

6650 Sheffield Lane | DRB No. 23-0993



Miami Beach Design Review Board
April 2, 2024
Vanessa Madrid, Esq.

FERNANDO WONG
OUTDOOR LIVING DESIGN

Address: 6650 Sheffield Lane, La Gorce Island
Lot Size: 13,125.00 Square Feet



Future Land Use:



Single Family Residential (RS)

Zoning:



- RS-1 Single family residential
- RS-2 Single family residential
- RS-3 Single family residential
- RS-4 Single family residential



(IN FEET)
1 INCH = 20 FEET

NOTES:
THE LAND AREA OF THE SUBJECT PROPERTY IS
IN TOTAL ± 13.125 SQUARE FEET OR ± 0.30
ACRES AS DESCRIBED IN THE LEGAL
DESCRIPTION.

[illegible]

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE.
- DOES NOT EXTEND TO ANY UNNAMED PARTY.

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 8 FEET
COMMUNITY: 120651
PANEL: 0307
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.


1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT
3. CERTIFICATE OF AUTHORIZATION LB # 7806;
4. MIAMI DADE COUNTY BM D-187, LOCATOR 2312 S, ELEVATION = 4.23 FEET OF NGVD 1929, LOCATED @ BREVITY LANE -- LA GORE CIRCLE -- 12° NORTH OF CL

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: CARLOS IBARRA 12/12/2023
(DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6770 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR
AND MAPPER).

REVISÉ ON: **UPDATE SURVEY 12/12/2023**
REVISÉ ON: **ORIGINAL SURVEY 08/31/2023**

DRAWN BY:	DS	 <p>LB#7806</p> <p>Digitally signed by CARLOS M IBARRA Date: 2023.12.29 12:16:11 -05'00'</p> <p>L.B.# 7806 SEAL</p>
FIELD DATE:	12/12/2023	
SURVEY NO:	23-001282-2	
SHEET:	1 OF 1	

Digitally signed by CARLOS M
IBARRA
Date: 2023.12.29 12:16:11 -05'00'

L.B.# 7806 SEAL

STUDIO KHORA
1600 SOUTH FEDERAL HWY,
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T: (800) 952-1044

La Gorce Island
6650 Sheffield
Lane, Miami Beach,
Florida 33141

Pash Place
One LLC

PROJECT NUMBER
DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

SURVEY

A2

DESIGN DEVELOPMENT

2/8/2024 9:44:19 AM

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Designed by : ALEX PENNA

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	6650 Sheffield Lane			
2	Folio number(s):	02-3210-003-0270			
3	Board and file number(s) :	DRB 23-0993			
4	Year built: 1936	Zoning District:	RS-3		
5	Located within a Local Historic District (Yes or No):	no			
6	Individual Historic Single Family Residence Site (Yes or No):	no			
7	Home determined Architecturally Significant by CMB (Yes or No):	no			
8	Base Flood Elevation:	+9.0 NGVD88	Grade value in NGVD:	+5.0 NGVD88	
9	Adjusted grade (Flood+Grade/2): and Future adjusted grade	+7.5 NGVD	Free board:	1.0 foot	
10	30" above grade:	+7.5 NGVD	Lot Area:	13,125 SF	
11	Lot width:	105.0 feet	Lot Depth:	125.0 feet	
12	Max Lot Coverage SF and %:	3,937.5 SF30%	Proposed Lot Coverage SF and %:	3,937 SF 29.9%	
13	Existing Lot Coverage SF and %:	3,006 SF 22.9%	Net Lot coverage (garage-storage)	2,565 SF SF 19.5%	
14	Front Yard Open Space SF and %:	1,050 SF 50%	Rear Yard Open Space SF and %:	1,470 SF 70%	
15	Max Unit Size SF and %:	6562.5 SF50%	Proposed Unit Size SF and %:	5,551SF 42.3%	
16	Existing First Floor Unit Size:	3,006 SF	Proposed First Floor Unit Size:	3,937 SF 29.8%	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	NA			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	yes	
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	24'-0"	NA	22'-10"	
20	Front Setbacks:	20'-0"	20'-2"	20'-0"	
	Front First level:	20'-0"	20'-2"	20'-0"	
	Front second level:	40'-0"	NA	40'-0"	
21	Front second level if lot coverage is 25% or greater:	40'-0"	Na	40'-0"	
	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35%	Na	37%	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	Na	Na	Na	
22	Sum of side yard :	26'-3"	24'-4"	26'-3"	
23	Side 1:	10'-6"	14'-6"	10'-6"	
24	Side 2 or (facing street):	15'-9"	9'-9"	15'-9"	
25	Rear:	20'-0"	30'-8"	20'-9'	
26	Accessory Structure Side 1:	7'-6"	NA	7'-6"	
27	Accessory Structure Side 2 or (facing street) :	7'-6"	NA	61'-0"	
28	Accessory Structure Rear:	7'-6"	NA	7'-6"	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

REX NICHOLS AIA
AR007415

PROJECT LOCATION

La Gorce Island
6650 Sheffield
Lane, Miami Beach,
Florida 33141

PROJECT OWNER

Pash Place
One LLC

PROJECT NUMBER

DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

ZONING DATA

A3

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GROSS BUILDING AREA (GBA)

In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765

Space	Finished GBA (Air Conditioned)	Unfinished GBA	Covered Porches and Balconies Exceeding 5 feet	Total GBA + P&B
-------	--------------------------------	----------------	--	-----------------

AUX - HVAC	341 SF			341 SF
1ST FLOOR - HVAC	3567 SF			3567 SF
ADDITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH	0 SF	19 SF		19 SF
ADDITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH	0 SF	10 SF		10 SF
2ND FLOOR - HVAC	1643 SF			1643 SF

5551 SF 29 SF 0 SF 5580 SF

The area of the accessory building does not exceed 25% of the rear yard area.



FRONT



REAR

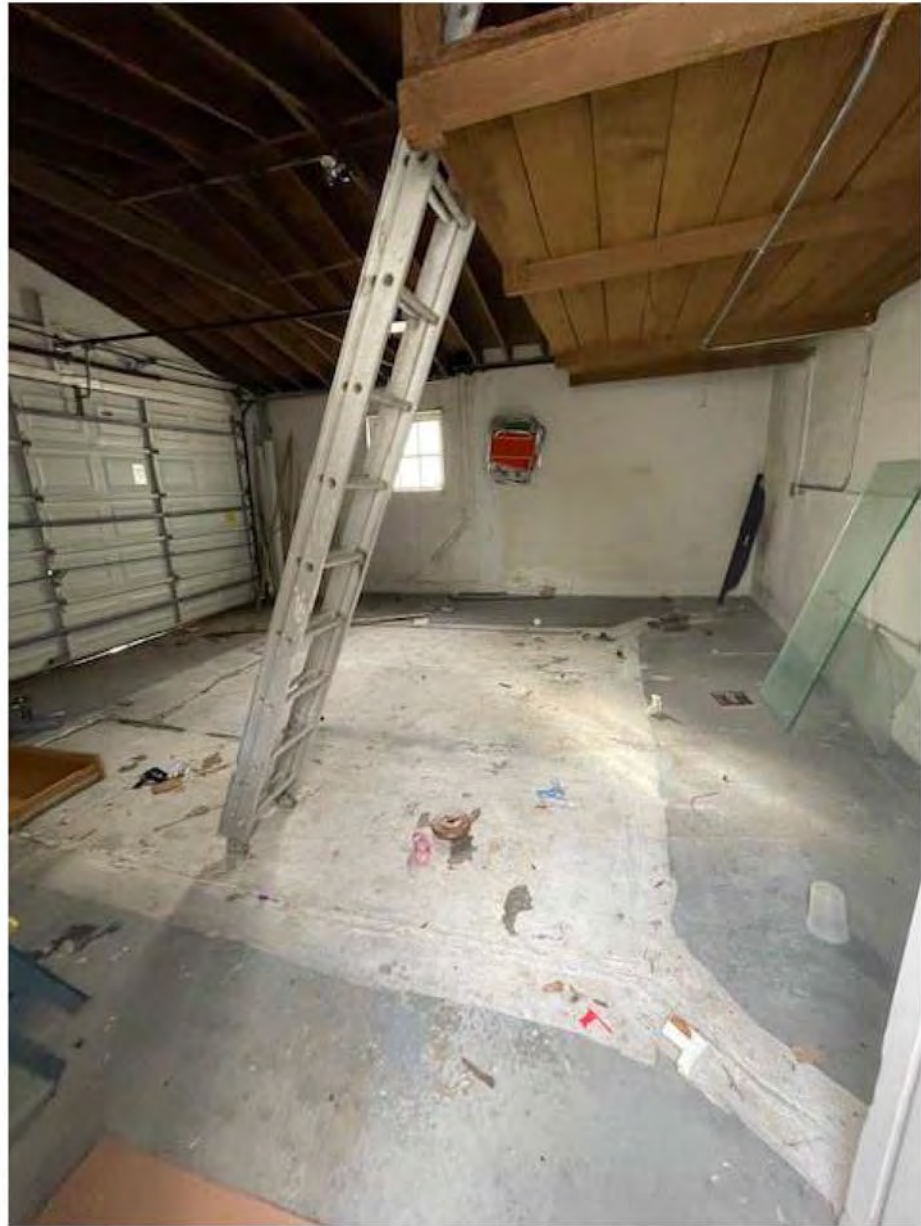


REAR FACING SOUTH



SIDE YARD FACING SOUTH





GARAGE



KITCHEN



LIVING ROOM



LIVING ROOM



FAMILY ROOM

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EXISTING
CONDITIONS
PHOTOS
INTERIOR

A5

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REX NICHOLS AIA
AR007415

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6650 Sheffield
Lane, Miami Beach,
Florida 33141

PROJECT OWNER

Pash Place
One LLC

PROJECT NUMBER

DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

CONTEXT
LOCATION
PLAN/COLOR
AERIAL

A10

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PROJECT
LOCATION



PROJECT
LOCATION



PROPERTY ADDRESS
LA GORCE ISLAND
6650 SHEFFIELD LANE, MIAMI BEACH, FLORIDA 33141

LEGAL DESCRIPTION
LOT 9, BLOCK 10, LA GORCE ISLAND, ACCORDING TO THE PLAT THEREOF AS
RECORDED IN PLAT BOOK 34, PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-
DADE COUNTY, FLORIDA.



LOOKING AT 6645 BREVITY LANE

INSIDE OF THE PROPERTY 6650 SHEFFIELD LANE
VIEW OF NEIGHBORS LOOKING WEST



INSIDE OF THE PROPERTY 6650 SHEFFIELD LANE
VIEW OF NEIGHBORS LOOKING SOUTH



LOOKING AT 6650 SHEFFIELD LANE

STREET VIEW LOOKING SOUTH WEST



STREET VIEW LOOKING SOUTH



LOOKING AT 6655 SHEFFIELD LANE

STREET VIEW ACROSS THE STREET



LOOKING AT 6652 SHEFFIELD LANE

STREET VIEW SHOWING NORTH NEIGHBOR



LOOKING AT 6630 SHEFFIELD LANE

STREET VIEW SHOWING SOUTH NEIGHBOR



STREET VIEW LOOKING NORTH



MODERN HOUSE ON LA GORCE ISLAND



MODERN HOUSE ON LA GORCE ISLAND UNDER CONSTRUCTION



MODERN HOUSE ON LA GORCE ISLAND



MODERN HOUSE ON LA GORCE ISLAND UNDER CONSTRUCTION



LOOKING AT 58 LA GORCE CIRCLE

MODERN HOUSE AT THE NORTH END OF 6650 SHEFFIELD LANE



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REX NICHOLS AIA
AR007415

PROJECT LOCATION

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6650 Sheffield
Lane, Miami Beach,
Florida 33141

PROJECT OWNER

Pash Place
One LLC

PROJECT NUMBER

DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

CONTEXT
PHOTOGRAPHS

A9

DESIGN DEVELOPMENT

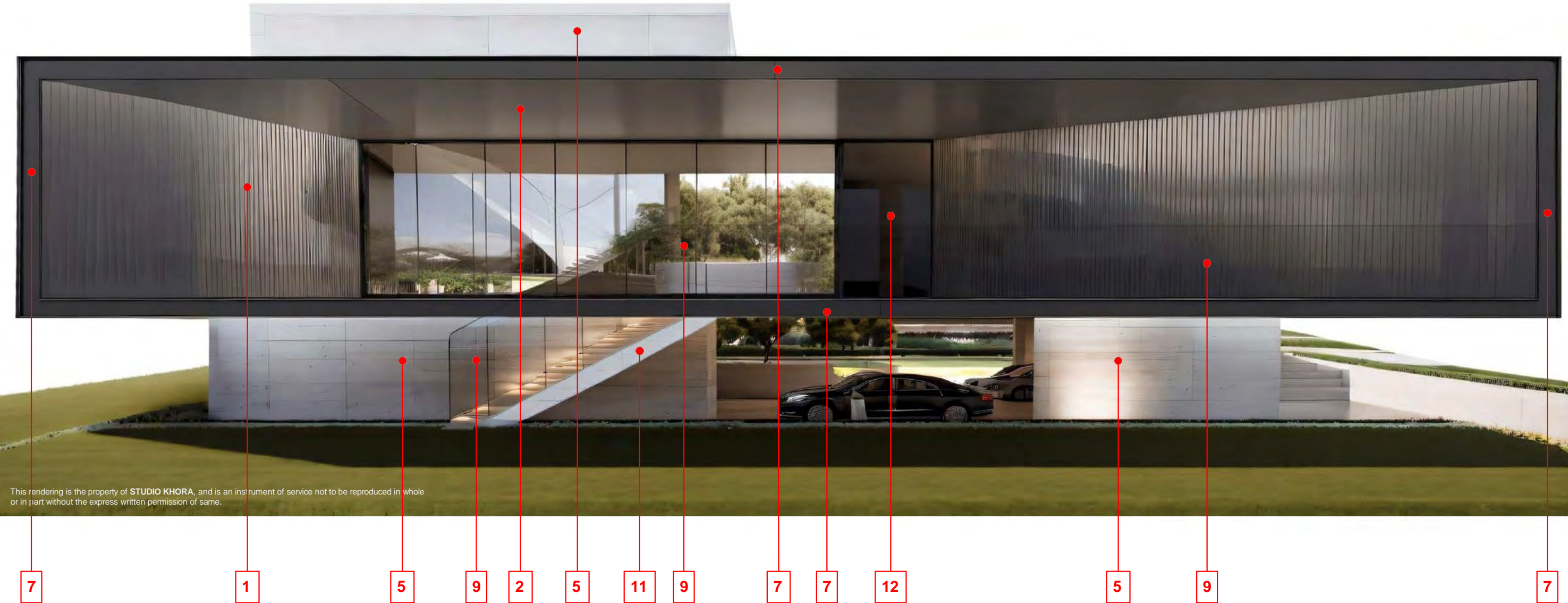
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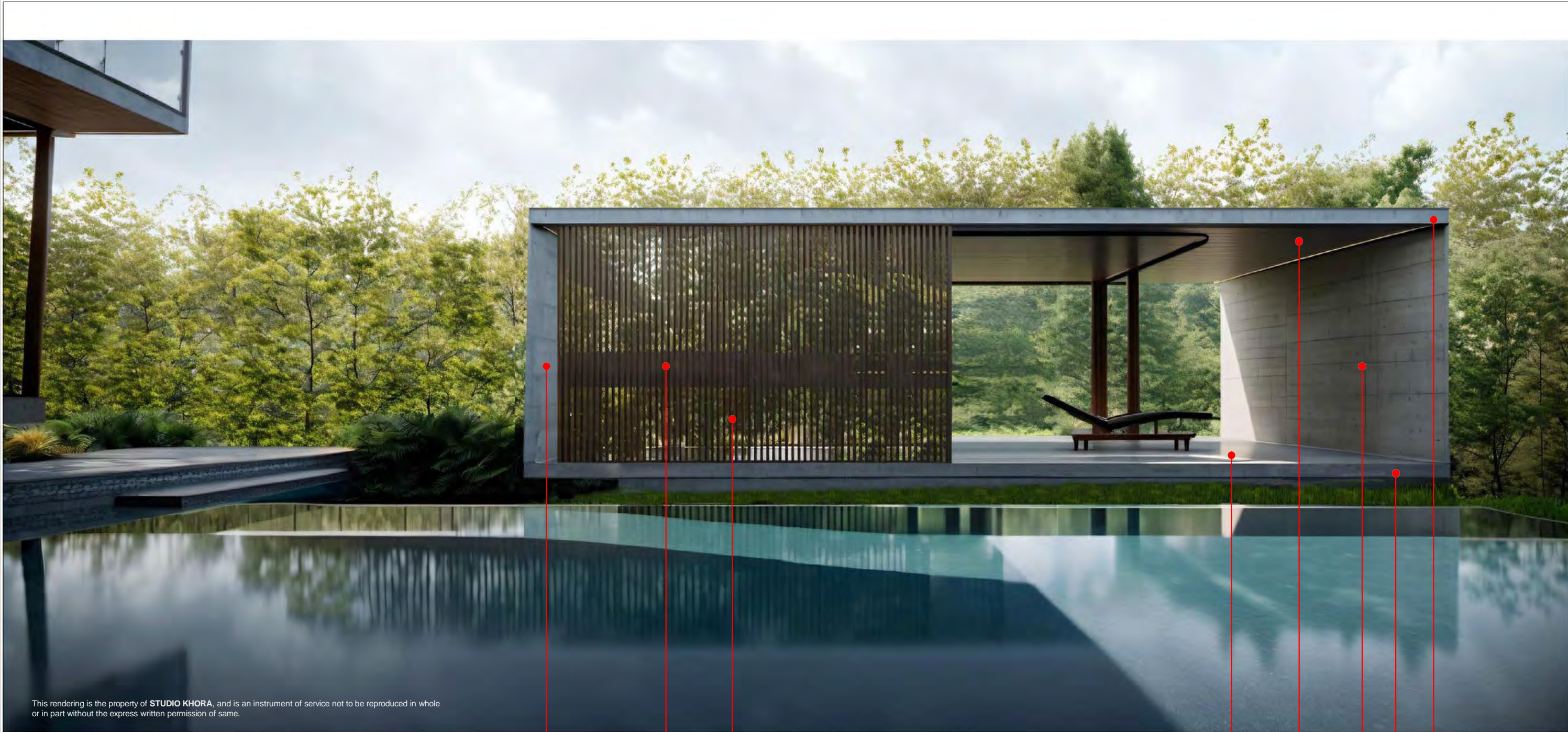
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MATERIAL LEGEND

- Thin vertical panels wood siding.
- Large panels wood cladded ceiling.
- Wood bifold shutters
- Wood Horizontal rolling shutters
- Exposed concrete with wood board texture.
- Polished concrete
- Factory painted espresso color aluminum L-Channel fascia and trim to match glazing system frames
- Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 42-inch-high clear glass guard rail.
- Planter behind vertical wood screen
- Steel staircase with white stringer and natural stone risers and treads, with glass railing.
- 5' x 9' Metal Door with special finish to match the color of painted espresso glazing system frames



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5

4

10

6

5

5

5

5

MATERIAL LEGEND

- 1. Thin vertical panels wood siding.
- 2. Large panels wood cladded ceiling.
- 3. Wood bifold shutters
- 4. Wood Horizontal rolling shutters
- 5. Exposed concrete with wood board texture.
- 6. Polished concrete
- 7. Factory painted espresso color aluminum L-Channel fascia and trim to match glazing system frames
- 8. Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 9. 42-inch-high clear glass guard rail.
- 10. Planter behind vertical wood screen
- 11. Steel staircase with white stringer and natural stone risers and treads, with glass railing.
- 12. 5' x 9' Metal Door with special finish to match the color of painted espresso glazing system frames

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REX NICHOLS AIA
AR007415

PROJECT LOCATION

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6650 Sheffield
Lane, Miami Beach,
Florida 33141

PROJECT OWNER

Pash Place
One LLC

PROJECT NUMBER
DRB23-0993

ISSUED FOR

REVIEW & COMMENTS

3D VIEWS -
EXTERIOR
MATERIALS -
ACCESSORY
BUILDING

A17

DESIGN DEVELOPMENT

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ISSUED FOR

☒ **REVIEW & COMMENTS**

**3D VIEWS -
EXTERIOR
MATERIALS -
COURTYARD**

A18

DESIGN DEVELOPMENT

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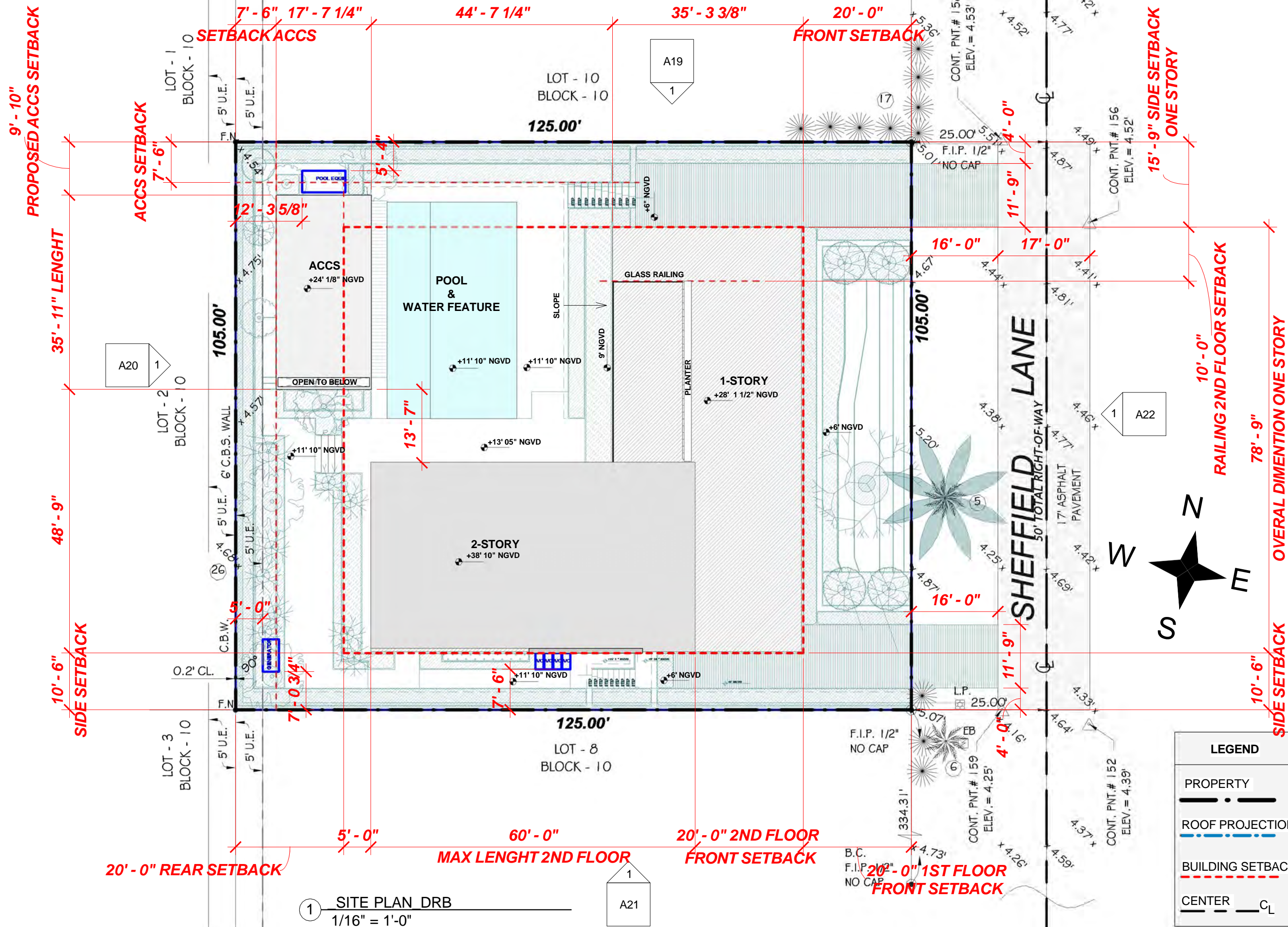
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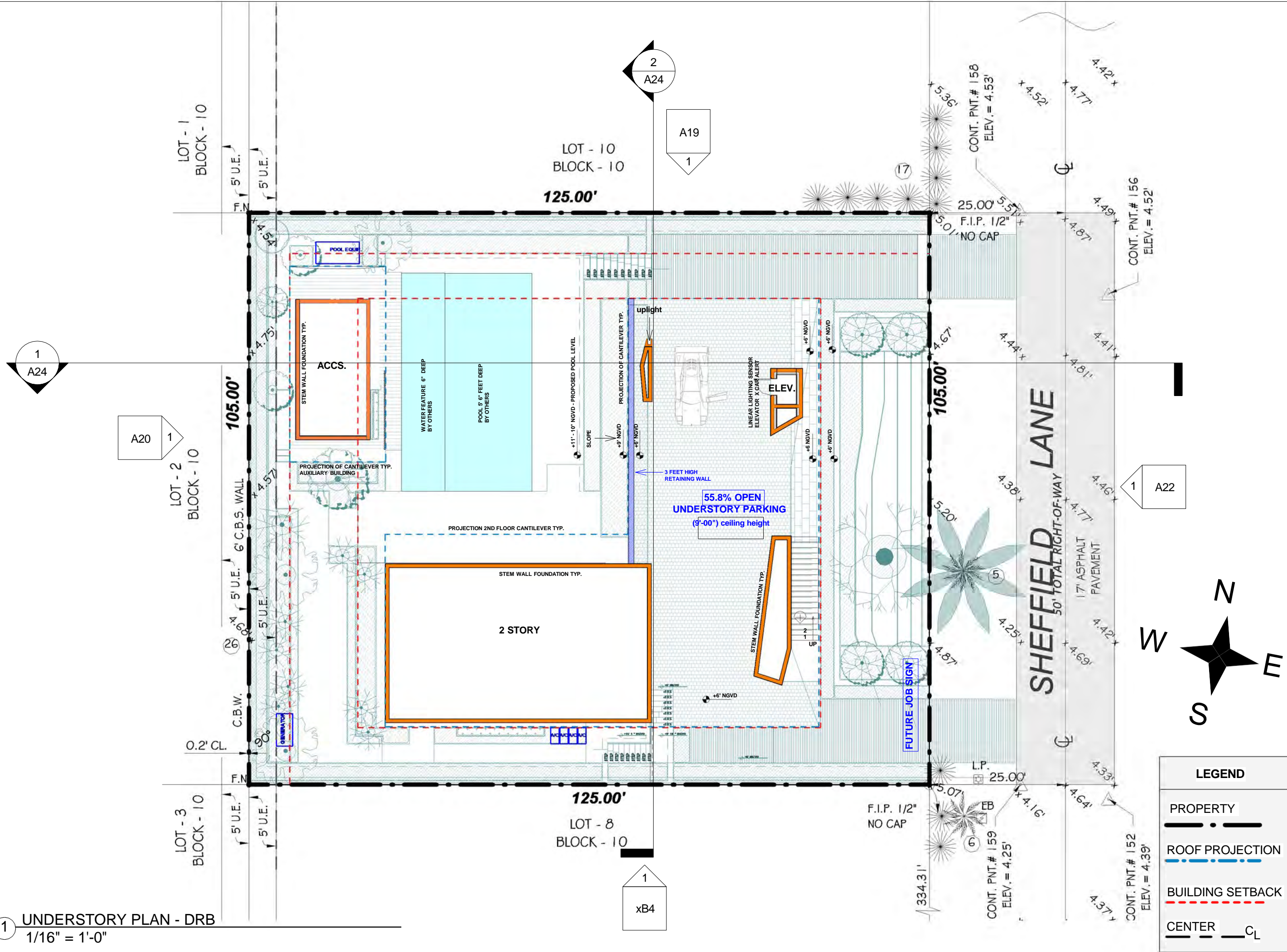
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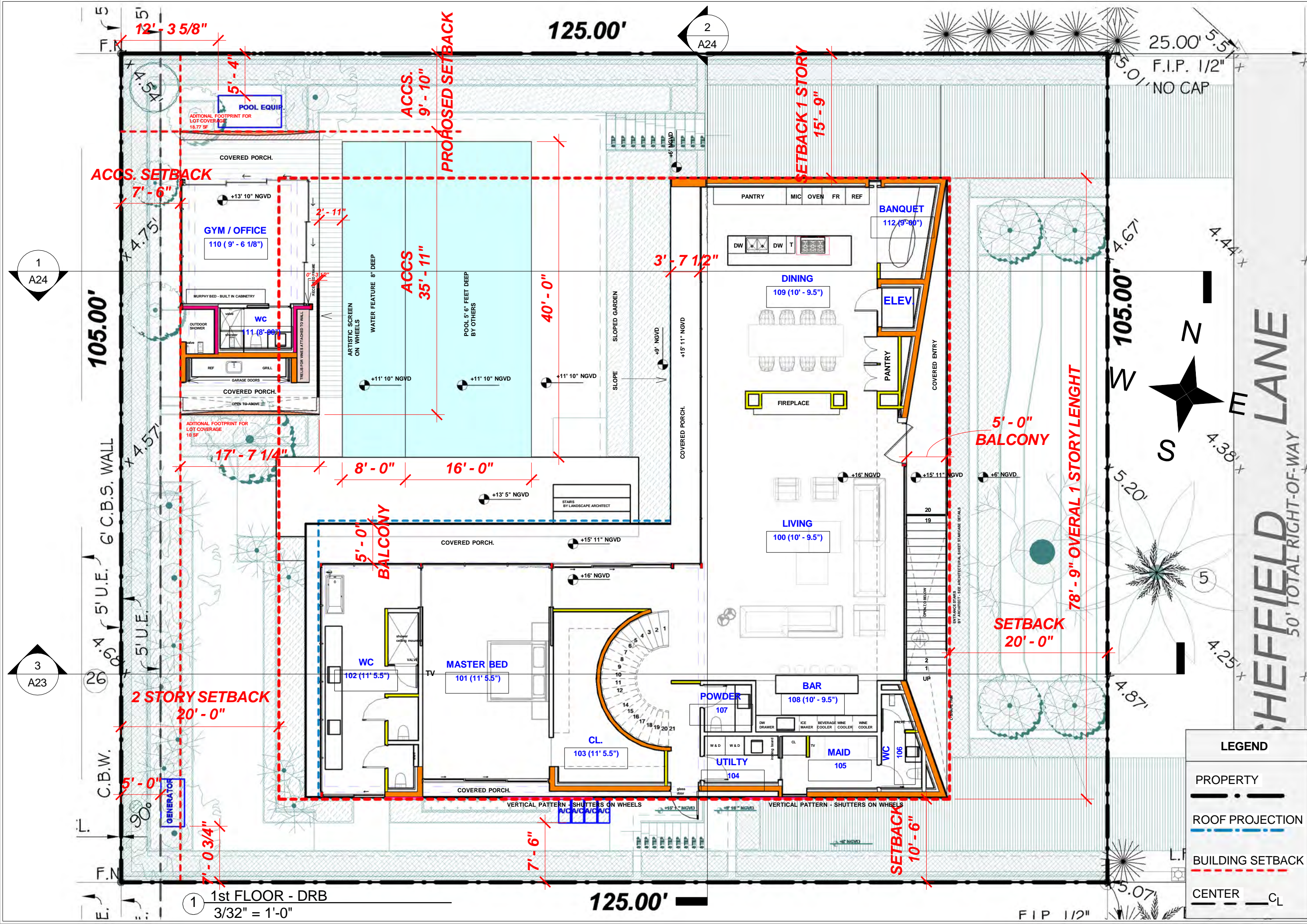
Designed by : **ALEX PENNA**

MATERIAL LEGEND

- | | |
|-----|--|
| 1. | Thin vertical panels wood siding. |
| 2. | Large panels wood cladded ceiling. |
| 3. | Wood bifold shutters |
| 4. | Wood Horizontal rolling shutters |
| 5. | Exposed concrete with wood board texture. |
| 6. | Polished concrete |
| 7. | Factory painted espresso color aluminum L-Channel fascia and trim to match glazing system frames |
| 8. | Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster |
| 9. | 42-inch-high clear glass guard rail. |
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| 11. | Steel staircase with white stringer and natural stone risers and treads, with glass railing. |
| 12. | 5' x 9' Metal Door with special finish to match the color of painted espresso glazing system frames |







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PROPOSED
FIRST FLOOR
PLAN

A13

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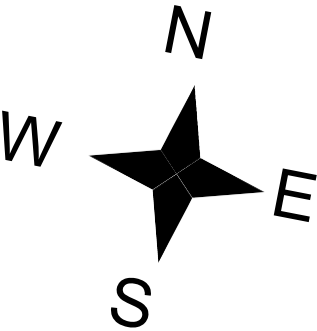
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LEGEND

PROPERTY
— • —

ROOF PROJECTION
— • — • — • —

BUILDING SETBACK
- - - - -

CENTER
— — — C_L

EX NICHOLS AIA
AR007415

PROJECT LOCATION

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6650 Sheffield
Ave, Miami Beach,
Florida 33141

PROJECT OWNER

Pash Place
One LLC

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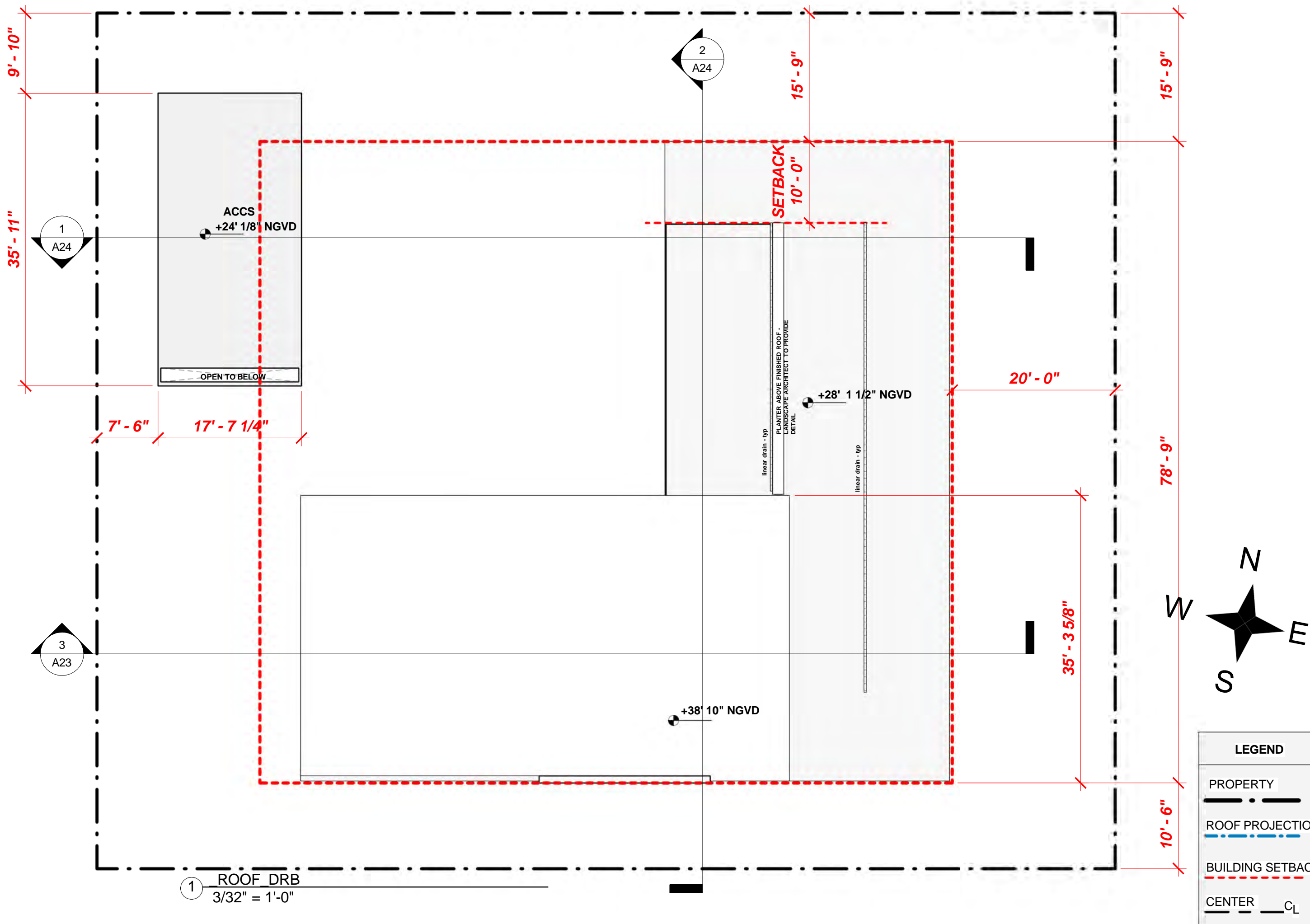
PROPOSED ROOF PLAN

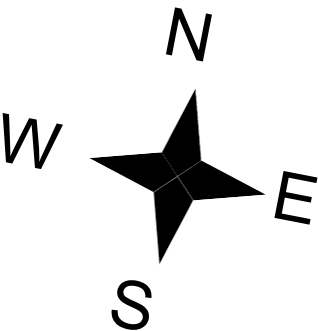
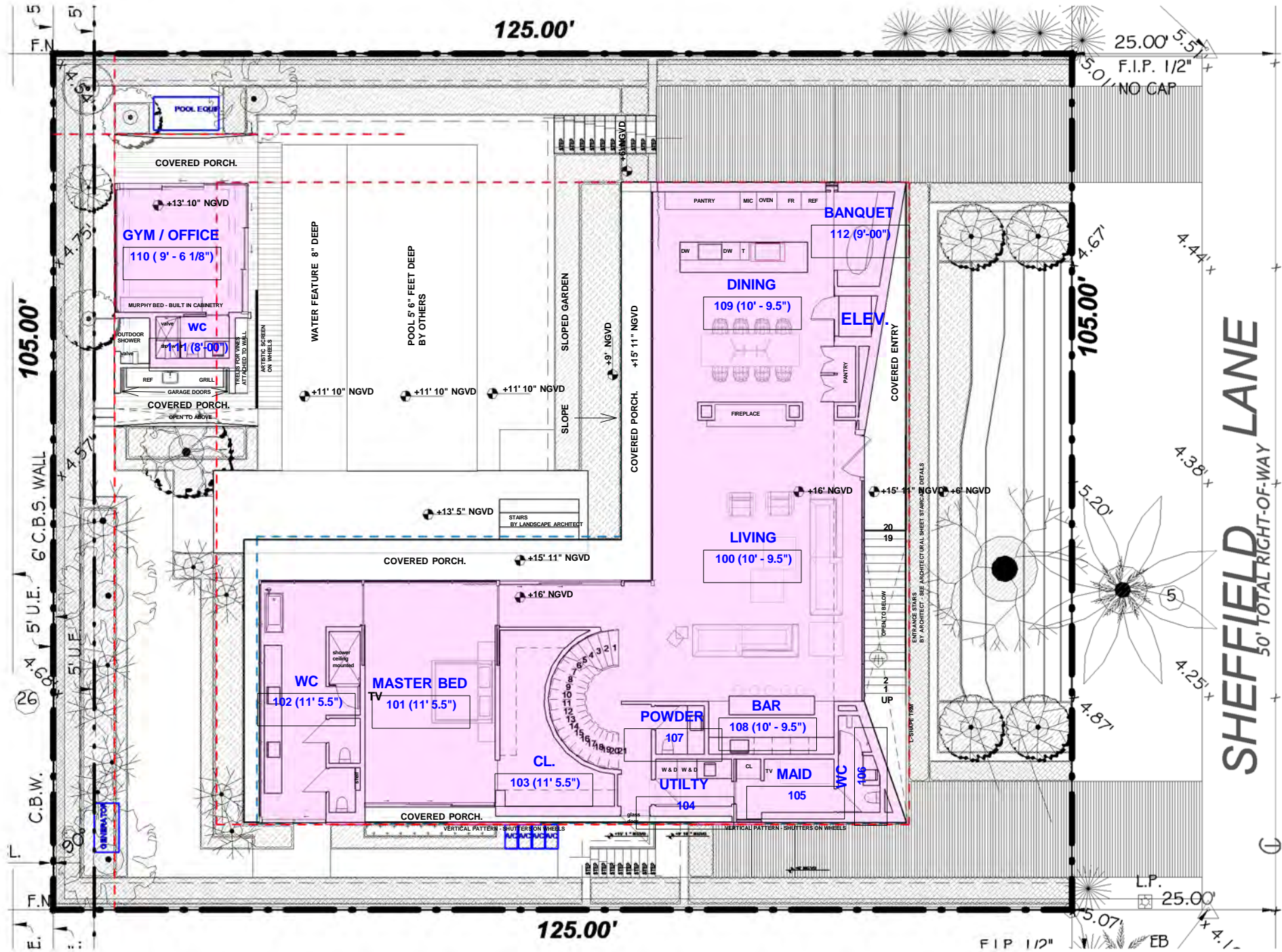
A15

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GROSS BUILDING AREA (GBA)

In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765

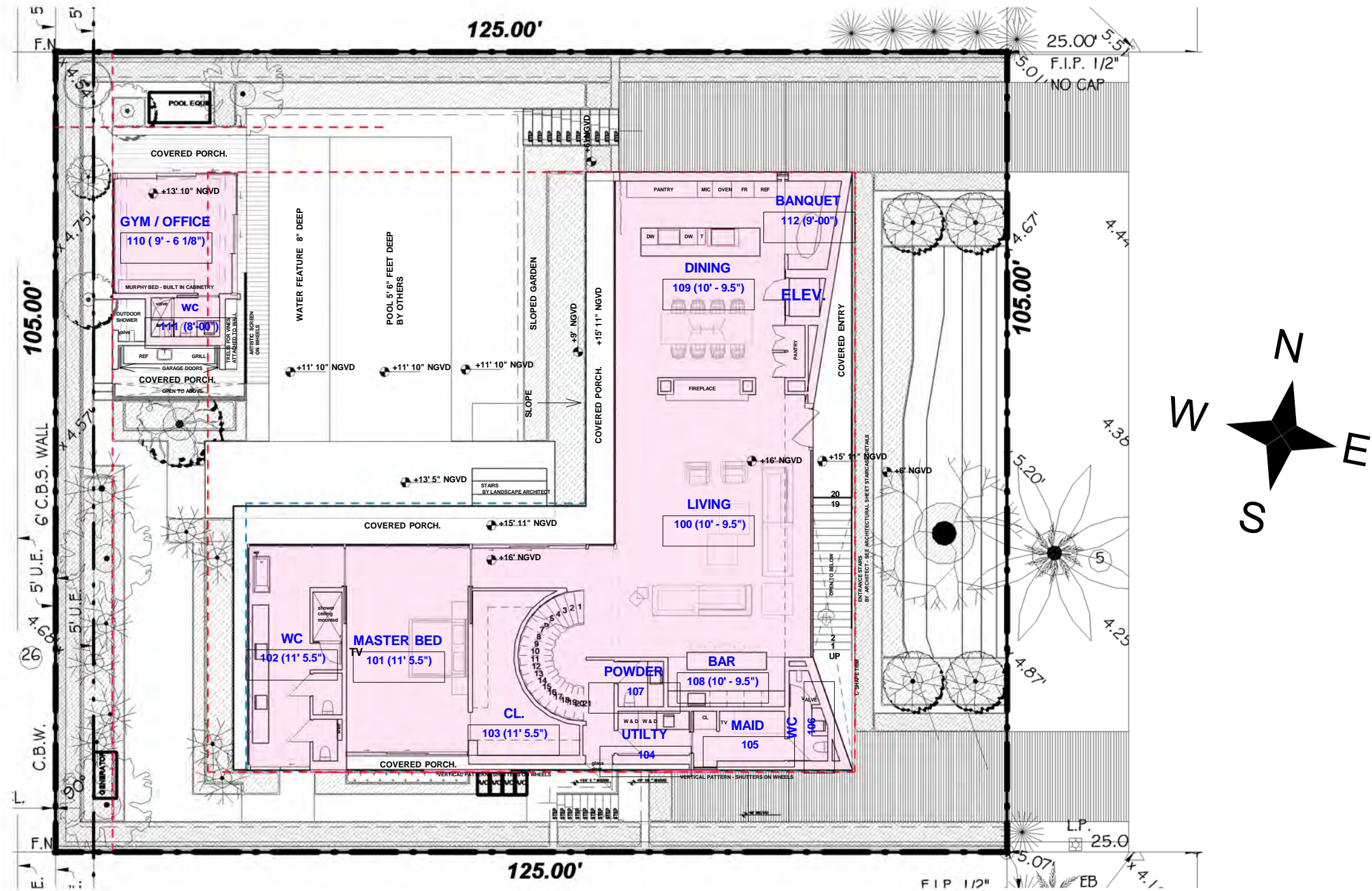
Space	Finished GBA (Air Conditioned)	Unfinished GBA	Covered Porches and Balconies Exceeding 5 feet	Total GBA + P&B
AUX - HVAC	341 SF			341 SF
1ST FLOOR - HVAC	3567 SF			3567 SF
ADDITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH	0 SF	19 SF		19 SF
ADDITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH	0 SF	10 SF		10 SF
2ND FLOOR - HVAC	1643 SF			1643 SF
	5551 SF	29 SF	0 SF	5580 SF

PROPOSED LOT COVERAGE CALCULATION

FIRST FLOOR AC AREA
ACCESSORY BUILDING AC AREA
ADDITIONAL FOOTPRINT FOR ACCESSORY BUILDING
TOTAL LOT COVERAGE
LOT AREA
TOTAL LOT COVERAGE / LOT AREA

3,567 SF
341 SF
29 SF
3,937 SF
13,125 SF
29.9%

1st FLOOR - DRB - SHADED LOT
COVERAGE
1/16" = 1'-0"



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1ST FLOOR -
PROPOSED UNIT
SIZE

A10.4

DESIGN DEVELOPMENT
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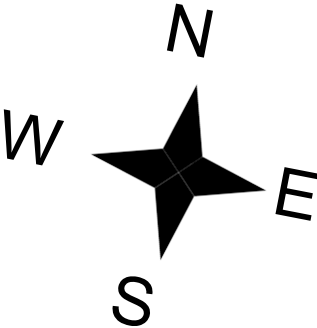
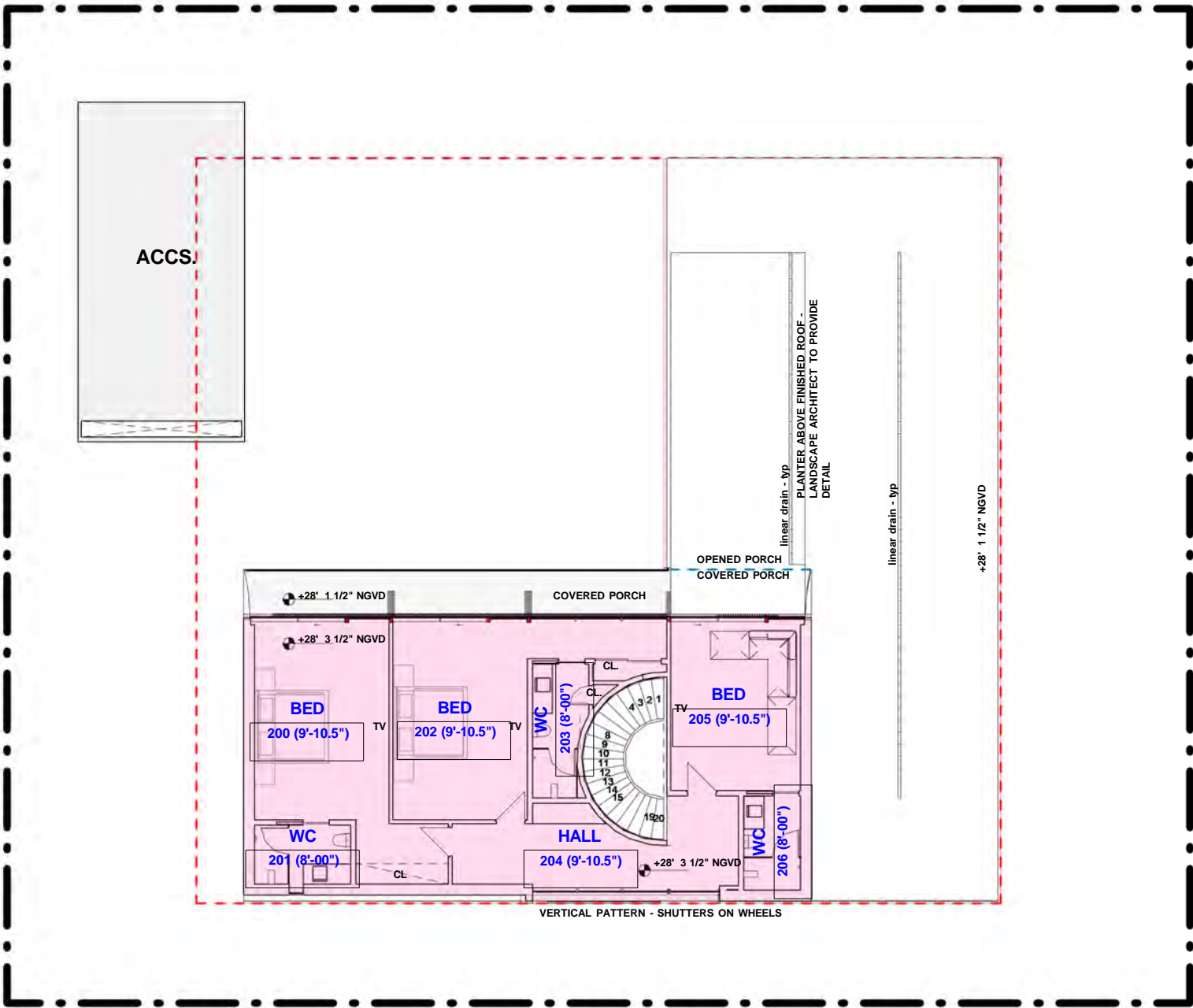
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1 1st FLOOR - DRB - UNIT SIZE
1/16" = 1'-0"

GROSS BUILDING AREA (GBA)				
In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765				
Space	Finished GBA (Air Conditioned)	Unfinished GBA	Covered Porches and Balconies Exceeding 5 feet	Total GBA + P&B
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2ND FLOOR - HVAC	1643 SF			1643 SF
	5551 SF	29 SF	0 SF	5580 SF

PROPOSED UNIT SIZE CALCULATION	
FIRST FLOOR UNIT SIZE	3,908 SF
SECOND FLOOR UNIT SIZE	1,643 SF
TOTAL UNIT SIZE	5,551 SF
LOT AREA	13,125 SF
UNIT SIZE/ LOT AREA	42.3 %



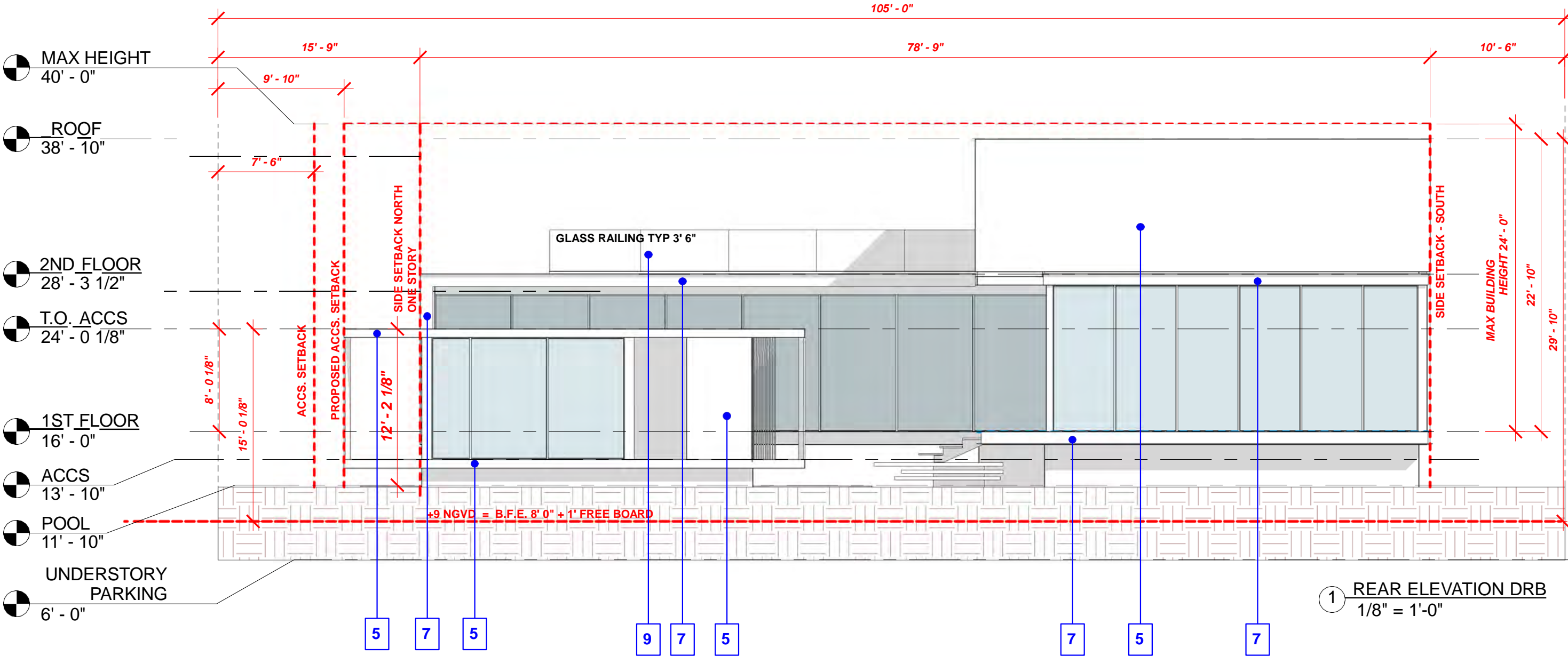
1 2ND - DRB - UNIT SIZE
1/16" = 1'-0"

GROSS BUILDING AREA (GBA)				
In accordance with ANSI (American National Standards Institute) SQUARE FOOTAGE-METHOD FOR CALCULATING - ANSI Z765				
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AUX - HVAC	341 SF			341 SF
1ST FLOOR - HVAC	3567 SF			3567 SF
ADDITIONAL FOOTPRINT FOR LOT COVERAGE - NORTH	0 SF	19 SF		19 SF
ADDITIONAL FOOTPRINT FOR LOT COVERAGE - SOUTH	0 SF	10 SF		10 SF
2ND FLOOR - HVAC	1643 SF			1643 SF
	5551 SF	29 SF	0 SF	5580 SF

PROPOSED UNIT SIZE CALCULATION

FIRST FLOOR UNIT SIZE	3,908 SF
SECOND FLOOR UNIT SIZE	1,643 SF
TOTAL UNIT SIZE	5,551 SF
LOT AREA	13,125 SF
UNIT SIZE/ LOT AREA	42.3 %



MATERIAL LEGEND

- Thin vertical panels wood siding.
- Large panels wood cladded ceiling.
- Wood bifold shutters
- Wood Horizontal rolling shutters
- Exposed concrete with wood board texture.
- Polished concrete
- Factory painted espresso color aluminum L-Channel fascia and trim to match glazing system frames
- Micro topping to match L-Channel fascia color, in addition to concrete texture similar to venetian plaster
- 42-inch-high clear glass guard rail.
- Planter behind vertical wood screen
- Steel staircase with white stringer and natural stone risers and treads, with glass railing.
- 5' x 9' Metal Door with special finish to match the color of painted espresso glazing system frames

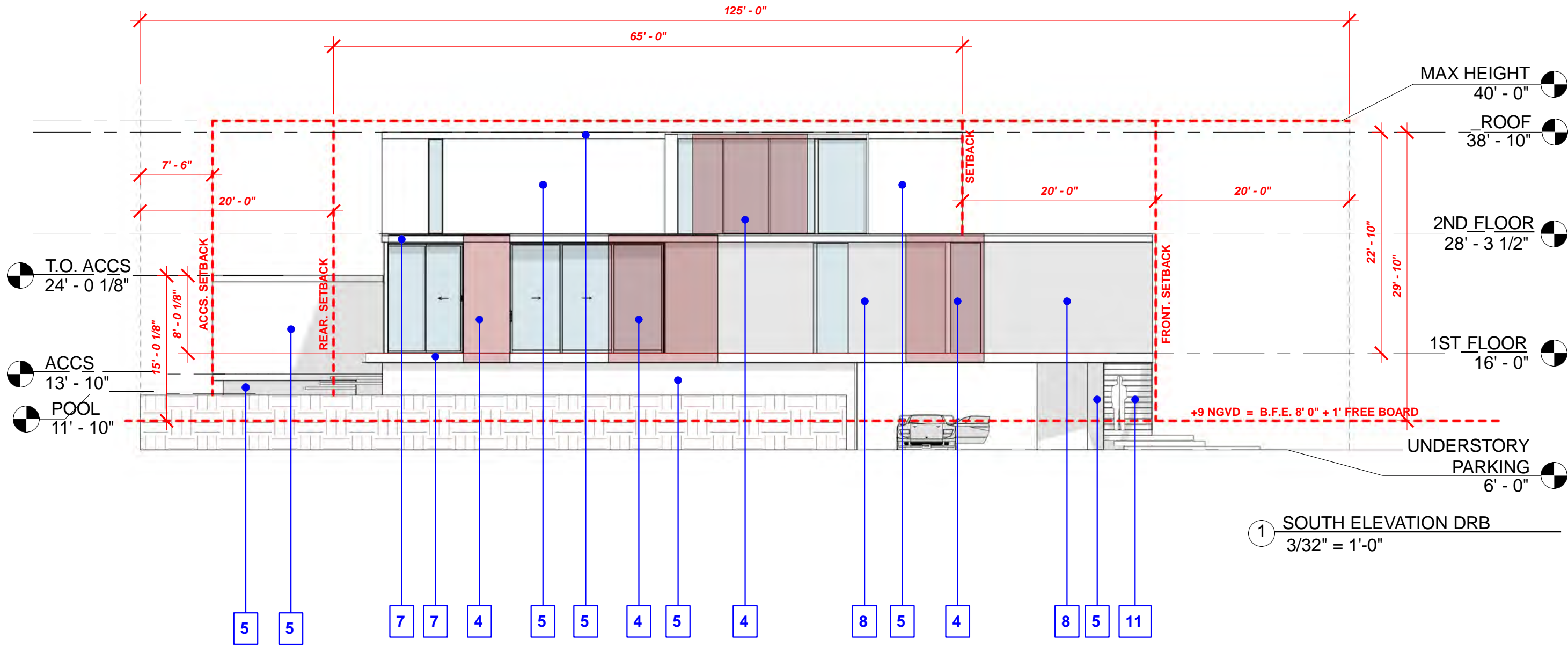
GENERAL NOTE:

All elevation levels depicted in these drawings are based on the National Geodetic Vertical Datum (NGVD).

LEGEND

BUILDING SETBACK





MATERIAL LEGEND

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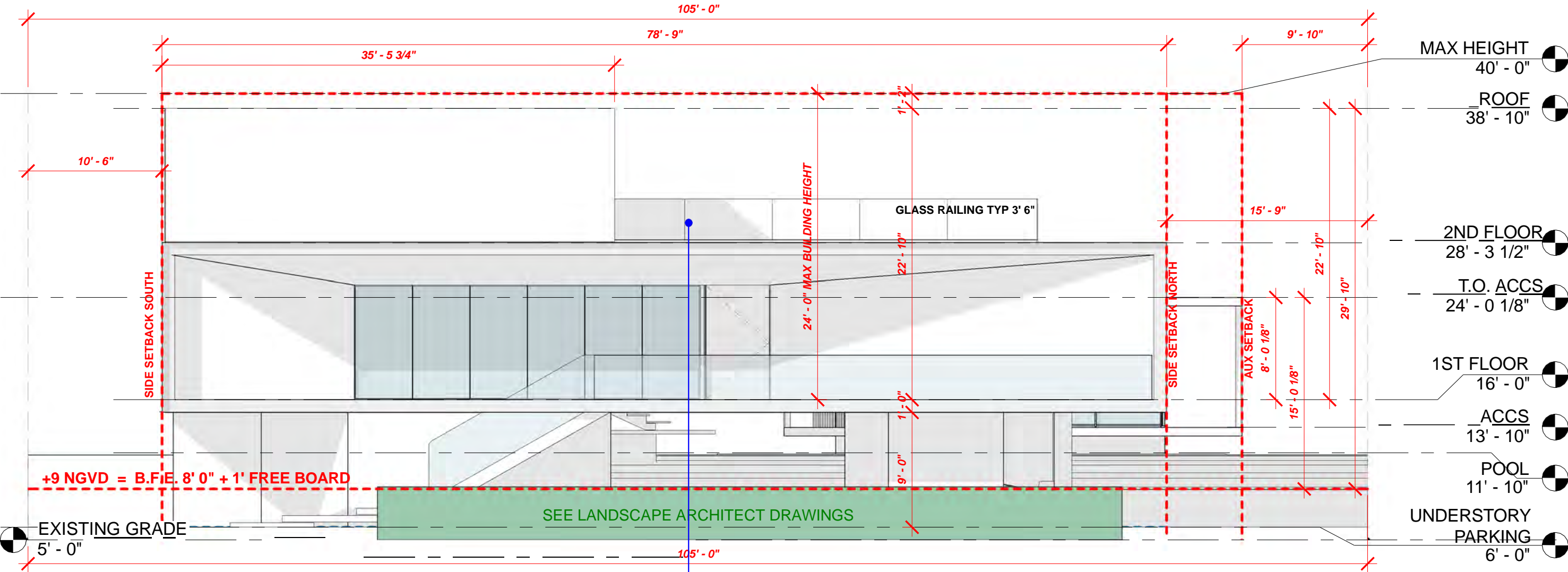
GENERAL NOTE:

All elevation levels depicted in these drawings are based on the National Geodetic Vertical Datum (NGVD).

LEGEND

BUILDING SETBACK





MATERIAL LEGEND

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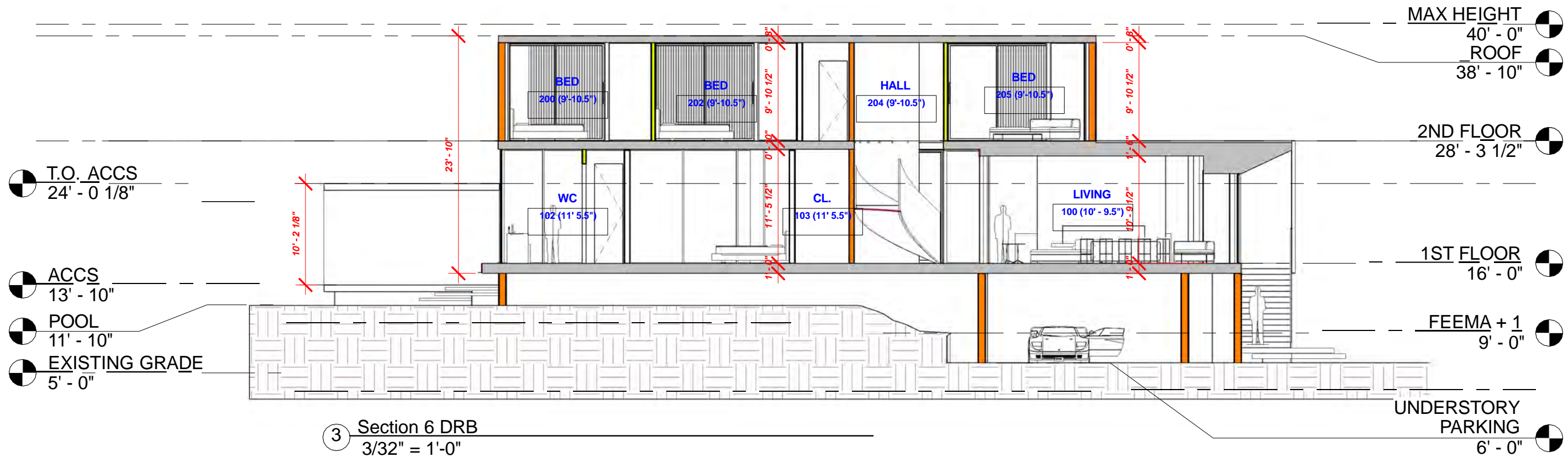
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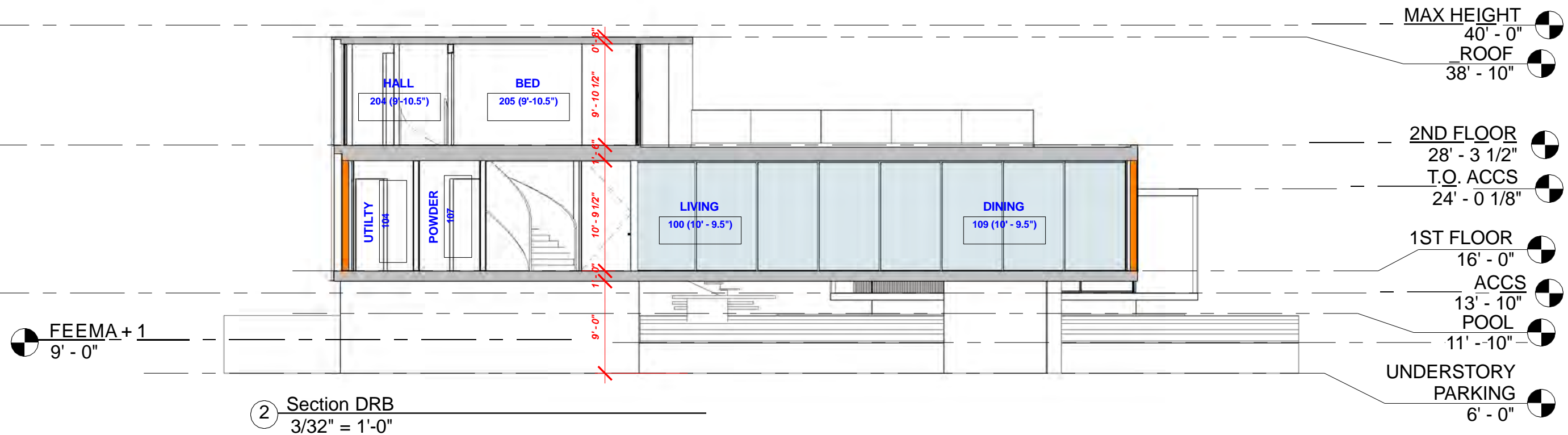
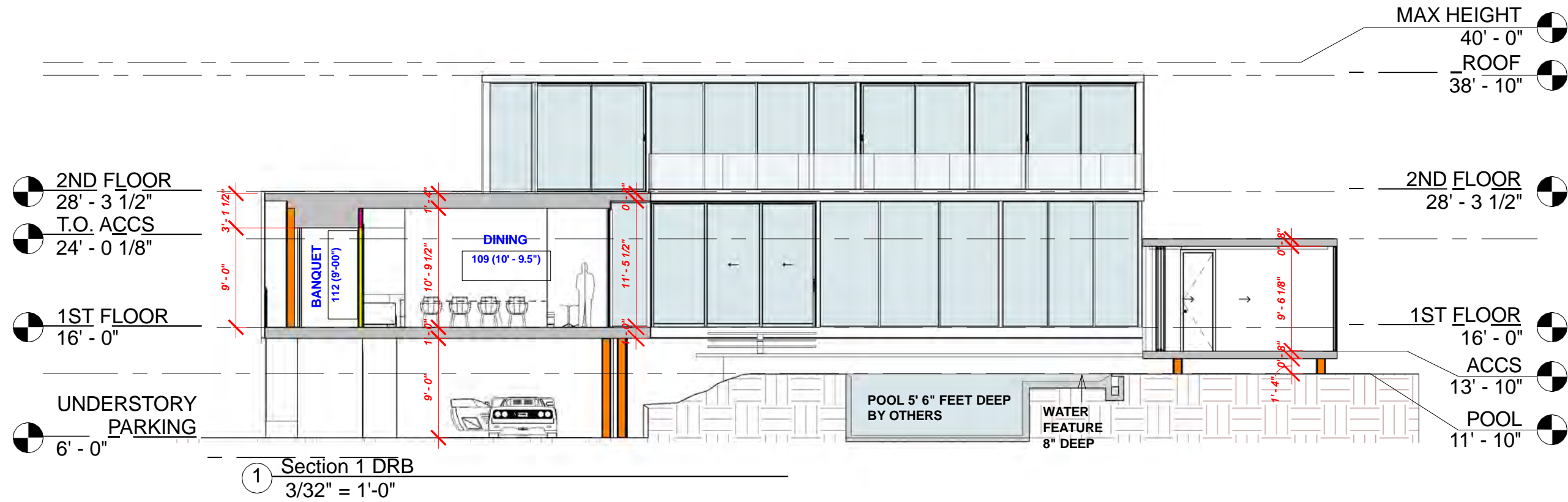
All elevation levels depicted in these drawings are based on the National Geodetic Vertical Datum (NGVD).

LEGEND

BUILDING SETBACK







TREE DISPOSITION

SCALE: 1/16" = 1'-0"

LOT - 3
BLOCK - 10

LOT - 2
BLOCK - 10

LOT - 1
BLOCK - 10

LOT - 8
BLOCK - 10

LOT - 10
BLOCK - 10

SHEFFIELD LANE

50' TOTAL RIGHT-OF-WAY

NOTES:

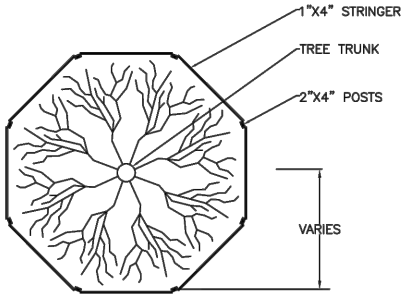
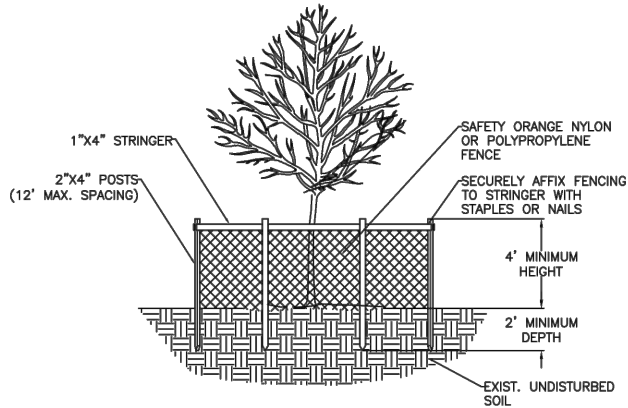
1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.

0 4' 8' 16' 32'
SCALE: 1/16" = 1'-0"



TOP VIEW

SECTION



6650 SHEFFILED									
Existing Trees & Palms									
Number	Symbol	Scientific Name	Common Name	DBH (In)	HT (ft)	SPR (ft)	Disposition	Condition	Removal notes
1	FBE	Ficus benjamina	WEeping FIG	15	3	4	REMOVE	POOR	Invasive species
2	BBU	Bucida buceras	BLACK OLIVE	6	17	8	REMOVE	FAIR	Invasive species
3	BBU	Bucida buceras	BLACK OLIVE	8	17	12	REMOVE	FAIR	Invasive species
4	BBU	Bucida buceras	BLACK OLIVE	8	18	12	REMOVE	FAIR	Invasive species
5	RRE	Roystonea regia	ROYAL PALM	18	60	15	REMAIN	GOOD	
7	LCH	Livistona chinensis	CHINESE FAN PALM	12	20	10	REMOVE	FAIR	Proposed driveway interference
8	LCH	Livistona chinensis	CHINESE FAN PALM	12	15	12	REMOVE	FAIR	Proposed driveway interference
9	LCH	Livistona chinensis	CHINESE FAN PALM	8	30	8	REMOVE	FAIR	Proposed driveway interference
10	SAR	Schefflera	UMBRELLA TREE	18	35	10	REMOVE	POOR	Invasive species
11	SAR	Schefflera	UMBRELLA TREE	18	35	10	REMOVE	POOR	Invasive species
12	LCH	Livistona chinensis	CHINESE FAN PALM	12	10	8	REMOVE	FAIR	Proposed driveway interference
13	PRO	Phoenix roebelenii	PYGMY DATE PALM - SINGLE	4	10	6	REMOVE	POOR	Rootball intertwined with existing house
14	PRO	Phoenix roebelenii	PYGMY DATE PALM - TRIPLE	12	10	10	REMOVE	POOR	Rootball intertwined with existing house
15	PEL	Phycosperma elegans	ALEXANDER PALM	20	40	15	REMOVE	POOR	Rootball intertwined with existing house
16	DLU	Dypsis lutescens	ARECA PALM	12	20	20	REMOVE	FAIR	Rootball intertwined with existing house

DRAWN BY: JAN
CHECKED BY: FW
DATE: FEBRUARY 8, 2024
SCALE:
1/16" = 1'-0"

FERNANDO WONG
OUTDOOR LIVING DESIGN

OWNER

PASH PLACE ONE LLC
6650 SHEFFIELD LANE, MIAMI
BEACH, FL 33141
TREE DISPOSITION

TD-100

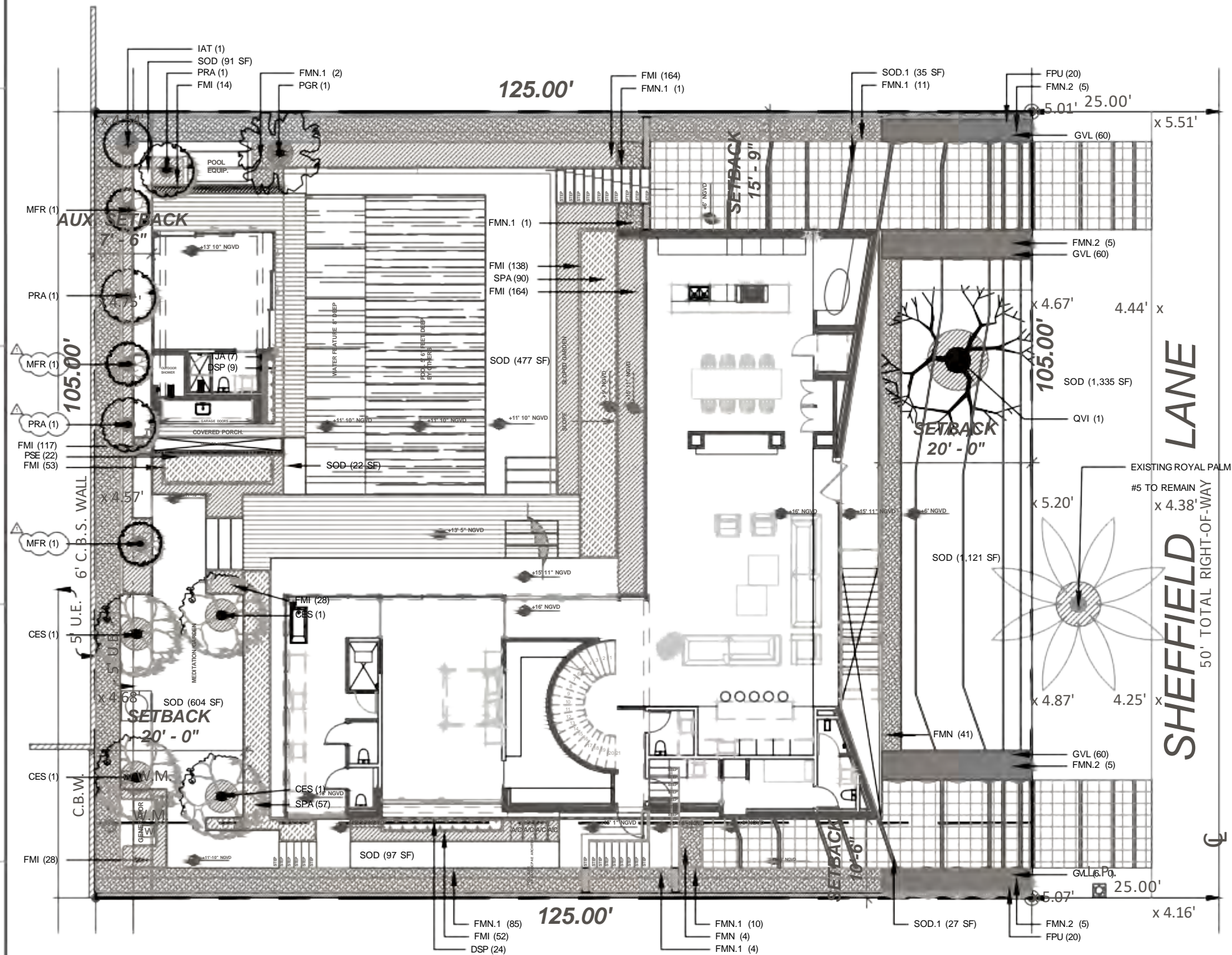
LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

2

0 4' 8' 16' 32'
SCALE: 1/16" = 1'-0"

L-100



LANDSCAPE LIST				
TREES				
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	CES	04	*Conocarpus erectus 'Sericeus'	16' O.A. HT. MULTI. 7' CT. 3'-5" CAL. GRADE #1
	IAT	01	SILVER BUTTONWOOD	F.G.
	MFR	03	*Ilex x attenuata 'East Palatka'	14' O.A. PLANTED HT. 5' CT. 3" CAL. GRADE #1
	PGR	01	SIMPSON STOPPER	45 GAL.
	PRA	03	*Myrsine fragrans	12'-14' O.A. PLANTED HT. MULTI. 3'-4" CAL. GRADE #1
	QVI	01	PODOCARPUS GRACILIS	100 GAL.
			WEeping PODOCARPUS	12'-14' O.A. PLANTED HT. 4' CT. 3" CAL.
			*Pimenta racemosa	F.G.
			BAY RUM	14' O.A. PLANTED HT. 5' CT. 3" CAL. GRADE #1
			*Quercus virginiana	45 GAL.
			LIVE OAK	24' O.A. PLANTED HT. 8' CT. GRADE #1
				F.G.

HEDGES				
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	FMI	706	Ficus microcarpa	12' HT. 12" O.C.
	FMN	45	GREEN ISLAND FICUS	3 GAL.
	FMN.1	114	Ficus nitida	4' O.A. PLANTED HT. 24" O.C.
			CUBAN LAUREL	25 GAL.
			Ficus nitida	16' O.A. PLANTED HT. 36" O.C.
			CUBAN LAUREL	45 GAL.

GRASSES				
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	PSE	22	Pennisetum setaceum	18" O.C.
	SPA	147	WHITE FOUNTAIN GRASS	3 GAL.
			*Spartina patens	18" O.C.
			SAND CORDGRASS	3 GAL.

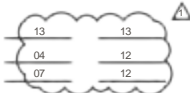
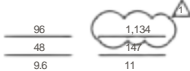
SHRUBS & GROUNDCOVERS				
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	DSP	33	Dwarf spathiphyllum	12" HT 12" O.C.
	FMN.2	20	DWARF PEACE LILY	1 GAL.
			Ficus nitida	16' O.A. PLANTED HT. 5' CT. STD. 48" O.C.
			CUBAN LAUREL	45 GAL.

VINES				
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	FPU	40	Ficus pumila	12" O.C.
	TJA	07	CREeping FIG	1 GAL.
			Trachelospermum jasminoides	18" O.C. TRAINED ON SS ESPALIER GRID
			CONFEDERATE JASMINE	3 GAL.

SOD				
SYMBOL	KEY	SQ. FT.	PROPOSED MATERIAL	DESCRIPTION
	SOD	2,464	Diamond Zoysia	SOD WITHIN PROPERTY LINE
			ZOYSIA SOD	
	SOD.1	164	Diamond Zoysia	4" DRIVEWAY JOINTS
			ZOYSIA SOD	
	SOD.2	1,335	Diamond Zoysia	RIGHT OF WAY SOD
			ZOYSIA SOD	

MULCH				
BAGS	SQ. FT.	PROPOSED MATERIAL	DESCRIPTION	
255	3,060	Mini Pine Bark	2" THICK	
			2 CU FT. BAGS	

*DENOTES NATIVE SPECIES

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan				
Following City of Miami Beach Landscape Code				
Zoning District:	<u>RS-3 (Residential Single Family)</u>	Net Lot Area	<u>.30</u> acres	<u>13,125</u> s.f.
OVERALL PERVIOUS AREA		REQUIRED	PROVIDED	
Square Feet of pervious space required, as indicated on site plan:				
Net lot area = <u>13,125</u> s.f. x <u>.50</u> % = <u>6,562.5</u> s.f.		<u>6,562.5</u>	<u>6,582.5</u>	
MAXIMUM LAWN AREA				
Square Feet of pervious space required, as indicated on site plan:				
Net lot area = <u>6,562.5</u> s.f. x <u>.50</u> % = <u>3,281.3</u> s.f.		<u>3,281.3</u>	<u>2,583</u>	
FRONT YARD 20' SET BACK PERVIOUS AREA				
Square Feet of pervious space required, as indicated on site plan:				
Net lot area = <u>2,100</u> s.f. x <u>.50</u> % = <u>1,050</u> s.f.		<u>1,050</u>	<u>1,638.2</u>	
INTERIOR SIDE YARD 10' SET BACK PERVIOUS AREA				
Square Feet of pervious space required, as indicated on site plan:				
Net lot area = <u>2,500</u> s.f. x <u>.10</u> % = <u>250</u> s.f.		<u>250</u>	<u>1,600.5</u>	
REAR YARD 20' SET BACK PERVIOUS AREA				
Square Feet of pervious space required, as indicated on site plan:				
Net lot area = <u>2,100</u> s.f. x <u>.70</u> % = <u>1,470</u> s.f.		<u>1,470</u>	<u>1,583.6</u>	
TREES				
A. No. trees required per lot or net, less existing number of trees meeting minimum requirements = 26 Trees x N/A net lot acres - acres - number of existing trees =				
B. % Natives Required: No. trees provided x 30% =		12		
C. % Low maintenance / drought and salt tolerant required =		12		
Number of trees provided x 50% =				
SHRUBS				
A. No. trees required x 12 = No. of shrubs allowed				
B. No. shrubs required x 50% = No. of native shrubs required		147		
C. Diversity of large shrubs or small trees required		11		
Number of required shrubs x 10% =				
D. Native% Diversity of large shrubs or small trees required		7		
Number of required shrubs or small trees provided x 50% =				
SEE LANDSCAPE LIST				

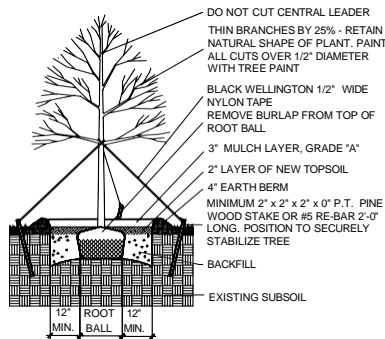
PASH PLACE ONE LLC
6650 SHEFFIELD LANE, MIAMI
BEACH, FL 33141

LANDSCAPE PLAN

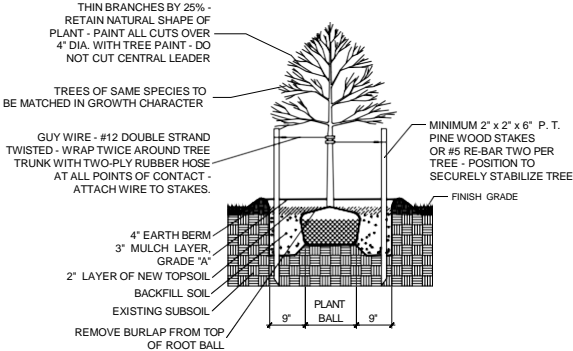
OWNER

FERNANDO WONG
OUTDOOR LIVING DESIGN

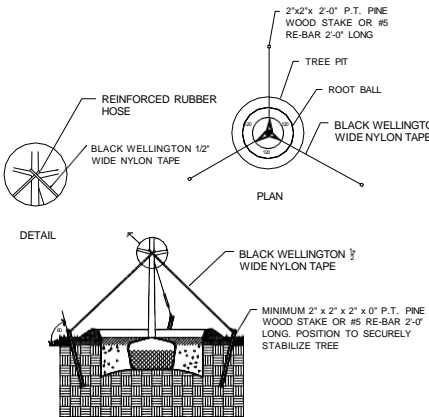
DRAWN BY: JAN
CHECKED BY: FW
DATE: FEBRUARY 22, 2024
SCALE:
1/16" = 1'-0"



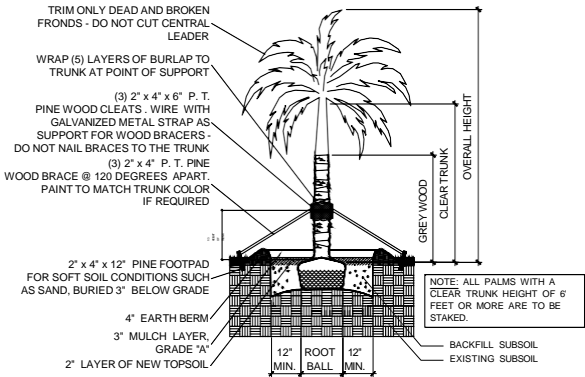
LARGE TREE PLANTING DETAIL



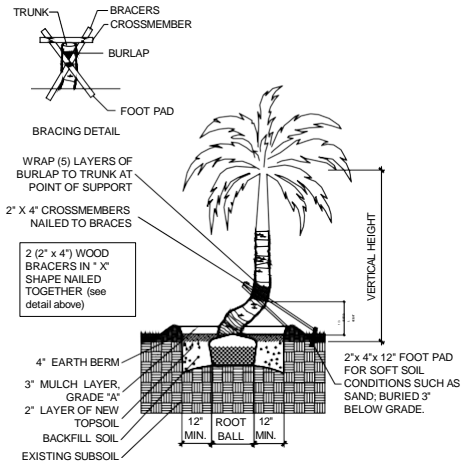
SMALL TREE PLANTING DETAIL



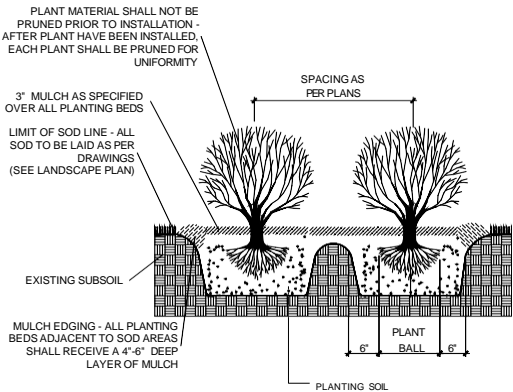
TYPICAL TREE GUYING DETAIL



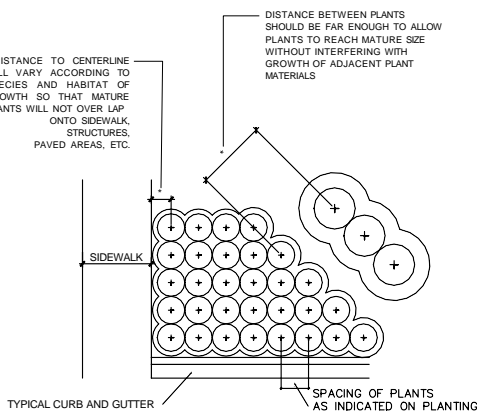
STRAIGHT TRUNK PALM PLANTING DETAIL



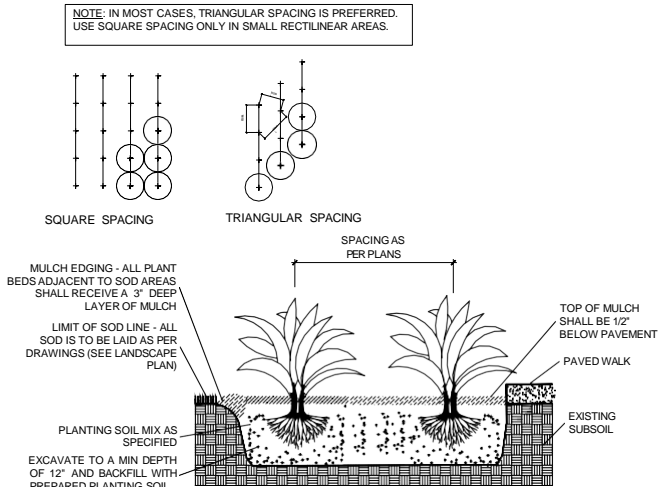
CURVED TRUNK PALM PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL



TYPICAL CONTAINER SPACING DETAIL



TYPICAL GROUNDCOVER PLANTING DETAIL

PLANTING NOTES (See plant specification and details for additional standards)

-All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

-All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.

-Planting plans shall take precedence over plant list in case of discrepancies.

-No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.

-Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.

- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.

- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.

- No mulch, fill or soil will be placed over the rootballs or within 4" of the trunks of the newly installed trees, and the trees will be installed at or slightly above the soil grade.

-Nursery Support Poles shall be removed at the Nursery, prior to delivery, and trees with the nursery poles will not be accepted and therefore rejected, with the exception of the following species: Clusea rosea and Silver Buttonwood trees.

- All straps, poles and braces shall be removed from all of the installed trees and palms within the 1-year of planting.

- No changes are to be made without the prior consent of the Landscape Architect, owner, City Urban Forester and City Planning Department. Additions and or deletions to the plant material must be approved per the Project Engineer, City Urban Forester and City Planning Department.

- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.

- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.

- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

- Tree protection fences shall be constructed prior to any construction activity including grubbing for all trees/palms to remain or be relocated. The fences should be of sturdy construction, 4x4 posts with wire mesh. Fences must be intact until the project is completed. They should not be removed or dropped for any reason without authorization from the city Urban Forester. No activity or disturbance should occur within the fenced areas, including vehicle use, storage of materials, dumping of liquids or materials, grade changes, grubbing and mechanical trenching for irrigation, electrical and lighting, etc.

GENERAL NOTES

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

-All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

REVISIONS / SUBMISSIONS

PASH PLACE ONE LLC
6650 SHEFFIELD LANE, MIAMI
BEACH, FL 33141

PLANTING DETAILS & NOTES

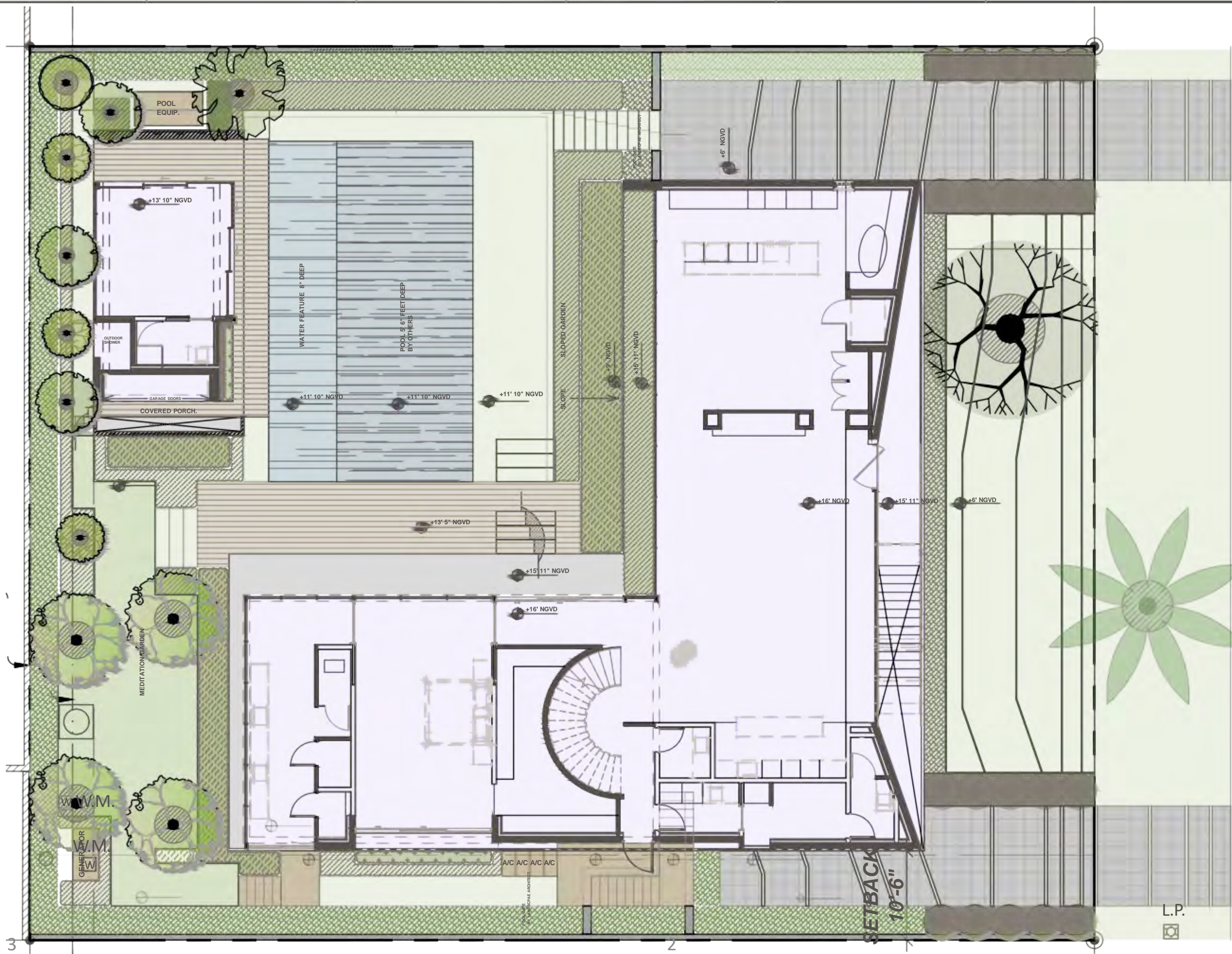
OWNER

B

FERNANDO WONG
OUTDOOR LIVING DESIGN

DRAWN BY:	JAN
CHECKED BY:	FW
DATE:	FEBRUARY 8, 2024
SCALE:	N.T.S

L-200



REVISIONS / SUBMISSIONS	
△	PLANNING COMMENT 02.22.24
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PASH PLACE ONE LLC 6650 SHEFFIELD LANE, MIAMI BEACH, FL 33141	
OWNER	
FERNANDO WONG OUTDOOR LIVING DESIGN	
DRAWN BY: JAN	
CHECKED BY: FW	
DATE: FEBRUARY 22, 2024	
SCALE: 3/32" = 1'-0"	
L-300	

OWNER	
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FERNANDO WONG OUTDOOR LIVING DESIGN	
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DRAWN BY: JAN	
CHECKED BY: FW	
DATE: FEBRUARY 22, 2024	
SCALE: 3/32" = 1'-0"	
L-300	

L-300	
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REVISIONS/ SUBMISSIONS	
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PASH PLACE ONE LLC
6650 SHEFFIELD LANE, MIAMI
BEACH, FL 33141

ELEVATION – FACING NORTH

N

FERNANDO WONG
OUTDOOR LIVING DESIGN

DRAWN BY:	JAN
CHECKED BY:	FW
DATE:	FEBRUARY 8, 2024
SCALE:	3/32" = 1'-0"

L-500



ELEVATION - FACING NORTH

SCALE: 3/32" = 1'-0"

REVISIONS/ SUBMISSIONS	
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PASH PLACE ONE LLC
6650 SHEFFIELD LANE, MIAMI
BEACH, FL 33141

ELEVATION – FACING SOUTH

N

0'::

FERNANDO WONG
OUTDOOR LIVING DESIGN

DRAWN BY: JAN

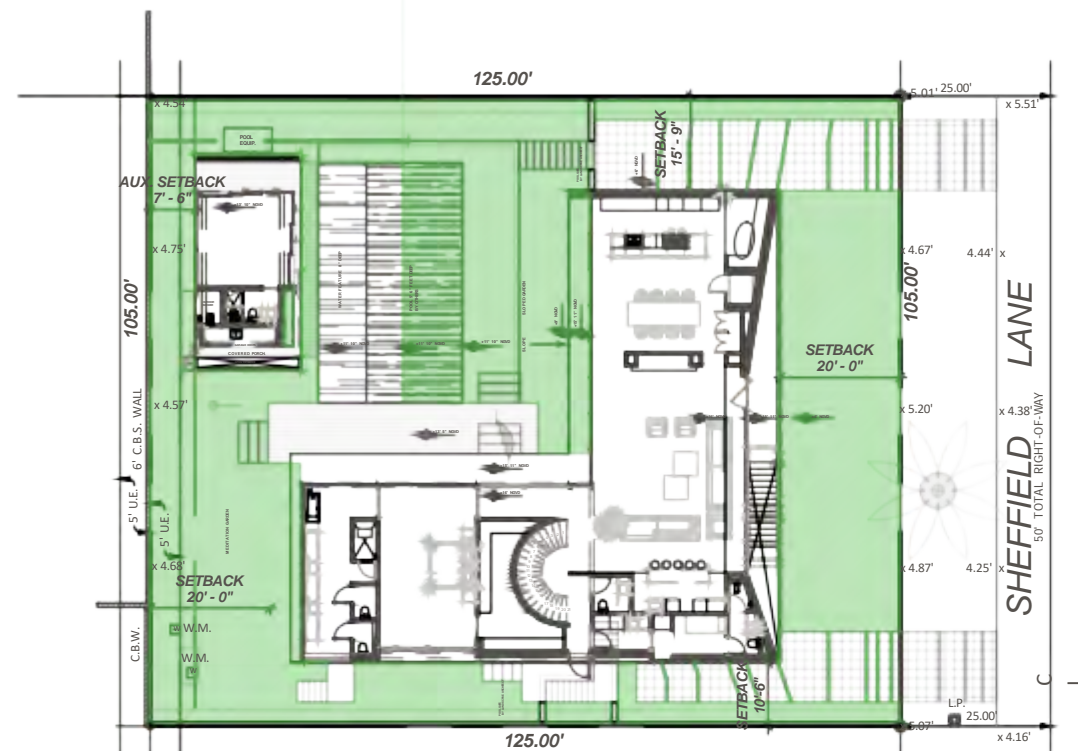
CHECKED BY: FW

DATE: FEBRUARY 8, 2024

SCALE: 3/32" = 1'-0"

L-600



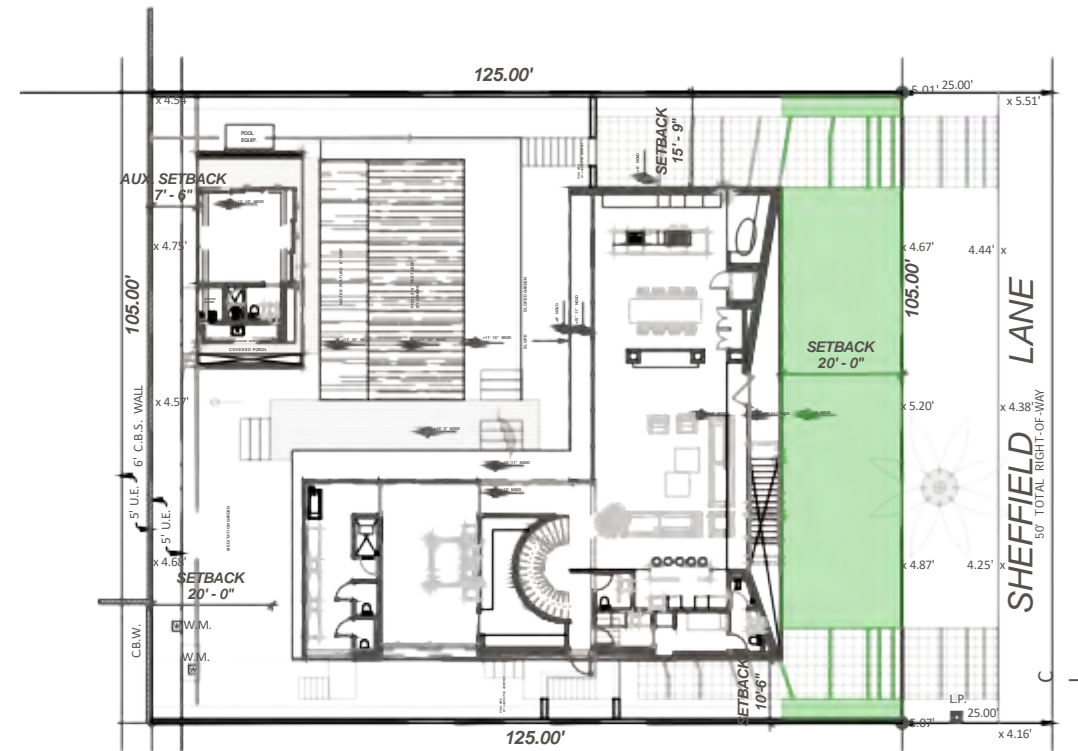


OPEN SPACE DIAGRAM - OVERALL SITE

REQUIRED: 6,562.5

SCALE: 1/32" = 1'-0"

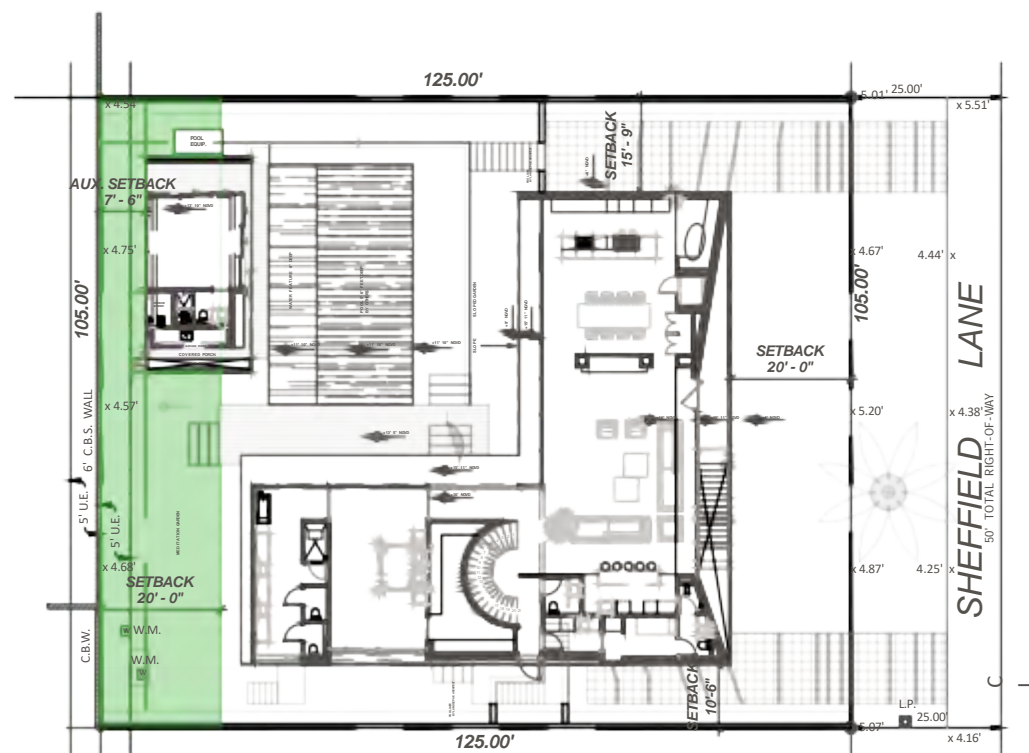
PROVIDED: 6,582.5



OPEN SPACE DIAGRAM - FRONT YARD

REQUIRED: 1,050

PROVIDED: 1,723.5

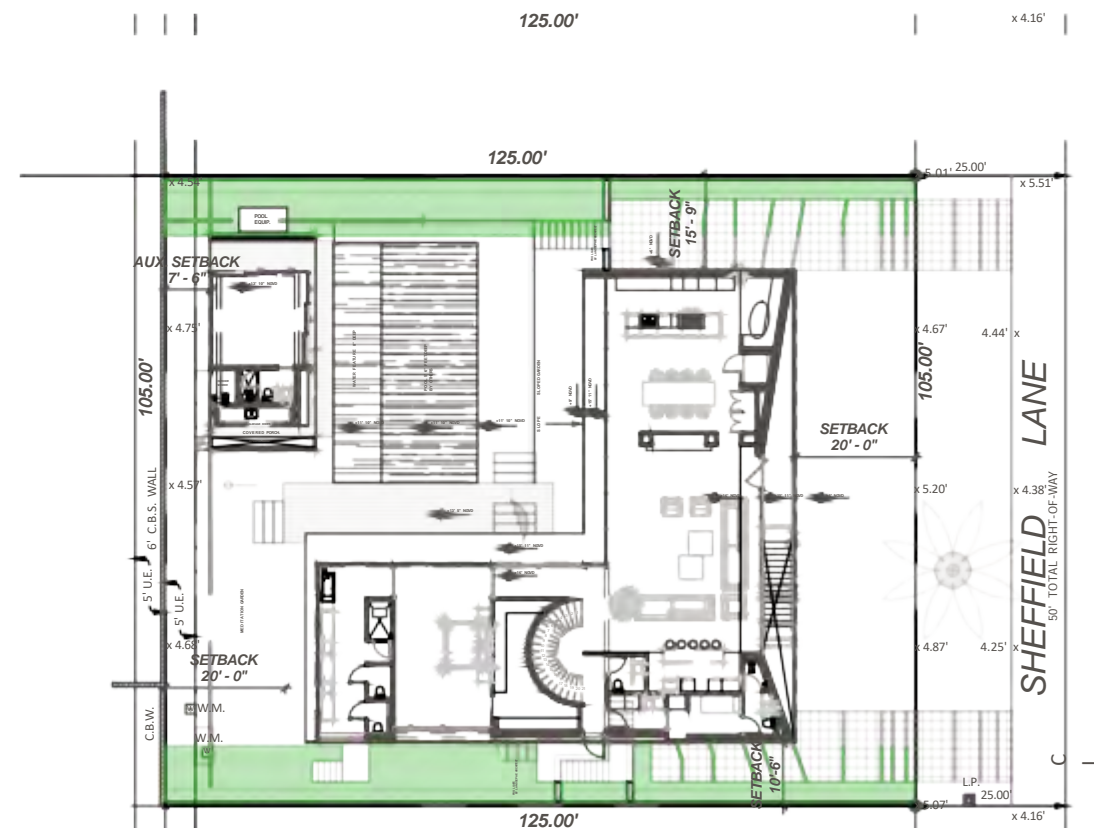


OPEN SPACE DIAGRAM - REAR YARD

REQUIRED: 1,470

PROVIDED: 1,472.75

SCALE: 1/32" = 1'-0"



OPEN SPACE DIAGRAM - SIDE YARD

REQUIRED: 250

PROVIDED: 1,895.5

SCALE: 1/32" = 1'-0"

[illegible]

PASH PLACE ONE LLC
6650 SHEFFIELD LANE,

0030 SHIELD FIELD LANE,
MIAMI BEACH, FL 33141

OPEN SPACE DIAGRAM

OWNER

FERNANDO WONG
OUTDOOR LIVING DESIGN

OUTDOOR LIVING DESIGN

DRAWN BY: JAN

CHECKED BY: FW

DATE: FEBRUARY 8, 2024

SCALE:

L-700





3D ELEVATION - FRONT

SCALE: N.T.S.



3D ELEVATION - NORTH DRIVEWAY ENTRY
SCALE: N.T.S.



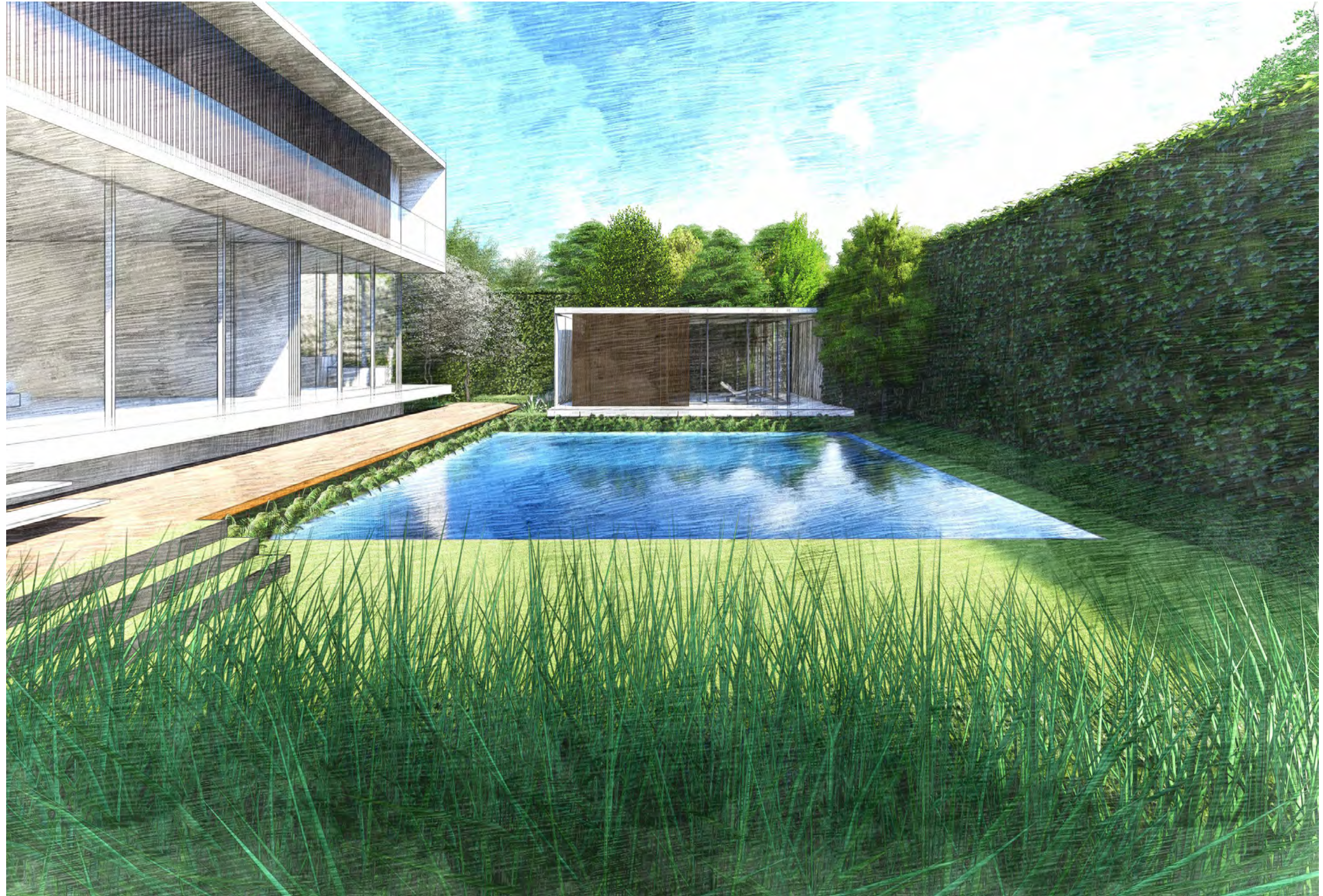
3D ELEVATION - NORTH DRIVEWAY

SCALE: N.T.S.



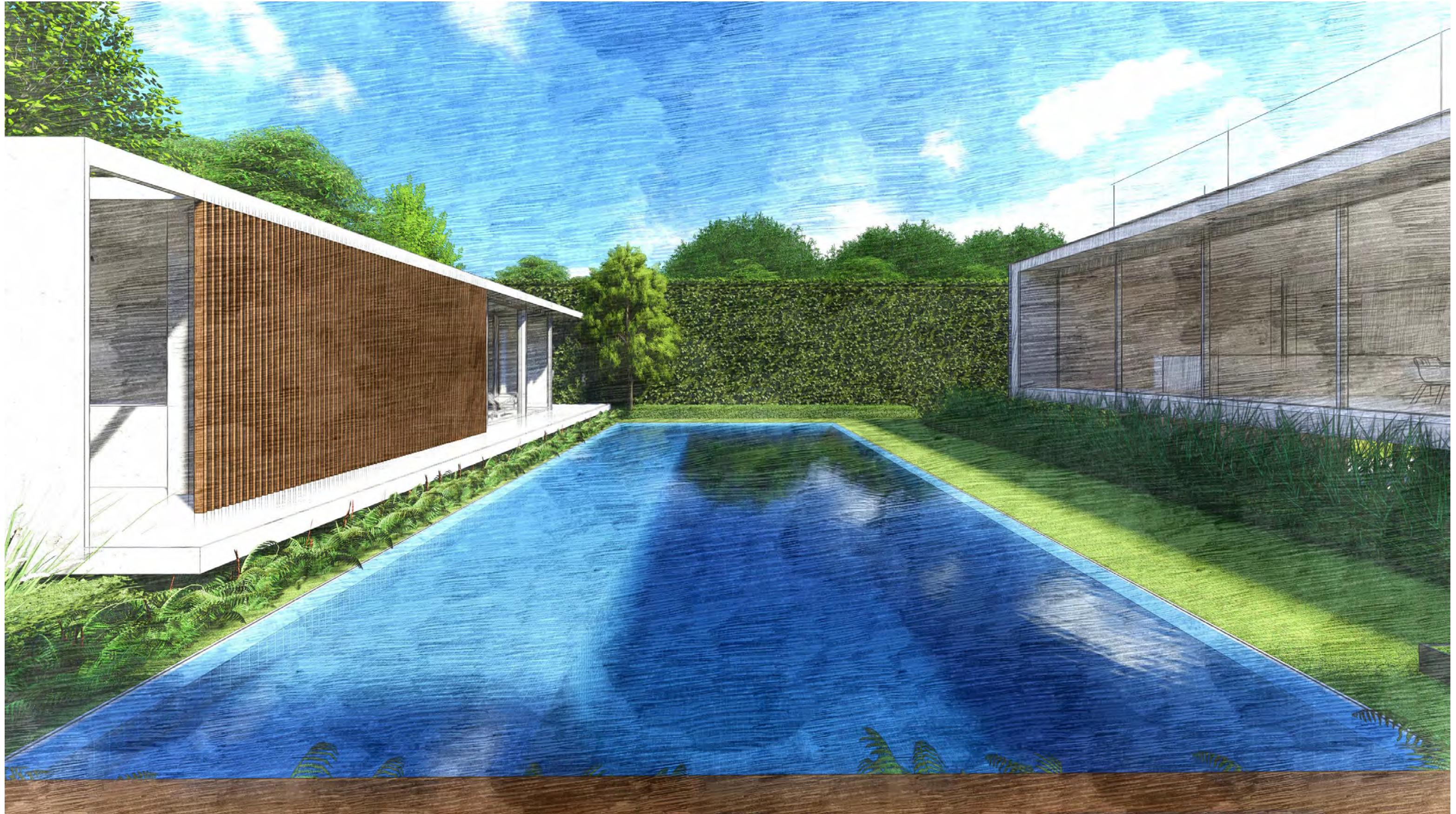
3D ELEVATION - POOL FACING NORTH

SCALE: N.T.S.

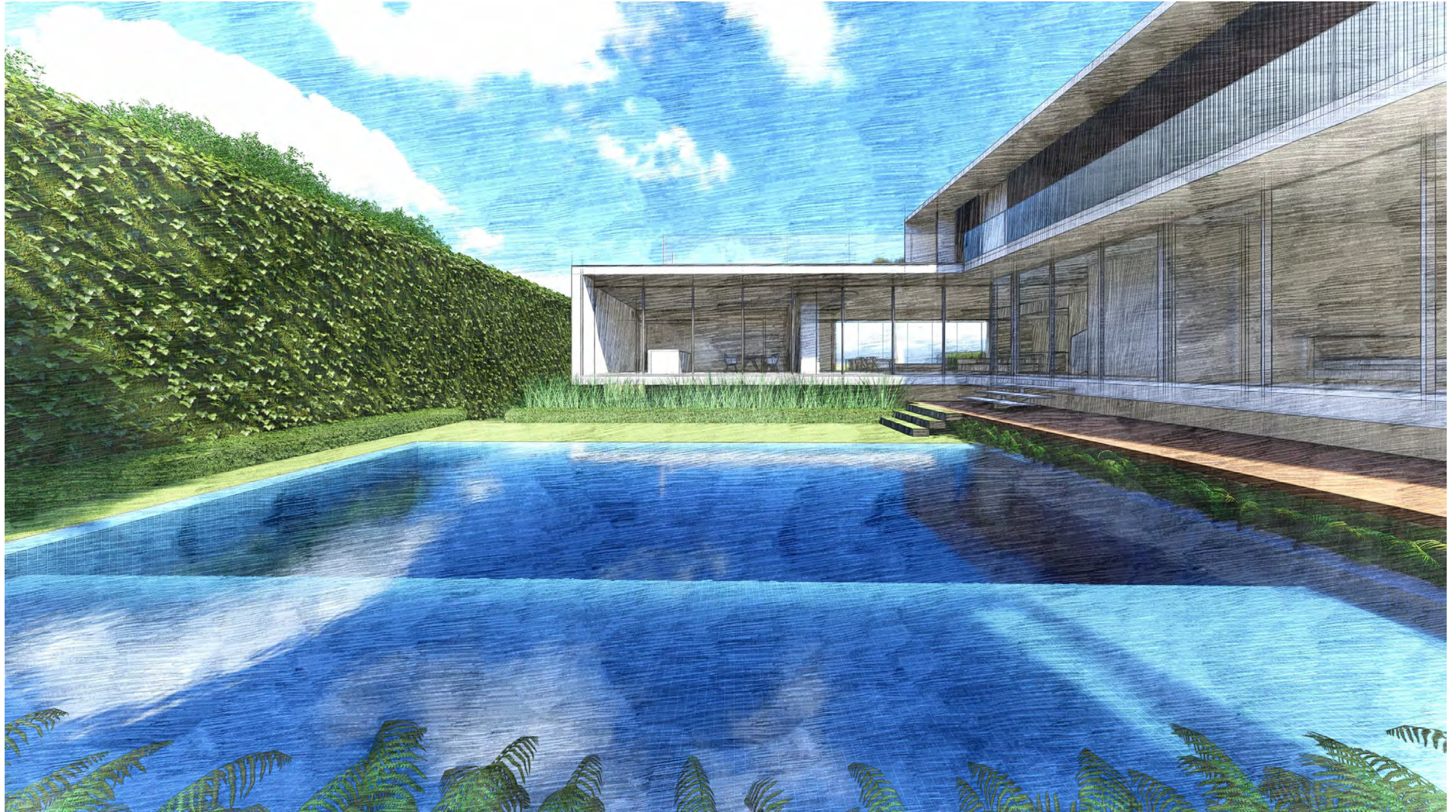


3D ELEVATION - POOL FACING SOUTH

SCALE: N.T.S.



3D ELEVATION - CENTER OF POOL FACING NORTH
SCALE: N.T.S.



3D ELEVATION - POOL FACING EAST

SCALE: N.T.S.



3D ELEVATION - POOL FACING SOUTHWEST

SCALE: N.T.S.



3D ELEVATION - MEDITATION GARDEN FACING NORTH

SCALE: N.T.S.



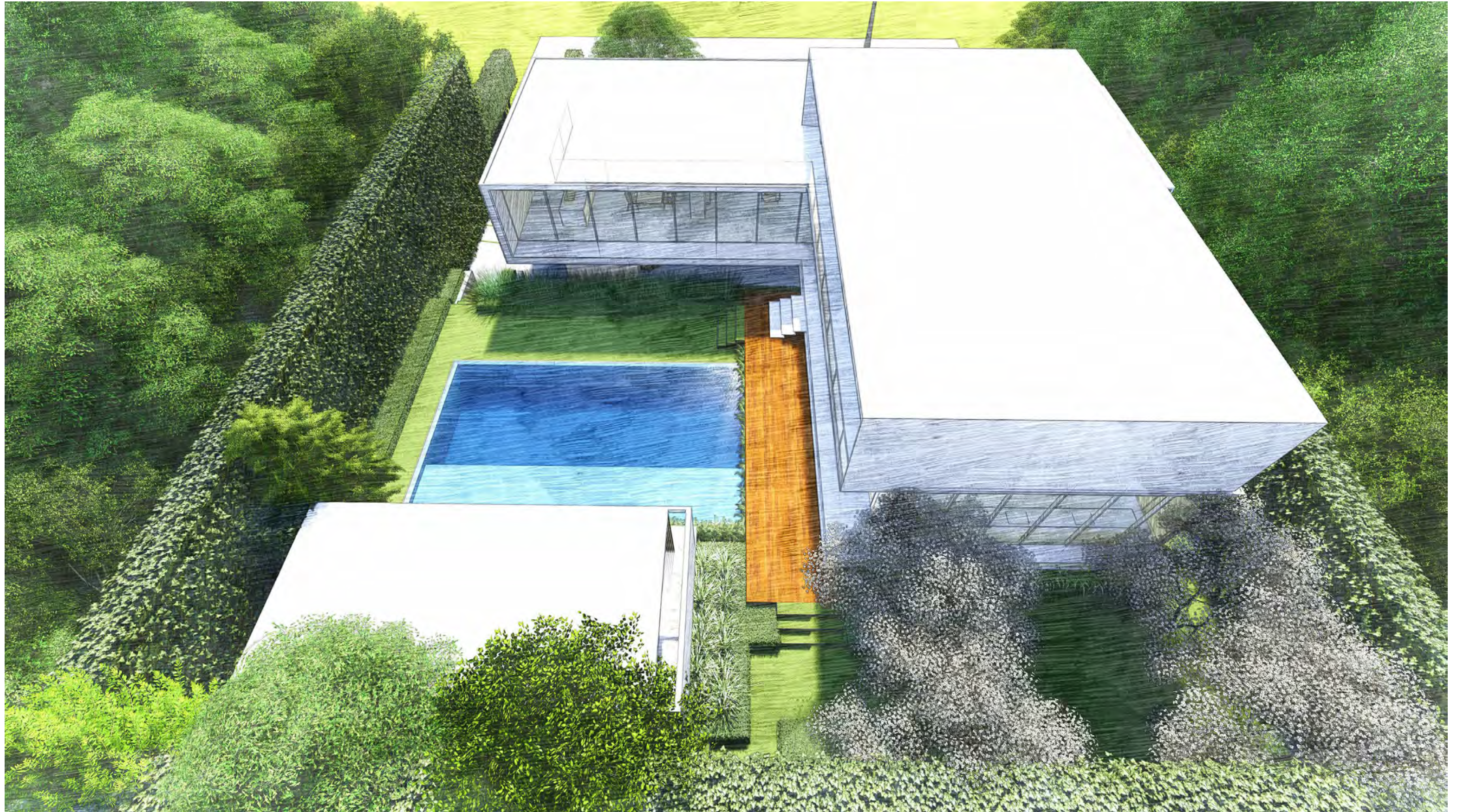
3D ELEVATION - FRONT BIRDS EYE VIEW FACING WEST

SCALE: N.T.S.



3D ELEVATION - BIRDS EYE VIEW FACING SOUTH

SCALE: N.T.S.

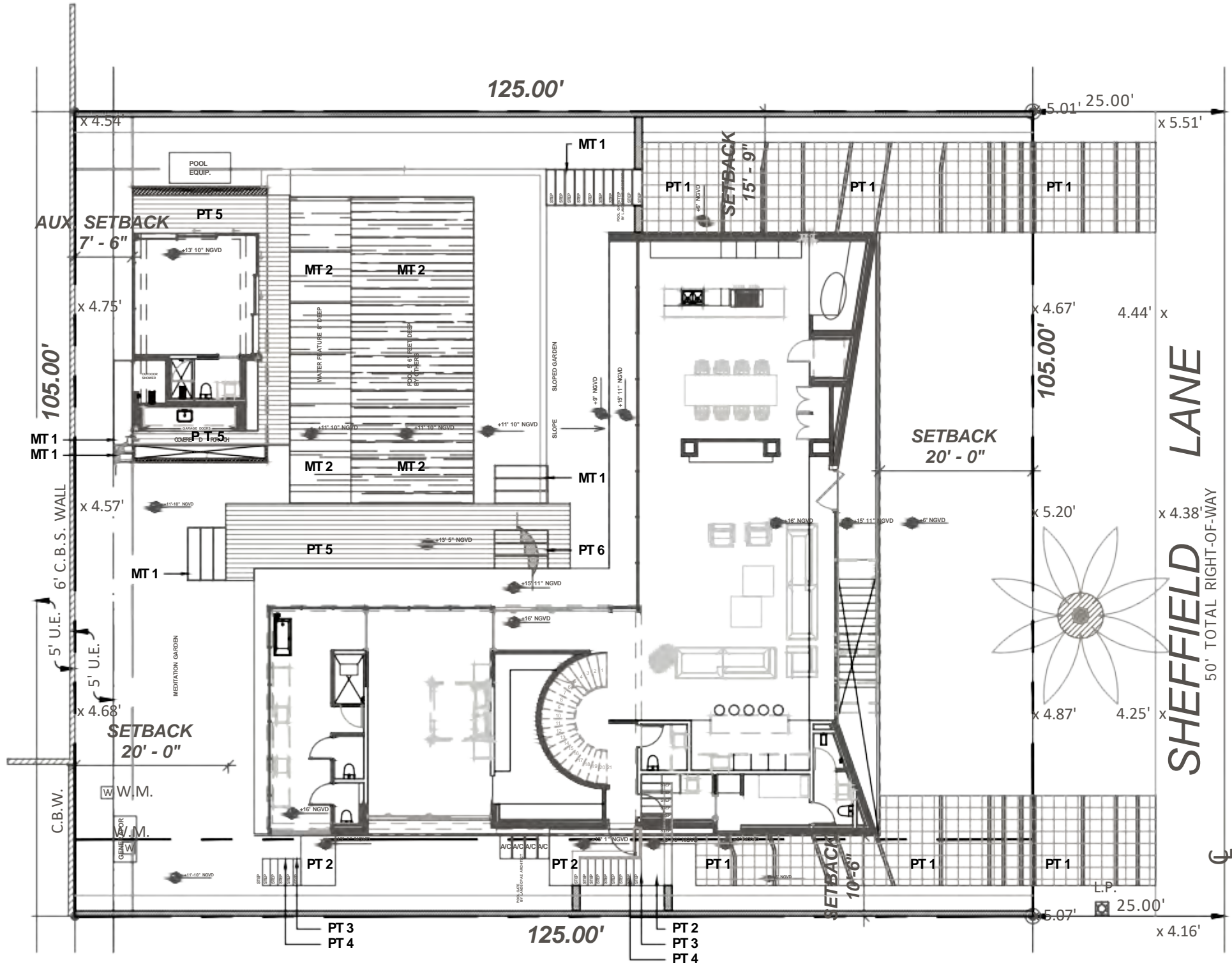


3D ELEVATION - BIRDS EYE VIEW FACING EAST

SCALE: N.T.S.

HARDSCAPE PLAN

SCALE: 1/16" = 1'-0"



MATERIAL LEGEND:

PAVING TYPE	MATERIAL	DIMENSION	COLOR	APPLICATION	NOTES
PT 1	GRANITELOCK PAVER	12" X 12" X 2-3/8"	STERLING GRAY	DRIVEWAY	SAND SET ON 4" LIMEROCK BASE
PT 2	LIMESTONE	24" X 24" X 3 CM	NATURAL	STAIR LANDING	MUDSET ON STAIRS GROUTED & SEALED
PT 3	LIMESTONE	6.5" X 48" X 2 CM	NATURAL	STAIR RISER	MUDSET ON STAIRS GROUTED & SEALED
PT 4	LIMESTONE	12" X 48" X 3 CM	NATURAL	STAIR TREAD	MUDSET ON STAIRS GROUTED & SEALED
PT 5	IPE	6" PLANKS	NATURAL	REAR DECK	
PT 6	HARDWOOD	18" X 84" X 3" THICK	NATURAL	FLOATING STEPS	
MT 1	CORTEN STEEL	1" THICK	BLACK	SOD STEPS	
MT 2	PEBBLE TECH		MIDNIGHT BLUE	POOL FINISH	



PT-1



PT-2, PT-3 & PT-4



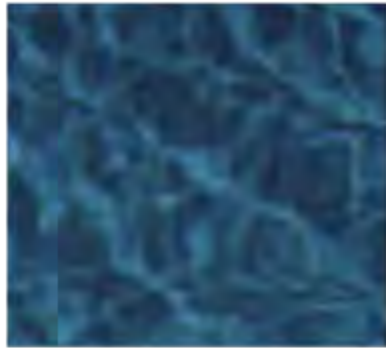
PT-5



PT-6



MT-1



MT-2

0 4' 8' 16' 32'
SCALE: 1/16" = 1'-0"



REVISIONS / SUBMISSIONS

PASH PLACE ONE LLC	HARDSCAPE PLAN
6650 SHEFFIELD LANE MIAMI BEACH, FL 33141	

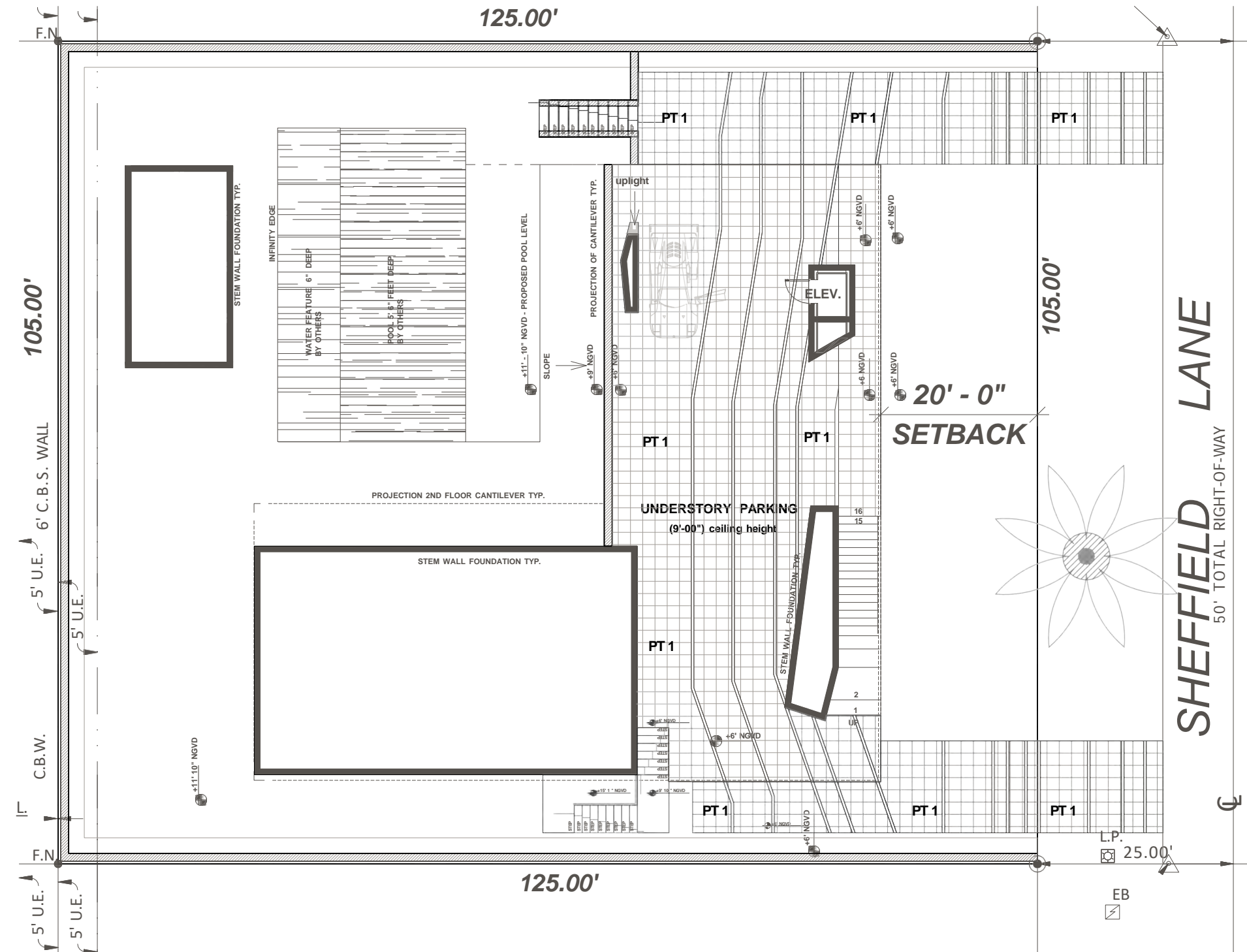
OWNER

--

FERNANDO WONG OUTDOOR LIVING DESIGN
--

DRAWN BY: JAN
CHECKED BY: FW
DATE: FEBRUARY 8, 2024
SCALE: 1/16" = 1'-0"

H-100



MATERIAL LEGEND:					
PAVING TYPE	MATERIAL	DIMENSION	COLOR	APPLICATION	NOTES
PT 1	GRANITELOCK PAVER	12" X 12" X 2-3/8"	STERLING GRAY	DRIVEWAY	SAND SET ON 4" LIMEROCK BASE
PT 2	LIMESTONE	24" X 24" X 3 CM	NATURAL	STAIR LANDING	MUDSET ON STAIRS GROUTED & SEALED
PT 3	LIMESTONE	6.5" X 48" X 2 CM	NATURAL	STAIR RISER	MUDSET ON STAIRS GROUTED & SEALED
PT 4	LIMESTONE	12" X 48" X 3 CM	NATURAL	STAIR TREAD	MUDSET ON STAIRS GROUTED & SEALED
PT 5	IPE	6" PLANKS	NATURAL	REAR DECK	
PT 6	HARDWOOD	18" X 84" X 3" THICK	NATURAL	FLOATING STEPS	
MT 1	CORTEN STEEL	1" THICK	BLACK	SOD STEPS	
MT 2	PEBBLE TECH		MIDNIGHT BLUE	POOL FINISH	



PT-1



PT-2, PT-3 & PT-4



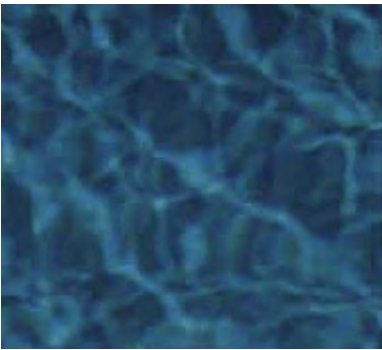
PT-5



PT-6



MT-1



MT-2

REVISIONS / SUBMISSIONS

PASH PLACE ONE
LLC

6650 SHEFFIELD LANE
MIAMI BEACH, FL 33141

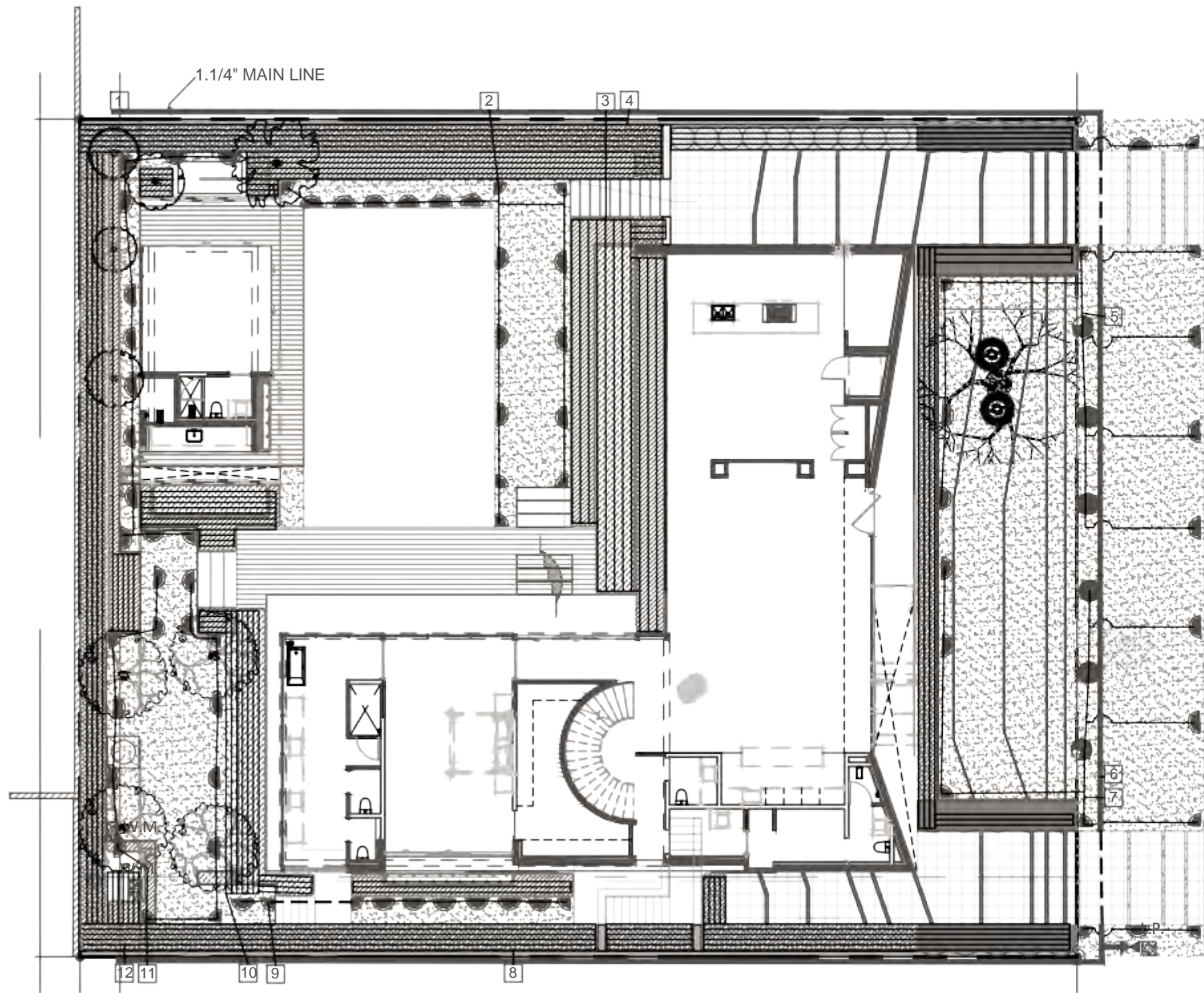
HARDSCAPE PLAN
UNDERSTORY AREA

OWNER

FERNANDO WONG
OUTDOOR LIVING DESIGN

DRAWN BY: JAN
CHECKED BY: FW
DATE: FEBRUARY 8, 2024
SCALE:
1/16" = 1'-0"

H-101

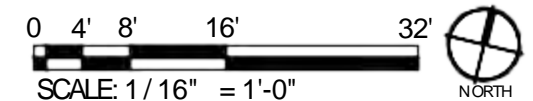


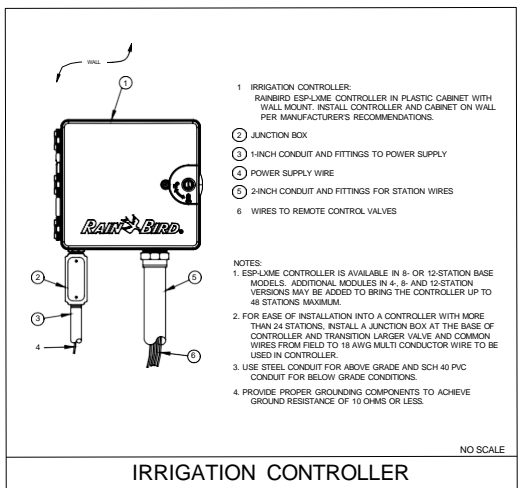
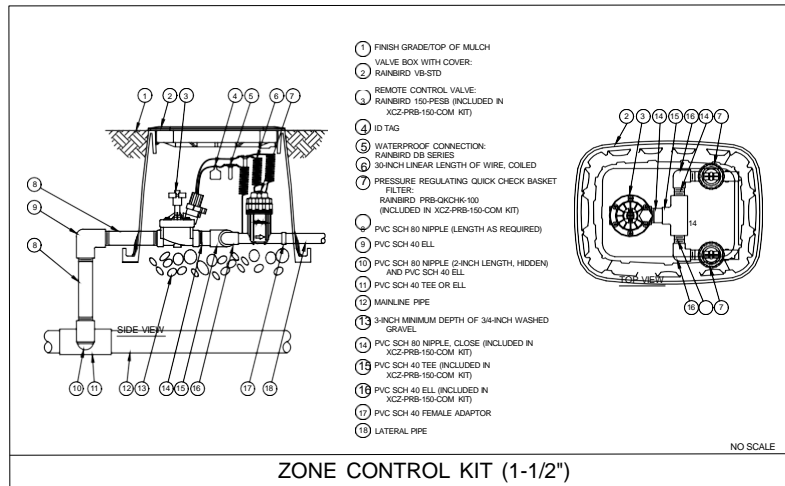
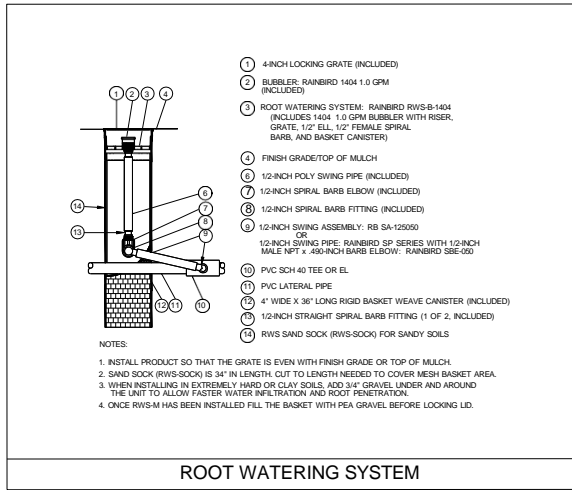
IRRIGATION SCHEDULE:

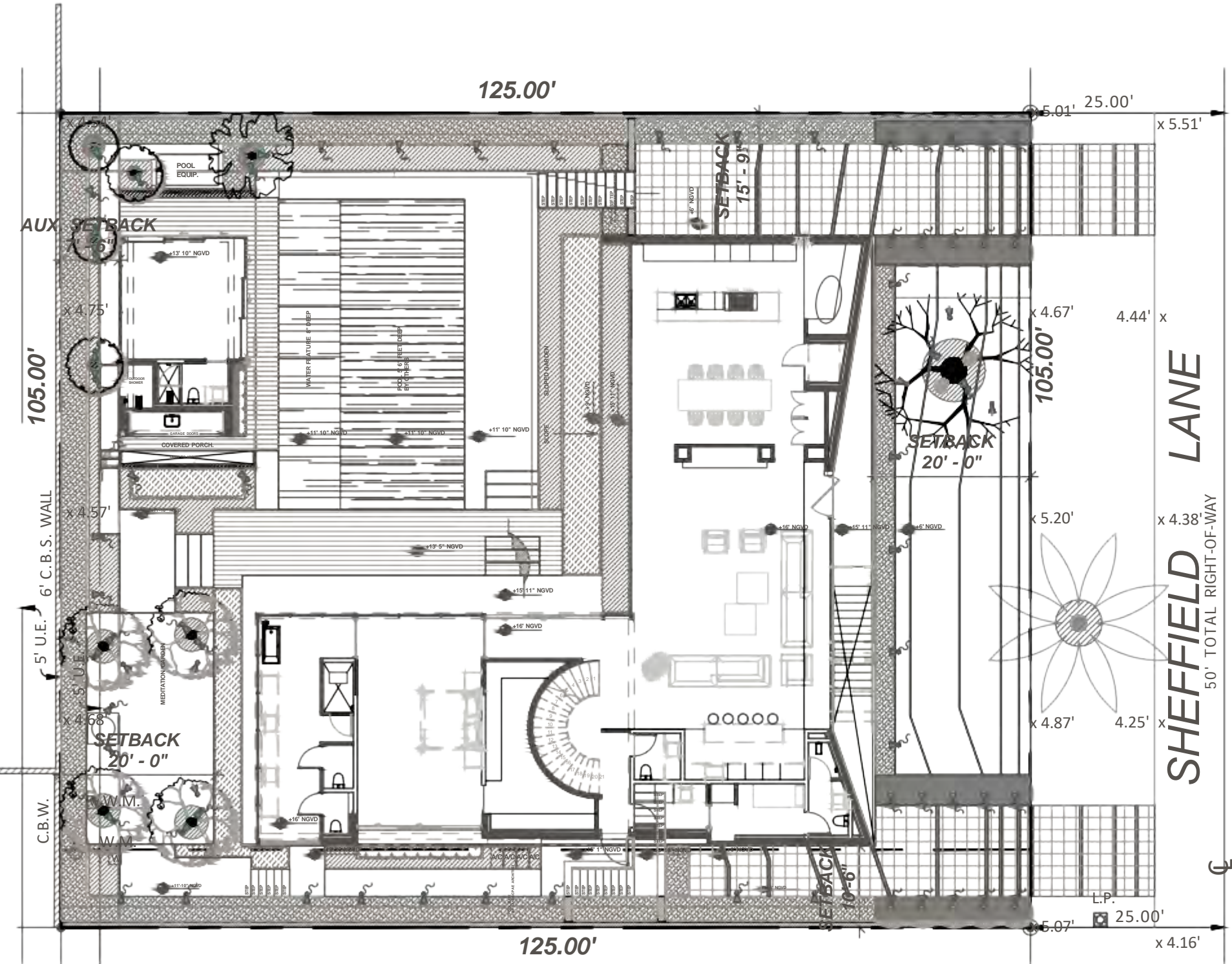
IRRIGATION PLAN

SCALE: 1/16" = 1'-0"

2







LIGHTING LEGEND:

SYMBOL	FIXTURE	QUANTITY	TYPE OF MOUNT
A	CAST LED BULLET LIGHT - UP LIGHT CBLED141 - ATTACHED WITH TREE STRAP	02	TREE STRAP
B	CAST MR-16 BULLET - UP LIGHT CBL1CB - STAKE MOUNTED	67	STAKE
C	CAST LED TREE LIGHT - DOWNLIGHT CTLED141 - ATTACHED WITH TREE STRAP	06	TREE STRAP

REVISIONS / SUBMISSIONS

PASH PLACE ONE
LLC

6650 SHEFFIELD LANE
MIAMI BEACH, FL 33141

OWNER

FERNANDO WONG
OUTDOOR LIVING DESIGN

DRAWN BY: JAN
CHECKED BY: FW
DATE: FEBRUARY 8, 2024
SCALE: 1/16" = 1'-0"

LT-100

Thank you

Q&A

La Gorce Island
6650 Sheffield
Ave, Miami Beach,
Florida 33141

Pash Place
One LLC

PROJECT NUMBER
DRB23-0993

REVIEW & COMMENTS

DEMOLITION PLAN

A10.6

DESIGN DEVELOPMENT

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