6650 Sheffield Lane | DRB No. 23-0993





STUDIO KHORA

Miami Beach Design Review Board April 2, 2024 Vanessa Madrid, Esq. FERNANDO WONG

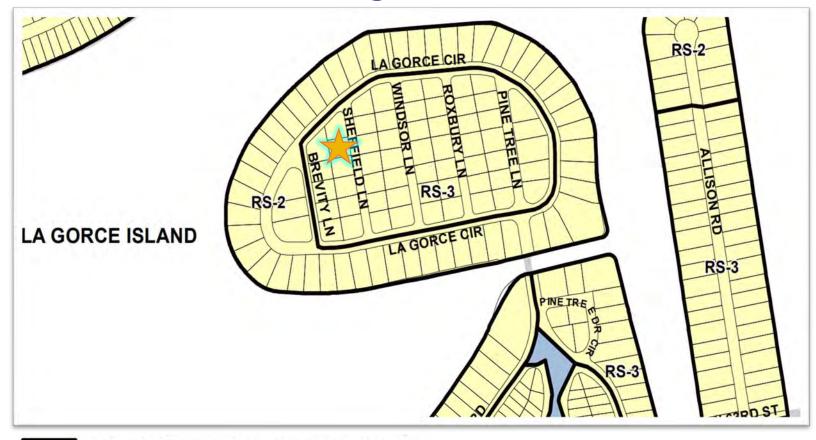


Future Land Use:

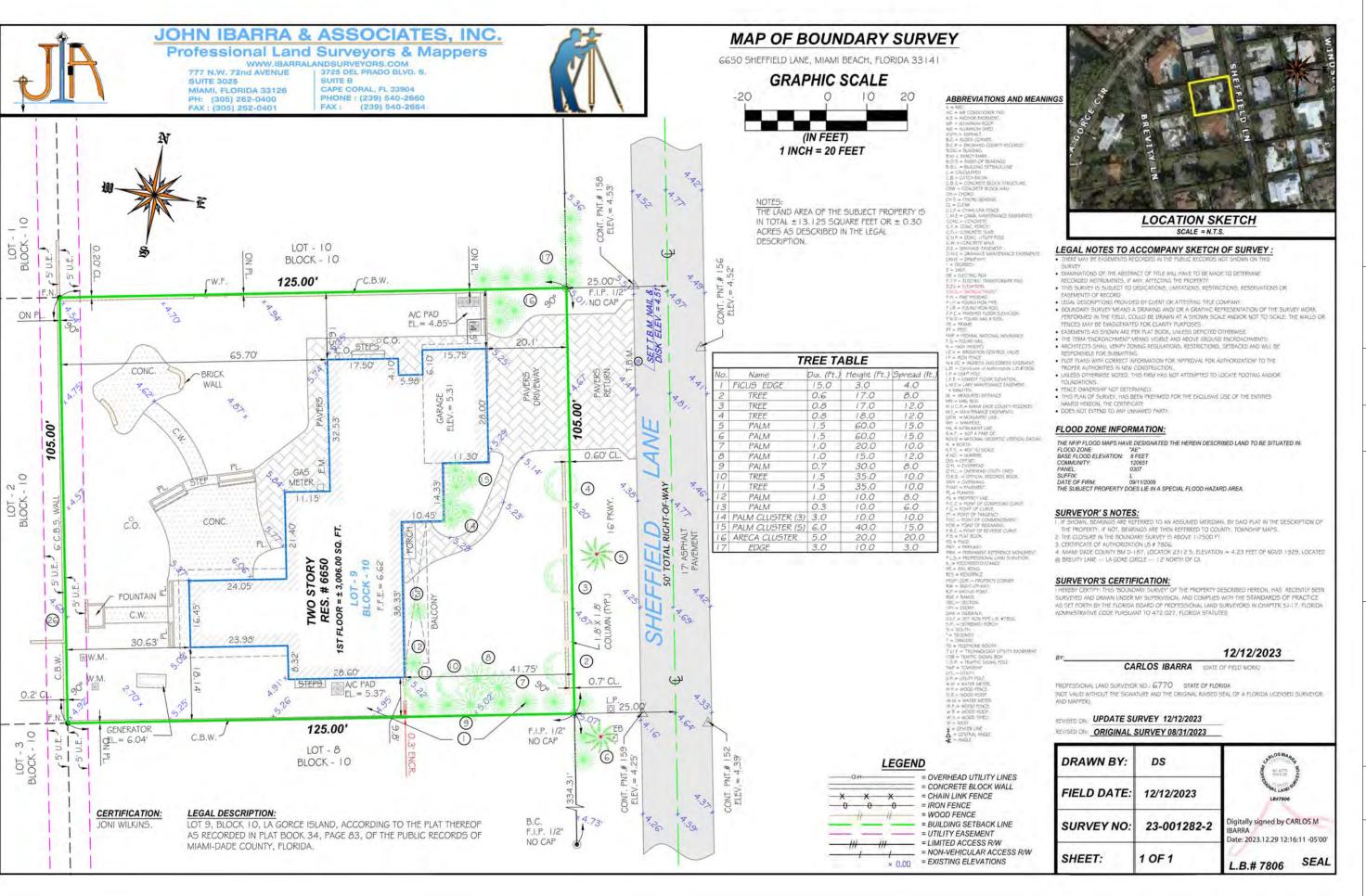


Single Family Residential (RS)

Zoning:



- RS-1 Single family residential
 - RS-2 Single family residential
 - RS-3 Single family residential
 - RS-4 Single family residential



MHOra

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1600 SOUTH FEDERAL HWY, SUITE 970 POMPANO BEACH 33062 - FL WWW.STUDIOKHORA.COM INFO®STUDIOKHORA.COM T: (800) 952-1044

REX NICHOLS AIA AR007415

PROJECT LOCATION

La Gorce Island 6650 Sheffield Lane, Miami Beach, Florida 33141

PROJECT OWNER

Pash Place One LLC

PROJECT NUMBER DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

TEVIEW & COMMENTS

SURVEY

A2

DESIGN DEVELOPMENT

2/8/2024 9:44:19 AM

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Planning Department 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information						
1	Address:	6650 Sheffield	Lane	-1			
2	Folio number(s):	02-3210-003-0	0270				
3	Board and file number(s):	DRB 23-0993					
4	Year built: 1936	Zoning District:		RS-3			
5	Located within a Local Historic District (Yes or No):	no					
6	Individual Historic Single Family Residence Site (Yes or No):	no no +9.0 NGVD88 Grade value in NGVD:					
7	Home determined Architecturally Significant by CMB (Yes or No):	+9.0 NGVD88 Grade value in NGVD: +7.5 NGVD Free board:					
8	Base Flood Elevation:	+9.0 NGVD88 Grade value in NGVD:		+5.0 NGVD88			
9	Adjusted grade (Flood+Grade/2): and Future adjusted grade	+7.5 NGVD Lot Area:		1.0 foot			
10	30" above grade:	+7.5 NGVD Lot Area:			13,125 SF		
11	Lot width:	105.0 feet Lot Depth: 3,937.5 SF30% Proposed Lot Coverage SF and % 3,006 SF 22.9% Net Lot coverage (garage-storag			125.0 feet		
12	Max Lot Coverage SF and %:	3,937.5 SF30%	Proposed Lot Co	overage SF and %:	3,937 SF 29.9%		
13	Existing Lot Coverage SF and %:	3,937.5 SF30% Proposed Lot Coverage SF and 3,006 SF 22.9% Net Lot coverage (garage-store 1,050 SF 50% Rear Yard Open Space SF and 6562.5 SF50% Proposed Unit Size SF and %:			2,565 SF SF 19.5°		
14	Front Yard Open Space SF and %:	3,006 SF 22.9% Net Lot coverage (garage-stor) 1,050 SF 50% Rear Yard Open Space SF and 6 6562.5 SF50% Proposed Unit Size SF and %: 3,006 SF Proposed First Floor Unit Size:			1,470 SF 70%		
15	Max Unit Size SF and %:	3,006 SF Proposed First Floor Unit Size:			5,551SF 42.3%		
16	Existing First Floor Unit Size:	3,006 SF			3,937 SF 29.8%		
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	NA					
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	yes			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies		
19	Height measured from B.F.E. plus freeboard	24'-0"	NA	22'-10"			
	Front Setbacks:	20'-0"	20'-2"	20'-0"			
20	Front First level:	20'-0"	20'-2"	20'-0"			
	Front second level:	40'-0"	NA	40'-0"			
	Front second level if lot coverage is 25% or greater:	40'-0"	Na	40'-0"			
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35%	Na	37%			
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	Na	Na	Na			
22	Sum of side yard :	26'-3"	24'-4"	26'-3"			
23	Side 1:	10'-6"	14'-6"	10'-6"			
	Side 2 or (facing street):	15'-9"	9'-9"	15'-9"			
24	ENTER SERVICE STORY		001.00	20'-9'			
24 25	Rear:	20'-0"	30'-8"	20-9			
		20'-0" 7'-6"	30'-8" NA	7'-6"			
25	Rear:		7.04	192111			

GROSS BUILDING AREA (GBA)

In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765

			Covered Porches		ı
	Finished GBA (Air	Unfinished	and Balconies		
Space	Conditioned)	GBA	Exceeding 5 feet	Total GBA + P&B	
					-

AUX - HVAC	341 SF		341 SF
1ST FLOOR - HVAC	3567 SF		3567 SF
ADITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH	0 SF	19 SF	19 SF
ADITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH	0 SF	10 SF	10 SF
2ND FLOOR - HVAC	1643 SF		1643 SF

5551 SF 29 SF 0 SF 5580 SF

The area of the accessory building does not exceed 25% of the rear yard area.

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REX NICHOLS AIA AR007415

PROJECT LOCATION

La Gorce Island 6650 Sheffield Lane, Miami Beach, Florida 33141

PROJECT OWNER

Pash Place One LLC

PROJECT NUMBER DRB23-0993

ISSUED FOR

■ REVIEW & COMMENTS

ZONING DATA

A3

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FRONT

REAR



SIDE YARD FACING SOUTH



REAR FACING SOUTH



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EXISTING CONDITIONS PHOTOS EXTERIOR

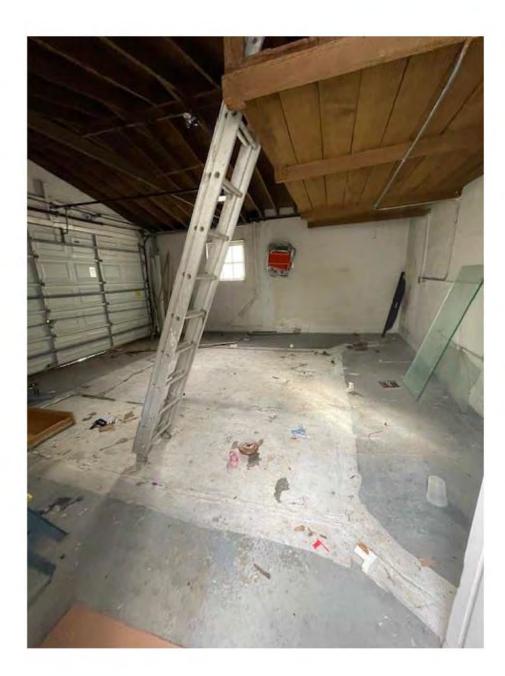
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GARAGE



KITCHEN



LIVING ROOM



LIVING ROOM



FAMILY ROOM

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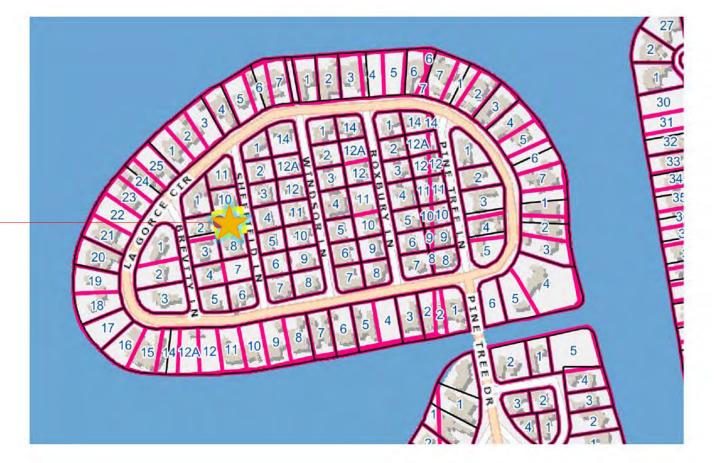
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PROPERTY ADDRESS
LA GORCE ISLAND
6650 SHEFFIELD LANE, MIAMI BEACH, FLORIDA 33141

LEGAL DESCRIPTION
LOT 9, BLOCK 10, LA GORCE ISLAND, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 34, PAGE 83, OF THE PUBLIC RECORDS OF MIAMIDADE COUNTY, FLORIDA.

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CONTEXT LOCATION PLAN/COLOR AERIAL

A10

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PROJECT LOCATION

PROJECT

LOCATION



INSIDE OF THE PROPERTY 6650 SHEFFIELD LANE VIEW OF NEIGHBORS LOOKING WEST



STREET VIEW LOOKING SOUTH



INSIDE OF THE PROPERTY 6650 SHEFFIELD LANE VIEW OF NEIGHBORS LOOKING SOUTH



STREET VIEW ACROSS THE STREET



STREET VIEW LOOKING SOUTH WEST



STREET VIEW SHOWING NORTH NEIGHBOR

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CONTEXT PHOTOGRAPHS

A6

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STREET VIEW SHOWING SOUTH NEIGHBOR



MODERN HOUSE ON LA GORCE ISLAND



STREET VIEW LOOKING NORTH



MODERN HOUSE ON LA GORCE ISLAND UNDER CONSTRUCTION

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CONTEXT PHOTOGRAPHS

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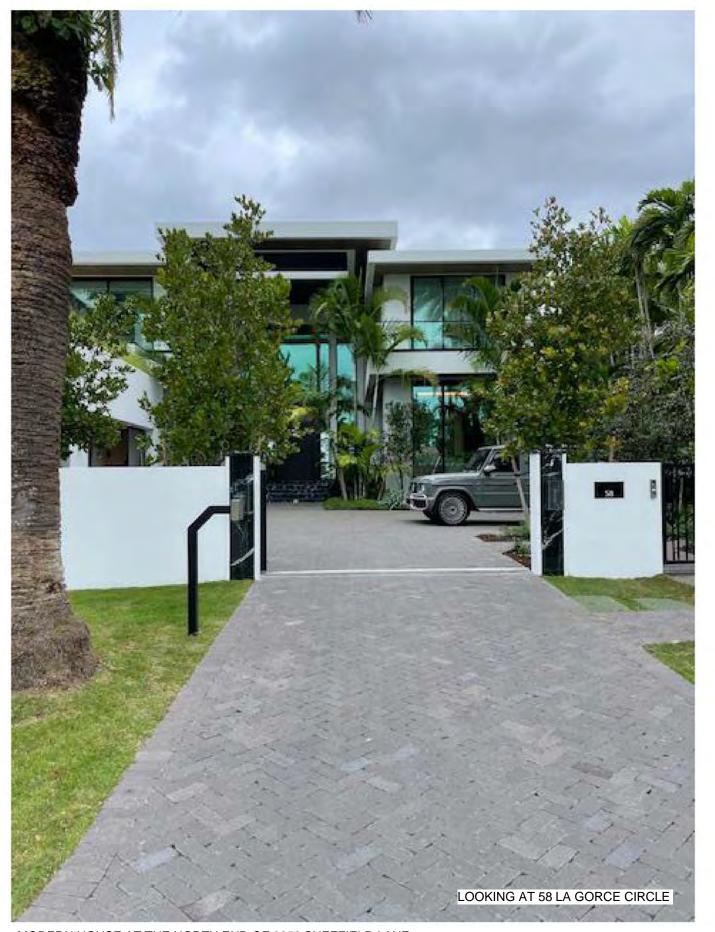
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MODERN HOUSE ON LA GORCE ISLAND



MODERN HOUSE ON LA GORCE ISLAND UNDER CONSTRUCTION



MODERN HOUSE AT THE NORTH END OF 6650 SHEFFIELD LANE

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CONTEXT PHOTOGRAPHS

A8

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CONTEXT ELEVATION

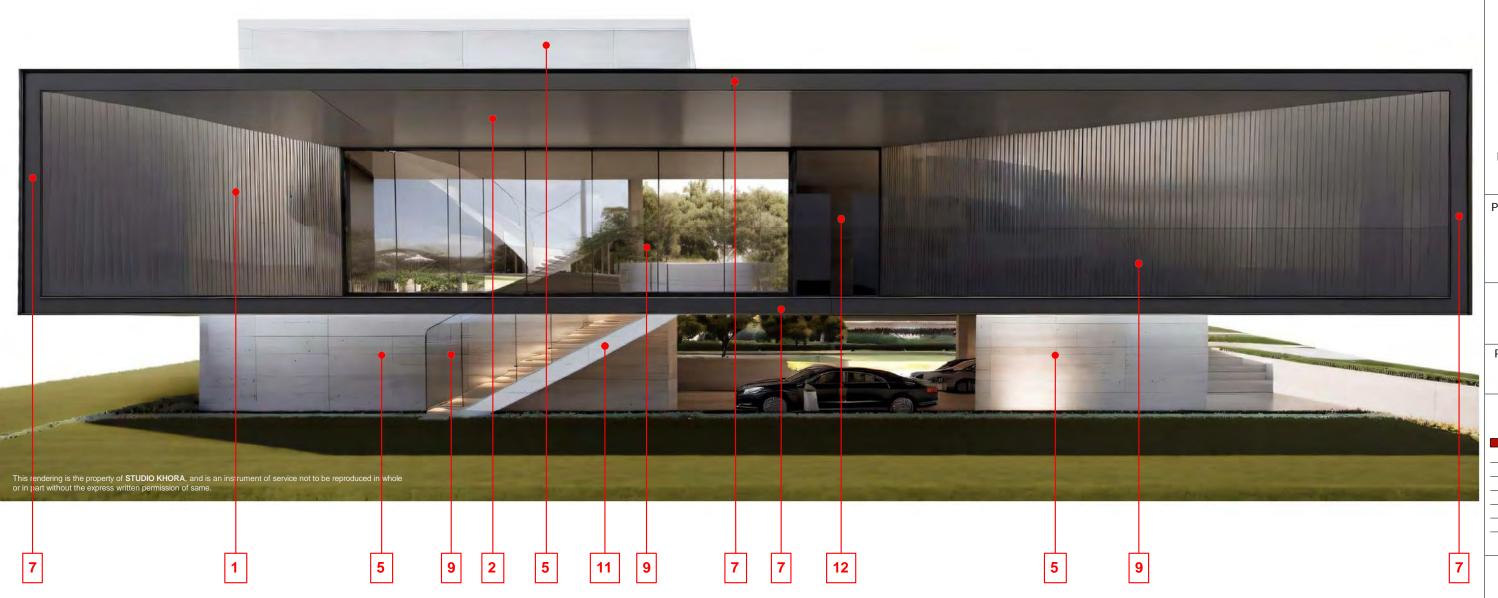
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MATERIAL LEGEND

- 1. Thin vertical panels wood siding.
- 2. Large panels wood cladded ceiling.
- 3. Wood bifold shutters
- 4. Wood Horizontal rolling shutters
- 5. Exposed concrete with wood board texture.
- 6. Polished concrete
- 7. Factory painted expresso color aluminum L-Channel fascia and trim to match glazing system frames
- 8. Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 9. 42-inch-high clear glass guard rail.
- 10. Planter behind vertical wood screen
- 11. Steel staircase with white stringer and natural stone risers and treads, with glass railing.
- 12. 5' x 9' Metal Door with special finish to match the color of painted expresso glazing system frames

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ISSUED FOR

REVIEW & COMMENTS

3D VIEWS -EXTERIOR MATERIALS -FRONT

A16

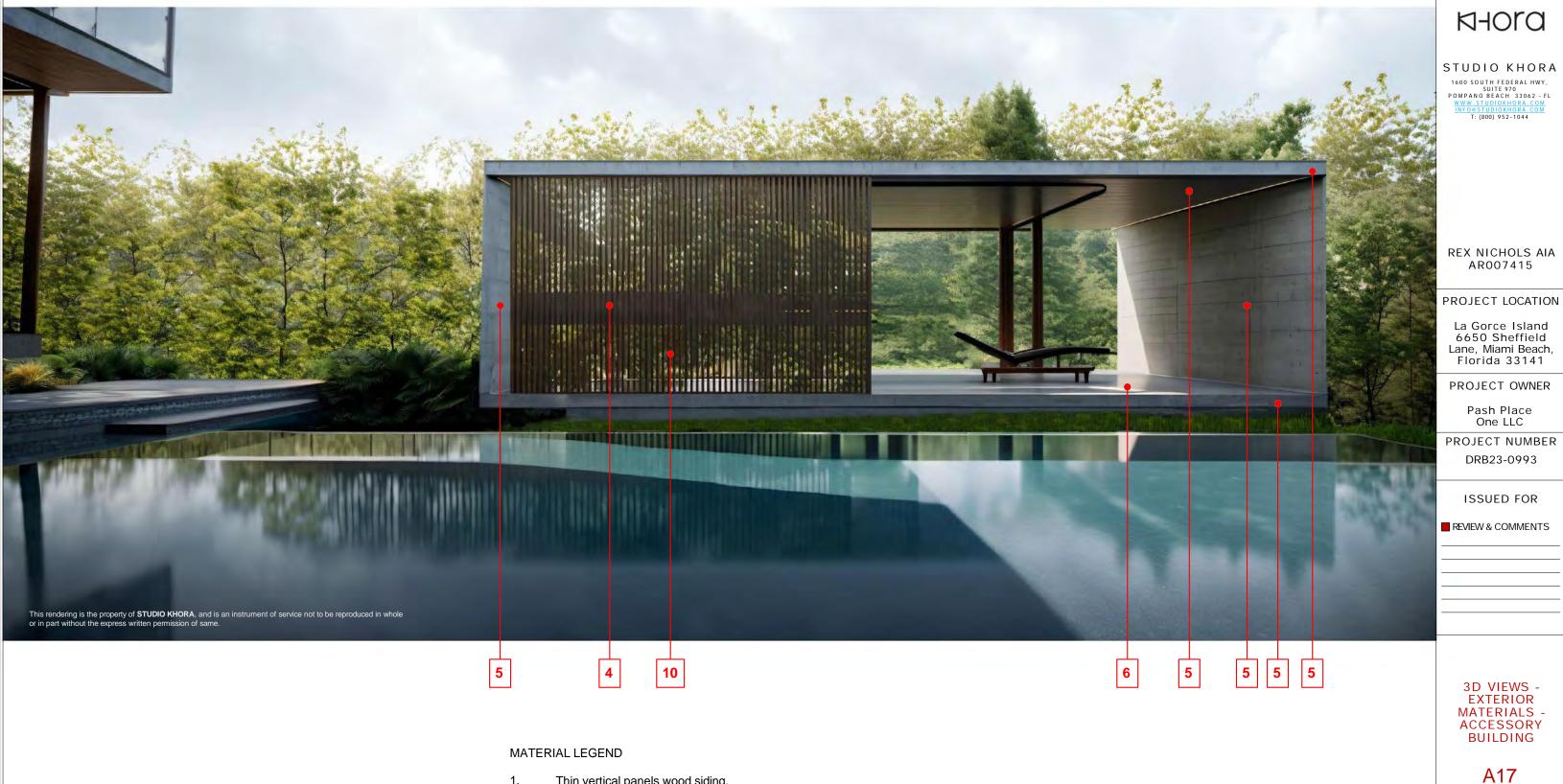
ELEVATION

DESIGN DEVELOPMENT

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- Thin vertical panels wood siding.
- Large panels wood cladded ceiling.
- Wood bifold shutters
- Wood Horizontal rolling shutters
- Exposed concrete with wood board texture.
- 7. Factory painted expresso color aluminum L-Channel fascia and trim to match glazing system frames
- 8. Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 9. 42-inch-high clear glass guard rail.
- 10. Planter behind vertical wood screen
- 11.
- Steel staircase with white stringer and natural stone risers and treads, with glass railing.
 5' x 9' Metal Door with special finish to match the color of painted expresso glazing system frames 12.

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- Exposed concrete with wood board texture.
- Factory painted expresso color aluminum L-Channel fascia and trim to match glazing system frames
- Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 9. 42-inch-high clear glass guard rail.
- 10. Planter behind vertical wood screen
- 11.
- Steel staircase with white stringer and natural stone risers and treads, with glass railing. 5' x 9' Metal Door with special finish to match the color of painted expresso glazing system frames 12.

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3D VIEWS -EXTERIOR MATERIALS -

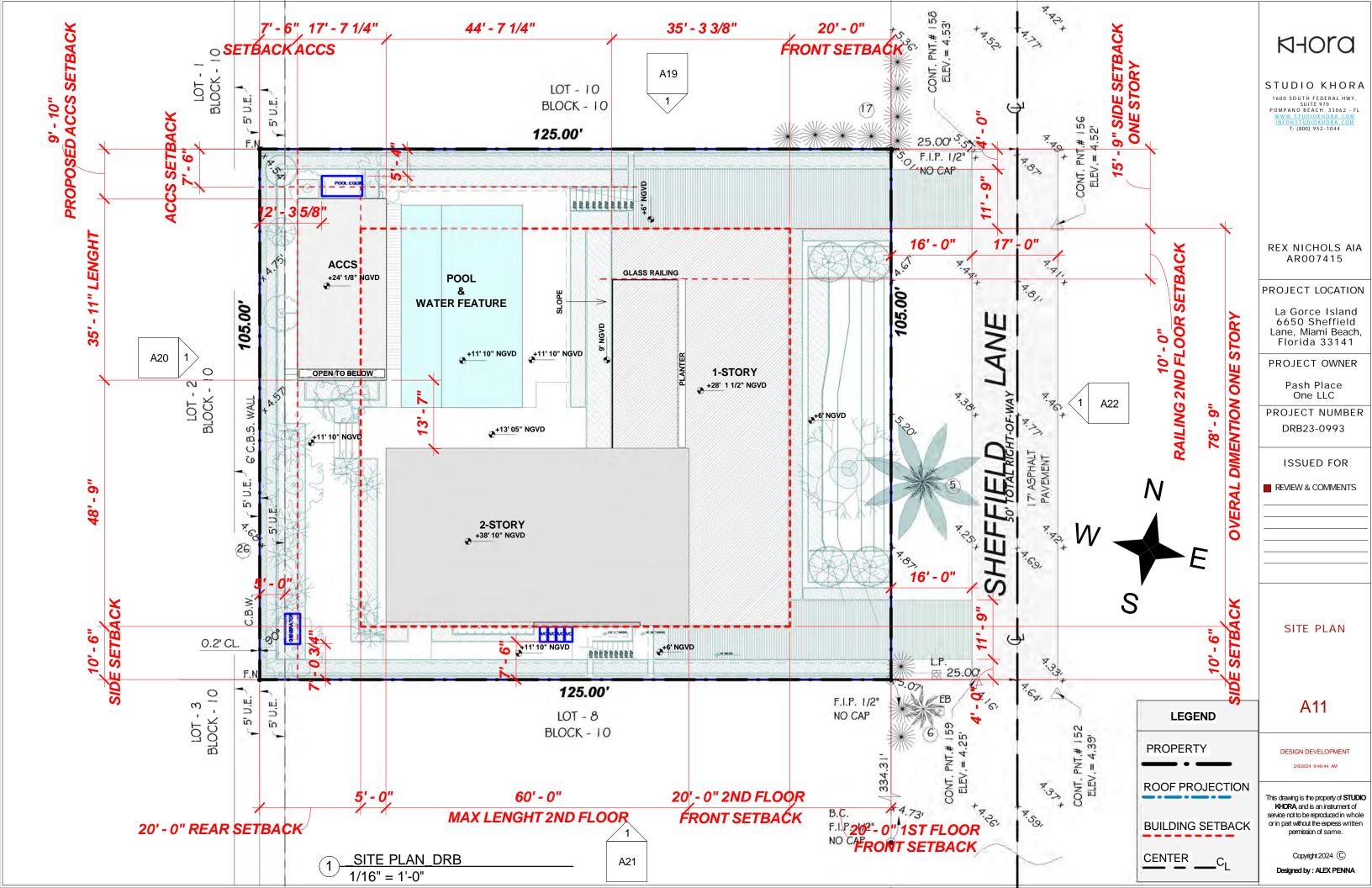
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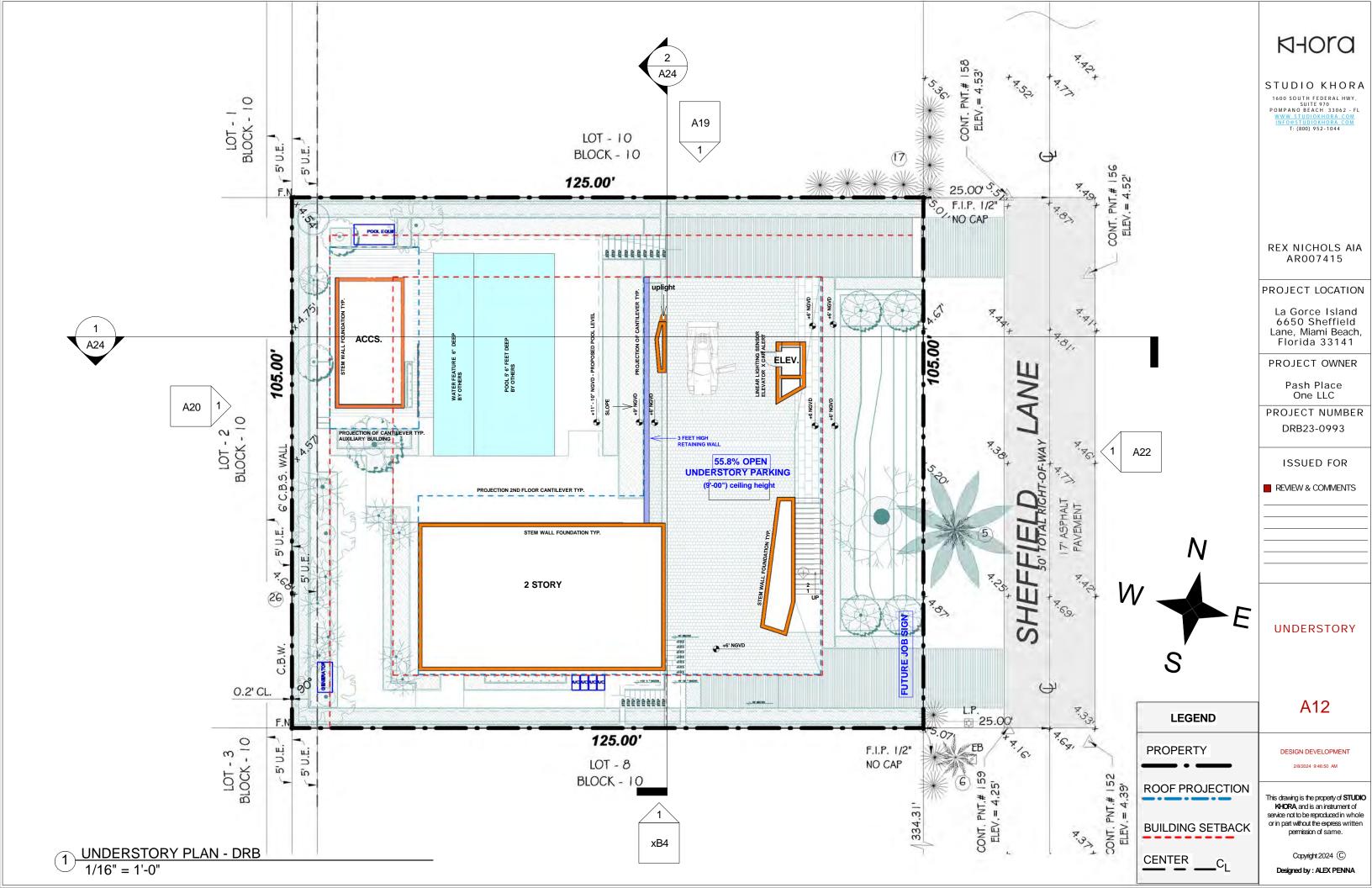
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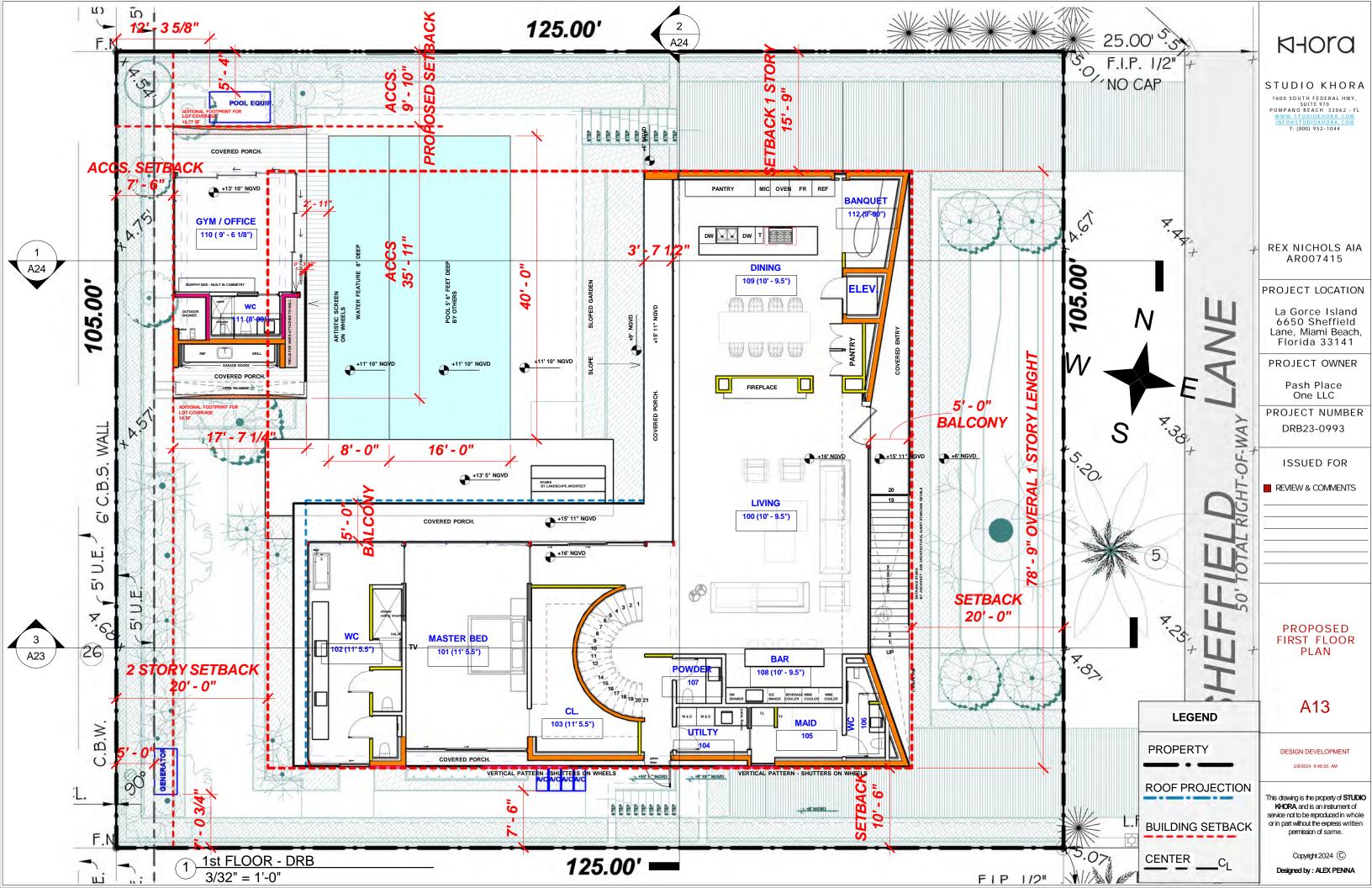
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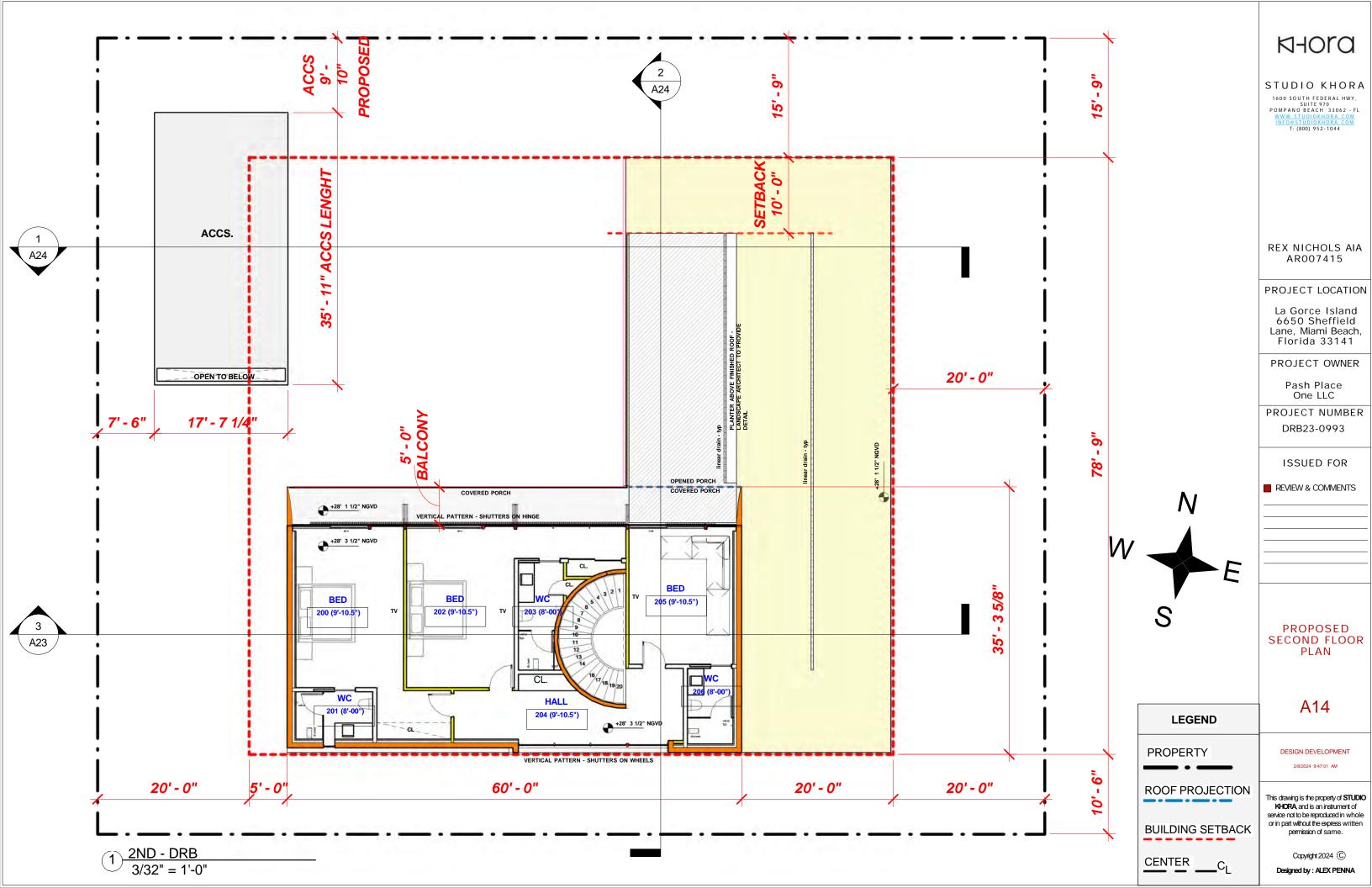
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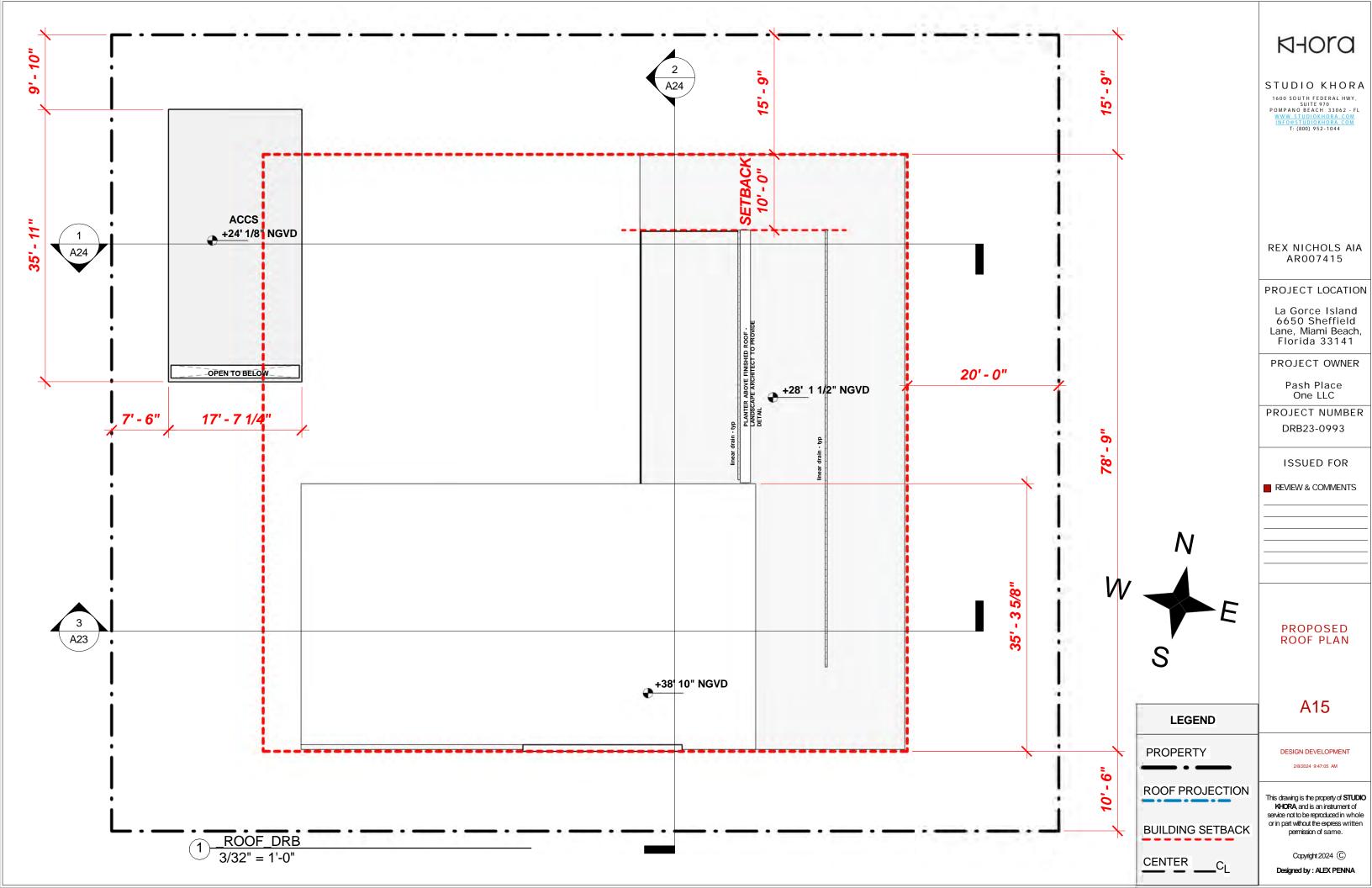
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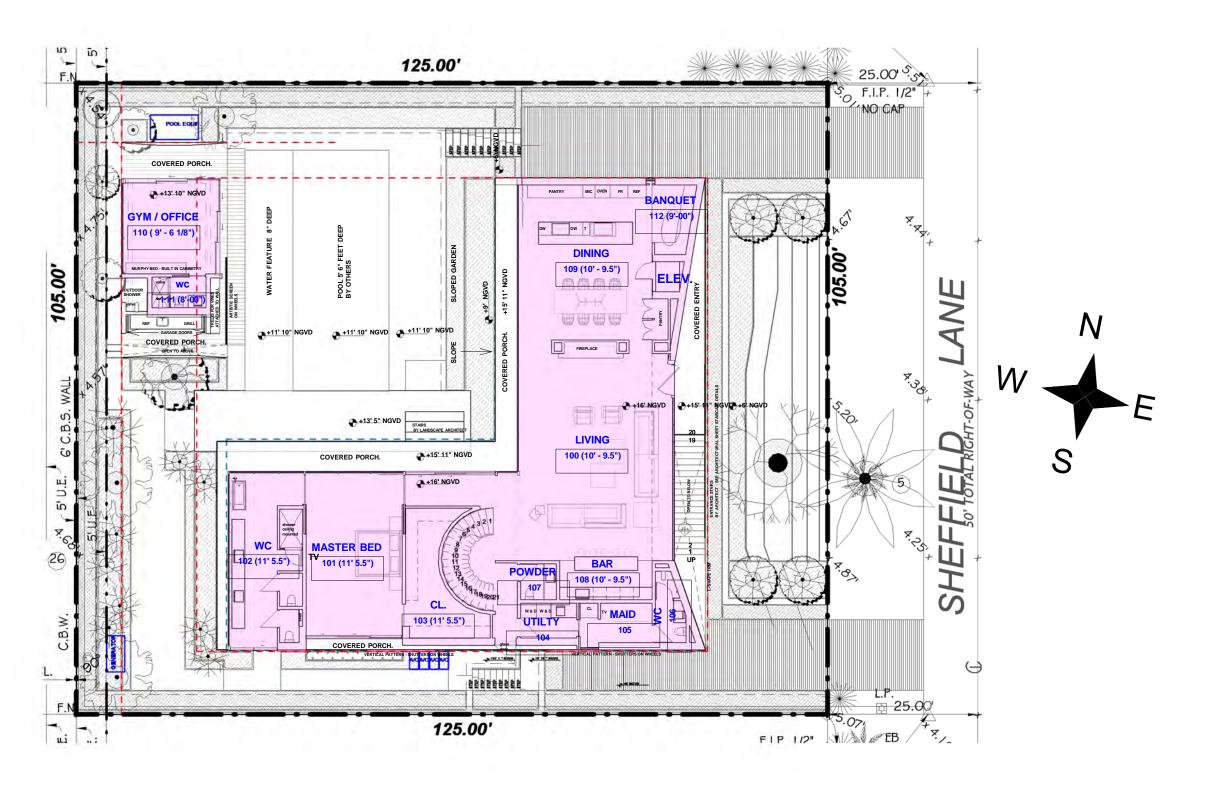












In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765 Finished GBA (Air Conditioned) Space Finished GBA (Air Conditioned) Covered Porches and Balconies Exceeding 5 feet Total GBA + P&B

2ND FLOOR - HVAC	1643 SF			1643 SF
ADITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH	0 SF	10 SF		10 SF
ADITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH	0 SF	19 SF	•	19 SF
1ST FLOOR - HVAC	3567 SF			3567 SF
AUX - HVAC	341 SF			341 SF

5551 SF 29 SF 0 SF 5580 SF

PROPOSED LOT COVERAGE CALCULATION

FIRST FLOOR AC AREA
ACCESSORY BUILDING AC AREA
ADDITIONAL FOOTPRINT FOR ACCESSORY BUILDING
TOTAL LOT COVERAGE
LOT AREA
TOTAL LOT COVERAGE / LOT AREA

3,567 SF 341 SF 29 SF 3,937 SF 13,125 SF

29.9%

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PROPOSED LOT COVERAGE

A10.3

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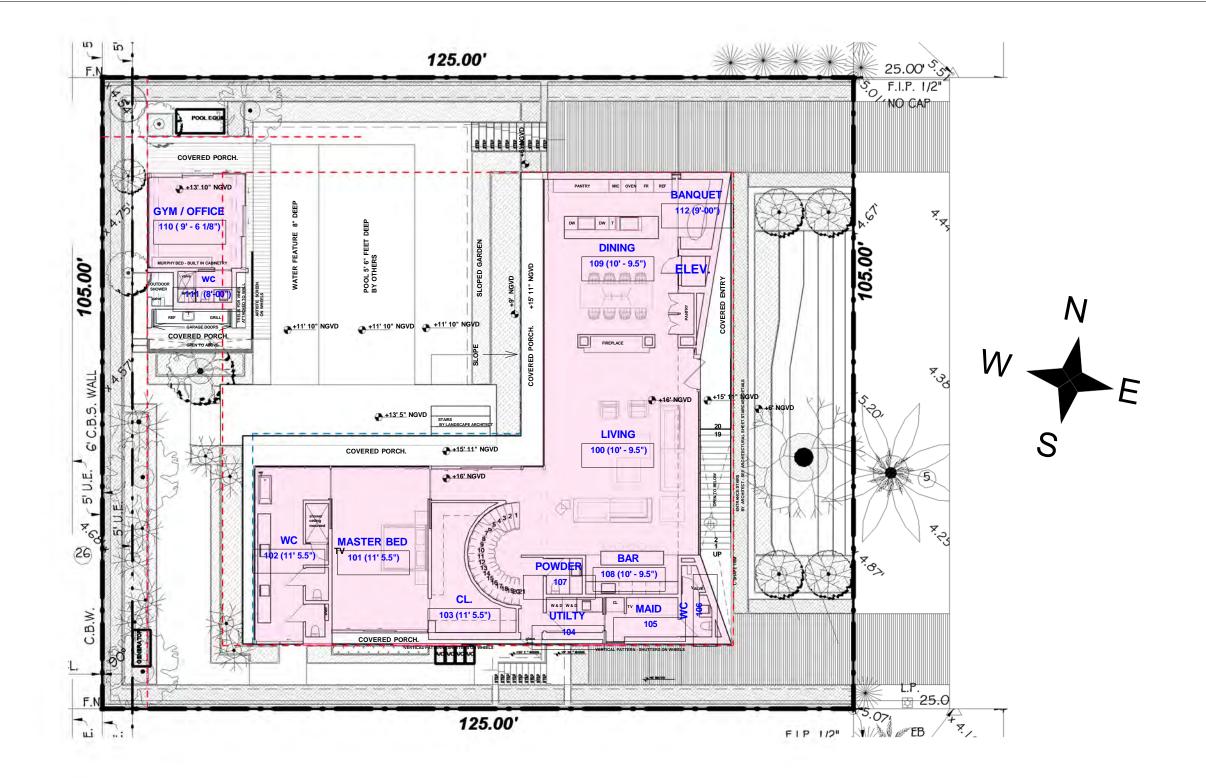
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1st FLOOR - DRB - SHADED LOT

COVERAGE

1/16" = 1'-0"



GROSS BUILDING AREA (GBA) In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765 Covered Porches and Balconies Exceeding 5 feet Total GBA + P&B Finished GBA (Air Conditioned) Unfinished

AUX - HVAC	341 SF		341 SF
1ST FLOOR - HVAC	3567 SF		3567 SF
ADITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH	0 SF	19 SF	19 SF
ADITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH	0 SF	10 SF	10 SF
2ND FLOOR - HVAC	1643 SF		1643 SF

PROPOSED UNIT SIZE CALCULATION

FIRST FLOOR UNIT SIZE SECOND FLOOR UNIT SIZE TOTAL UNIT SIZE **LOT AREA** UNIT SIZE/LOT AREA

3,908 SF 1,643 SF 5,551 SF 13,125 SF 42.3 %

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1ST FLOOR -PROPOSED UNIT

SIZE

A10.4

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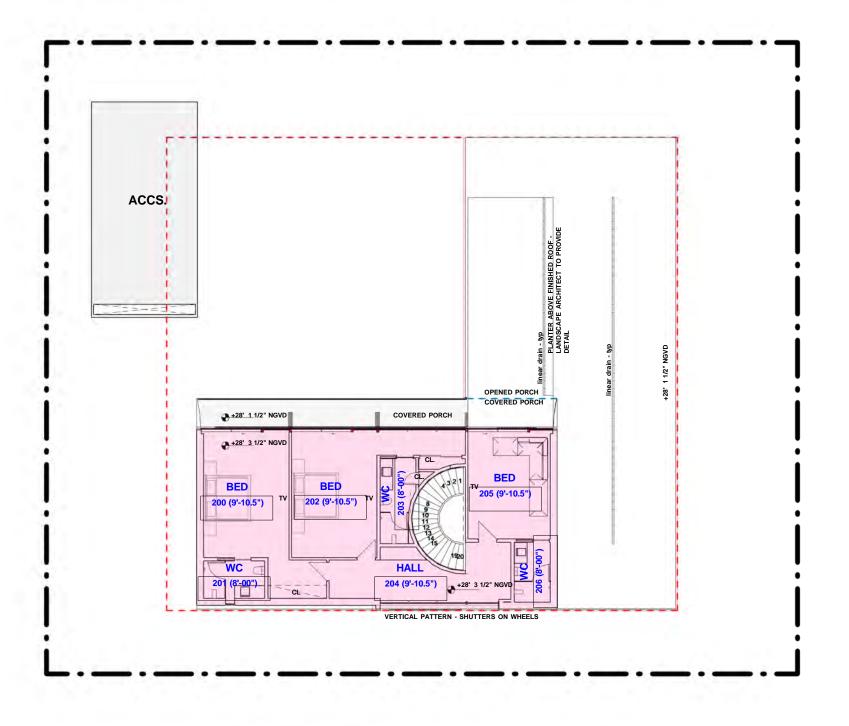
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1st FLOOR - DRB - UNIT SIZE 1/16" = 1'-0"

5551 SF 29 SF 0 SF 5580 SF





GROS	S BUILDING AREA	(GBA)		
In accordance with ANSI (American National Standar	rds Institute) SQUARE FOO	OTAGE-METHO	D FOR CALCULATIN	IG - ANSI Z765
Space	Finished GBA (Air Conditioned)	Unfinished GBA	Covered Porches and Balconies Exceeding 5 feet	Total GBA + P&E

AUX - HVAC 341 SF 341 SF 1ST FLOOR - HVAC 3567 SF 3567 SF ADITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH 0 SF 19 SF 19 SF ADITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH 0 SF 10 SF 10 SF 2ND FLOOR - HVAC 1643 SF 1643 SF

5580 SF 5551 SF 29 SF 0 SF

PROPOSED UNIT SIZE CALCULATION

FIRST FLOOR UNIT SIZE SECOND FLOOR UNIT SIZE TOTAL UNIT SIZE LOT AREA UNIT SIZE/LOT AREA

3,908 SF 1,643 SF 5,551 SF 13,125 SF 42.3 %

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2ND FLOOR -PROPOSED UNIT SIZE

A10.5

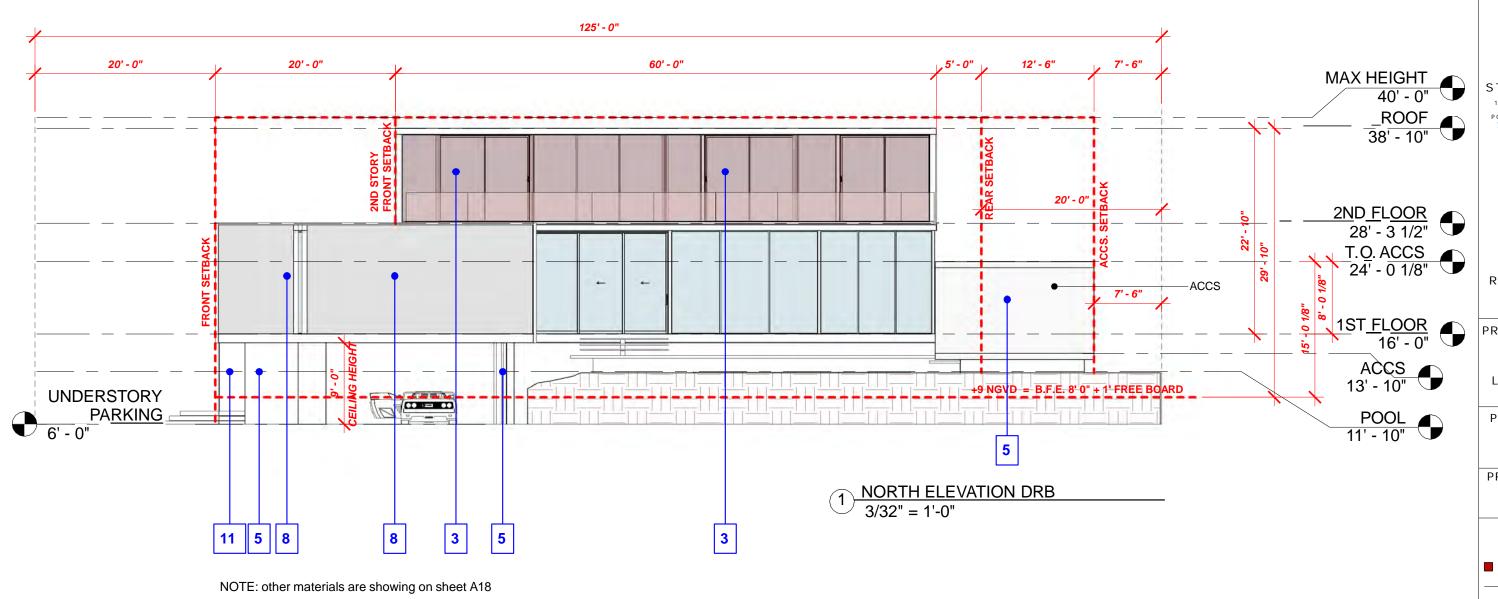
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1 2ND - DRB - UNIT SIZE 1/16" = 1'-0"



MATERIAL LEGEND

- 1. Thin vertical panels wood siding.
- 2. Large panels wood cladded ceiling.
- 3. Wood bifold shutters
- 4. Wood Horizontal rolling shutters
- 5. Exposed concrete with wood board texture.
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- 9. 42-inch-high clear glass guard rail.
- 10. Planter behind vertical wood screen
- 11. Steel staircase with white stringer and natural stone risers and treads, with glass railing.
- 12. 5' x 9' Metal Door with special finish to match the color of painted expresso glazing system frames

GENERAL NOTE:

All elevation levels depicted in these drawings are based on the National Geodetic Vertical Datum (NGVD).

BUILDING SETBACK

MHOra

STUDIO KHORA

1600 SOUTH FEDERAL HWY, SUITE 970 POMPANO BEACH 33062 - FL WWW.STUDIOKHORA.COM INFO®STUDIOKHORA.COM T: (800) 952-1044

REX NICHOLS AIA AR007415

PROJECT LOCATION

La Gorce Island 6650 Sheffield Lane, Miami Beach, Florida 33141

PROJECT OWNER

Pash Place One LLC

PROJECT NUMBER
DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

PROPOSED NORTH ELEVATION + EXT. MATERIALS

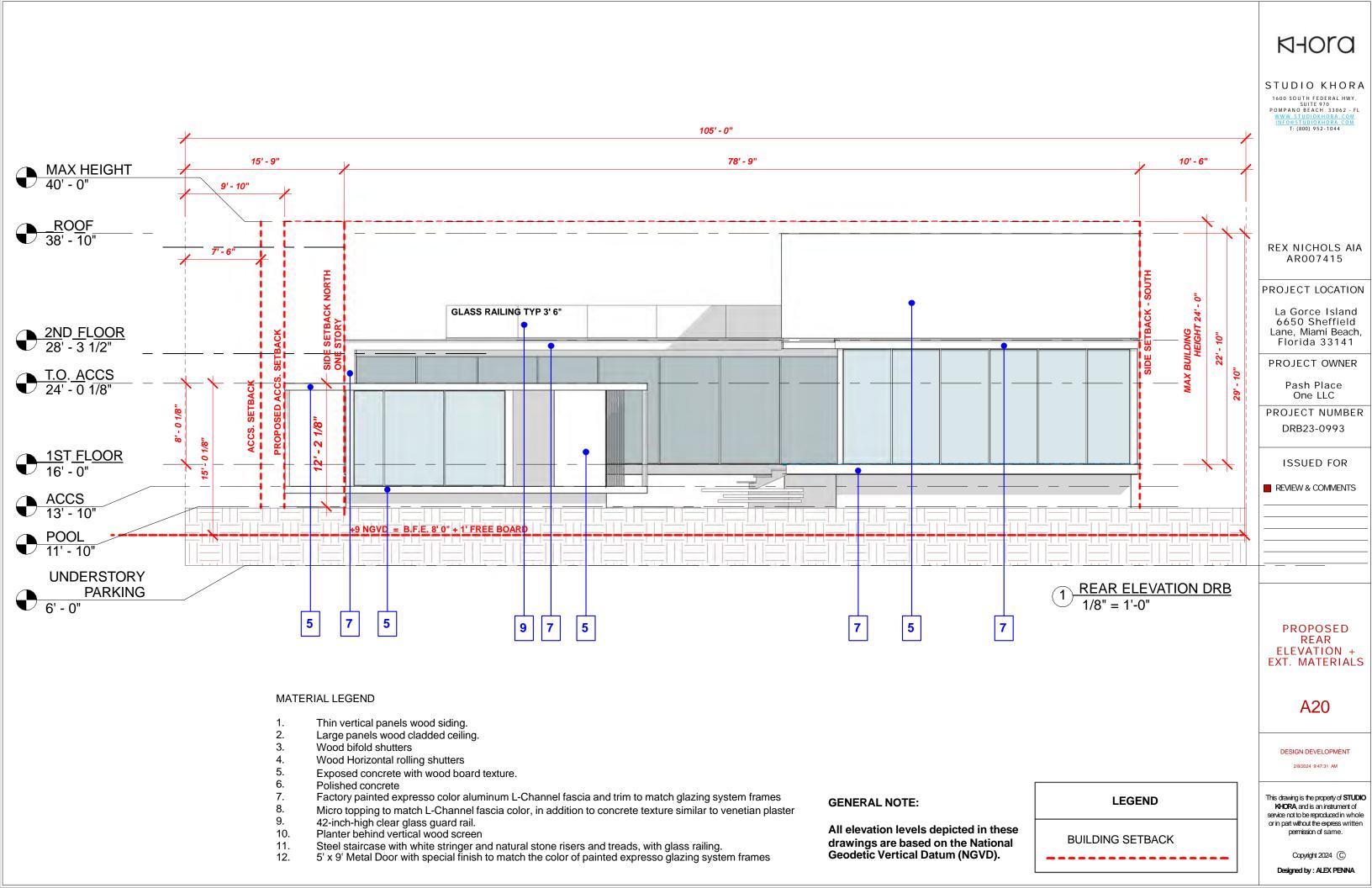
A19

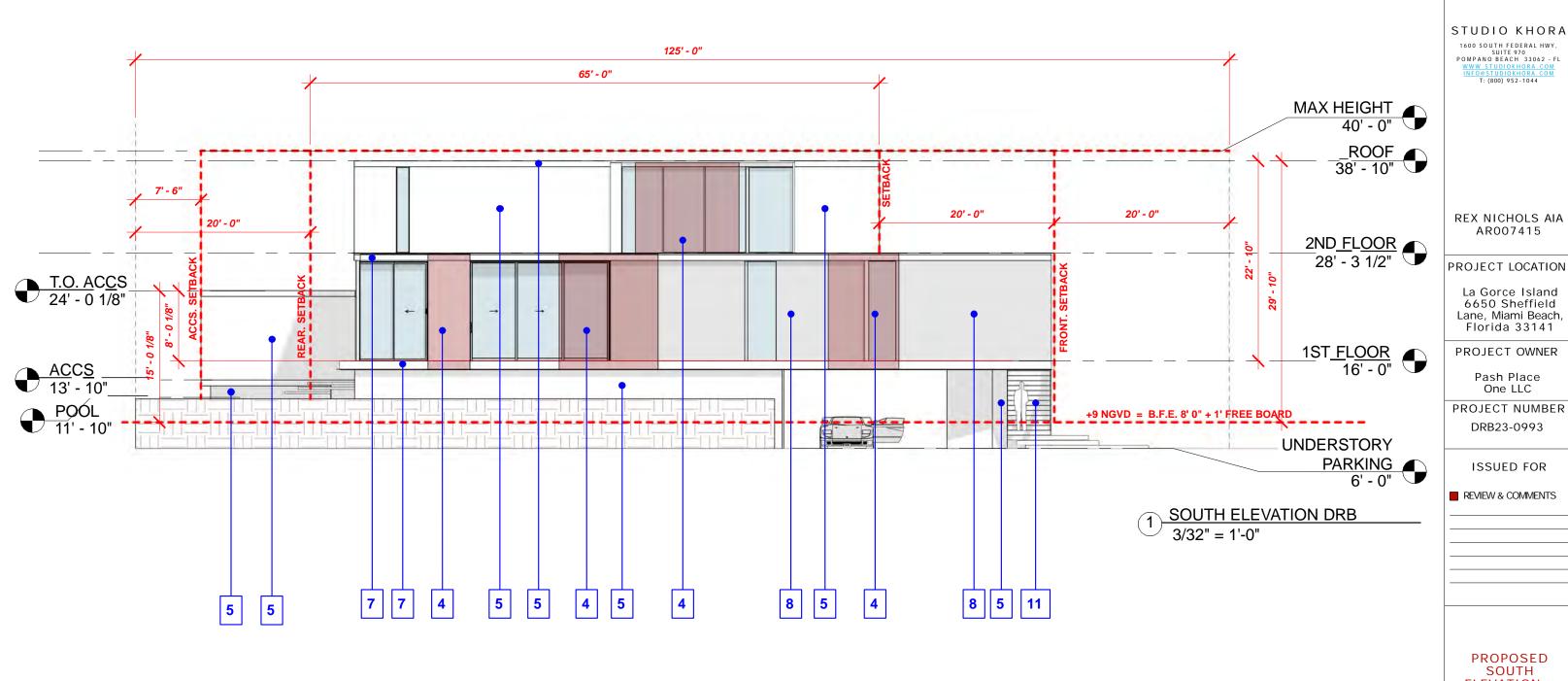
DESIGN DEVELOPMENT

2/8/2024 9:47:25 AM

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MATERIAL LEGEND

- Thin vertical panels wood siding.
- 2. Large panels wood cladded ceiling.
- 3. Wood bifold shutters
- 4. Wood Horizontal rolling shutters
- Exposed concrete with wood board texture.
- 6.
- 7. Factory painted expresso color aluminum L-Channel fascia and trim to match glazing system frames
- Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 42-inch-high clear glass guard rail.
- 10. Planter behind vertical wood screen
- 11. Steel staircase with white stringer and natural stone risers and treads, with glass railing.
- 12. 5' x 9' Metal Door with special finish to match the color of painted expresso glazing system frames

GENERAL NOTE:

All elevation levels depicted in these drawings are based on the National Geodetic Vertical Datum (NGVD).

LEGEND BUILDING SETBACK

NHOra

SOUTH ELEVATION + EXT. MATERIALS

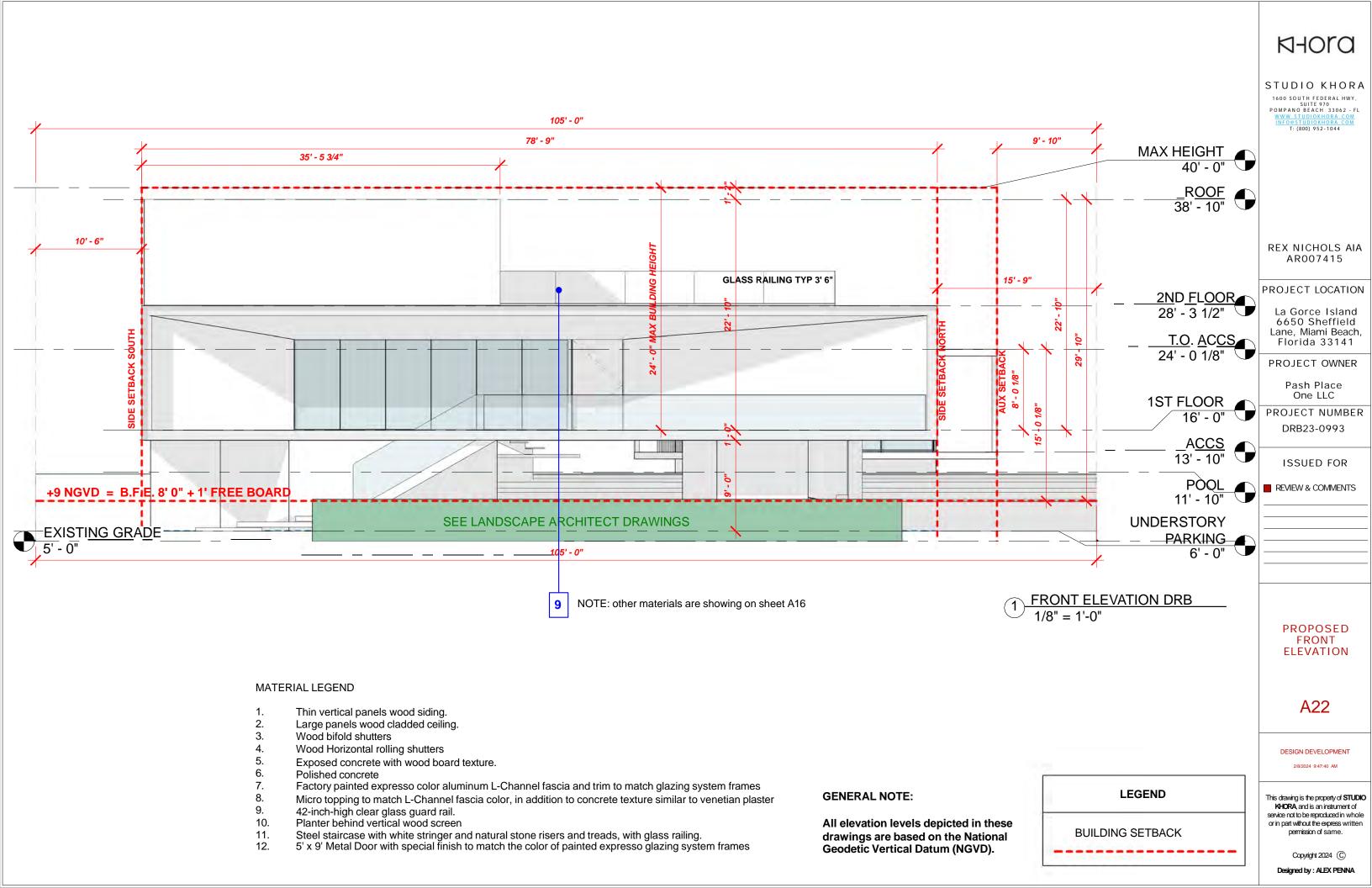
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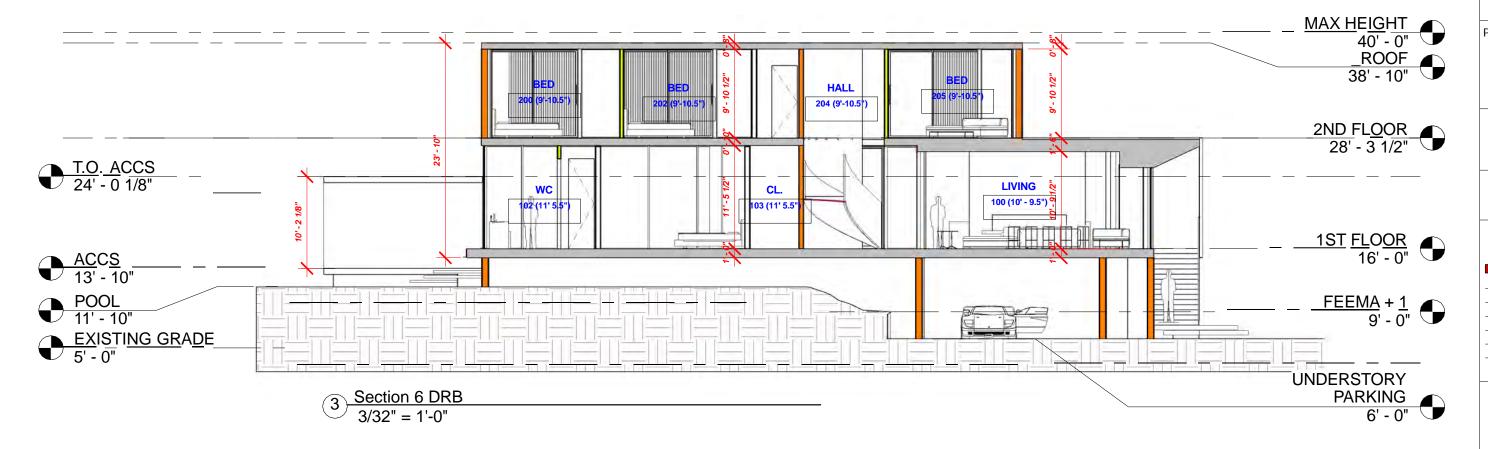
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REX NICHOLS AIA AR007415

PROJECT LOCATION

La Gorce Island 6650 Sheffield Lane, Miami Beach, Florida 33141

PROJECT OWNER

Pash Place One LLC

PROJECT NUMBER
DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

PROPOSED SECTIONS

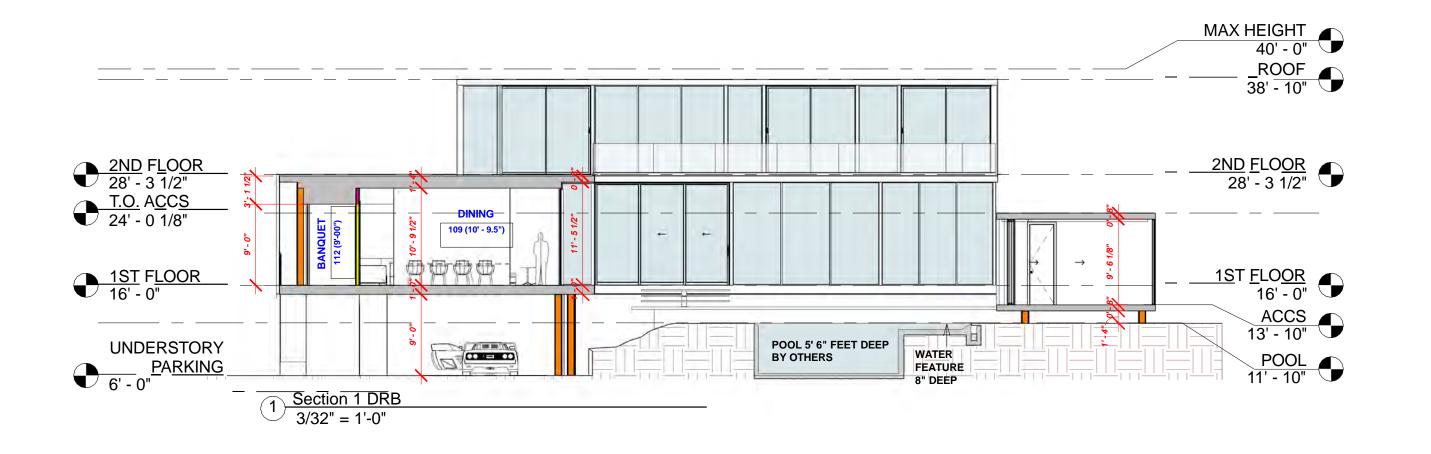
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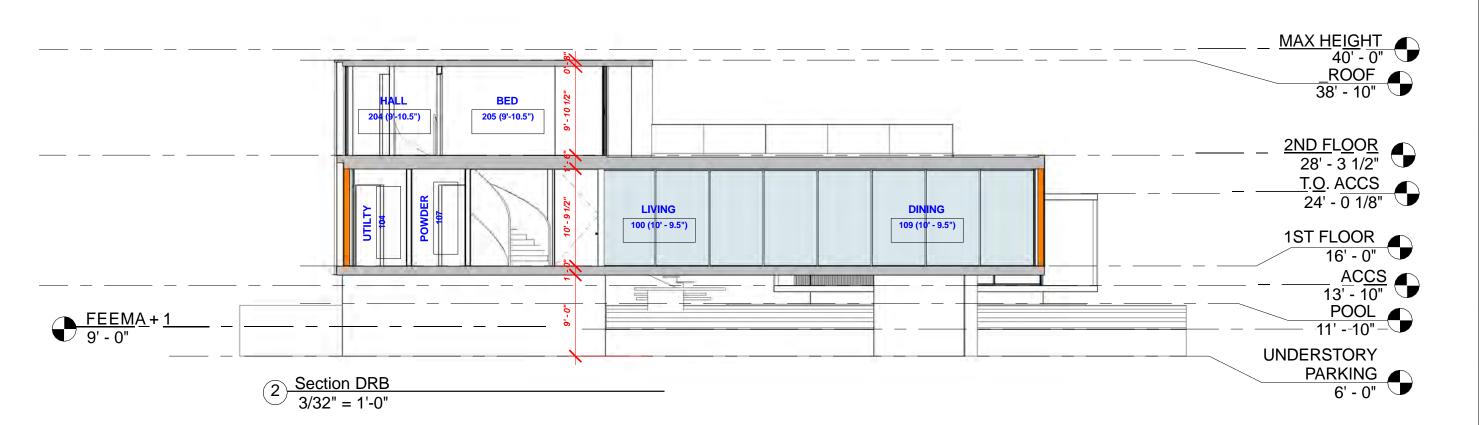
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PROJECT LOCATION

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PROJECT OWNER

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PROJECT NUMBER
DRB23-0993

ISSUED FOR

■ REVIEW & COMMENTS

PROPOSED SECTIONS

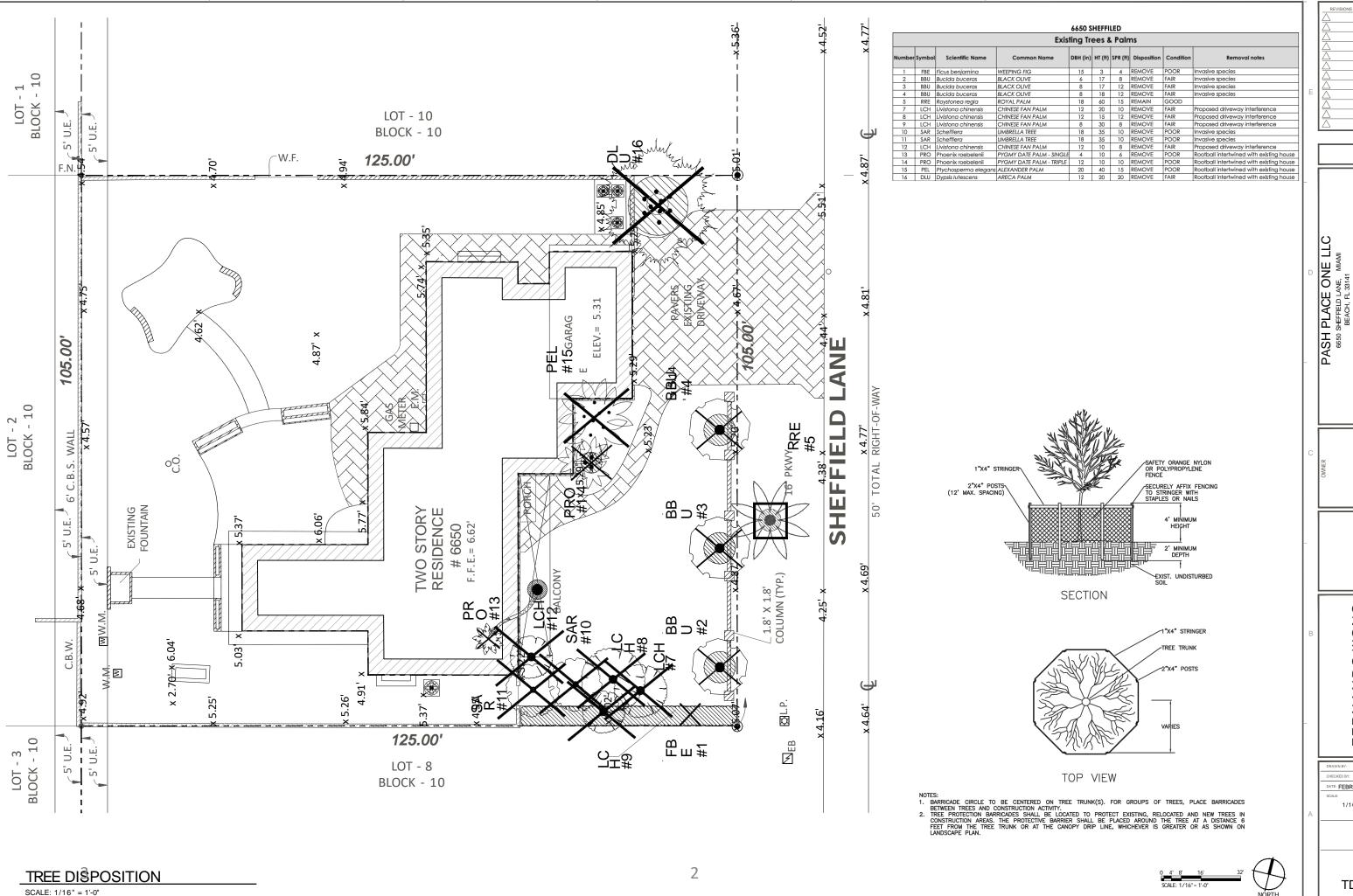
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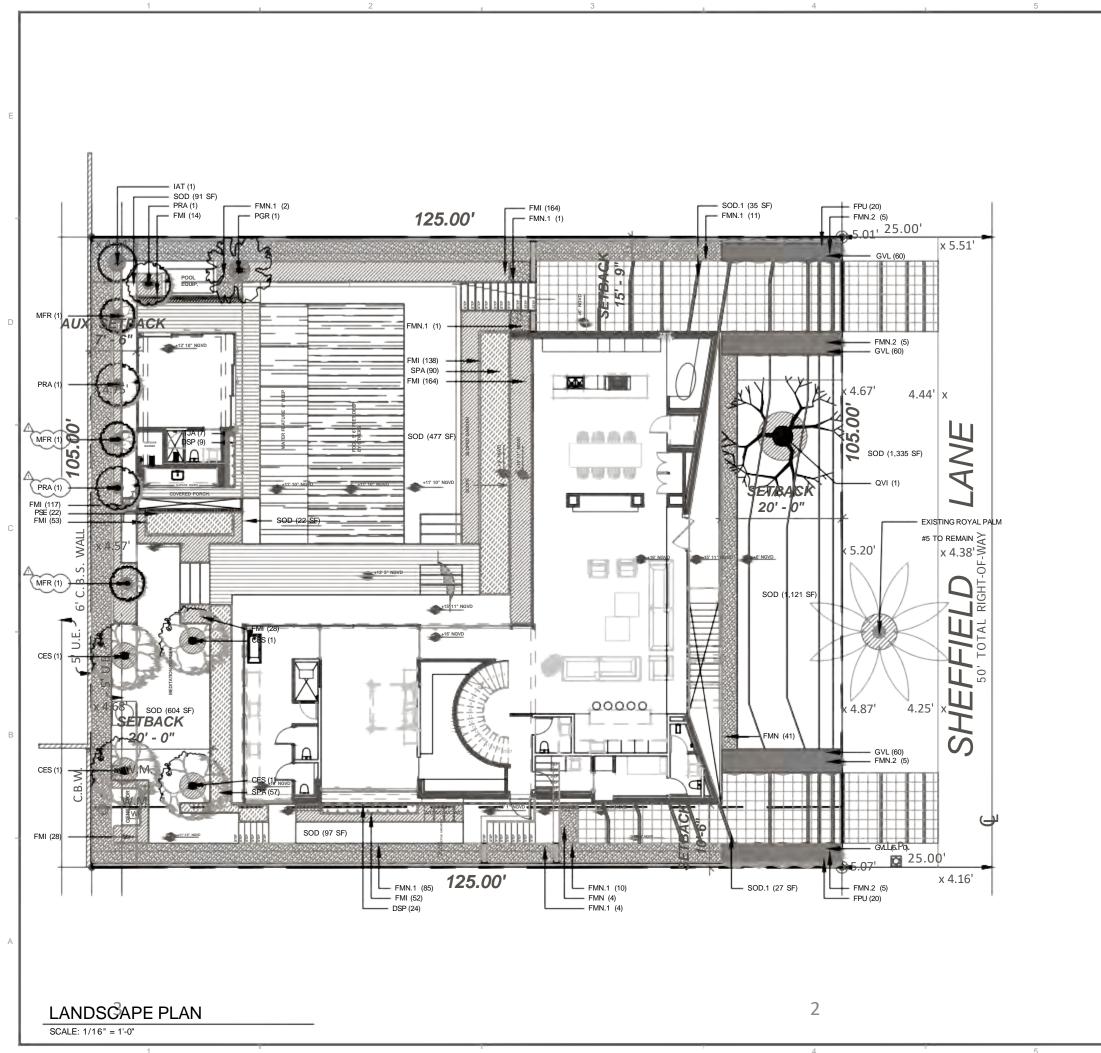


TREE DISPOSITION

FERNANDO WONG

CHECKED BY: FW DATE: FEBRUARY 8, 2024 1/16" = 1'-0"

TD-100



				LANDSCAPE LIS	Г
				TREES	
	SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	/She	050	04	*Conocarpus erectus 'Sericeus'	16' O.A. HT. MULTI. 7' CT. 3"-6" CAL. GRADE #1
	400	CES	04	SILVER BUTTONWOOD	F.G.
	(IAT	01	*Ilex x attenuata 'East Palatka'	14' O.A. PLANTED HT. 5' CT. 3" CAL. GRADE #1
	•	IAI	01	EAST PALATKA HOLLY	45 GAL.
Δ	A	MFR	03	*Myrcianthes fragrans	12'-14' O.A. PLANTED HT. MULTI. 3-4" CAL. GRADE
	4	(MFR	<u></u>	SIMPSON STOPPER	100 GAL
	(2)	PGR	01	Podocarpus gracilior	12'-14' O.A. PLANTED HT. 4' CT. 3" CAL.
	\sim	FGR	01	WEEPING PODOCARPUS	F.G.
Δ	(2)	PRA	03	*Pimenta racemosa	14' O.A. PLANTED HT. 5' CT. 3" CAL. GRADE #1
	3	(FRA	w)	BAY RUM	45 GAL.
	34	QVI	01	*Quercus virginiana	24' O.A. PLANTED HT. 8' CT. GRADE #1
	a.	QVI	01	LIVE OAK	F.G.

			HEDGES			
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION		
40000	FMI		600	700	Ficus microcarpa	12" HT. 12" O.C.
ACCESSES.		706	GREEN ISLAND FICUS	3 GAL		
90.00.00	FMN	45	Ficus nitida	4' O.A. PLANTED HT. 24" O.C.		
	FIVIN	45	CUBAN LAUREL	25 GAL.		
30.00.00	51011	114	Ficus nitida	16' O.A PLANTED HT. 36" O.C		
JE 200.00	FMN.1	114	CUBAN LAUREL	45 GAL.		

GRASSES						
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION		
200000	DOE	-00	Pennisetum setaceum	18" O.C		
888888	PSE	22	WHITE FOUNTAIN GRASS	3 GAL		
99960	CDA	4.47	*Spartina patens	18" O.C		
800000	SPA	147	SAND CORDGRASS	3 GAL		

	SHRUBS & GROUNDCOVERS						
Ī	SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION		
Ī		DSP	33	Dwarf spatiphyllum DWARF PEACE LILY	12" HT 12" O.C 1 GAL		
4		FMN.2	20	Ficus nitida CUBAN LAUREL	16" O.A PLANTED HT. 5" CT. STD. 48" O.C 45 GAL.		

	VINES						
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION			
_	FPU	40	Ficus pumila	12" O.C.			
-	FPU	40	CREEPING FIG	1 GAL			
32000	TJA 07	07	Trachelospermum jasminoides	18" O.C. TRAINED ON SS ESPALIER GRID			
		0/	CONFEDERATE JASMINE	3 GAL			

	SOD							
SYMBOL	KEY	SQ. FT	PROPOSED MATERIAL	DESCRIPTION				
			Diamond Zoysia	SOD WITHIN PROPERTY LINE				
	SOD	2,464	ZOYSIA SOD					
			Diamond Zoysia	4" DRIVEWAY JOINTS				
	SOD.1	164	ZOYSIA SOD					
		4.005	Diamond Zoysia	RIGHT OF WAY SOD				
	SOD.2	1,335	ZOYSIA SOD	1				

MULCH				
BAGS	SQ. FT	PROPOSED MATERIAL	DESCRIPTION	
255	3,060	Mini Pine Bark	2" THICK	
			2 CU FT. BAGS	

LANDSCAPE LEGEND Information Required to be Following City of Miami Beach Landscape Code	Permanently Affixed to Plan
Zoning District: RS-3 (Residential Single Family)	Net Lot Area .30 acres 13,125 s.
	REQUIRED PROVIDED
OVERALL PERVIOUS AREA Square Feet of pervious space required, as indicated on site plan: Net lot area =13.125 s.f. x50 %=6.562.5_ s.f.	6,562.5 6,582.5
MAXIMUM LAWN AREA Square Feet of pervious space required, as indicated on site plan: Net lot area = 6.562.5 s.f. x 50 % = 3.281.3 s.f.	3,281.3 2,583
FRONT YARD 20' SET BACK PERVIOUS AREA Square Feet of pervious space required, as indicated on site plan: Net lot area = _2.100 s.f. x_50_ % = _1.050 s.f.	1,050 1,638.2
INTERIOR SIDE YARD 10' SET BACK PERVIOUS AREA Square Feet of pervious space required, as indicated on site plan: Net lot area = $\frac{2.500}{}$ s.f. x $\frac{10}{}$ % = $\frac{250}{}$ s.f.	A 250 1,600.5
REAR YARD 20' SET BACK PERVIOUS AREA Square Feet of pervious space required, as indicated on site plan: Net lot area = _2,100 s.f. x_70_ % = _1,470 s.f.	1,470 1,583.6
TREES A. No. trees required per lot or net, less existing number of trees meeting meeting minimum requirements = 26 Trees x N/A net lot acres - acres - number of existing trees =	
Natives Required: No. trees provided x 30% = C. % Low maintenance / drought and salt tolerant required = Number of trees provided x 50% =	04 12 07 12
SHRUBS A. No. trees required x 12 = No. of shrubs allowed	96 1,134
B. No. shrubs required x 50% = No. of native shrubs required C. Diversity of large shrubs or small trees required Number of required shrubs x 10% =	48 147 9.6 11
D. Native% Diversity of large shrubs or small trees required Number of required shrubs or small trees provided x 50% =	4.8 7
SEE LANDSCAPE LIST	

0 4' 8'

SCALE: 1/16" = 1'-0"

PLANNING COMMENT 02:22:2

PASH PLACE ONE LLC 6650 SHEFIELD LANE, MIAMI BEACH, RL 33141 LANDSCAPE PLAN

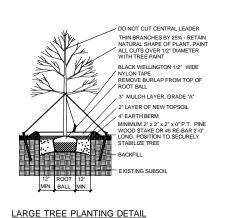
FERNANDO WONG OUTDOOR LIVING DESIGN

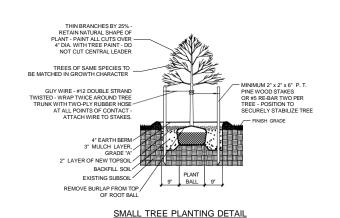
CHECKED BY: FW DATE:FEBRUARY 22, 2024 1/16" = 1'-0"

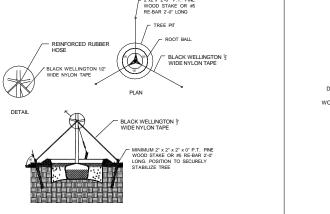
L-100

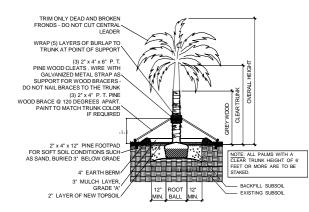
32'

16'



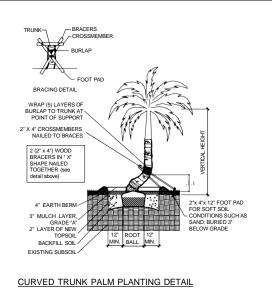


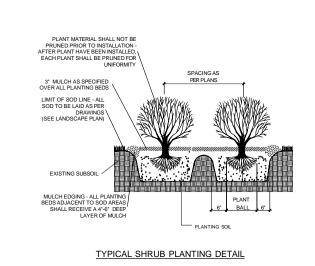


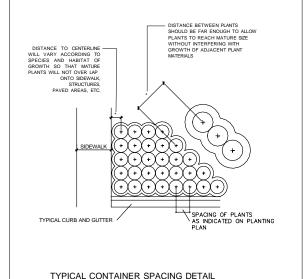


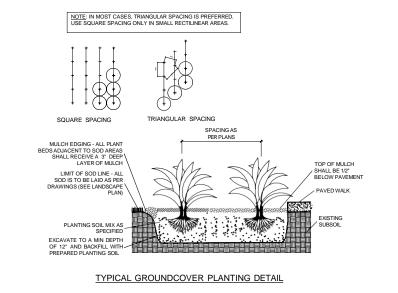
TYPICAL TREE GUYING DETAIL











PLANTING NOTES (See plant specification and details for additional standards)

- -All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- -All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- -Planting plans shall take precedence over plant list in case of discrepancies.
- -No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.
- -Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- No mulch, fill or soil will be placed over the rootballs or within 4" of the trunks of the newly installed trees, and the trees will be installed at or slightly above the soil grade.
- -Nursery Support Poles shall be removed at the Nursery, prior to delivery, and trees with the nursery poles will not be accepted and therefore rejected, with the exception of the following species: Clusea rosea and Silver Buttonwood
- All straps, poles and braces shall be removed from all of the installed trees and palms within the 1-year of planting.
- No changes are to be made without the prior consent of the Landscape Architect, owner, City Urban Forester and City Planning Department. Additions and or deletions to the plant material must be approved per the Project Engineer, City Urban Forester and City Planning Department.

- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.
- Tree protection fences shall be constructed prior to any construction activity including grubbing for all trees/palms to remain or be relocated. The fences should be of sturdy construction, 4x4 posts with wire mesh. Fences must be intact until the project is completed. They should not be removed or dropped for any reason without authorization from the city Urban Forester. No activity or disturbance should occur within the fenced areas, including vehicle use, storage of materials, dumping of liquids or materials, grade changes, grubbing and mechanical trenching for irrigation, electrical and lighting, etc.

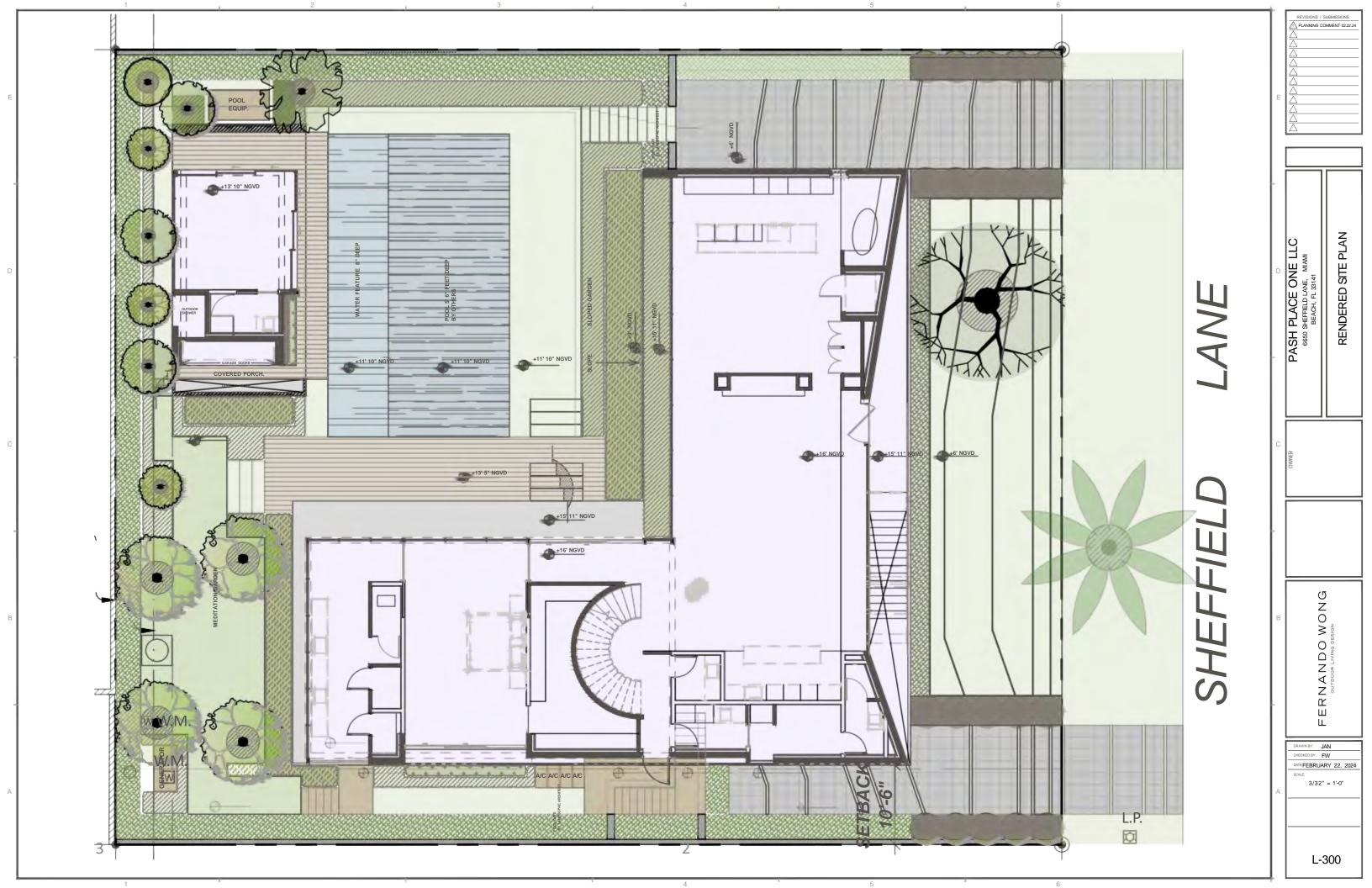
GENERAL NOTES

- -The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- -Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- -All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- -All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

DETAILS PLACE PLANTING SH

DRAWN BY: JAN
OHECKED BY: FW
DATE: FEBRUARY 8, 2024
SCALE
N.T.S

L-200



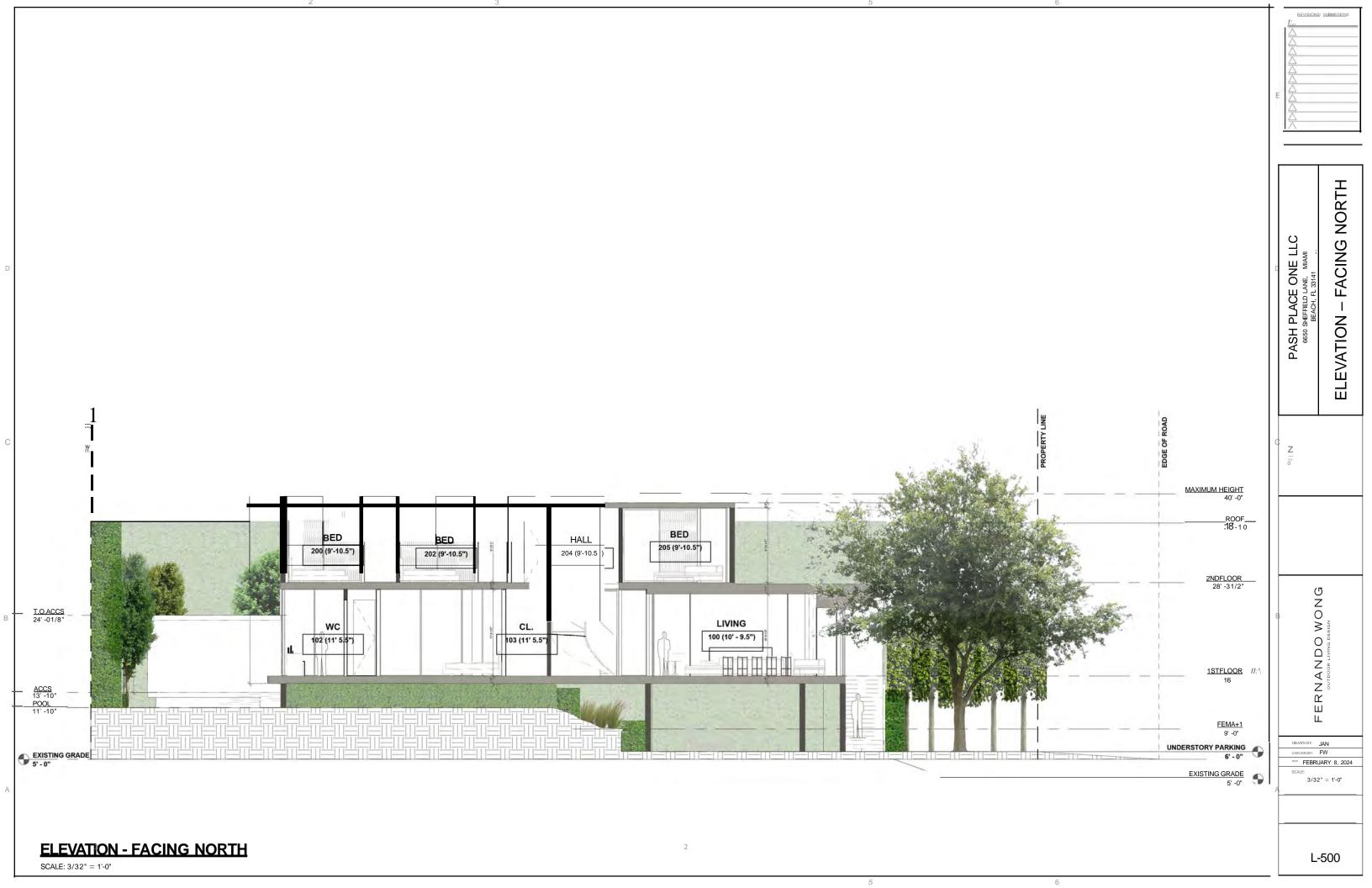


FRONT FACADE ELEVATION

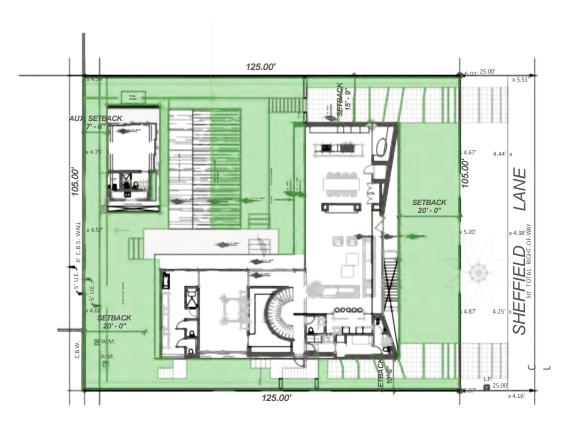
FERNANDO WONG

CHECKEDBY: FW 1/B" = I'-0"

L-400







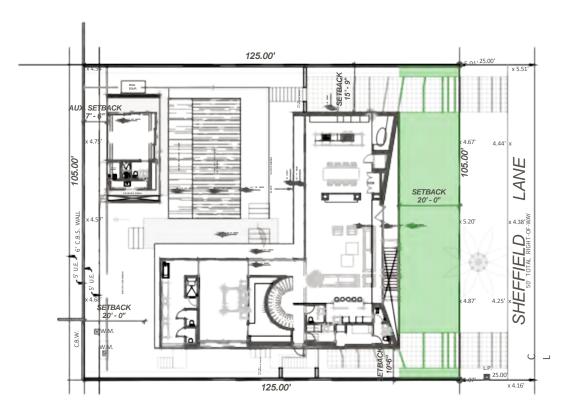
OPEN SPACE DIAGRAM - OVERALL SITE REQUIRED: 6,562.5

PROVIDED: 6,582.5



OPEN SPACE DIAGRAM - REAR YARD

REQUIRED: 1,470 SCALE: 1/32" = 1'-0" PROVIDED: 1,472.75



OPEN SPACE DIAGRAM - FRONT YARD

REQUIRED: 1,050 PROVIDED: 1,723.5

| | | 125.00'

OPEN SPACE DIAGRAM - SIDE YARD

SCALE: 1/32" = 1'-0"

REQUIRED: 250 PROVIDED: 1,895.5



OPEN SPACE DIAGRAM

FERNANDO WONG

DATE: FEBRUARY 8, 2024 1/32" = 1'-0"

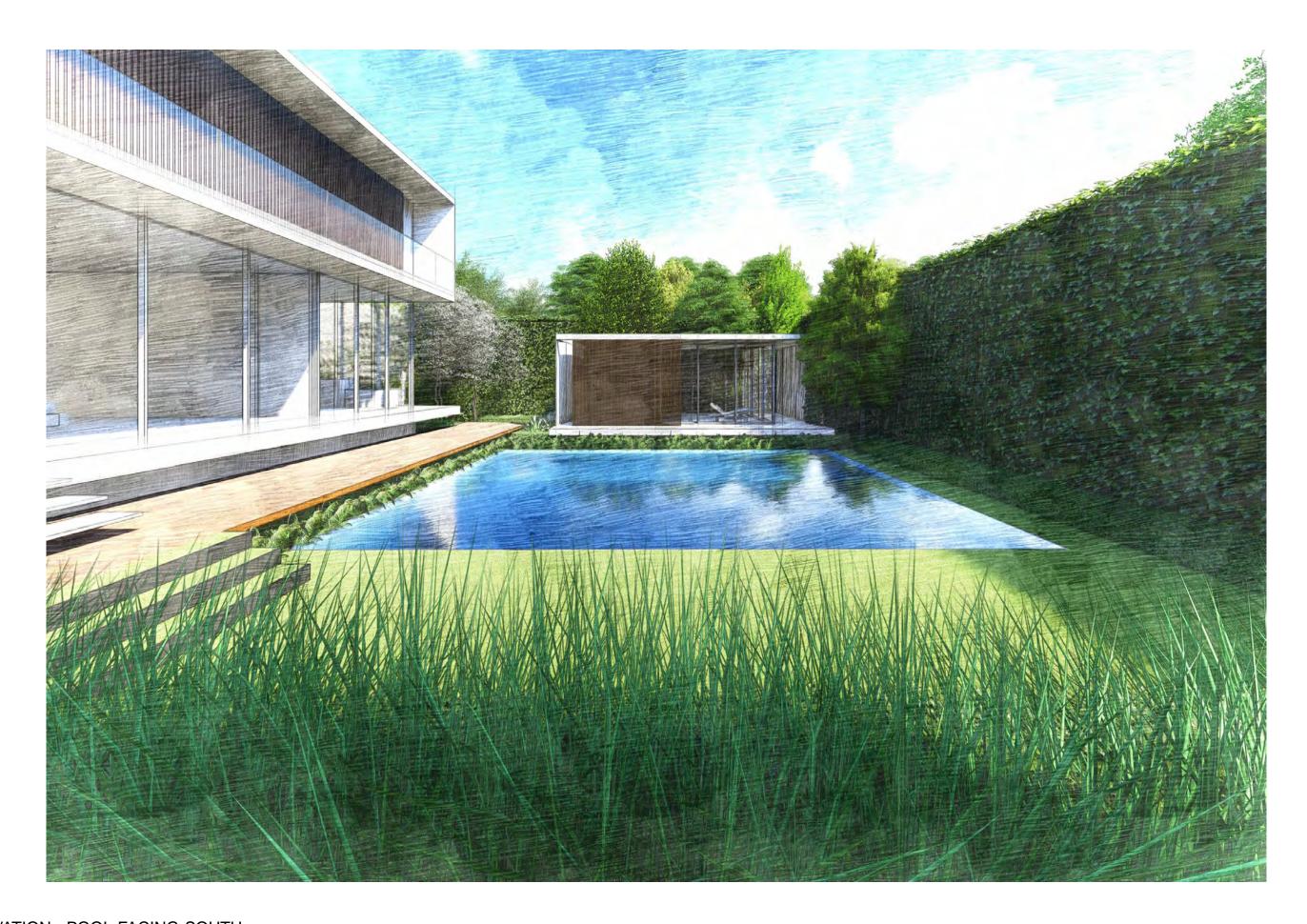
L-700



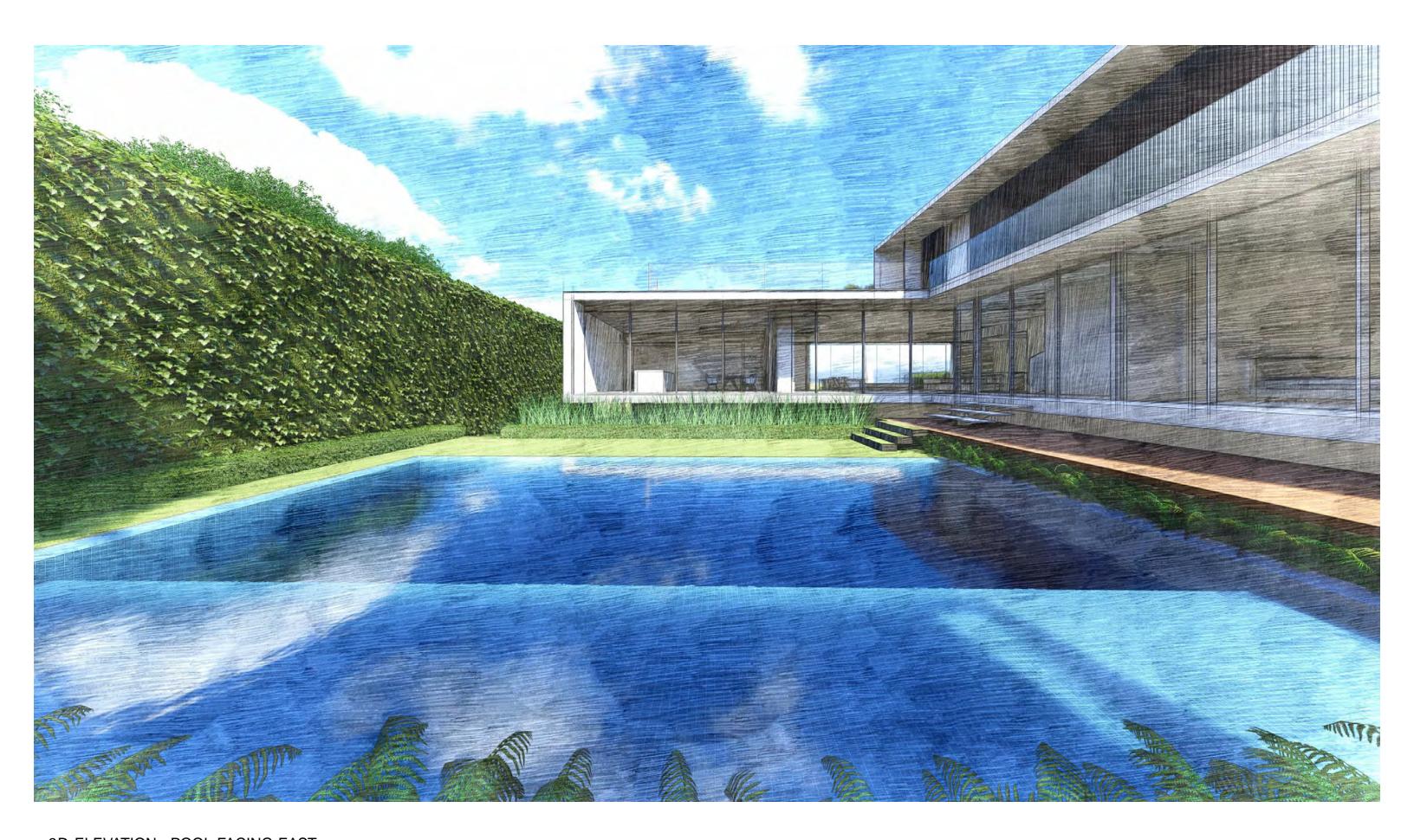




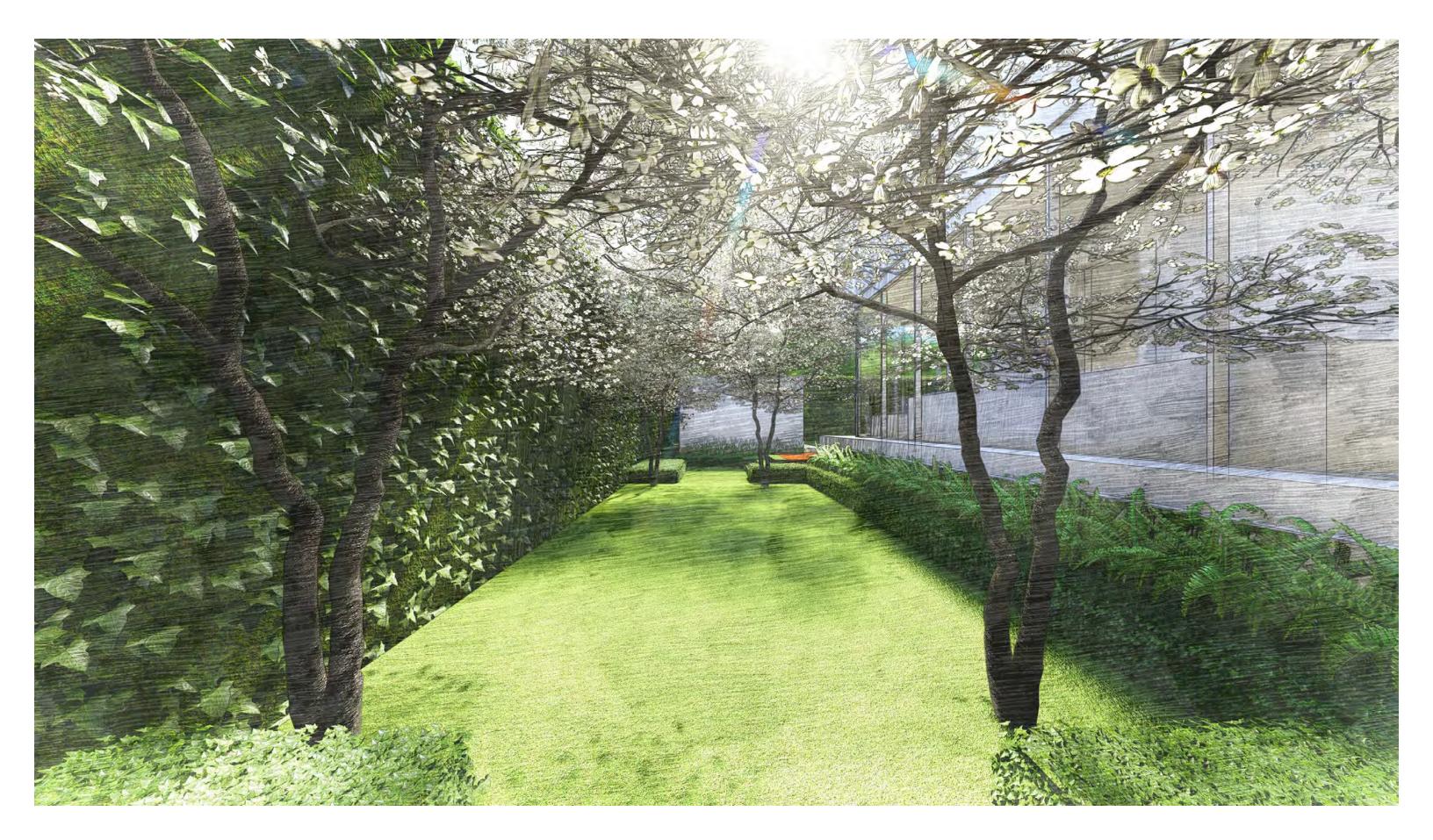


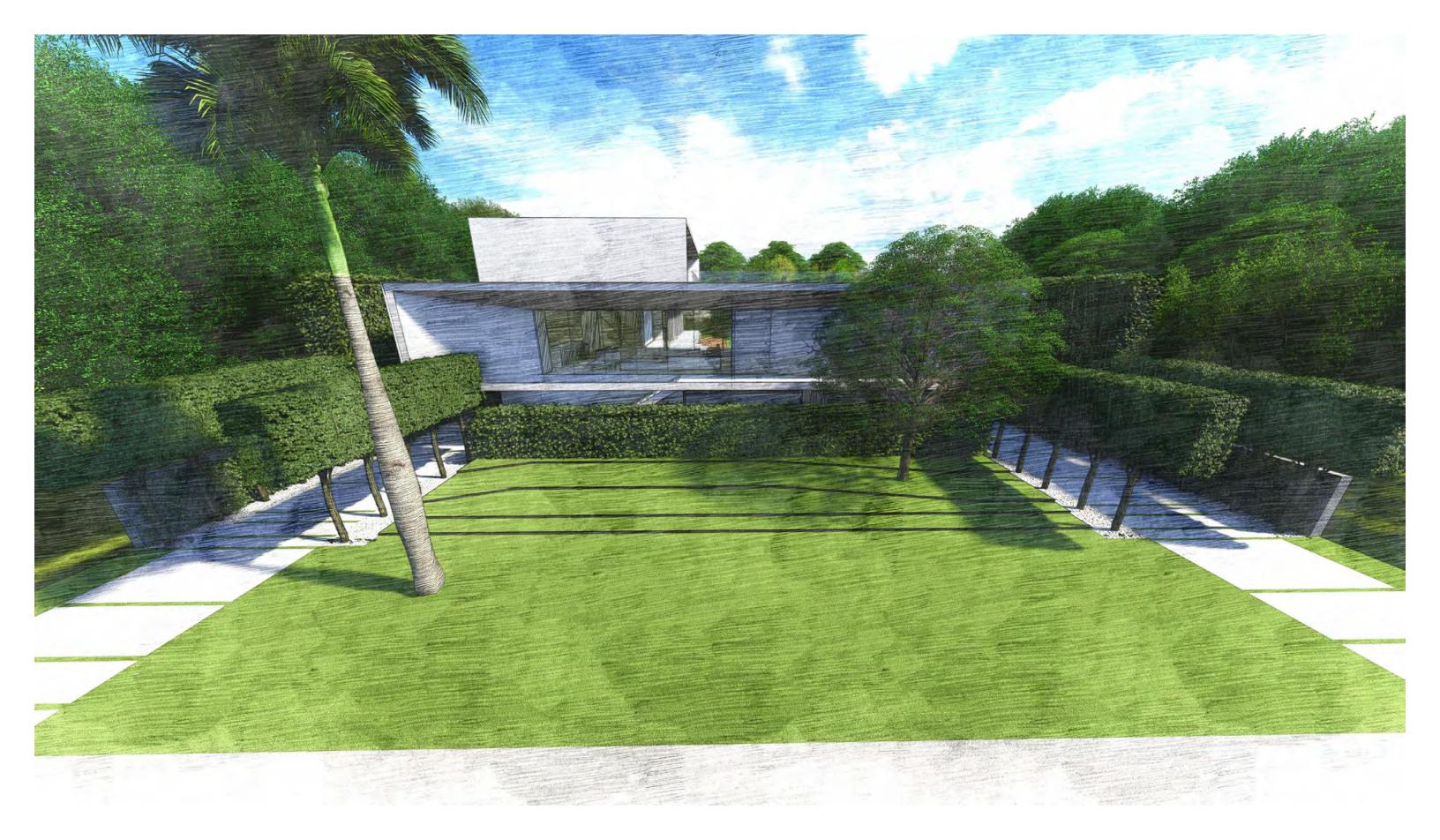






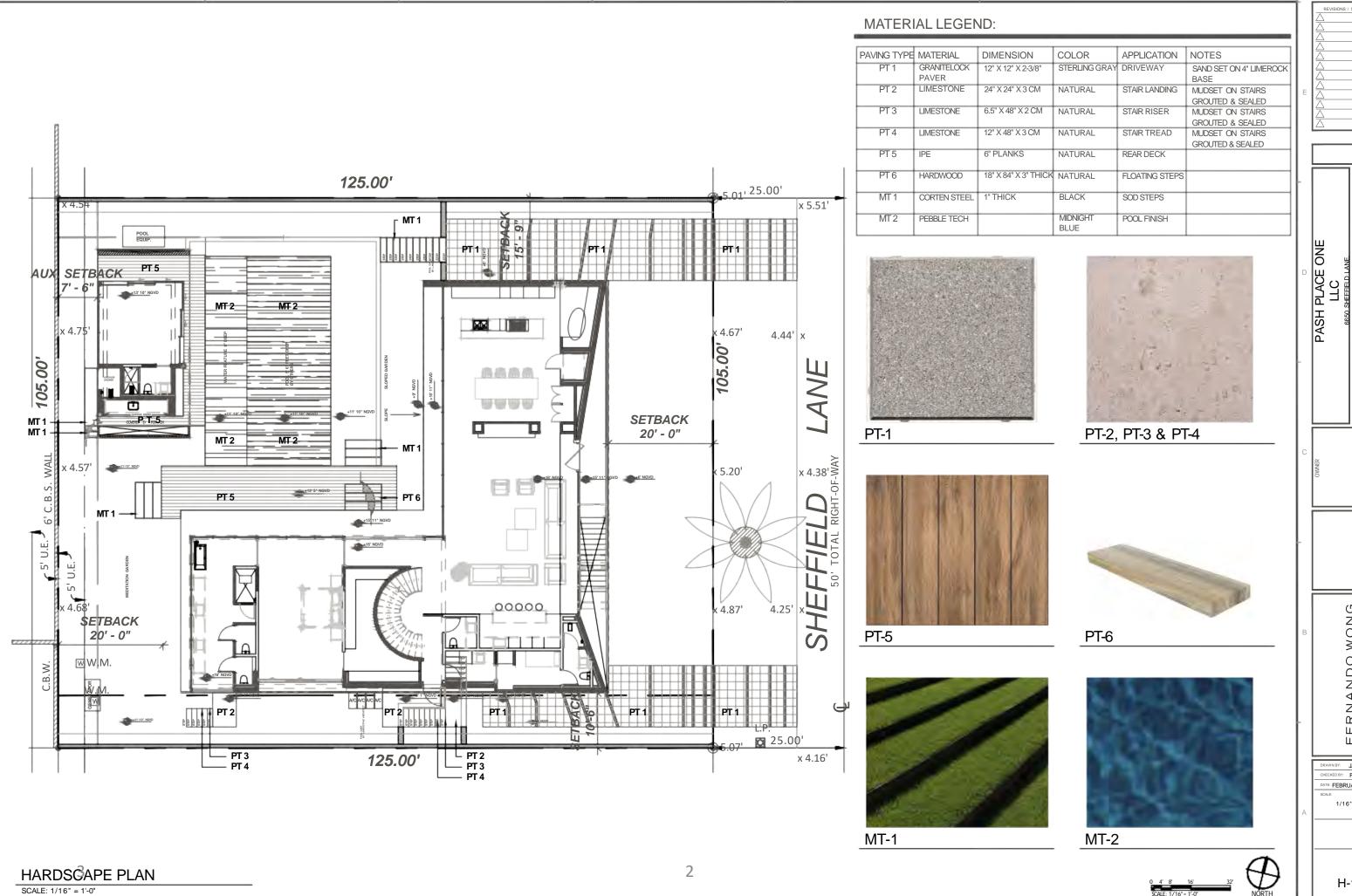










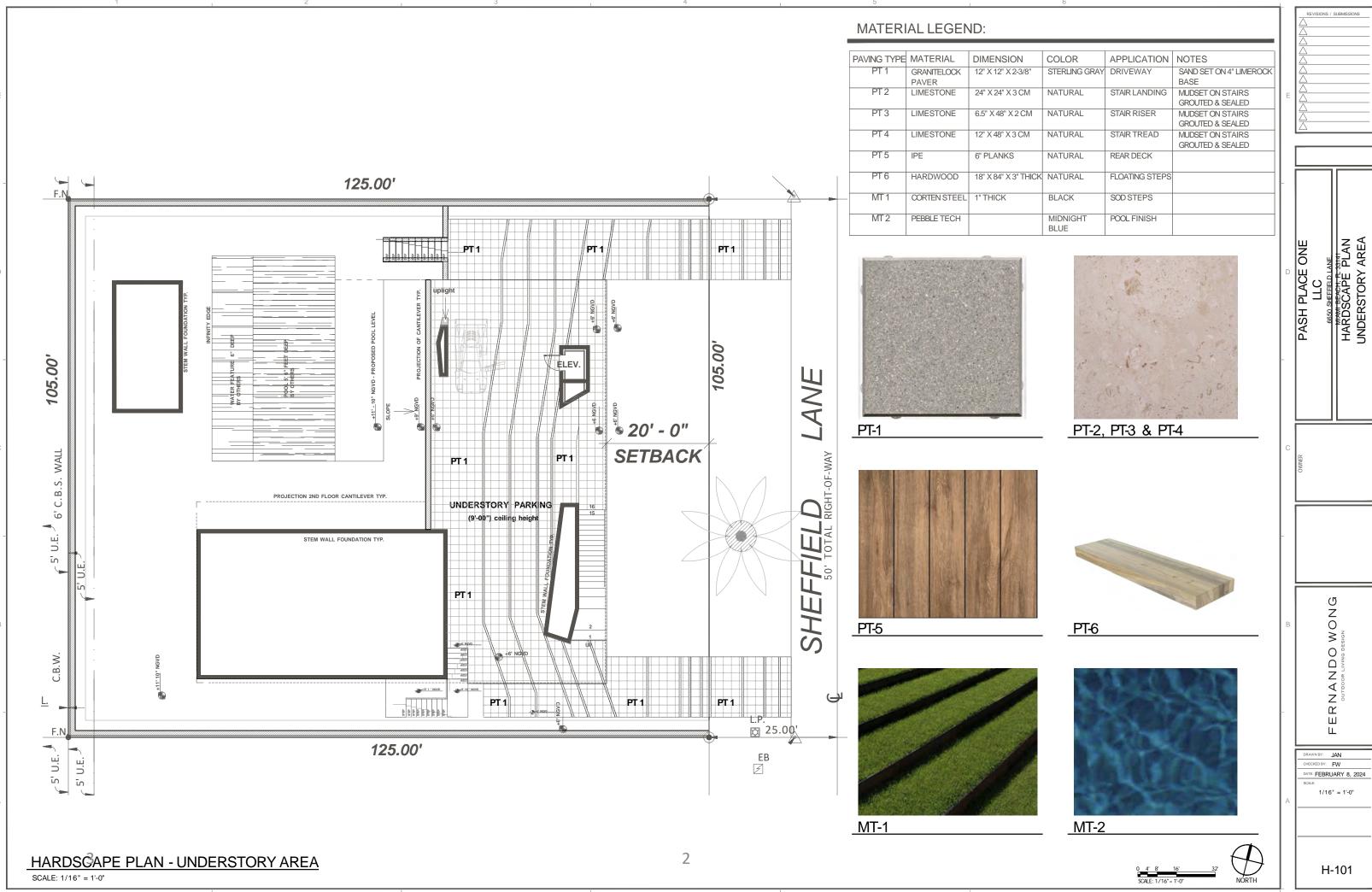


HARDSCAPE PLAN

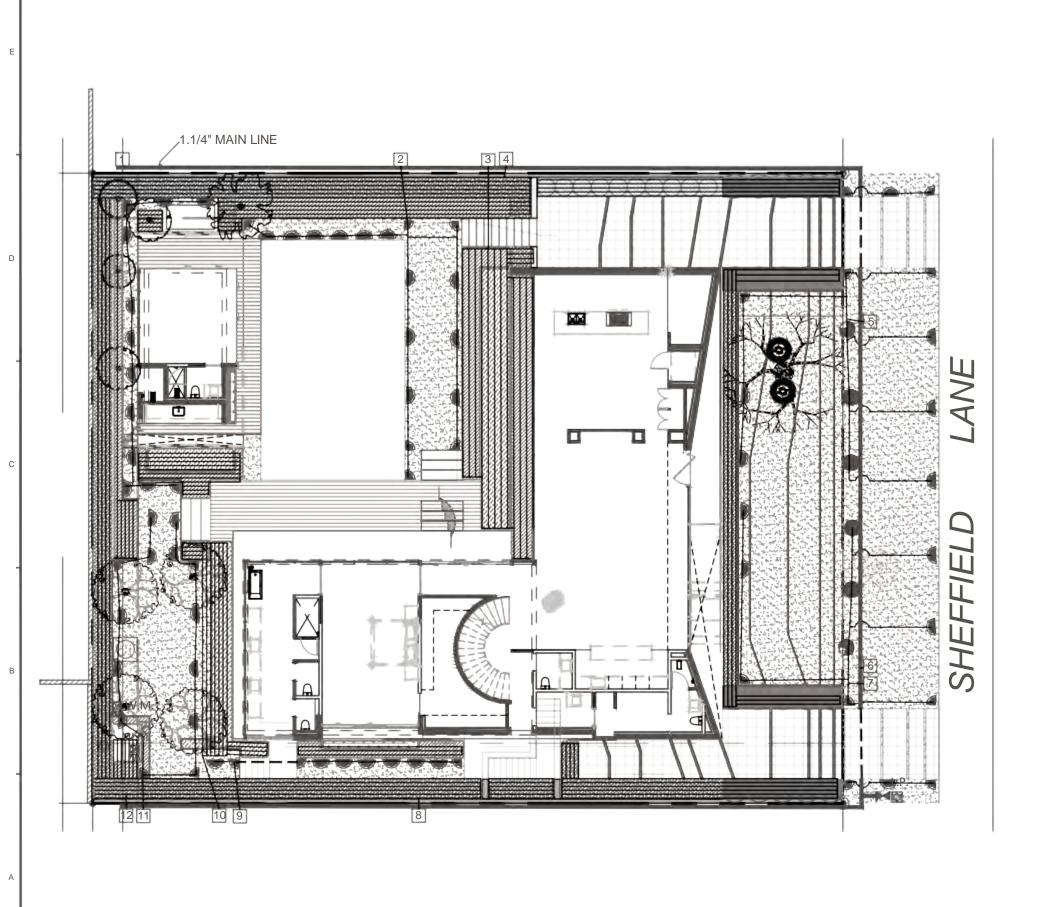
FERNANDO WONG

DATE: FEBRUARY 8, 2024 1/16" = 1'-0"

H-100



H-101



2

ZONE	VALVE SIZI	E FLOW	ZONE TYPE
1	1"	<15GPM	Drip, plants, trees
2	1"	<15GPM	MPs, turf
3	1"	<15GPM	Drip, plants, trees
4	1"	<15GPM	Drip, plants, trees
5	1"	<15GPM	MPs, turf
6	1"	<15GPM	Drip, plants, trees
7	1"	<15GPM	MPs, turf
8	1"	<15GPM	Drip, plants, trees
9	1"	<15GPM	MPs, turf
10	1"	<15GPM	Drip, plants, trees
11	1"	<15GPM	MPs, turf
12	1"	<15GPM	Drip, plants, trees

IRRIGATION SCHEDULE:

С	Hunter, P2C400 Controller		
S	Hunter Wireless Solar Sync sensor		
M	Backflow Preventer, 1" (By Plumber)		
• •	MP Rotators		
\boxtimes	Master Valve		
	Drip Irrigation Lines		
•	Bubbler		
X	Zone Valves		
	Sleeves		
	1 1/2" Main Line SCH 40		
MW	Water Meter		

SCALE: 1/16" = 1'-0"

PASH PLACE ONE
LLC
6650 SHEFFED LANE
MIXMI BEACH, R 33141
IRRIGATION PLAN

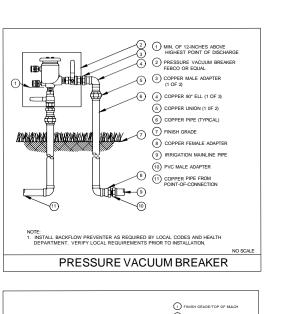
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DATE: FEBRUARY 8, 2024 1/16" = 1'-0"

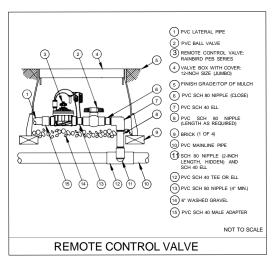
IR-100

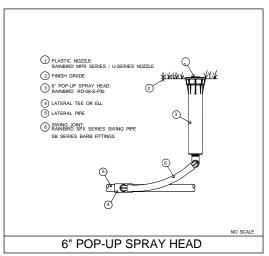
IRRIGATION PLAN

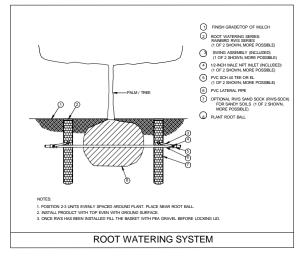
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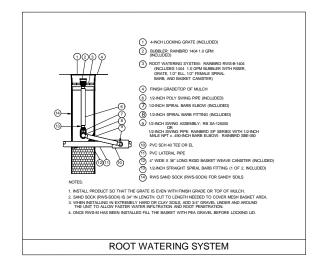


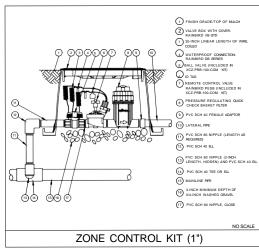
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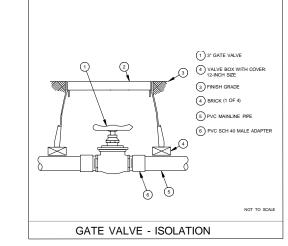


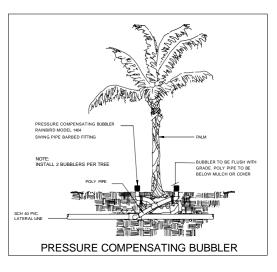


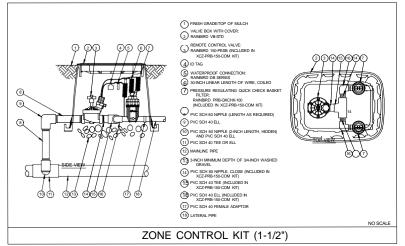


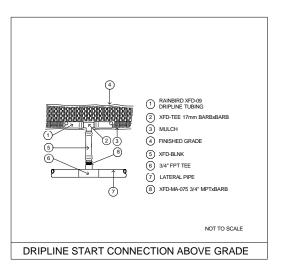


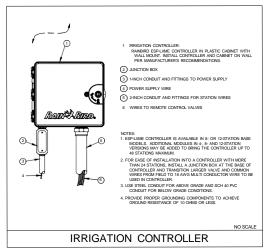


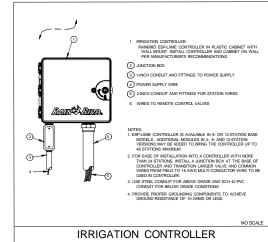












NANDO OUTBOOR LIVING DE Ш Ш CHECKED BY: FW

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IRRIGATION DETAILS

PLACE (

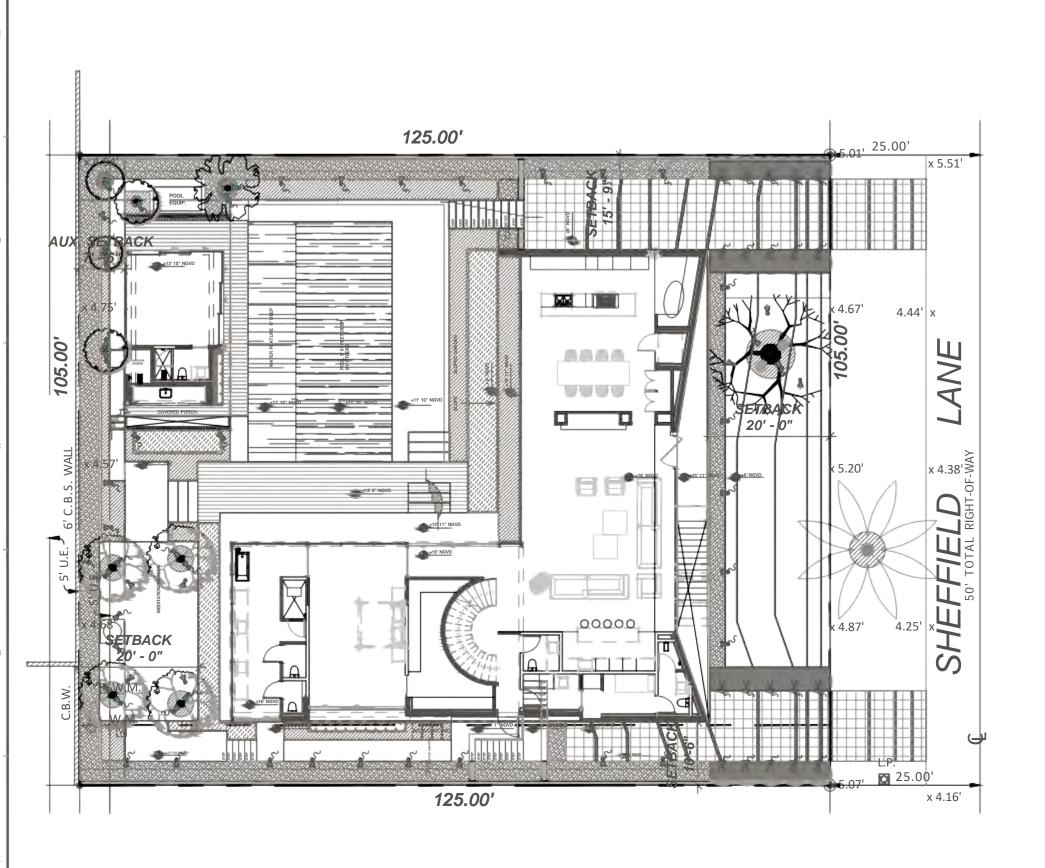
DATE: FEBRUARY 8, 2024

3

2

IR-200

IRRIGATION SYSTEM 3.04 PIPING PART 1-GENERAL C. ALL TAPS ON MAIN OR LATERALS SHALL BE MADE WITH TEES. ALL NON-THREADED TYPE JOINTS A. PVC PIPE SHALL BE PROTECTED FROM DIRECT SUNLIGHT WHILE IN STORAGE. PIPE SHALL BE KEPT SHALL BE SOCKET TYPE, DESIGNED FOR SOLVENT TYPE APPLICATION. CLEAN AND CHECKED FOR PRESENCE OF ORGANIC OR FOREIGN MATERIAL PRIOR TO INSTALLATION. WORK SHALL INCLUDE ALL CONSTRUCTION AND MAINTENANCE/WATERING OF ALL IRRIGATION AREAS OF THIS CONTRACT UNTIL ACCEPTED BY THE OWNER. WORK SHALL INCLUDE THE FOLLOWING: D. PRIOR TO THE CONNECTION OF ANY JOINT WITH PVC GLUE, THE FITTING AND PIPES SHALL BE B. PRIOR TO BACK FILL, PVC PIPE IN TRENCH SHALL BE PROTECTED FROM DIRECT SUNLIGHT BY COVERING WITH A LAYER OF CLEAN SANDY MATERIAL. PIPE SHALL ALSO BE COVERED WITH FILL TREATED WITH A HIGH ETCH PVC CLEANER, THE CLEANER AND SOLVENT USED SHALL BE ALL PIPING, INCLUDING MAINS, LATERALS, FITTINGS, CONNECTIONS, TEES, RISERS, CLAMPS, SCREW JOINT PIPE JOINT COMPOUND. UPON COMPLETION OF GLUE JOINTS, THE IRRIGATION SWING JOINTS. MATERIAL, OTHERWISE ANCHORED, TO PREVENT FLOATING IN EVENT WATER ENTERS TRENCH PRIOR SYSTEM SHALL REMAIN OUT OF SERVICE FOR THE PERIOD OF TIME SPECIFIED BY THE GLUE TO COMPLETE BACKFILLING. B. ALL CONTROL, GATE, OR OTHER VALVES, INCLUDING VALVE BOXES, MARKERS, CONNECTIONS, C. SUBSTANTIAL DEVIATION FROM THE PIPING LAYOUT SHALL BE APPROVED BY THE LANDSCAPE E. ALL SLEEVES SHALL BE 2 NOMINAL PIPE SIZES LARGER THAN THE SIZE OF PIPE TO BE ACCOMMODATED. ARCHITECT AND SHALL BE RECORDED AS WORK PROGRESSES AND AS-BUILT DRAWINGS OF COMPLETE COMPLETE AUTOMATIC CONTROL SYSTEM AS SHOWN ON THE DRAWINGS, INCLUDING CONTROLLER, CONTROL WIRING CONNECTIONS AND ELECTRICAL CONNECTIONS. D. ALL SPRINKLER HEADS, INCLUDING PROPER NOZZLES AS CALLED FOR HEREIN AND SHOWN ON THE D. INSTALLATION OF SYSTEM PIPING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SHALL PROCEED FROM POINT OF CONNECTION OF WATER SUPPLY. ALL PIPING AND EQUIPMENT PLANS AND ALL OTHER EQUIPMENT AND ACCESSORIES NECESSARY FOR PROPER OPERATION A. ELECTRIC CONTROL WIRE - ALL ELECTRIC CONTROL AND GROUND WIRE SHALL JOINTS SHALL BE WATER TIGHT. THE MAIN LINE SHALL BE FLUSHED PRIOR TO MAKING ANY LATERAL E. ALL EXCAVATION, SITE WORK, RELOCATION OR REPLACEMENT OF UTILITIES, BACK FILL AND BE NOT LESS THAN 14 GAUGE. ALL WIRING TO BE USED FOR CONNECTION TO THE ANY SPRINKLER NOZZLES. TYPE "UF", 600 VOLT, STRANDED OR SOLID COPPER, SINGLE CONDUCTOR WIRE WITH PVC INSULATION AND BEAR UL APPROVAL FOR DIRECT UNDERGROUND BURIAL FEEDER CABLE F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE SYSTEM 3.05 SPRINKLERS FOR THE IRRIGATION OF ALL LANDSCAPING ON THE PROJECT SITE. PLANS AND SPECIFICATIONS B. INSULATION SHALL BE 4/64" THICK MINIMUM COVERING FOR POSITIVE WATERPROOF MAY NOT INDICATE ALL ITEMS NECESSARY FOR THE PROPER IRRIGATION OF THE PROJECT. THIS SHALL NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITY TO FURNISH LABOR, MATERIALS PROTECTION OF SIZES AWG SIZE 18 THROUGH AND INCLUDING AWG SIZE 10. AWG SIZE 8 AND EQUIPMENT REQUIRED FOR A COMPLETE AND PROPER SYSTEM. B. ALL SPRINKLER HEADS SHALL BE INSTALLED ON SWING JOINT AS SHOWN ON THE DRAWINGS. THE C. VERIFICATION OF WIRE TYPES AND INSTALLATION PROCEDURES SHALL BE CHECKED TO SPRINKLER HEAD SHALL BE INSTALLED SO THAT THE TOP IS IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATION WITH RESPECT TO THE FINISHED GRADE LEVEL, AND MARKED SYSTEM COMPONENTS TO INSURE 100% COVERAGE AND TO COMPLY WITH THE REQUIREMENTS OF THE LANDSCAPING AS INSTALLED. DETAILS D. PULSE CIRCUIT WIRES SHALL BE RED IN COLOR, COMMON WIRE SHALL BE WHITE AND SPARE JOINTS AND SPRINKLERS SHALL BE CLEAN SAND FILL MATERIAL FREE OF ROCKS, ORGANICS, OR 1.02 SUBMITTALS: 2.04 CONTROL EQUIPMENT C. LOCATE PART-CIRCLE HEADS TO MAINTAIN A MINIMUM DISTANCE OF 12" FROM WALLS AND 6" THE CONTRACTOR SHALL MAKE ALL SUBMITTALS IN ACCORDANCE WITH THE GENERAL FROM OTHER BOUNDARIES, UNLESS OTHERWISE INDICATED. CONDITIONS. SHOP DRAWINGS SHALL INCLUDE MANUFACTURER'S PRODUCT SPECIFICATIONS AND A. AUTOMATIC CONTROLLER WITH A RAIN SENSOR, SHALL BE AS NOTED ON DRAWINGS. INSTALLATION INSTRUCTIONS. INCLUDE OTHER DATA AS MAY BE REQUIRED TO SHOW D. LANDSCAPE DRIPLINE SHALL BE INSTALL IN ACCORDANCE TO THE MANUFACTURES SPECIFICATIONS. IGATION THE CONTROLLER SHALL BE SECURELY MOUNTED AS NOTED IN THE DRAWINGS. B. AUTOMATIC CONTROL VALVES SHALL BE AS NOTED ON THE DRAWINGS. ALL VALVES SHALL BE SIZED TREE TO BE IRRIGATED. IF THE TREE IS LOCATED ON A SLOPE, THE BUBBLER SHOULD BE LOCATED AT THE THE IRRIGATION SYSTEM. C. PROVIDE AND KEEP UP TO DATE A COMPLETE SET OF DRAWINGS, CORRECTED DAILY TO 3.06 ELECTRICAL COMPONENTS 2.05 SPRINKLER HEADS DEVIATIONS FROM THE IRRIGATION DESIGN DRAWING, SHOW REMOTE CONTROL VALVE LOCATIONS A. SIZE ALL ELECTRIC CONTROL WIRE AS PREVIOUSLY STATED, INSTALL IN THE PIPING TRENCHES WITH ACTUAL MEASUREMENTS TO REFERENCE POINTS SO THEY MAY BE LOCATED EASILY IN THE FIELD. UPON COMPLETION OF THE WORK, FURNISH THE OWNER WITH A COMPLETE SET OF A. PROVIDE ALL SPRINKLERS AS SHOWN ON IRRIGATION DESIGN DRAWINGS, OR AN EQUAL ACCEPTED WHEREVER POSSIBLE AND PLACE UNDER THE PVC PIPING. TAPE CONTROL WIRES TOGETHER PLANS SHOWING THE IRRIGATION SYSTEM AS INSTALLED. AS POSSIBLE AND WITH AS MUCH SLACK AS POSSIBLE TO ALLOW FOR THE EXPANSION AND B. ALL SPRINKLER NOZZLES SHALL PERFORM TO THE MANUFACTURERS SPECIFICATIONS CONCERNING D. ALL DIMENSIONS INDICATED FOR THE IRRIGATION DESIGN ARE APPROXIMATE, PRIOR TO DIAMETER OF THROW AND GALLONAGE AT GIVEN PRESSURES. PROCEEDING WITH THE WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS B. CONNECTIONS AT ALL REMOTE CONTROL VALVES AND AT ALL WIRE SPLICES. LEAVE WIRE WITH PART 3 - EXECUTION SUFFICIENT SLACK SO THAT IN CASE OF REPAIR THE VALVE BONNET OR SPLICE MAY BE BOXES. MAKE SPLICES USING UL LISTED WATERPROOF WIRE CONNECTORS AS RECOMMENDED 1.03 GENERAL REQUIREMENTS A. PERFORM ALL EXCAVATION NECESSARY TO INSTALL THE SYSTEM AS INDICATED ON DRAWINGS, A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE SYSTEM IN COMPLETE CONNECT ALL REMOTE CONTROL VALVES, WHICH ARE TO BE CONNECTED TO THE SAME ENCOUNTERED IN TRENCH AREA, PILE EXCAVATION MATERIAL SUITABLE FOR BACK FILL AT A MADE TO CONFORM WITH SAID CODES, LAWS AND ORDINANCES SHALL BE COMPLETED AT THE CONTROLLER, TO A COMMON GROUND WIRE OF A SIZE NOT LESS THAN 14 GAUGE. SUFFICIENT DISTANCE FROM TRENCH TO AVOID OVERLOADING, SIDES AND/OR CAVE-INS. DISPOSE OF, OFF SITE, ALL ORGANIC OR UNSUITABLE FILL MATERIALS REMOVED DURING PROVIDE EACH INDIVIDUAL CONTROLLER WITH A SEPARATE COMMON GROUND WIRE WIRE SYSTEM ENTIRELY INDEPENDENT OF THE COMMON GROUND WIRE SYSTEM OF ALL OTHER B. THE CONTRACTOR SHALL HAVE HIS LABOR CREWS CONTROLLED AND DIRECTED BY AN IRRIGATION ONE SPECIFIC CONTROLLER, TO THAT CONTROLLER'S COMMON GROUND WIRE SYSTEM. THE CONTROL VALVE CONFIGURATION PIPING SHALL NOT BE OF THE PREFABRICATED TYPE BUT SHALL B. MAKE TRENCH BOTTOMS SMOOTH, CLEAN AND FREE OF ALL STONES, STUMPS AND ORGANIC MATTER. IF SUCH MATERIALS ARE ENCOUNTERED IN TRENCHING, EXCAVATE TRENCH 6 INCHES BE MANUFACTURED IN THE FIELD ONLY USING SCHEDULE 80 NIPPLES AND COUPLINGS. INSTALL ALL VALVES IN VALVE BOXES. ON THE WORK SITE AT ALL TIMES, AND SHALL BE FULLY AUTHORIZED AS THE CONTRACTOR'S AGENT DEEPER THAN ORDINARILY REQUIRED AND SPREAD A 6" LAYER OF SAND TO PROVIDE A FIRM C. TESTING: THE CONTRACTOR SHALL REPLACE ALL WORK THAT FAILS THE TESTING REQUIREMENTS THE SIDES OF ALL BOXES ARE PARALLEL TO EACH OTHER. OR THAT WAS INSTALLED IN VIOLATION OF THE STANDARDS OUTLINED IN THESE SECTION E. INSTALL ALL CONTROLLERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURER OF D. EXCAVATE TRENCHES TO A WIDTH TO ALLOW A MINIMUM OF 6" BETWEEN PARALLEL PIPE LINES. EQUIPMENT WITH LOCATION OF ALL CONTROLLERS APPROVED BY THE OWNER BEFORE THE ACTUAL INSTALLATION OF THE CONTROLLERS. 3.02 BACK FILLING 1. THE CONTRACTOR IS ENTIRELY RESPONSIBLE FOR THE WORK UNTIL THE WORK IS DETERMINED TO BE SUBSTANTIALLY COMPLETE. TO PROTECT EACH AUTOMATIC CONTROLLER. A. BACK FILL OVER-EXCAVATION OF TRENCHES UNDER PIPE WITH CLEAN, SANDY FILL MATERIAL, FREE OF ORGANIC MATERIALS AND OBJECTS LARGER THAN 1/4" DIAMETER. BACK FILL ONLY AFTER 2. THE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY G. USE DIELECTRIC FITTINGS AT CONNECTION WHERE PIPES OF DISSIMILAR METAL ARE JOINED. PRESSURE TESTING. OF THE PUBLIC. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY NEGLIGENCE IN **3.07 TESTS** ≥ 3. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES SHOWN OR NOT SHOWN ON A. PERFORM OPERATIONAL TESTING AFTER BACK FILL IS IN PLACE, AND SPRINKLER HEADS ARE THE PLANS AND PROVIDING PROPER PROTECTION FOR THE UTILITIES, ANY CHARGES OR ADJUSTED TO FINAL POSITION. DEMONSTRATE TO OWNER THAT SYSTEM MEETS COVERAGE C. INSTALL WIRE IN TRENCH WITH PIPE, TAPING WIRE TO PIPE AT 10 FOOT INTERVALS. 0 D. NO PAVEMENT EXCEPT AS NOTED, SHALL BE CUT TO INSTALL IRRIGATION WORK. COORDINATE REQUIREMENTS ARE BASED ON OPERATION OF ONE CIRCUIT AT A TIME 1.04 DELIVERY, STORAGE AND HANDLING WITH PAVING OPERATION TO ASSURE ALL SLEEVES ARE INSTALLED UNDER DRIVES AND Ζ B. AFTER COMPLETION OF GRADING, SEEDING OR SODDING, AND ROLLING OF GRASS AREAS CAREFULLY ADJUST LAWN SPRINKLER HEADS SO THAT THEY WILL BE FLUSH WITH FINISH GRADE. A. MATERIALS DELIVERED TO THE SITE SHALL BE LEFT IN THEIR ORIGINAL BOXES, WRAPPINGS OR ⋖ 3.03 INSTALLATION CONTAINERS UNTIL SUCH TIME AS THEY ARE EMPLOYED IN THE PROJECT CONSTRUCTION. THIS Z PROVISION DOES NOT INCLUDE UNPACKING FOR INSPECTION PURPOSES. THE SYSTEM IS EFFICIENT. BALANCING AND ADJUSTMENT SHALL INCLUDE A SYNCHRONIZATION \mathbb{C} OF THE CONTROLLERS, WATER QUALITY CONTROL EQUIPMENT, SPRINKLER HEADS, AND INDIVIDUAL RECOMMENDATIONS OF THE MANUFACTURERS OF THE MATERIALS. THE OWNER RETAINS THE RIGHT TO ORDER REMOVAL OF REPLACEMENT OF ANY ITEM WHICH, IN HIS OPINION, DO NOT STATION ADJUSTMENTS ON THE CONTROLLERS. MUST BE APPROVED BY THE OWNER Ш Ш PRESENT A REASONABLE NEAT AND WORKMANLIKE APPEARANCE. PERFORM AND COMPLETE D. UPON COMPLETION OF THE WORK AND FINAL ACCEPTANCE BY THE OWNER, TRAIN OWNER AT THE FINAL ACCEPTANCE OF THE PROJECT PROVIDE COPIES OF MATERIALS, ALL PARTS LISTS TROUBLE SHOOTING LISTS SPECIFICATIONS SHEETS, AND CATALOG SHEETS TO THE SCHEDULES AND PROGRAMMING OF THE AUTOMATIC CONTROLLERS IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR IRRIGATION DRAWINGS. SUBMIT PART 2 - MATERIALS B. INDIVIDUALLY SLEEVE ALL PVC PIPING THAT CROSS WALKWAYS AND PATHWAYS MORE THAN D BY: FW 5' IN WIDTH, ALL SLEEVES UNDER ROADWAYS AND WALKWAYS SHALL BE INSTALLED A MINIMUM DATE: FEBRUARY 8, 2024 3.08 WARRANTY A. ALL PIPE SHALL BE NEW AND FREE FROM DEFECTS, AND CONTINUOUSLY MARKED WITH OF SAID STRUCTURE IS AT FINISHED GRADE UNDER LAID WITH A MINIMUM OF 6" OF 3/4" GRAVEL. A. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL IDENTIFICATION OF THE MANUFACTURER, TYPE, CLASS AND SIZE. INSTALL ALL VALVE BOXES AS INDICATED ON DRAWINGS DEFECTS IN MATERIALS, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS B. PLASTIC PIPE FOR THE MAIN WATER LINES, AND ALL SLEEVES, SHALL BE SCHEDULE 40 D. ADJUST AUTOMATIC CONTROL VALVES TO PROVIDE FLOW RATE OF RATED OPERATING PRESSURE REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER. REQUIRED FOR EACH SPRINKLER CIRCUIT. PVC FITTINGS. PLASTIC PIPE USED FOR LATERALS SHALL BE CLASS 200 PSI SDR (MINIMUM), UNPLASTICIZED POLYVINYL PIPE, TYPE 1120 OR 1220, SOLVENT WELD TYPE. FITTINGS, EXCEPT AS E. INSTALL ELECTRIC REMOTE CONTROL VALVES AS INDICATED ON THE DRAWINGS AND ACCORDING OTHERWISE SPECIFIED, SHALL BE PVC, MINIMUM OF SCHEDULE 40. PIPE AND FITTINGS SHALL BE MANUFACTURED FROM CLEAN, VIRGIN, NSF APPROVED TYPE 1, GRADE 1, PVC, CONFORMING ANY OVER PRESSURIZATION BEFORE ANY INDIVIDUAL NOZZLE ADJUSTMENTS ON THE SPRINKLERS IR-300



LIGHTING LEGEND:

	SYMBOL	FIXTURE	QUANTITY	TYPE OF MOUNT		
А	@4	CAST LED BULLET LIGHT - UP LIGHT CBLED141 - ATTACHED WITH TREE STRAP	02	TREE STRAP		
В	>	CAST MR-16 BULLET - UP LIGHT CBL1CB - STAKE MOUNTED	67	STAKE		
С	∞ 4	CAST LED TREE LIGHT - DOWNLIGHT CTLED141 - ATTACHED WITH TREE STRAP	06	TREE STRAP		

SCALE: 1/16" = 1'-0"

LANDSCAPE LIGHTING PLAN

FERNANDO WONG

DATE: FEBRUARY 8, 2024 1/16" = 1'-0"

LT-100

2

LANDSCAPE Old world craftsmanship...tomorrow's technology®

CAST MR-11 Bullet (CBL5CB) **Product Information**

CAST Classic MR-11 Bullet - Ideal for Spot and Niche Applications



This rugged copper and solid MR-11 fixture can be

- ▶ Heavy-gauge copper shroud with solid brass locking ring
- Solid bronze knuckle
- Bronze stake
- Knuckle adjusts to any angle
- Convex lens to prevent mineral build-up ▶ Pre-wired with 25′ tin-coated No-0x° marine
- ▶ High-temp socket with solid nickel contacts
- Spider Splice® ready

Suitable for both uplighting and downlighting plant material, structures and architectural features. A wide range of lamp wattages and beam angles; as well as optional lenses and louvers provide maximum lighting design

Heavy-gauge copper shroud; solid bronze knuckle; bronze stake; borosilicate convex lens; ceramic socket with solid nickel contacts and stainless steel spring; solid brass retaining ring; 25' tin-coated #16-2 No-0x° marine-grade wire.

8" x 1.5" fully extended Stake: 6.5"

Lamp: 12v MR-11 (35w max.) Not included. Listing:-

U.L 1838 Listed Low Voltage Luminaire for wet locations



www.cast-lighting.com 800.914.CAST

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CAST LED Tree Light (CTLED141) Product Information

CAST LED Tree Light - 3 Beam Spreads & 2 Light Levels in a Single Fixture



This LED fixture combines the rugged solid bronze and copper

- ▶ Replaceable LED module (MR-16 size) thermally bonded to solid bronze body for optimal heat dissipation
- ▶ Replaceable optics for 41º (included), 21º, and 12º (sold
- ▶ LEDSense™ technology controls forward current to compensate for conditions of extreme ambient heat
- Accepts input voltages between 10V and 24V AC for maximum system design flexibility.
- Automatic recognition and compensation for varied magnetic and electronic transformer types. Dimmable with standard low-voltage phase dimmers
- Warm white color temperature (2.720°K) and high color rendering index (81 CRI) that closely matches incandescent lighting.
- L70 of 60,500 hours.
- UL/CSA/RoHS recognized, FCC Class A Conducted and Radiated Emissions compliant.
- ▶ Solid Bronze Canopy Mount

Provides a highly energy efficient LED light source that projects an evenly distributed beam with warm color temperature. Brightness and beam distribution are comparable to incandescent models of 15w and 25w. Fully rotatable extra-long shroud enables excellent glare cor

Dimensions & Weight: -

Body and Shroud: 2.5" x 9" fully extended; Weight: 5 lb. LED Specifications: -

- LED Light Source: 3 warm white LED's.
- Color: 2.720°K: 81 CRI (typical) Input Voltage: 10V to 22V AC or DC
- Input Power (at 12V): Low setting (AC): 4.1 Watts; 0.93 pf
- Input Power (at 12V); High setting (AC); 5.86 Watts; 0.93 pf
- LED Output Fixture (High/Low) (at 12V): 269/157 Im Departing Temperature Range: -40° C to 55° C
- Reverse Polarity Protection: Yes, polarity inde ▶ Halogen Equivalent Watts: Low 20W / High 35W
- Component Details: No electrolytic capacitors in drive circuit, all components rated for high ambient temperatures
 Emission Standards: FCC Class A Conducted and Radiated
- UL recognized; RoHS compliant Construction:

Body and Canopy Mount: Sand-cast solid bronze

Shroud: Thick-walled copper Plug: High-temperature MR-16 plug with protective conductive

Ontional Ontics: (T-8 Tory Screwdriver Needed) C10139: 21º Medium Optic (Set of 3)

C10003: 12º Narrow Optic (Set of 3)

Tree Mount Hardware Kit (CTREEH1) Not Included.

www.cast-lighting.com 800.914.CAST

Revised April 2018

LIGHTING LEGEND:

	SYMBOL FIXTURE		QUANTITY	TYPE OF MOUNT		
А	C 1	CAST LED BULLET LIGHT - UP LIGHT CBLED141 - ATTACHED WITH TREE STRAP	02	TREE STRAP		
В	S	CAST MR-16 BULLET - UP LIGHT CBL1CB - STAKE MOUNTED	67	STAKE		
С	₩	CAST LED TREE LIGHT - DOWNLIGHT CTLED141 - ATTACHED WITH TREE STRAP	06	TREE STRAP		



CAST MR-16 Bullet (CBL1CB) **Product Information**

CAST Classic Series MR-16 Bullet - Rugged, Beautiful and Affordable



Solid bronze shroud and body; Eurometal

stake; borosilicate convex lens; ceramic

stainless steel spring; stainless steel lock

No-0x° marine-grade wire; silicone rubber

nut and set screw; 25' tin-coated #16-2

socket with solid nickel contacts and

This rugged solid bronze MR-16 fixture is virtually indestructible, weathers to a beautiful patina, and survives the harshest of environmental conditions

Features:

- · Solid bronze shroud and body
- · Solid Eurometal black coated stake
- Extra-long shroud for glare control
- · Knuckle adjusts to any angle
- · Convex lens to prevent mineral build-up
- · Pre-wired with 25' tin-coated No-0x® marine
- · High-temp socket with solid nickel contacts
- Includes heat shield to protect socket
- · Spider Splice® ready

Uses: -

Knuckle & Body: 10" x 2.5" fully extended

Lamp: 12V MR-16 (50w max.) not included.

U.L. 1838 Listed Low Voltage Luminaire for

Stake: 8.5"

Listing:

Specifications:

www.cast-lighting.com 800.914.CAST

Suitable uplighting plant material, structures and architectural features. A wide range of lamp wattages and beam angles; as well as optional lenses and louvers provide maximum lighting design flexibility.



CBL1CB

Revised May 2018

ECKED BY: FW DATE:FEBRUARY 08, 2024 N.T.S

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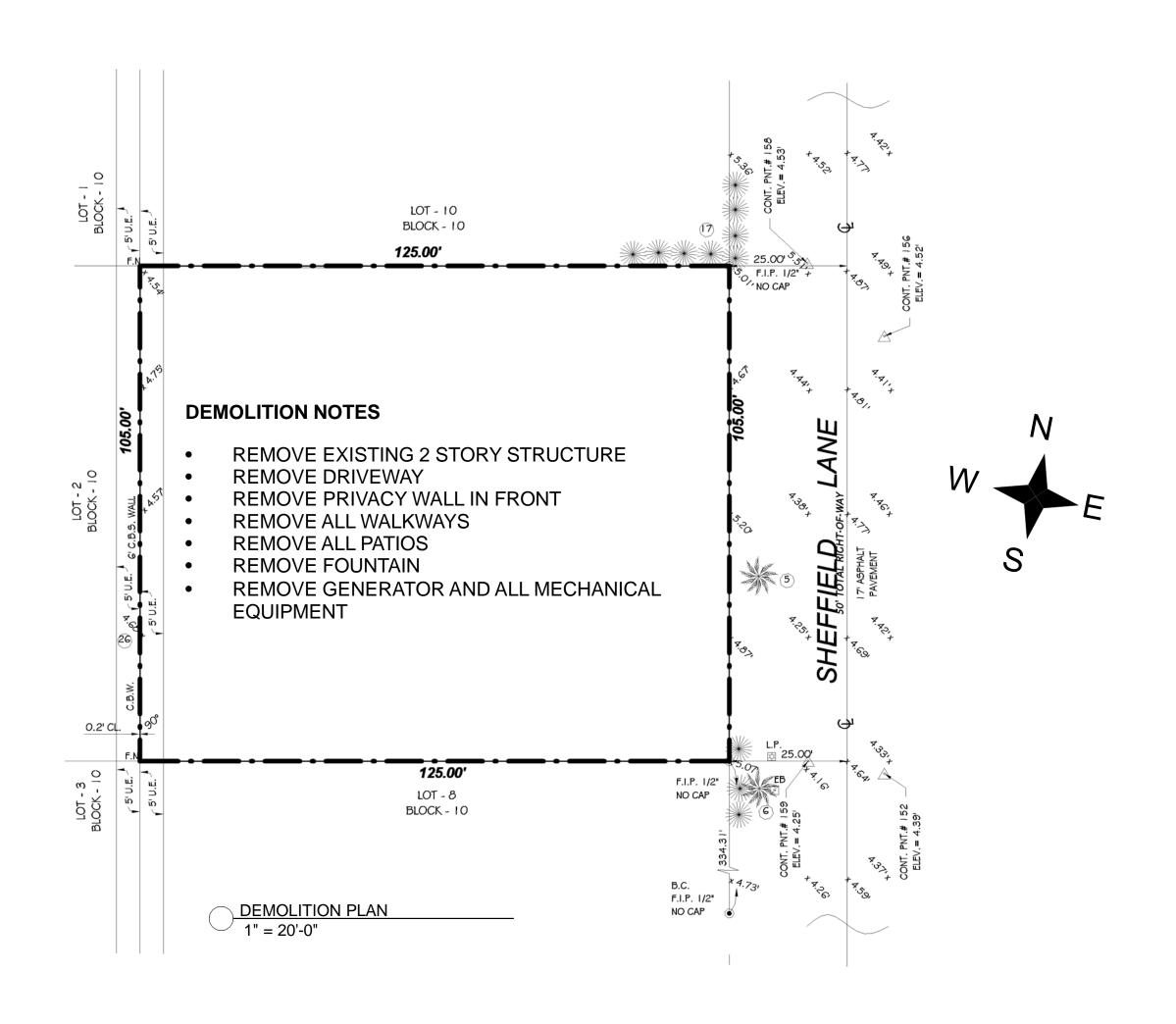
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LANDSCAPE LIGHTING FIXTURES & SPECIFICATIONS

LT-200

Thank you

Q&A





STUDIO KHORA

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REX NICHOLS AIA AR007415

PROJECT LOCATION

La Gorce Island 6650 Sheffield Lane, Miami Beach, Florida 33141

PROJECT OWNER

Pash Place One LLC

PROJECT NUMBER DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

DEMOLITION PLAN

A10.6

DESIGN DEVELOPMENT
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