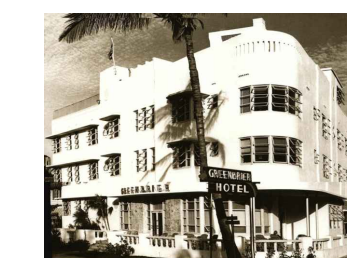
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PROJECT NO.: 1717
SHEET NUMBER



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www.McG-Architecture.com

1717

PROJECT:
GREENBRIER
HOTEL



3101 Indian Creek Drive
MIAMI BEACH,
FLORIDA

DRAWING:

PHOTOS OF
SITE CONTEXT

SEAL

JENNIFER McCONNEY, FLORIDA, LIC# AR9304

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DATE: 05/10/2017

PROJECT NO.: 1717

SHEET NUMBER

A-004b



PHOTOS OF ROOFTOP



PHOTOS OF ROOFTOP



PHOTOS OF ROOFTOP



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FRONT FACADE ON THE CORNER OF INDIAN CREEK AND 31ST STREET



SOUTH FACADE ALONG 31ST STREET



REAR FACADE FACING EAST



SERVICE WALKWAY EAST SIDE



REAR EAST INTERIOR FACADE



SEAL

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PROJECT NO.:	1717
SHEET NUMBER	



VIEW FACING WEST ON 31ST STREET



VIEW FACING EAST ON 31ST STREET



VIEW FACING NORTH ON INDIAN CREEK DRIVE



VIEW FACING SOUTH ON INDIAN CREEK DRIVE



REVISIONS		
REV#	DATE	DESCRIPTION

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PROJECT NO.:	1717
SHEET NUMBER	



EXISTING ENTRY LOBBY FACING EAST FROM FRONT ENTRY



VIEW OF CORRIDOR FACING NORTH IN LOBBY



VIEW FACING SOUTH IN LOBBY TOWARDS 31ST STREET



VIEW OF HISTORIC RAIL IN LOBBY



VIEW OF CORRIDOR OUT TO POOL DECK



EXISTING BASEMENT LEVEL



REVISIONS		
REV#	DATE	DESCRIPTION

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SHEET NUMBER	



TYPICAL BEDROOM



TYPICAL KITCHENETTE



VIEW FROM LIVING AREA FACING KITCHEN AND SEPARATE BATHROOM



TYPICAL LIVING AREA



REVISIONS		
REV#	DATE	DESCRIPTION

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SHEET NUMBER	



FRONT FACADE 1941



AERIAL 1955



POSTCARD 1950'S



PHOTOGRAPH LATE 1950'S



REVISIONS		
REV#	DATE	DESCRIPTION

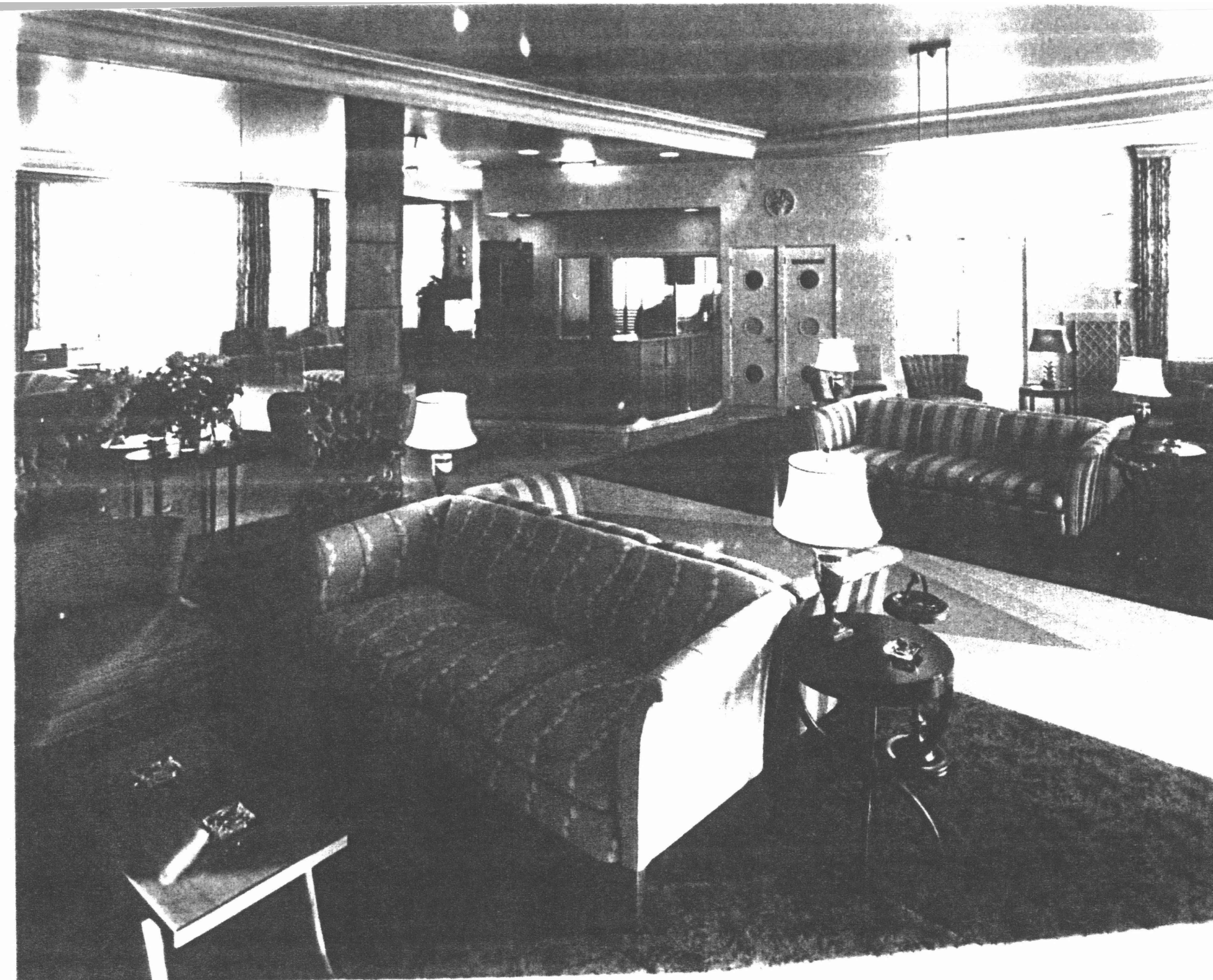
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PROJECT NO.:	1717
SHEET NUMBER	



3101 Indian Creek Dr.

Larry Wiggins postcard
no date

FRONT FACADE 1941



Greenbrier Hotel lobby
3101 Indian Creek Dr
1941

LM Dixon archive

INTERIOR PHOTO OF LOBBY



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1717

PROJECT:
GREENBRIER
HOTEL



3101 Indian Creek Drive
MIAMI BEACH,
FLORIDA

DRAWING:

HISTORIC
PHOTOS

SEAL

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REVISIONS

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DATE: 05/10/2017

PROJECT NO.: 1717

SHEET NUMBER

A-009

717

PROJECT:
GREENBRIER
HOTEL



101 Indian Creek Drive
MIAMI BEACH,
FLORIDA

DRAWING:

EXISTING
BASEMENT &
FIRST FLOOR
PLAN

REAL

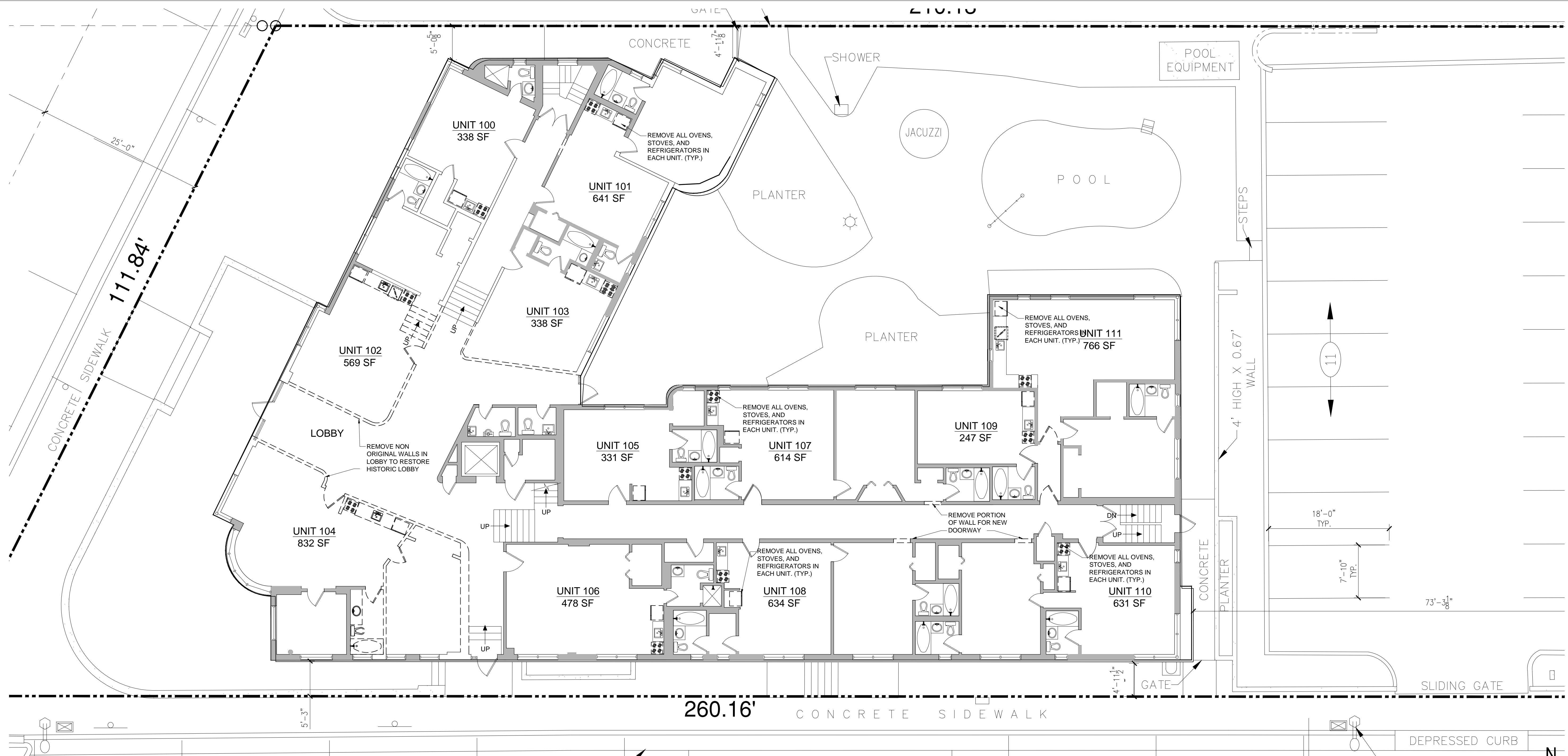
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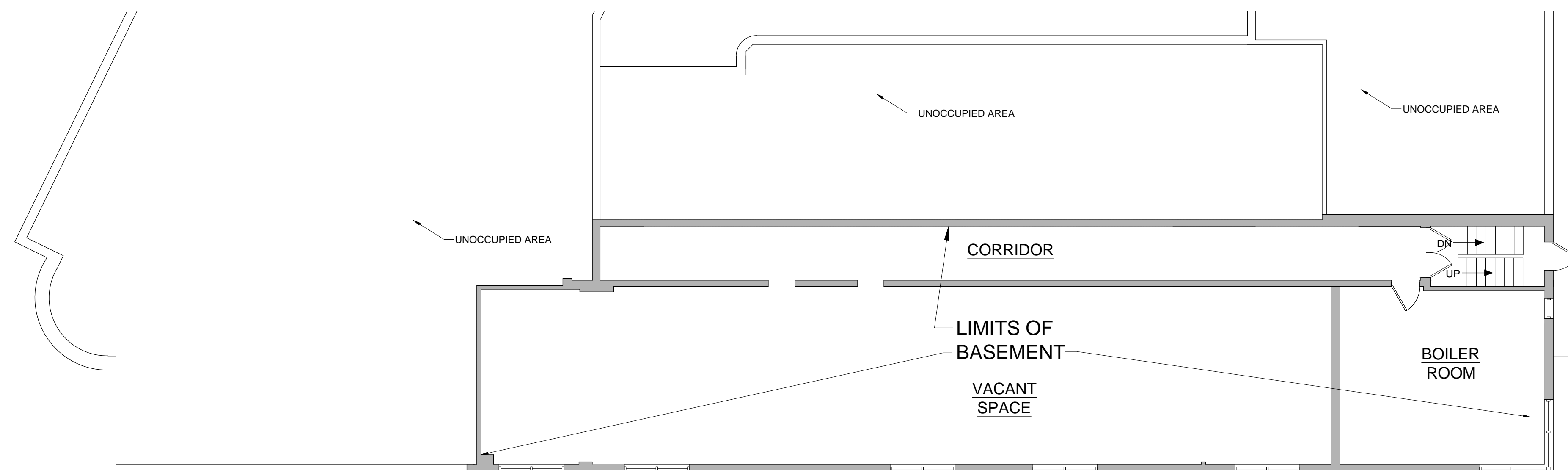
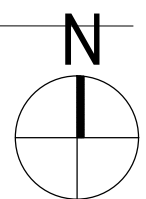
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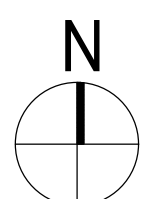
A-101



2 **EXISTING FIRST FLOOR PLAN**
A-101 Scale: 1/16" = 1'-0"



1 **EXISTING BASEMENT PLAN**
A-101 **Scale: 1/16" = 1'-0"**





PROJECT:
GREENBRIER
HOTEL



EXISTING
SECOND FLOOR
PLAN

SEAL

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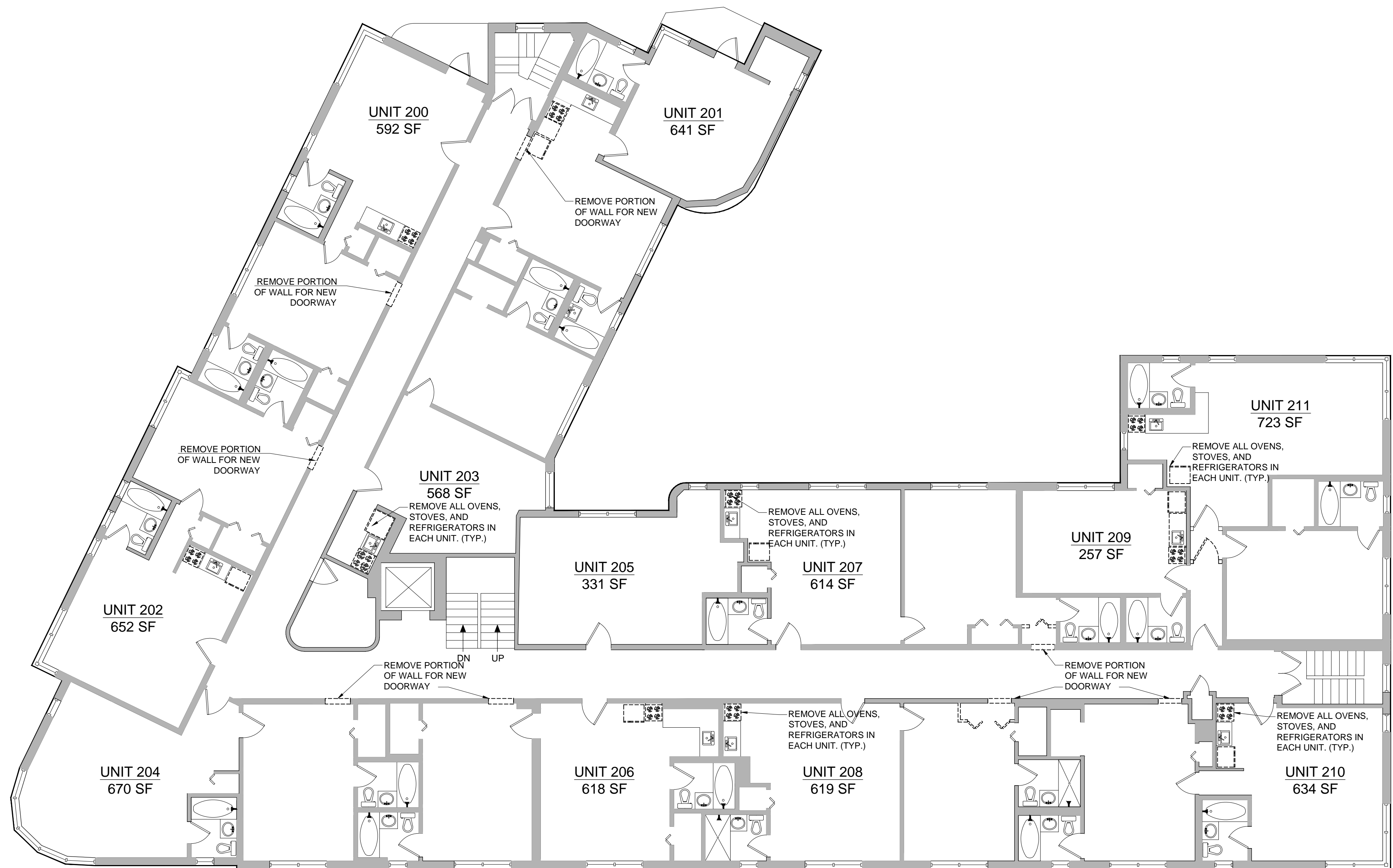
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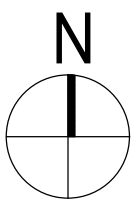
PROJECT NO.: 1717

HEET NUMBER

A-102



1 **EXISTING SECOND FLOOR PLAN**
A-102 **Scale: 1/16" = 1'-0"**





PROJECT:
GREENBRIER
HOTEL



101 Indian Creek Drive
MIAMI BEACH,
FLORIDA

DRAWING:

EXISTING
THIRD FLOOR
PLAN

L

JENNIFER McCONNEY FLORIDA LIC# AR93044

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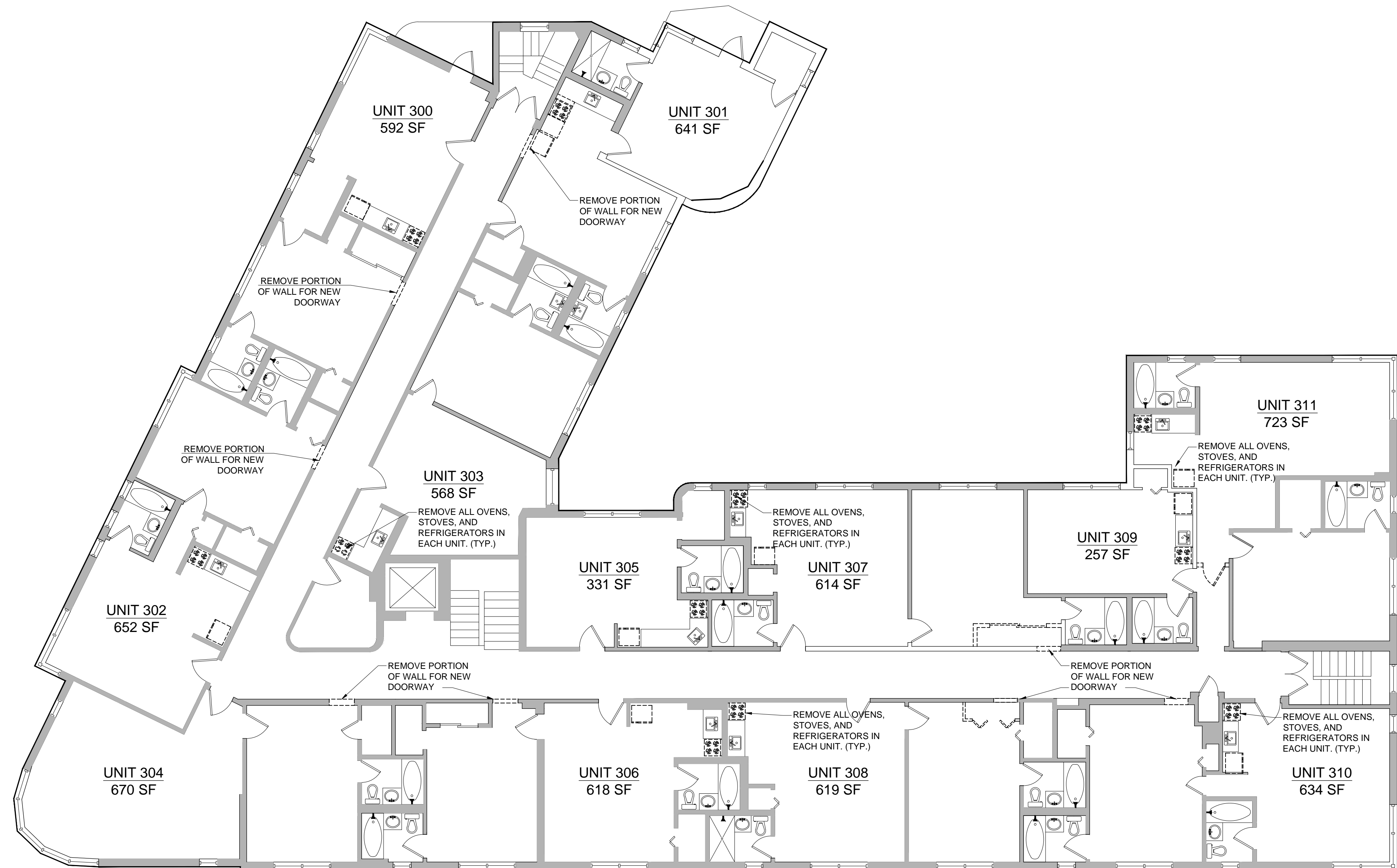
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DATE: 05/10/2017

PROJECT NO.: 1717

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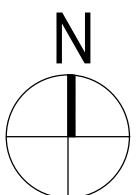
A-103



1
A-103

EXISTING THIRD FLOOR PLAN

Scale: 1/16" = 1'-0"

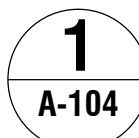




PROJECT:
GREENBRIER
HOTEL



EXISTING
FOURTH FLOOR
PLAN

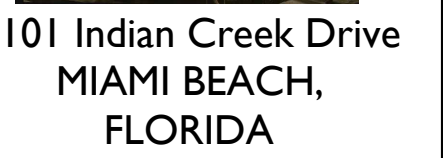


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DATE:	05/10/2017
PROJECT NO.:	1717
SHEET NUMBER	

A-104



PROJECT:
GREENBRIER
HOTEL



PROPOSED GROUND FLOOR PLAN

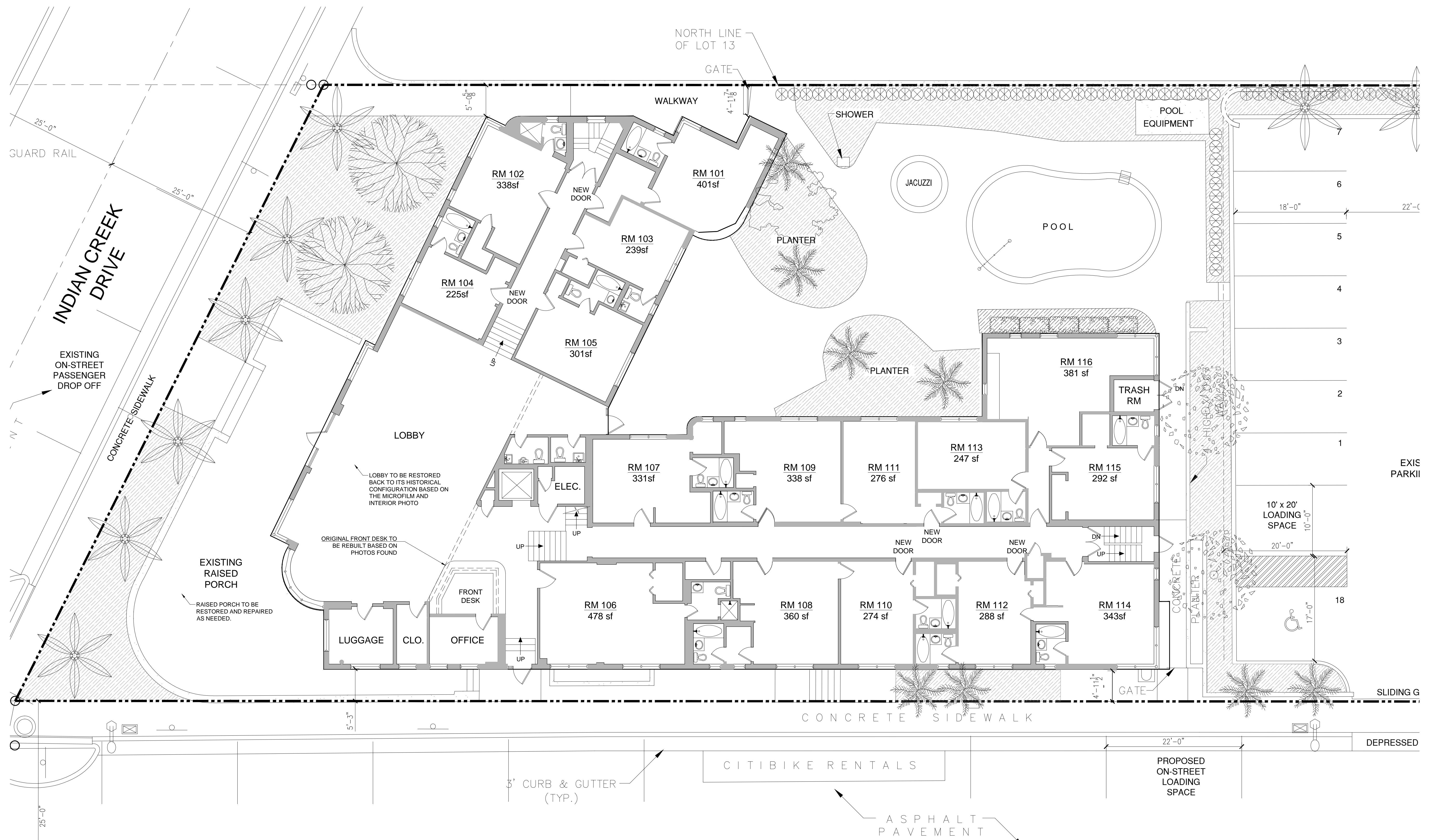
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CALE:	AS SHOWN
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ATE:	05/10/2017
ROJECT NO.:	1717
SHEET NUMBER	

A-201



1 PROPOSED GROUND FLOOR
A-201 Scale: 1/16" = 1'-0"

