

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OF LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
- CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (I.I.O.N.).
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
- ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
- ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACT/MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (I.I.O.N.).
- STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS. TO LOCATED OPENINGS, DRAINS, SLEEVES, SLOPES, DERESSED SLABS, BOLTS, CURBS, ETC.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-301 ETC. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 RECOMMENDED PRACTICE FOR CONCRETE FORM.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY. SIZE AND QUANTITY OF REBARS ARE PER STRUCTURAL DRAWINGS AND SCHEDULES.
- NO BEAMS SHALL BE FORMED/POURED PRIOR TO TRUSS SHOP DRAWINGS INSTALLATION.
- WINDOW / DOOR MANUFACTURER TO VERIFY ALL OPENINGS ON SITE PRIOR TO APPROVAL.
- ARCHITECT / INTERIOR DESIGN ENGINEER'S VISITS TO THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 48 HOURS IN ADVANCE PRIOR TO INSPECTION.
- VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER DESIGNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE" EXISTING 2014. NOTE: ALL LOCAL CODES SHALL PREVAIL.
- THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS. THE REVIEW AND APPROVAL OF SHOP DRAWINGS PRODUCT CONTROL, APPROVAL BY OTHERS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.
- THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
- DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER/ ARCHITECT/ ENGINEER.
- THE ARCHITECT / INTERIOR DESIGNER / OWNER HAVE THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
- CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
- CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK, AS A CONDITION OF ACCEPTANCE.
- CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FORM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
- THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL/ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.

- THE CONTRACTOR SHALL PROVIDE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
- THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
- UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST" INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
- ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED, BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT/ENGINEER/OWNER.
- ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODE AND NOT SPECIFIED IN THE "GENERAL NOTES AND OR SPECIFICATIONS" ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT/ENGINEER & BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
- ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED GLASS CAT. II.
- ALL FIXED GLASS SHALL BE 1/4" THICK, TEMPERED (I.I.O.N.).
- ALL CEILING SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
- USE ONLY HIGH HAT LIGHTS WITH SEALED CANNS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
- ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.
- DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.
- SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.
- PROVIDE THE ABSOLUTE MINIMUM ATTIC VENTILATION. LOCATE THE NECESSARY SOFFIT VENTS ON THE EXPOSURE AWAY FROM THE LOCAL PREVAILING BREEZE.
- INSURE THAT ALL INSULATION IS PROPERLY DISTRIBUTED AND INSTALLED WITHOUT GAPS OR IN CONTACT WITH SURFACES THAT TRANSFER AIR.
- DO NOT VENTILATE THE ATTIC BY FORCED VENTILATION.
- ASSURE THAT ALL FIREPLACE DAMPERS ARE TIGHTLY CLOSED.
- INSURE THAT THERE IS NO DUCT LEAKAGE.
- KEEP ALL DUCTWORK SEPARATE FROM ALL OTHER DUCTWORK, ATTIC INSULATION, AND BUILDING CONSTRUCTION MATERIALS.
- SLABS OVER CRAWL SPACES, UNCONDITIONED SPACES SHALL BE SEALED AND INSULATED UNDERNEATH.
- MAINTAIN CONDITIONS IN ATTIC SUCH THAT THE DEW POINT OF THE ATTIC AIR IS HIGHER THAN THE SKIN TEMPERATURE OF THE DUCTWORK AT ALL TIMES.
- EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.
 - BETWEEN WINDOWS AND DOORS AND THEIR FRAMES.
 - BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL.
 - BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL-PLATES.
 - JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND CHANGES IN ORIENTATION.
 - OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PLUMBING.
 - BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS. IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CALKING OR GASKET MATERIAL, GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF EXTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR, AND (WHEN APPLICABLE) BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.
 - WALL & CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION NOT GREATER THAN 200, AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER A.S.T.M. E-84.
 - ALL INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NO MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NO MORE THAN 450 PER F.B.C. R. 2014
 - ARCHITECT'S SPECIFICATIONS SHALL BECOME PART OF THE CONSTRUCTION DOCUMENTS.

FIRE RATINGS DESCRIPTION :

FIRE-RATED PARTITION ASSEMBLY U.L. #U465
 NO. 25 CHANNEL-SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL "X" GYPSUM BOARD APPLIED VERTICALLY, ATTACHED WITH 1" LONG NO. 4 SDR WALL SCREWS TO EACH SIDE. (SCREENS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.)

FIRE-RATED CEILING ASSEMBLY U.L. #L558
 METAL CHANNELS AT 16" O.C., ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD, CEMENT-COATED OR RING SHANKED NAILS 6" O.C. W/ BUTT & JOINTS STAGGERED, PAPER TAPE EMBEDDED OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY U.L. #U465
 1-HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY WALLED WITH 1/4" COOLER NAILS 7" O.C. WITH END JOINTS ON WALING MEMBERS, PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION, PROVIDE TWO ROWS BLOCKING AT 48" O.C.

TYPICAL NON-BEARING PARTITION
 NO. 25 GA. CHANNEL-SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (16" O.C. AT WET AREAS.)

PUBLIC WORK NOTES

- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
- RECONSTRUCT SWALES / SOD ALONG THE ENTIRE PROPERTY.
- MILL AND RESURFACE 2 INCH ABOVE EXISTING 5/8" TYPE ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT IN COMPLIANCE WITH THE LOWER NORTH BAY ROAD AND SUNSET BLVD 1 & 2 NEIGHBORHOOD IMPROVEMENT PROJECT.

LEGAL DESCRIPTION

LOT 10, IN BLOCK 12 OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 59, OF THE PUBLIC RECORDS OF DADE COUNTY, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THE FOLLOWING DESCRIBED PARCEL OF LAND: BEGINNING AT THE NORTHEASTLY CORNER OF LOT 10, IN BLOCK 12, AT SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 59 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, SAID CORNER BEING IN THE WESTERLY LINE OF NORTH BAY ROAD AT A DISTANCE OF 80.1 FEET SOUTH FROM THE INTERSECTION OF THE SOUTHERLY LINE OF WEST 29 STREET AND THE WESTERLY LINE OF NORTH BAY ROAD, AS MEASURED ALONG THE WESTERLY LINE OF NORTH BAY ROAD; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10 IN SAID BLOCK 12 FOR A DISTANCE OF 288.75 FEET MORE OR LESS TO THE NORTH-WESTERLY CORNER OF SAID LOT 10; THENCE NORTHEASTERLY FOR A DISTANCE OF 241.88 FEET MORE OR LESS TO A POINT IN THE WESTERLY OF SAID NORTH BAY ROAD, SAID POINT BEING 25 FEET SOUTH, AS MEASURED ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD, FROM THE NORTHEASTLY CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD FOR A DISTANCE OF 25 FEET TO THE POINT AND PLACE OF BEGINNING.

SITE NOTES

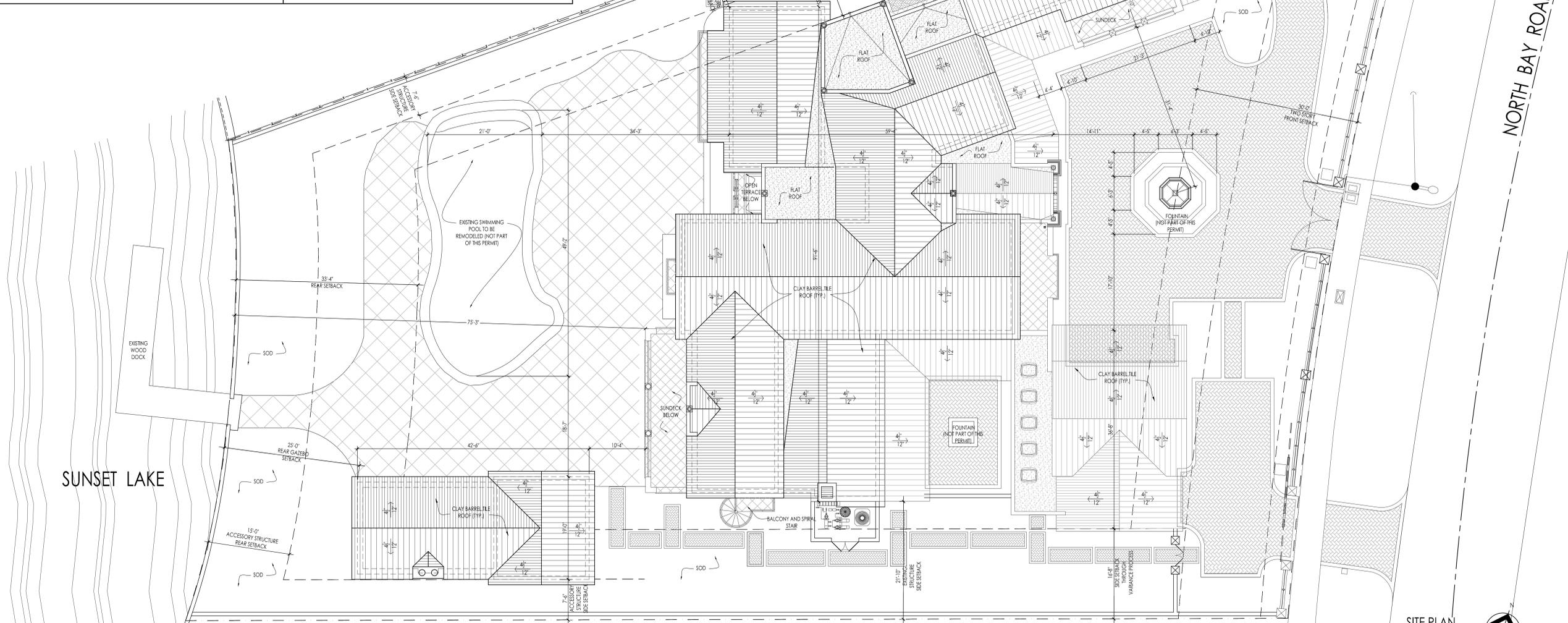
- ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
- CONTRACTOR TO COORDINATE ALL APPROACHES WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
- LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
- NOTE: CROSS HATCHED AREAS DENOTES TRUSS BESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
- ALL AREA MARKED "SOD" TO BE SODDED PER LANDSCAPING PLANS.
- TERMITE PROTECTION: ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT - PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENTS:
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENTS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
- CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE EXISTING 2014 AND PER MIAMI-DADE COUNTY H.S.S. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
- APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED AS PER F.B.C. R. 321.1. PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS VISIBLE AND LEGIBLE FROM THE STREET.
- SPOT ELEVATIONS: THE SPOT ELEVATIONS SHOWN ARE EXISTING. FOR NEW ELEVATION SEE GRADING PLAN ON LANDSCAPE PLANS.
- DEMOLITION CONTRACTOR SHALL PROVIDE A BUFFER STRIP AROUND ENTIRE PROPERTY AS PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.



AERIAL / LOCATION MAP
 N.T.S.

SCOPE OF WORK

ALTERATION LEVEL 2 AND ADDITION TO AN EXISTING TWO-STORY RESIDENCE, NEW GAZEBO, SWIMMING POOL & SPA, PRIVACY WALLS, FOUNTAINS AND LANDSCAPING IN CITY OF MIAMI BEACH, FLORIDA PER CHAPTER 4 (FBC) 404.1 & 404.2.



SITE PLAN
 SCALE 1/8" = 1'-0"



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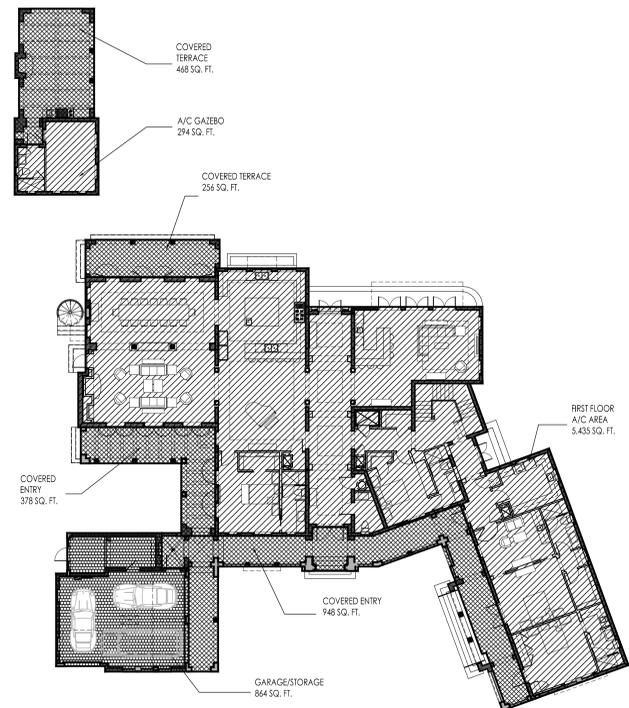


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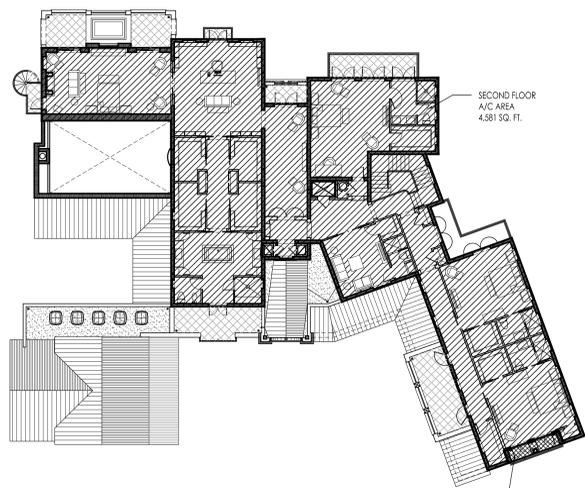
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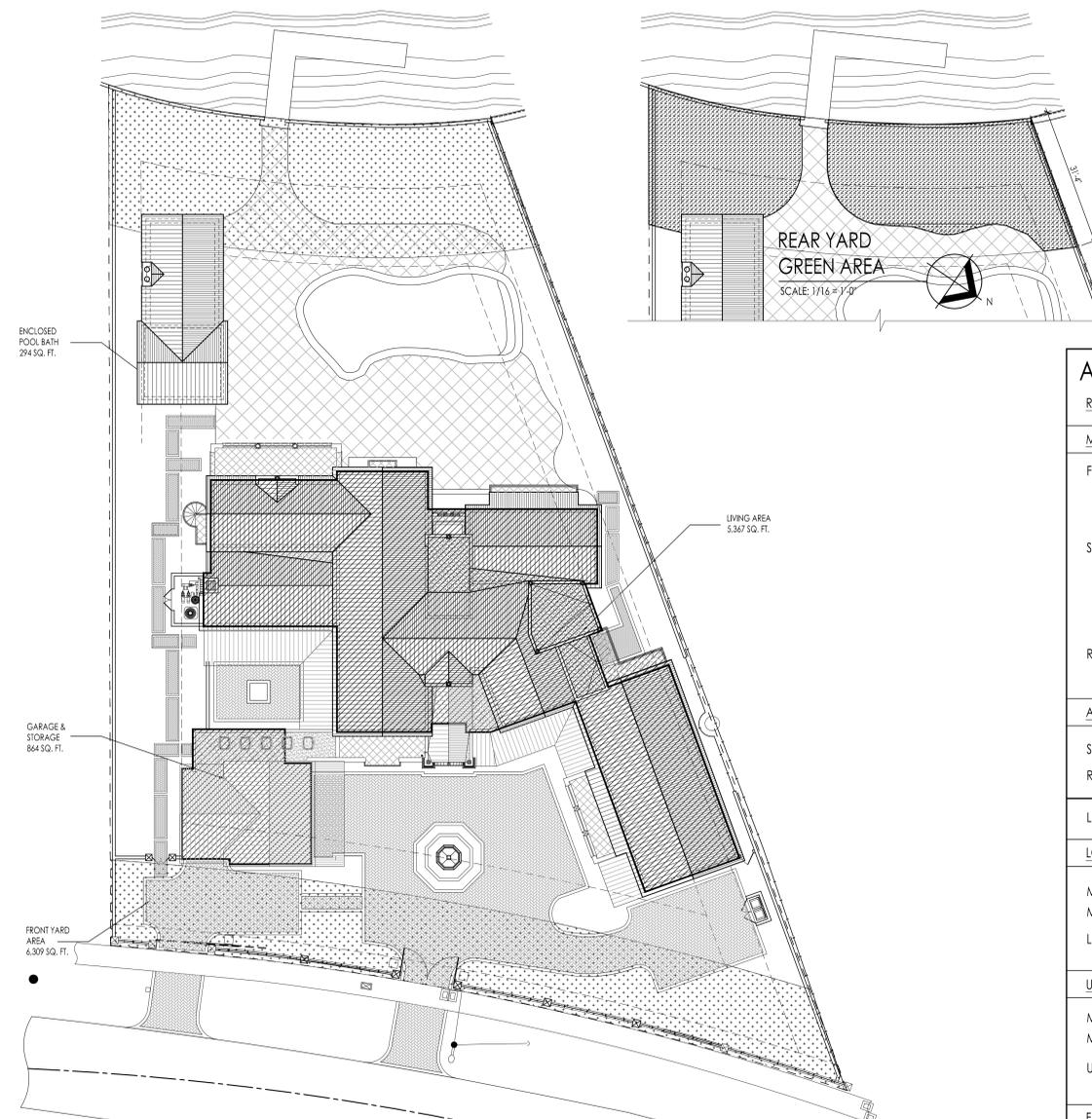
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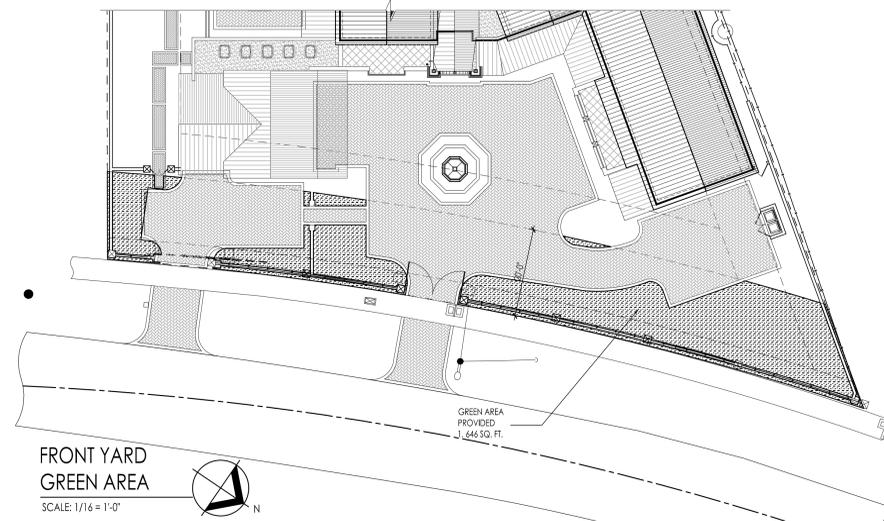
FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



SITE PLAN
SCALE: 1/16" = 1'-0"



FRONT YARD GREEN AREA
SCALE: 1/16" = 1'-0"

AREA COMPUTATIONS FOR MIAMI BEACH

RS-2 SINGLE FAMILY RESIDENTIAL

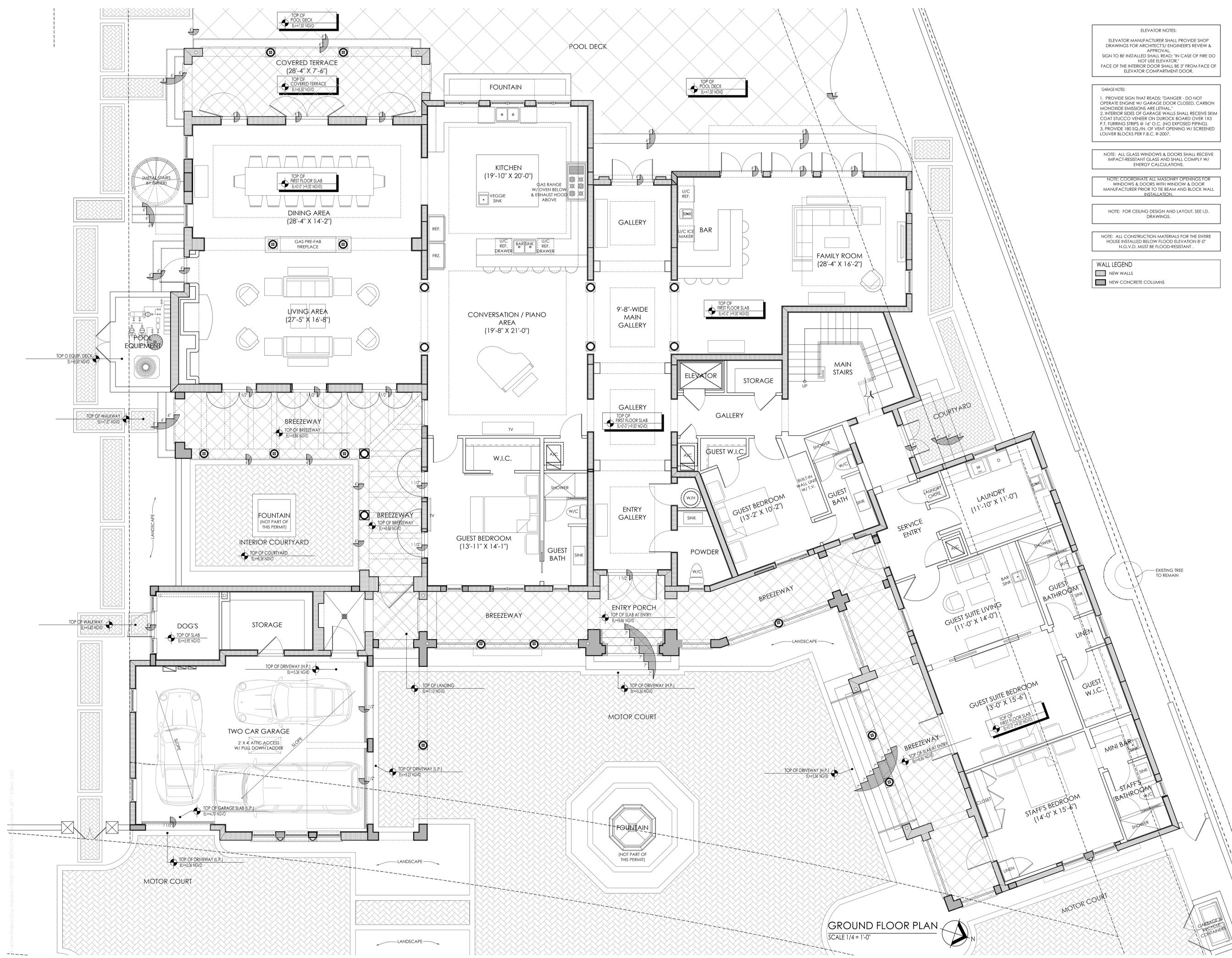
MAIN BUILDING SETBACKS:	ALLOWED	PROVIDED
FRONT SETBACK		
ONE STORY	20'-0"	21'-4" -NEW
TWO STORY	30'-0"	31'-9.5" -EXISTING
SIDE SETBACK		
SUM 25% LOT WIDTH (165.5*0.25=41.38')	41'-4.5"	5'-0" -EXISTING 8'-0" -EXISTING
ONE SIDE MINIMUM (7'-6" MIN. OR 10% LOT WIDTH (165.5*0.10=16.55'))	16'-8"	16'-8" -VARIANCE.
REAR SETBACK (MIN. 20' & MAX. 50')		
15% LOT DEPTH (209*0.15=33.34')	31'-4"	75'-3.5" -NEW
ACCESSORY SETBACKS:	ALLOWED	PROVIDED
SIDE SETBACK	7'-6"	7'-6" -EXISTING
REAR SETBACK	15'-0"	35'-2.5" -EXISTING
LOT AREA =		26,184 SQ. FT.
LOT COVERAGE:		
MAXIMUM LOT COVERAGE WITHOUT HPB APPROVAL (30%)=		7,855 SQ. FT.
MAXIMUM LOT COVERAGE WITH HPB APPROVAL (35%)=		9,164 SQ. FT.
LOT COVERAGE PROVIDED=		7,181 SQ. FT. (27.4%)
UNIT SIZE (FAR):		
MAXIMUM UNIT SIZE WITHOUT HPB APPROVAL (50%)=		13,092 SQ. FT.
MAXIMUM UNIT SIZE WITH HPB APPROVAL (70%)=		18,329 SQ. FT.
UNIT SIZE PROVIDED=		10,744 SQ. FT. (41.0%)
FRONT YARD: 3,407 SQ. FT.		
MINIMUM FRONT YARD GREEN AREA REQUIRED (35% OF AREA 20'-0" FROM PROPERTY LINE)=		1,192 SQ. FT.
FRONT YARD GREEN AREA PROVIDED:		1,646 SQ. FT.
REAR YARD: 2,980 SQ. FT.		
MINIMUM REAR YARD GREEN AREA REQUIRED (70% OF AREA 31'-4" FROM PROPERTY LINE)=		2,086 SQ. FT.
REAR YARD GREEN AREA PROVIDED:		2,220 SQ. FT.
RESIDENCE SQUARE FOOTAGE:		
FIRST FLOOR A/C:		5,435 SQ. FT.
SECOND FLOOR A/C (WITHOUT TWO STORY AREAS):		4,581 SQ. FT.
POOL BATH ENCLOSED AREA		294 SQ. FT.
TOTAL A/C AREA:		10,310 SQ. FT.
FIRST FLOOR COVERED TERRACES:		2,050 SQ. FT.
SECOND FLOOR COVERED TERRACES:		0 SQ. FT.
TOTAL COVERED TERRACES AREA:		2,050 SQ. FT.
GARAGE / STORAGE AREA:		864 SQ. FT.
TOTAL GROSS AREA:		13,224 SQ. FT.

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MS. DELPHINE DRAY
2740 NORTH BAY ROAD
MIAMI BEACH, FLORIDA

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- ELEVATOR NOTES:**
 ELEVATOR MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECTS/ENGINEERS REVIEW & APPROVAL.
 SIGN TO BE INSTALLED SHALL READ: "IN CASE OF FIRE DO NOT USE ELEVATOR."
 FACE OF THE INTERIOR DOOR SHALL BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR.
- GARAGE NOTES:**
 1. PROVIDE SIGN THAT READS: "DANGER - DO NOT OPERATE ENGINE W/ GARAGE DOOR CLOSED. CARBON MONOXIDE EMISSIONS ARE LETHAL."
 2. INTERIOR SIDES OF GARAGE WALLS SHALL RECEIVE SKIM COAT STUCCO VENEER ON DUROCK BOARD OVER 1X3 P.T. FURRING STRIPS @ 16" O.C. (NO EXPOSED PIPING).
 3. PROVIDE 180 SQ./IN. OF VENT OPENING W/ SCREENED LOUVER BLOCKS PER F.B.C. R-2007.
- NOTE:** ALL GLASS WINDOWS & DOORS SHALL RECEIVE IMPACT-RESISTANT GLASS AND SHALL COMPLY W/ ENERGY CALCULATIONS.
- NOTE:** COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK WALL INSTALLATION.
- NOTE:** FOR CEILING DESIGN AND LAYOUT, SEE I.D. DRAWINGS.
- NOTE:** ALL CONSTRUCTION MATERIALS FOR THE ENTIRE HOUSE INSTALLED BELOW FLOOD ELEVATION 8'-0" N.G.V.D. MUST BE FLOOD-RESISTANT.
- WALL LEGEND**
 [Pattern] NEW WALLS
 [Pattern] NEW CONCRETE COLUMNS

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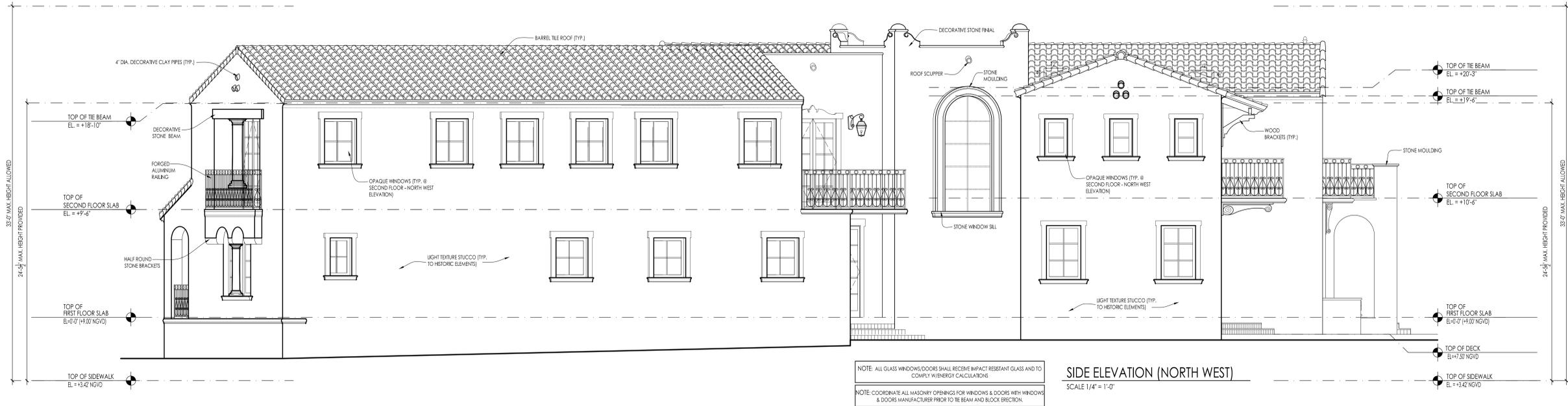
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GROUND FLOOR PLAN
 SCALE 1/4" = 1'-0"

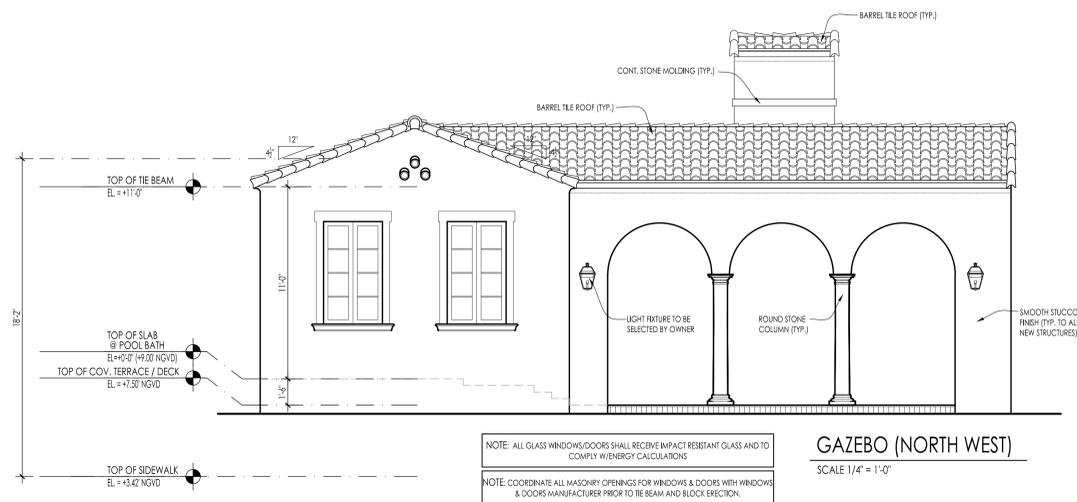
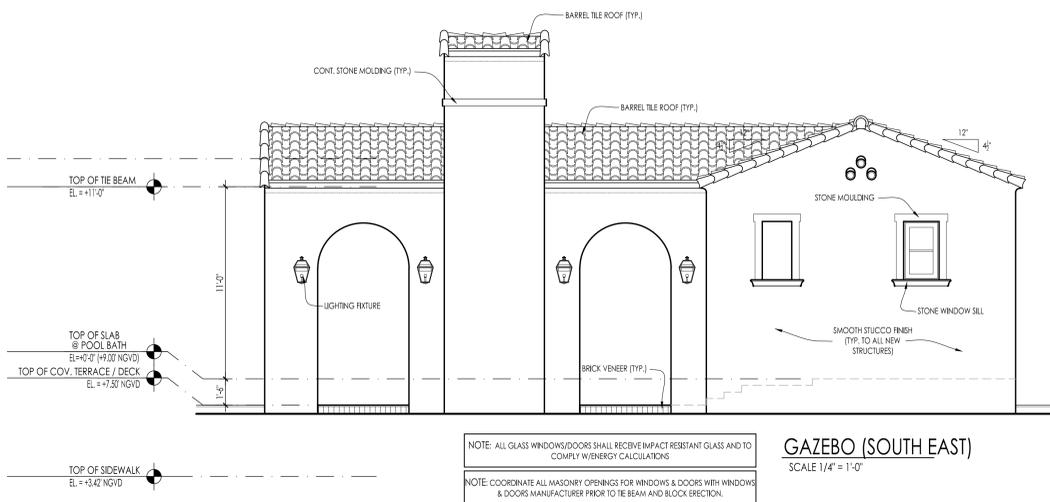
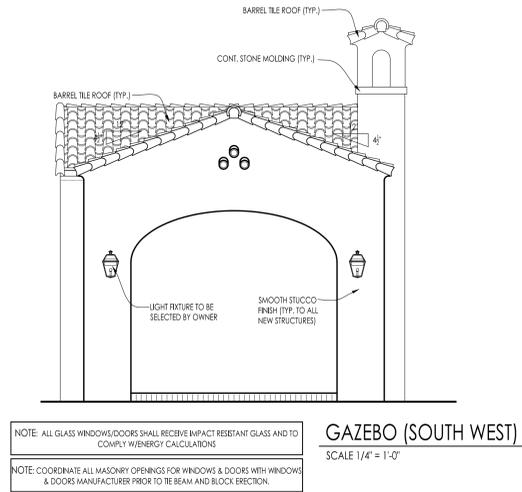
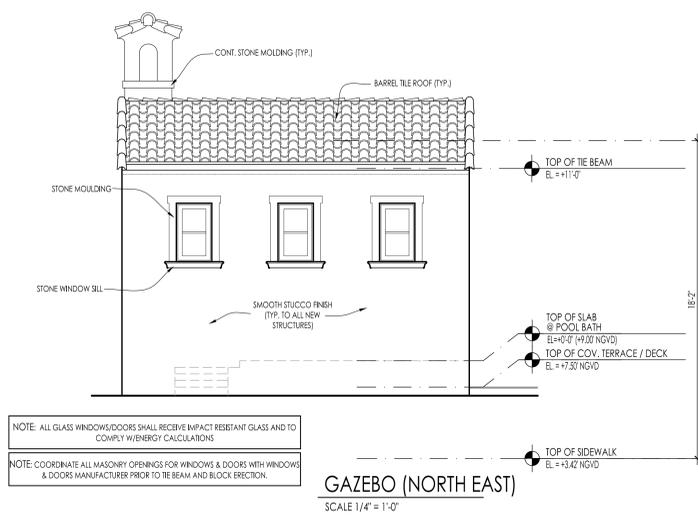
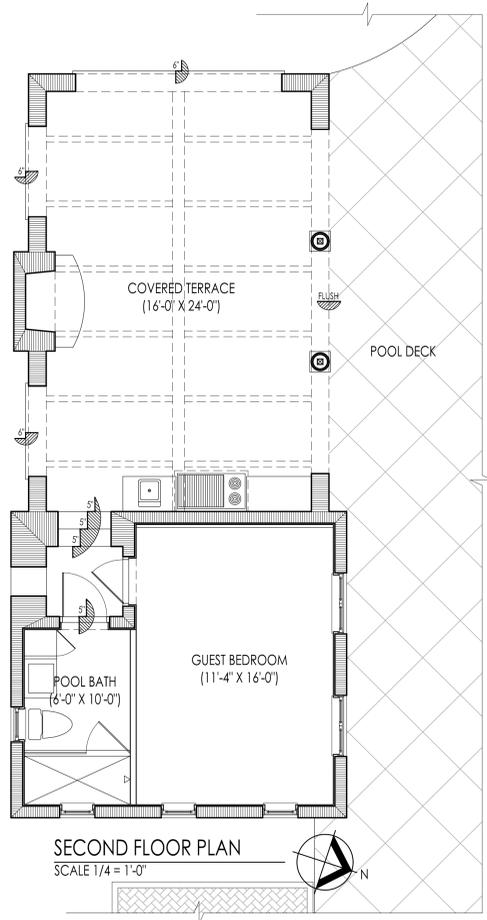


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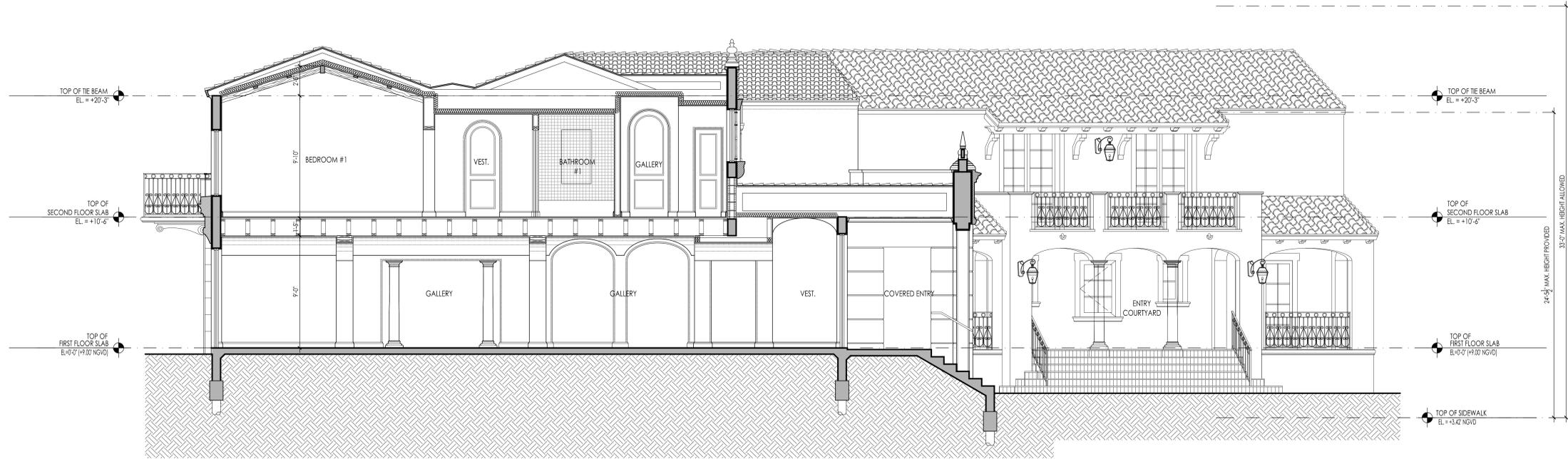
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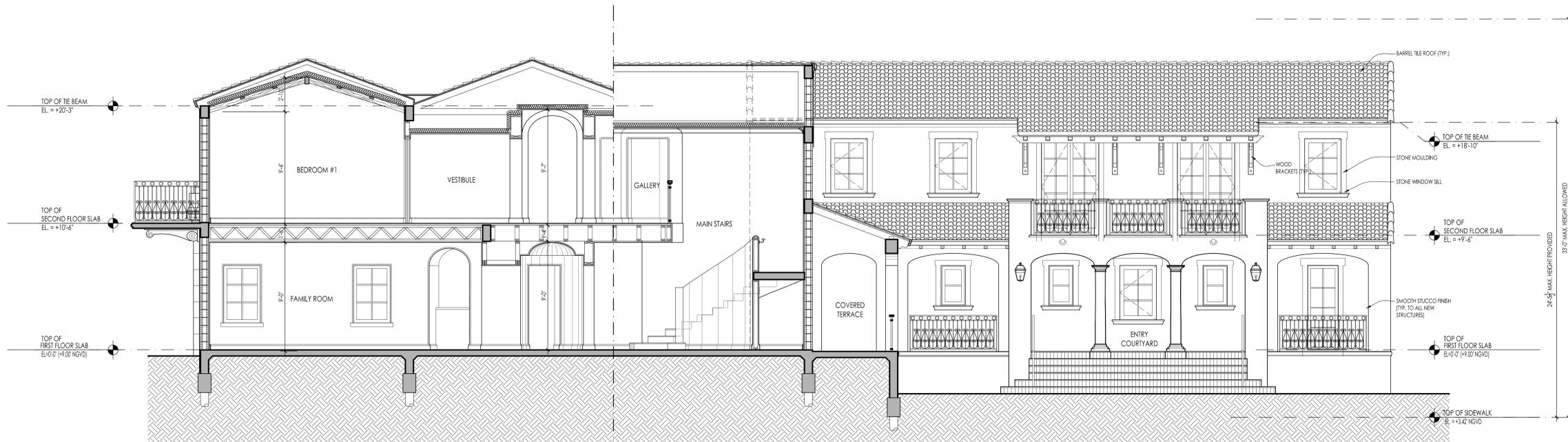
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NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOORS MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION.

NOTE: ALL GLASS WINDOWS/DOORS SHALL RECEIVE IMPACT RESISTANT GLASS AND TO COMPLY W/ENERGY CALCULATIONS

CROSS SECTION "C"
SCALE 1/4" = 1'-0"



NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOORS MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION.

NOTE: ALL GLASS WINDOWS/DOORS SHALL RECEIVE IMPACT RESISTANT GLASS AND TO COMPLY W/ENERGY CALCULATIONS

CROSS SECTION "D"
SCALE 1/4" = 1'-0"



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date	issued	revisions	drawn	checked	project no.
05-01-2017					