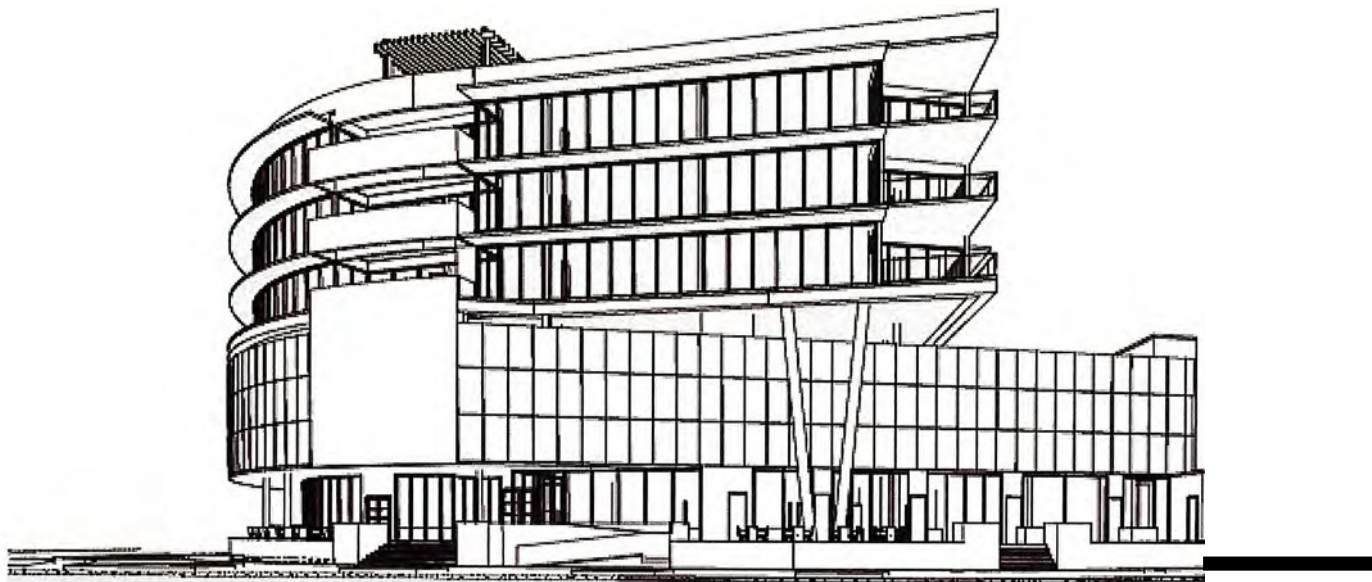


GILLER TOWER

976 ARTHUR GODFREY RD.
MIAMI BEACH, FL.



FOR
GATEWAY ASSOCIATES, LTD.

975 ARTHUR GODFREY RD. #600
MIAMI BEACH, FL 33140

SCHEMATIC DESIGN

COMM. NO. 23110
JANUARY 22, 2024

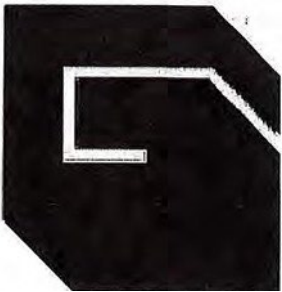
PLANNING BOARD

FINAL SUBMISSION

Giller & Giller, Inc.

The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 Reg. #AA C001364

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



APPLICABLE BUILDING CODES:

2024 FLORIDA BUILDING CODE
2024 FLORIDA BUILDING CODE ACCESSIBILITY
2024 FLORIDA BUILDING CODE MECHANICAL
2024 FLORIDA BUILDING CODE PLUMBING
2024 FLORIDA BUILDING CODE ENERGY CONSERVATION
2024 FLORIDA BUILDING CODE TEST PROTOCOLS FOR HIGH-VELOCITY HURRICANE ZONES
2024 FLORIDA FIRE PREVENTION CODE, 8TH ED.
NFPA 101 LIFE SAFETY CODE, 2021 ED.
NFPA 70 NATIONAL ELECTRIC CODE, 2023 ED.

CODE STATEMENT:
TO THE BEST OF THE ARCHITECT/ENGINEER'S KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED HEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY LOCAL AUTHORITY.

BUILDING OCCUPANCY CLASSIFICATION: BUSINESS GROUP B & MERCANTILE GROUP M
BUILDING USE CLASSIFICATION: BUSINESS, MERCANTILE & PARKING GARAGE
BUILDING CONSTRUCTION CLASSIFICATION: TYPE 1

SCOPE OF WORK

THE PROJECT CONSISTS OF NEW CONSTRUCTION OF A 7-STORY OFFICE BUILDING, RETAIL, RESTAURANT, & ASSOCIATED PARKING GARAGE.

EXISTING SITE CONSISTS OF 1 STORY COMMERCIAL BUILDINGS AND PARKING THAT WILL BE COMPLETELY DEMOLISHED.

LEGAL DESCRIPTION

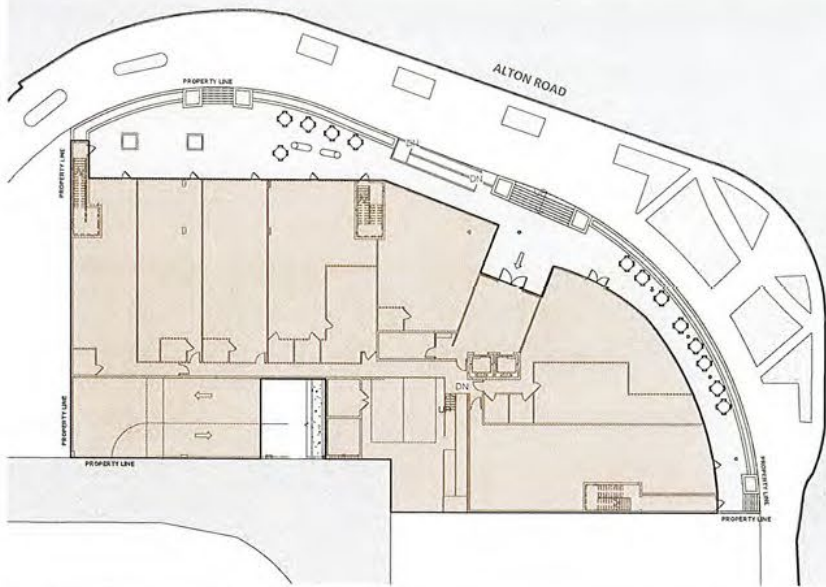
LOTS 2,3,4, AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

PROPERTY ADDRESSES & FOLIO NOS:
3907 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0020
3915 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0030
976 W. 41ST ST., MIAMI BEACH, FL 33140 #02-3222-019-0040
COLLECTIVELY USED IN THE PROJECT DEVELOPMENT AS: 976 W. 41ST ST., MIAMI BEACH, FL 33140

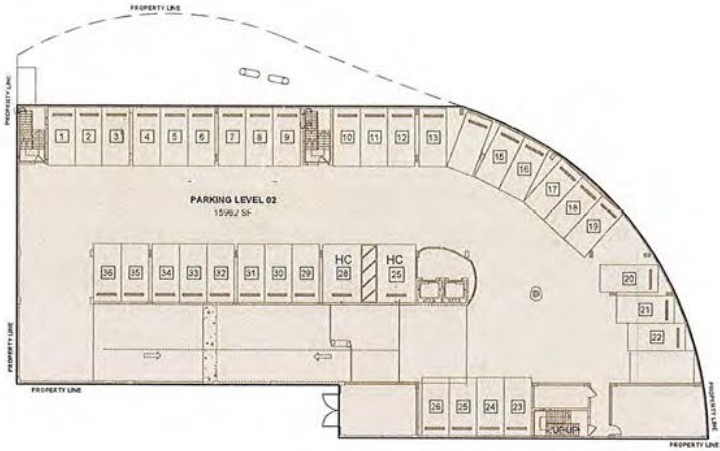
DRAWINGS INDEX	
SHEET NO.	TITLE
G-1	COVER
G-2	INDEX, SCOPE, LOCATION, CODES, LEGAL
G-3	ZONING ANALYSIS
G-4	AREA STATEMENT - FLOOR PLATE
G-5	AREA STATEMENT - F.A.R.
G-6	AREA STATEMENT - RENTAL
G-7	SURVEY
G-8	PHOTOGRAPHS - EXISTING SITE
G-9	PHOTOGRAPHS - EXISTING SITE
A-1	SITE PLAN
A-2	1ST FLOOR PLAN
A-3	2ND FLOOR PLAN
A-4	3RD FLOOR PLAN
A-5	4TH FLOOR PLAN
A-6	5TH, 6TH & 7TH FLOOR PLAN
A-7	ROOF PLAN
A-8	NORTH ELEVATION - 41ST ST.
A-9	WEST ELEVATION - ALTON RD.
A-10	SOUTH ELEVATION
A-11	EAST ELEVATION - ALLEY
A-12	BLDG SECTION #1 - EAST/WEST; TYP. WALL SECTION
A-13	BLDG SECTION #1 - NORTH/SOUTH
A-14	EXTERIOR PERSPECTIVES #1 & #2
A-15	EXTERIOR PERSPECTIVES - #3 & #4
A-16	EXTERIOR PERSPECTIVES - #5 - #8
L-1	LANDSCAPE PLAN



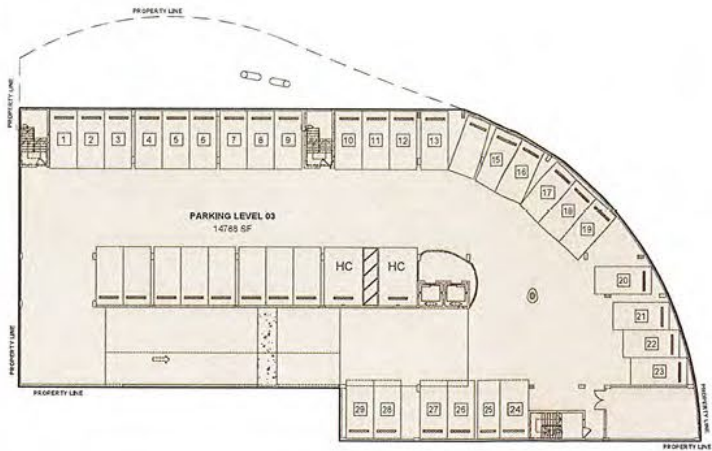
⊕ **LOCATION PLAN**



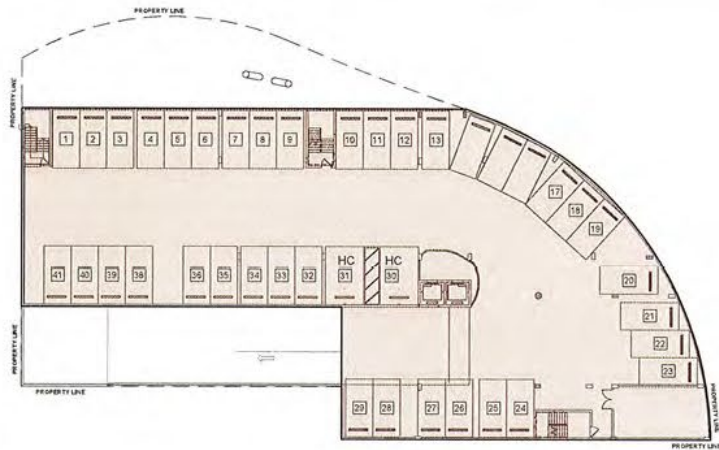
1 1ST FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 01 - 15426.03 SF
SCALE: 3/8" = 1'-0"



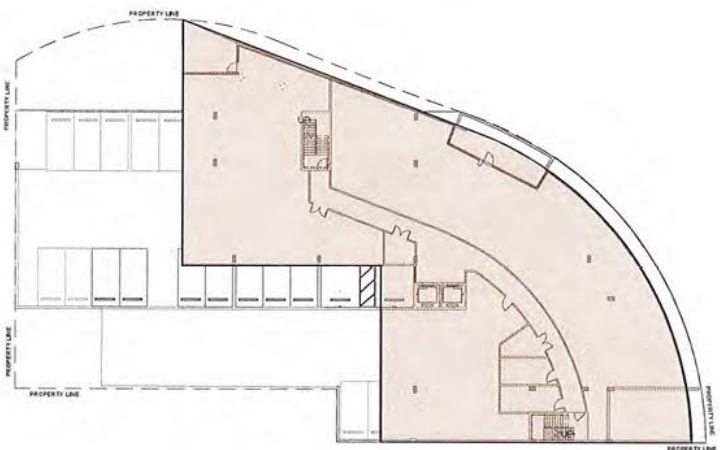
2 2ND FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 02 - 18252.54 SF
SCALE: 3/8" = 1'-0"



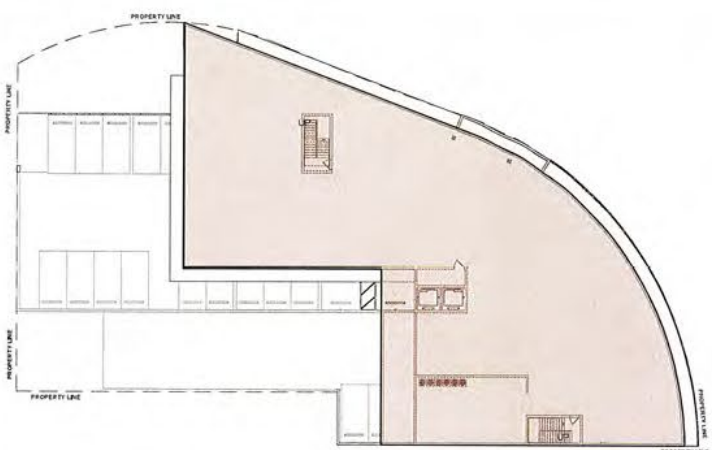
3 3RD FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 03 - 18252.54 SF
SCALE: 3/8" = 1'-0"



4 4TH FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 04 - 15784.84 SF
SCALE: 3/8" = 1'-0"



5 5TH 6TH & 7TH FLOOR PLATE DIAGRAM FLOOR PLATE AREA FOR EACH LEVEL 05, 06 & 07 - 11661.61 SF
TOTAL FLOOR PLATE AREA FOR LEVEL 05 + 06 + 07 = 34984.83 SF
SCALE: 3/8" = 1'-0"



6 ROOF FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE ROOF LEVEL - 11661.61 SF
SCALE: 3/8" = 1'-0"

FLOOR AREA STATEMENT CALCULATION (FLOOR PLATE)

1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF PLAN					TOTAL FLOOR CALCULATIONS				
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA
1	RETAIL 1				1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1				1	MECH				1	1ST LEVEL	15426.03 SF	11665 SF	10,035.8 SF
2	RETAIL 2				2	MAIN ELECTRICAL				2	PARKING LEVEL 03				2	MECH 2				2	STAIR 1				2	2ND LEVEL	18252.54 SF	623.97 SF	
3	RETAIL 3				3	PARKING LEVEL 02				3	STAIR 1				3	MEN'S TOILET				3	STAIR 2				3	3RD LEVEL	18252.54 SF	959.74 SF	
4	RETAIL 4				4	STAIR 1				4	STAIR 2				4	WOMEN'S TOILET				4	ELEVATOR 1 & 2				4	4TH LEVEL	15784.84 SF	959.74 SF	
5	RETAIL 5				5	STAIR 2				5	STAIR 3				5	OFFICE 1				5					5	5TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF
6	RESTAURANT 1				6	STAIR 3				6	ELEVATOR 1 & 2				6	OFFICE 2				6					6	6TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF
7	RESTAURANT 2				7	ELEC VAULT TRANSFORMER				7	ELEVATOR LOBBY				7	OFFICE 3				7					7	7TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF
8	STAIR 2				8	PARKING RAMP				TOTAL 3RD FLOOR 18252.54 SF					8	STAIR 1									8				
9	CORRIDOR				9	ELEVATOR LOBBY				4TH FLOOR PLAN					9	STAIR 2													
10	STAIR 1 & 3				10	ELEVATOR 1 & 2				1	STORAGE				10	CORRIDOR													
11	LOBBY									2	PARKING LEVEL 04				11	ELEVATOR 1 & 2													
12	TRASH 1 & 2									3	STAIR 1, 2 & 3																		
13	ELEVATOR 1 & 2									4	ELEVATOR 1 & 2																		
14	PLAZA									5	ELEVATOR LOBBY																		
TOTAL 1ST FLOOR		15426.03 SF			TOTAL 2ND FLOOR		18252.54 SF			TOTAL 4TH FLOOR		15784.84 SF			TOTAL 5TH FLOOR		11661.61 SF			TOTAL CALCULATIONS		11661.61 SF			TOTAL CALCULATIONS		102,700.78 SF	46,880.69 SF	37,983.92 SF



Giller & Giller, Inc.
The Giller Building
1000 Brickell Avenue
Miami Beach, Florida 33130
(305) 536-6334 FAX (305) 536-5921
GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

PLANNING FINAL

DATE REVISION DESCRIPTION

DATE 07/22/24

SHEET #

AREA STATEMENT
FLOOR PLATE

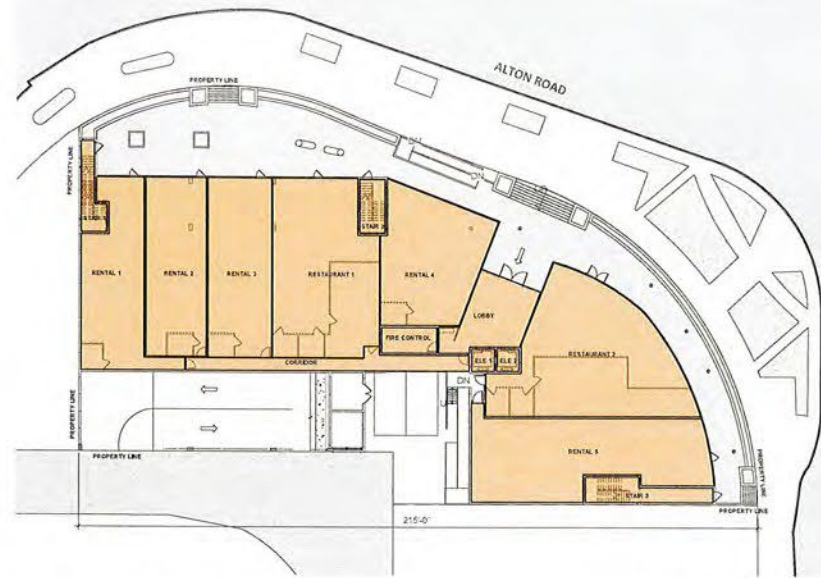
APPROVED BY

CHECKED BY

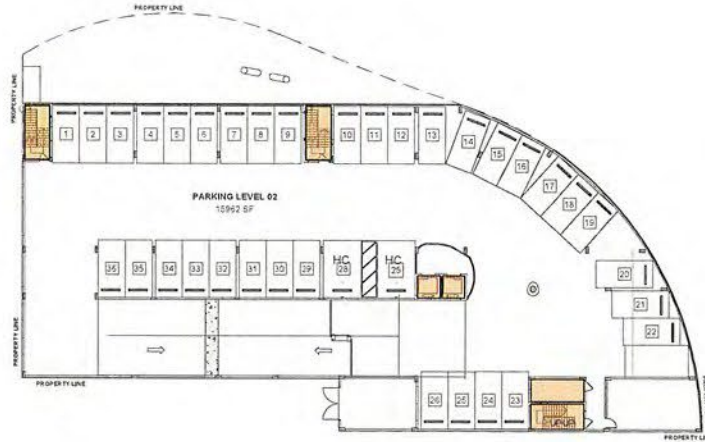
DATE 07/22/24

ARCHITECT #

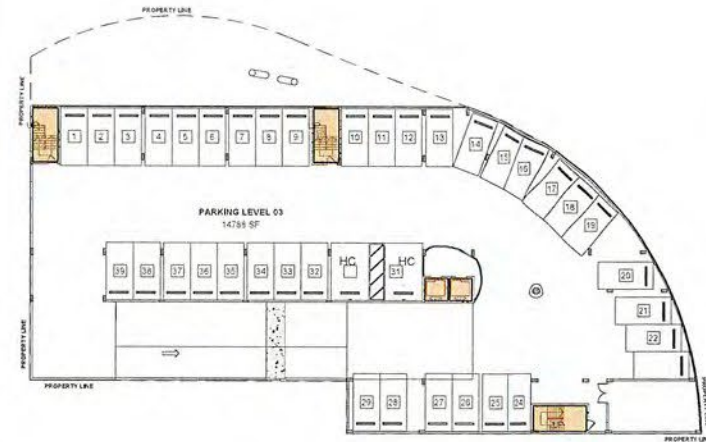
23110



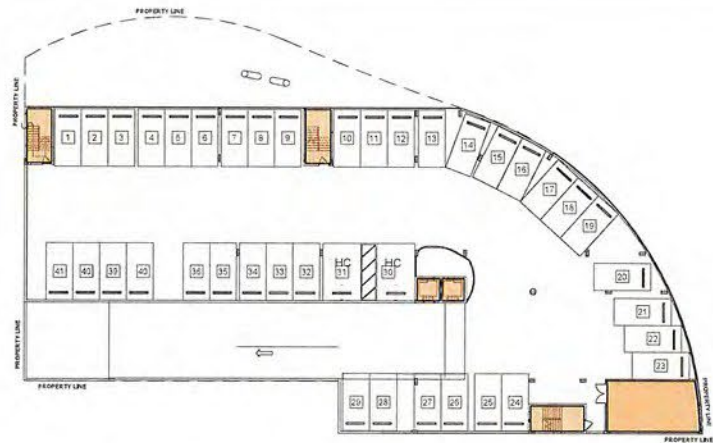
1 1ST FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 01 - 11,806 SF



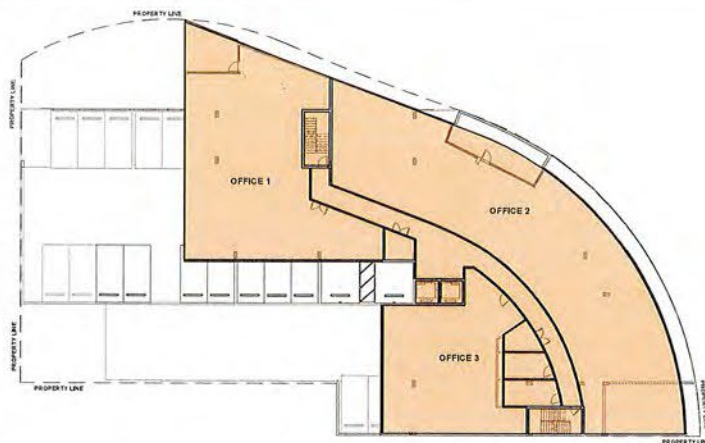
2 2ND FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 02 - 623.97 SF



3 3TH FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 03 - 505.14 SF



4 4TH FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 04 - 959.74 SF



5 5TH 6TH & 7TH FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
F.A.R. FOR EACH LEVEL 05, 06 & 07 - 10890.81 SF
TOTAL F.A.R. LEVEL 05 + 06 + 07 = 32672.43 SF

FLOOR AREA STATEMENT CALCULATION (F.A.R.) - ALLOWABLE F.A.R. = 20882.8 SF (*LOT AREA) x 2.25 = 46986.3 SF, PROVIDED F.A.R. = 46,883.27 SF																															
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS						
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA		
1	RETAIL 1		1130.75 SF		1	EMERGENCY GENERATOR & FIRE PUMP				1	BIKES				1	MECH 1		82.07 SF		1	MECH				1	1ST LEVEL	15292.03 SF		11806 SF		
2	RETAIL 2		1117.67 SF				2	PARKING LEVEL 03					2						2		STAIR 1					2	STAIR 1				2
3	RETAIL 3		1117.67 SF		2	MAIN ELECTRICAL		118.83 SF		3	STAIR 1		135.33 SF		3	TOILET		119.28SF		3	STAIR 2				3	3RD LEVEL	18252.54 SF		505.14 SF		
4	RETAIL 4		1234.76 SF		3	PARKING LEVEL 02				4	STAIR 2		135.32 SF		4	TOILET		140.66 SF		4	ELEVATOR 1 & 2				4	4TH LEVEL	18252.54 SF		959.74 SF		
5	RETAIL 5		1723.76 SF		4	STAIR 1		135.33 SF		5	STAIR 3		134.67 SF		5	OFFICE 1		2978.24 SF		5	ROOF LEVEL				5	5TH LEVEL	11651.61 SF		10890.81 SF		
6	RESTAURANT 1		1762.99 SF		5	STAIR 2		135.32 SF		6	ELEVATOR 1 & 2		99.82 SF		6	OFFICE 2		4581.30 SF		6					6	6TH LEVEL	11651.61 SF		10890.81 SF		
7	RESTAURANT 2		2038.36 SF		6	STAIR 3		134.67 SF		7	ELEVATOR LOBBY				7	OFFICE 3		1756.50 SF		7					7	7TH LEVEL	11651.61 SF		10890.81 SF		
8	STAIR 2		135.33 SF		7	ELEC VAULT TRANSFORMER				TOTAL 3RD FLOOR				505.14 SF	8	STAIR 1		135.33 SF		8					8	ROOF LEVEL	11661.61 SF				
9	CORRIDOR		406.58 SF		8	PARKING RAMP				4TH FLOOR PLAN					9	STAIR 2		134.67 SF													
10	STAIR 1 & 3		400.92 SF				9	ELEVATOR LOBBY				1	MAINTENANCE		454.60 SF		10	CORRIDOR		862.74 SF											
11	LOBBY		498.24 SF		10	ELEVATOR 1 & 2		99.82 SF		2	PARKING LEVEL 04				11	ELEVATOR 1 & 2		99.82 SF													
12	TRASH 1 & 2		-							3	STAIR 1, 2 & 3		405.32 SF																		
13	ELEVATOR 1 & 2		99.82 SF							4	ELEVATOR 1 & 2		99.82 SF																		
14	FIRE CONTROL		139.22 SF							5	ELEVATOR LOBBY																				
TOTAL 1ST FLOOR			11,806 SF		TOTAL 2ND FLOOR			623.97 SF		TOTAL 4TH FLOOR			959.74 SF		TOTAL 5TH FLOOR			10890.81 SF		TOTAL CALCULATIONS						TOTAL CALCULATIONS			116,696.09 SF	46,567.35 SF	

Digitally signed by
Ira D Giller
Date: 2024.02.06
17:22:19
-05'00'



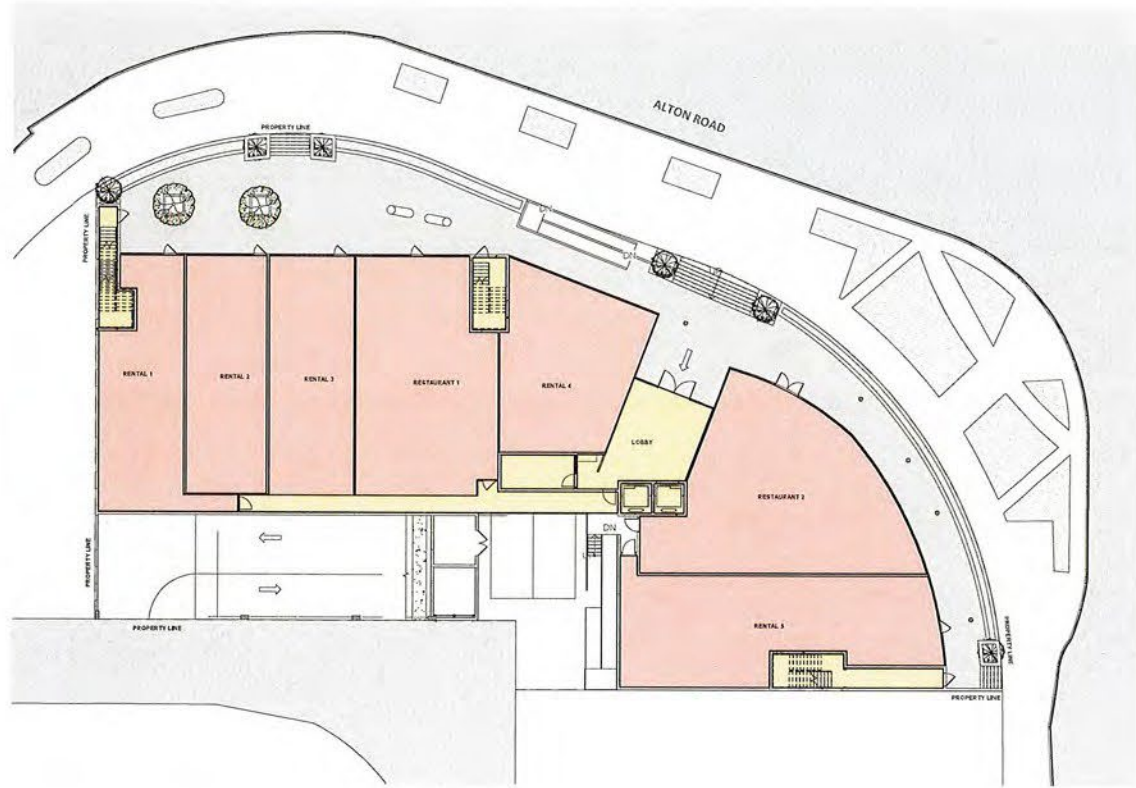
Giller & Giller, Inc.
The Giller Building
975 Arthur Godfrey Road
Miami Beach, FL 33139
(305) 534-4334 FAX (305) 534-5921
GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER
MIAMI BEACH, FL
975 Arthur Godfrey Road

PLANNING FINAL

DATE	REVISION DESCRIPTION

AREA STATEMENT F.A.R.		DATE	CHECKED BY	APPROVED BY	DATE
G-5		01/27/24			
SHEET #		23110	TOTAL		

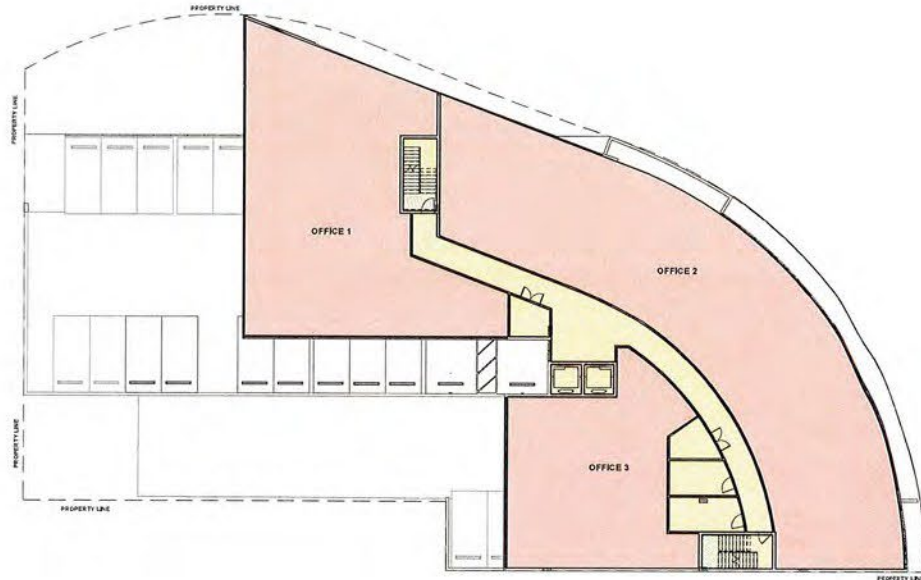


1

1ST RENTAL FLOOR PLAN RENTAL DIAGRAM

SCALE: 1/16" = 1'-0"

TOTAL RENTAL AREA LEVEL 01 - 10,125 SF



2

5TH 6TH & 7TH FLOORS RENTAL DIAGRAM

SCALE: 1/16" = 1'-0"

RENTAL AREA FOR INDIVIDUAL LEVEL 05, 06 & 07 - 9,316.04 SF
TOTAL RENTAL AREA FOR LEVEL 05 + 06 + 07 = 27,948.12 SF

FLOOR AREA STATEMENT CALCULATION (RENTAL AREA)

1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS						
NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA		
1	RETAIL 1			1130.75 SF	1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1		82.07 SF		1	MECH				1	1ST LEVEL	15292.03 SF			10,125 SF	
2	RETAIL 2			1117.67 SF						2	PARKING LEVEL 03				2					2	STAIR 1				2	2ND LEVEL	18252.54 SF				
3	RETAIL 3			1117.67 SF	2	MAIN ELECTRICAL				3	STAIR 1				3	MEN'S TOILET		119.28SF		3	STAIR 2				3	3RD LEVEL	18252.54 SF				
4	RETAIL 4			1234.76 SF	3	PARKING LEVEL 02				4	STAIR 2				4	WOMEN'S TOILET		140.86 SF		4	ELEVATOR 1 & 2				4	4TH LEVEL	18252.54 SF				
5	RETAIL 5			1723.76 SF	4	STAIR 1				5	STAIR 3				5	OFFICE 1			2978.24 SF	5	ROOF LEVEL				5	5TH LEVEL	11661.61 SF			9,316.04 SF	
6	RESTAURANT 1			1762.99 SF	5	STAIR 2				6	ELEVATOR 1 & 2				6	OFFICE 2			4581.30 SF						6	6TH LEVEL	11661.61 SF			9,316.04 SF	
7	RESTAURANT 2			2038.36 SF	6	STAIR 3									7	OFFICE 3			1756.50 SF						7	7TH LEVEL	11661.61 SF			9,316.04 SF	
8	STAIR 2		135.33 SF		7	ELEC VAULT TRANSFORMER				TOTAL 3RD FLOOR		18252.54 SF	959.74 SF		8	STAIR 1		135.33 SF							8	ROOF LEVEL	11661.61 SF				
9	CORRIDOR		406.56 SF		8	PARKING RAMP				4TH FLOOR PLAN					9	STAIR 2		134.67 SF													
10	STAIR 1 & 3		400.92 SF		9	ELEVATOR 1 & 2				1	STORAGE				10	CORRIDOR		862.74 SF													
11	LOBBY		507.15 SF							2	PARKING LEVEL 04				11	ELEVATOR 1 & 2		99.82 SF													
12	TRASH 1									3	STAIR 1, 2 & 3																				
13	ELEVATOR 1 & 2		99.82 SF							4	ELEVATOR 1 & 2																				
14	FIRE CONTROL		139.22 SF																												
TOTAL 1ST FLOOR		15292.03 SF	1,689.02 SF	10,125 SF	TOTAL 2ND FLOOR		18252.54 SF	623.97 SF		TOTAL 4TH FLOOR		18252.54 SF	959.74 SF		TOTAL EACH FLOOR		11661.61 SF	1574.77 SF	9,316.04 SF	TOTAL CALCULATIONS		11661.61 SF				TOTAL CALCULATIONS		116,696.09 SF			38,073 SF



Digitally signed
by Ira D Giller
Date: 2024.02.06
17:22:40 -05'00'

AREA STATEMENT
RENTAL

DATE REVISION DESCRIPTION

DATE 01/22/24

CHECKED BY APPROVED BY

SHEET #

GILLER TOWER

976 Arthur Godfrey Road

MIAMI BEACH, FL

PLANNING FINAL

Giller & Giller, Inc.

7775 Arthur Godfrey Road
Miami Beach, Florida 33140
305.358.5921
GILLER@GILLER.COM
ARCHITECTS INTERIORS DESIGNERS CONSTRUCTION MANAGERS



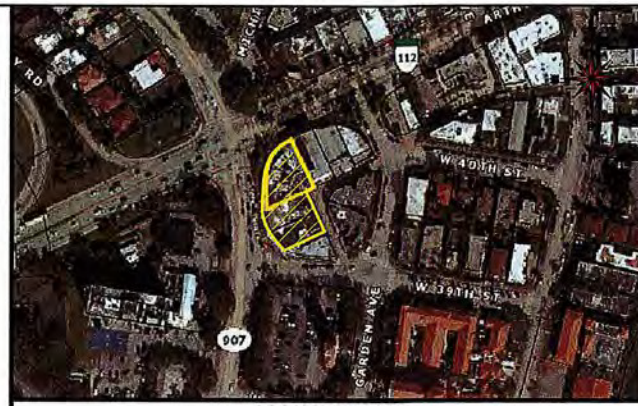
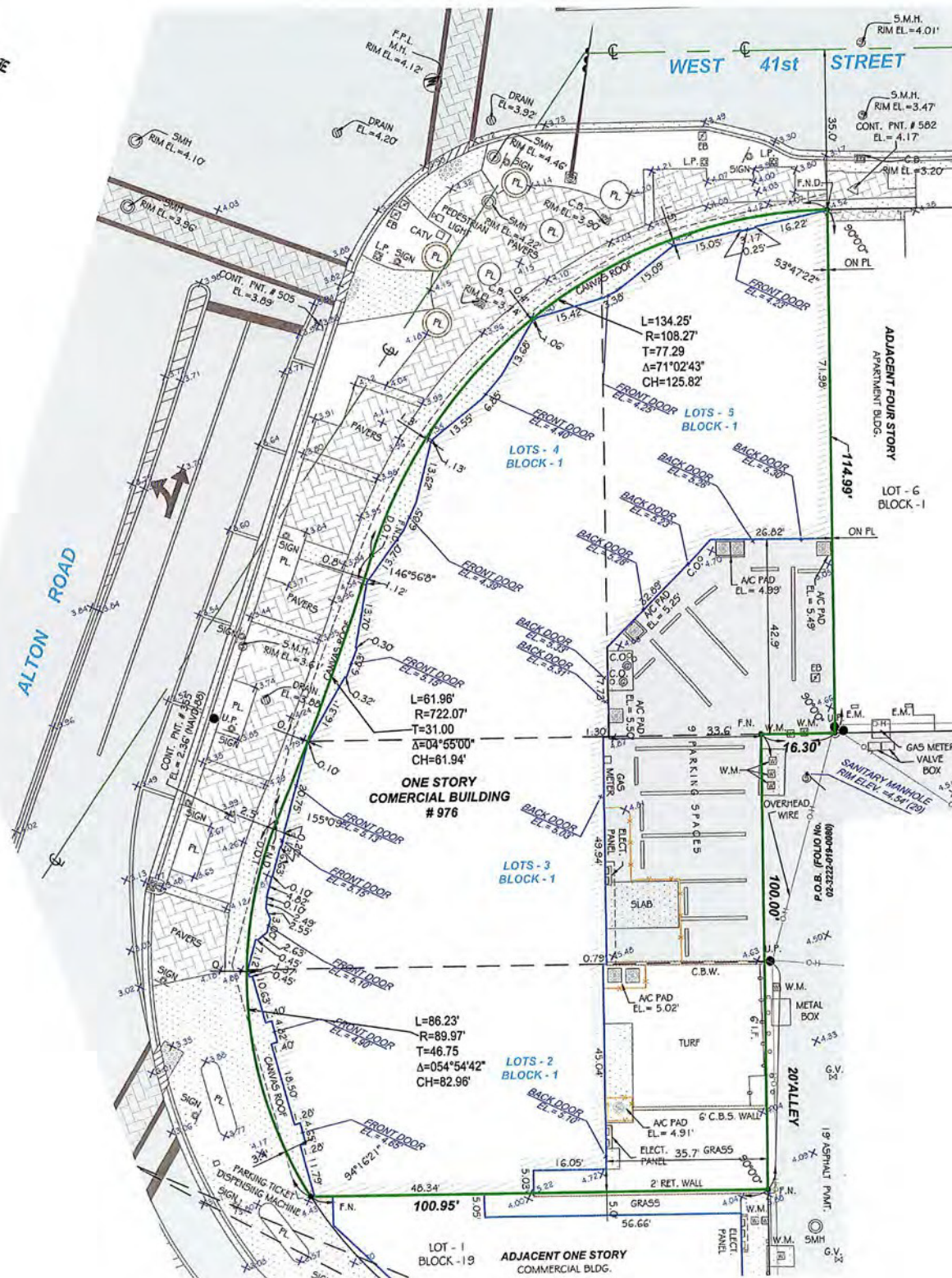
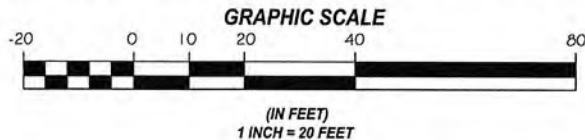
JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.
SUITE 823
CAPIE CORRAL, FL 33904
PH: (239) 540-2650
FAX: (239) 540-2654



MAP OF BOUNDARY SURVEY



LOCATION SKETCH
SCALE = N.T.S.

LEGAL DESCRIPTION:
LOT 2, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 5,515.00 SQ. FT OR ± 0.13 ACRES AND
LOT 3, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 5,448.00 SQ. FT OR ± 0.13 ACRES AND
LOTS 4 AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 9,816.00 SQ. FT OR ± 0.23 ACRES

PROPERTY ADDRESS:
3907 ALTON RD, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0020
3915 ALTON RD, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0030
976 W 41ST STREET, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0040

CERTIFICATION:
GILLER & GILLER, INC.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:
• THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
• EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
• THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
• BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
• ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
• FENCE OWNERSHIP NOT DETERMINED.
• THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 7 FT
COMMUNITY: 120651
PANEL: 0309
SUFFIX: L
DATE OF FIRM: 9/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:
1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI-DADE COUNTY BENCHMARK # D-106. LOCATOR NO. 3234 NE @ 43 ST & ALTON RD; ELEVATION IS 3.20 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLETES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 11-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 476.001, FLORIDA STATUTES.

Digitally signed by
CARLOS M IBARRA
Date: 2023.12.28
13:11:36 -05'00'
08/31/2023
BY: CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6710 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)

REVISED ON: _____
REVISED ON: _____

LEGEND

—	= OVERHEAD UTILITY LINES
—	= CONCRETE BLOCK WALL
—	= CHAIN LINK FENCE
—	= IRON FENCE
—	= WOOD FENCE
—	= BUILDING SETBACK LINE
—	= UTILITY EASEMENT
—	= LIMITED ACCESS RW
—	= NON-VEHICULAR ACCESS RW
—	= EXISTING ELEVATIONS

DRAWN BY:	IG	Digitally signed by CARLOS M IBARRA Date: 2023.12.28 13:10:40 -05'00' L.B.# 7806 SEAL
FIELD DATE:	08/31/2023	
SURVEY NO:	23-001316	
SHEET:	1 OF 1	



Giller & Giller, Inc.

1777 N.W. 72nd Avenue
Suite 3025
Miami Beach, Florida 33140
Phone: (305) 536-9741
GILLER@GILLER.COM
ARCHITECTS, INTERIOR DESIGNERS, CONSTRUCTION MANAGERS

GILLER TOWER

976 Arthur Godfrey Road

MIAMI BEACH, FL

PLANNING FINAL

DATE	REVISION DESCRIPTION

SURVEY

G-7

DATE	01/23/24	APPROVED BY		SAID TO NAME	
SHEET #	23110	CHECKED BY			



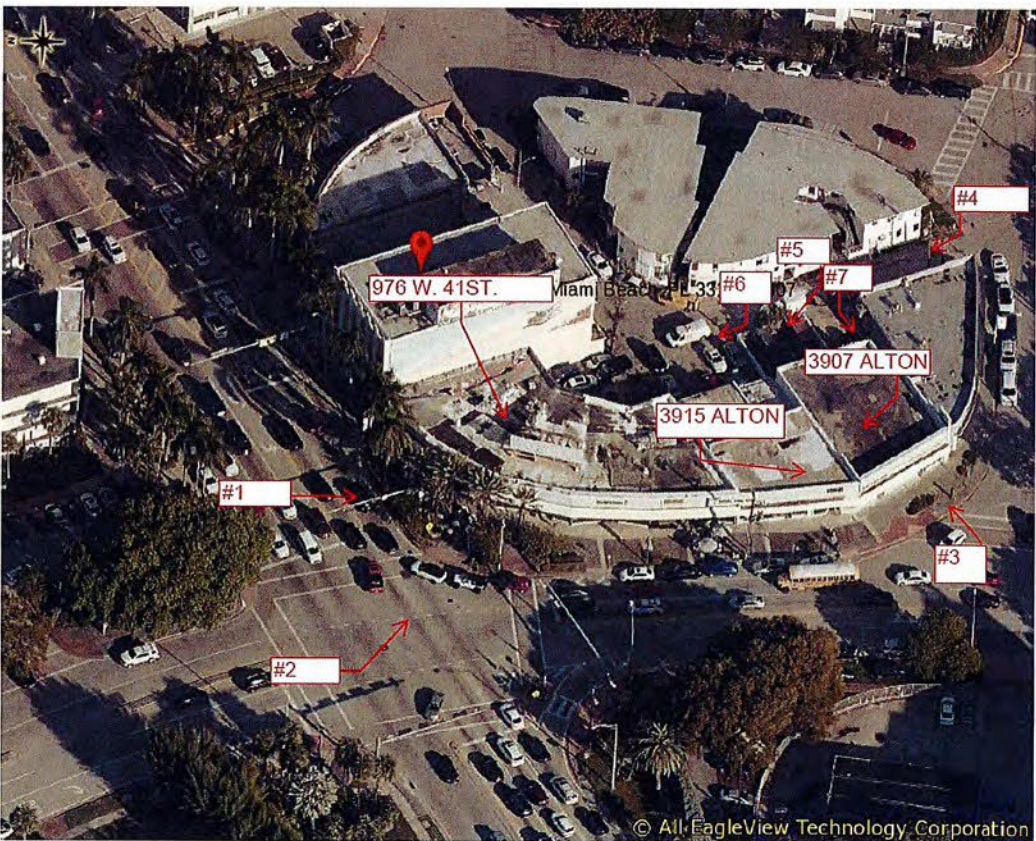
VIEW #1 - 41ST ST. CONTEXT



VIEW #2 - CORNER @ 41ST ST. & ALTON RD.



VIEW #3 - CORNER @ 39TH ST. & ALTON RD. CONTEXT



KEY & AERIAL VIEW



Giller & Giller, Inc.
The Giller Building
976 Arthur Godfrey Road
Miami Beach, FL 33133
(305) 534-6234 FAX (305) 526-5621
GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

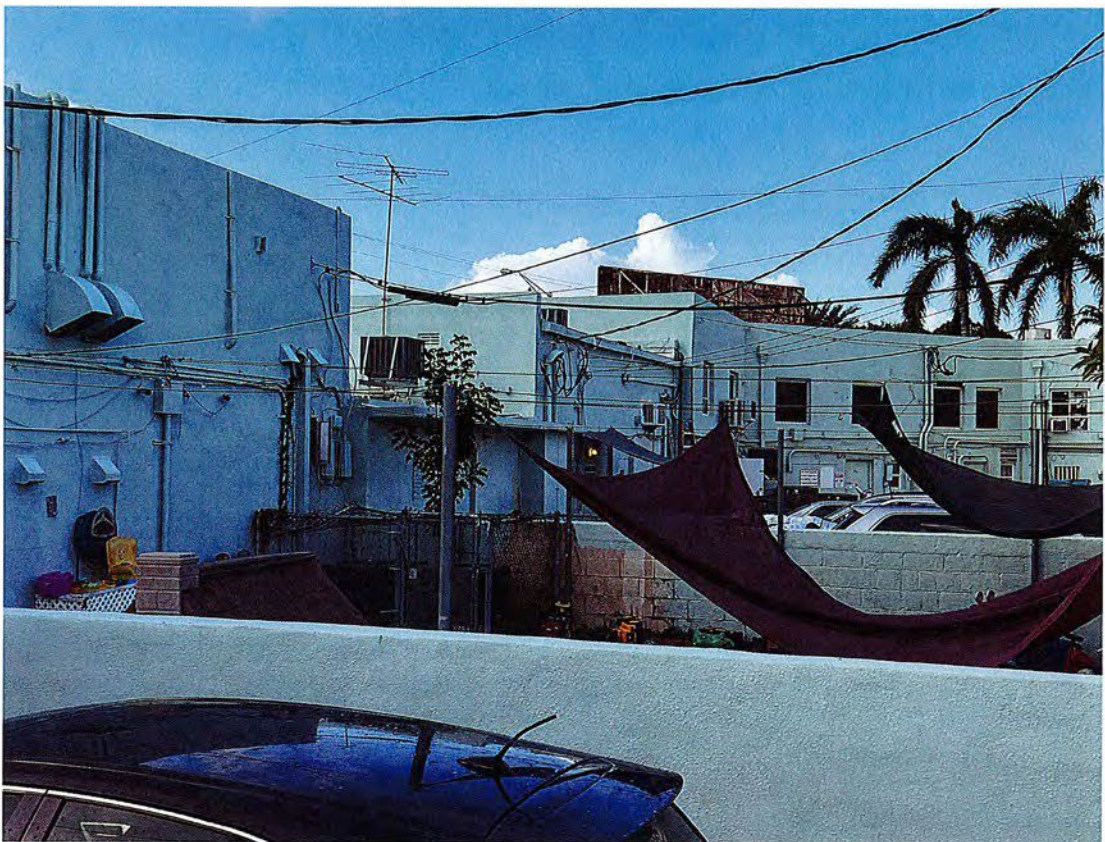
DATE	REVISION DESCRIPTION

SHEET TITLE	PHOTOS - EXISTING
DATE	1/22/24
CHECKED BY	
APPROVED BY	
SCALE	AS SHOWN
PROJECT #	2316
SHEET #	G-8
OF	TOTAL

Digitally signed by
Ira D Giller
Date: 2024.02.06
17:23:22 -05'00'



ALLEY & EAST CONTEXT



EAST REAR ELEVATION



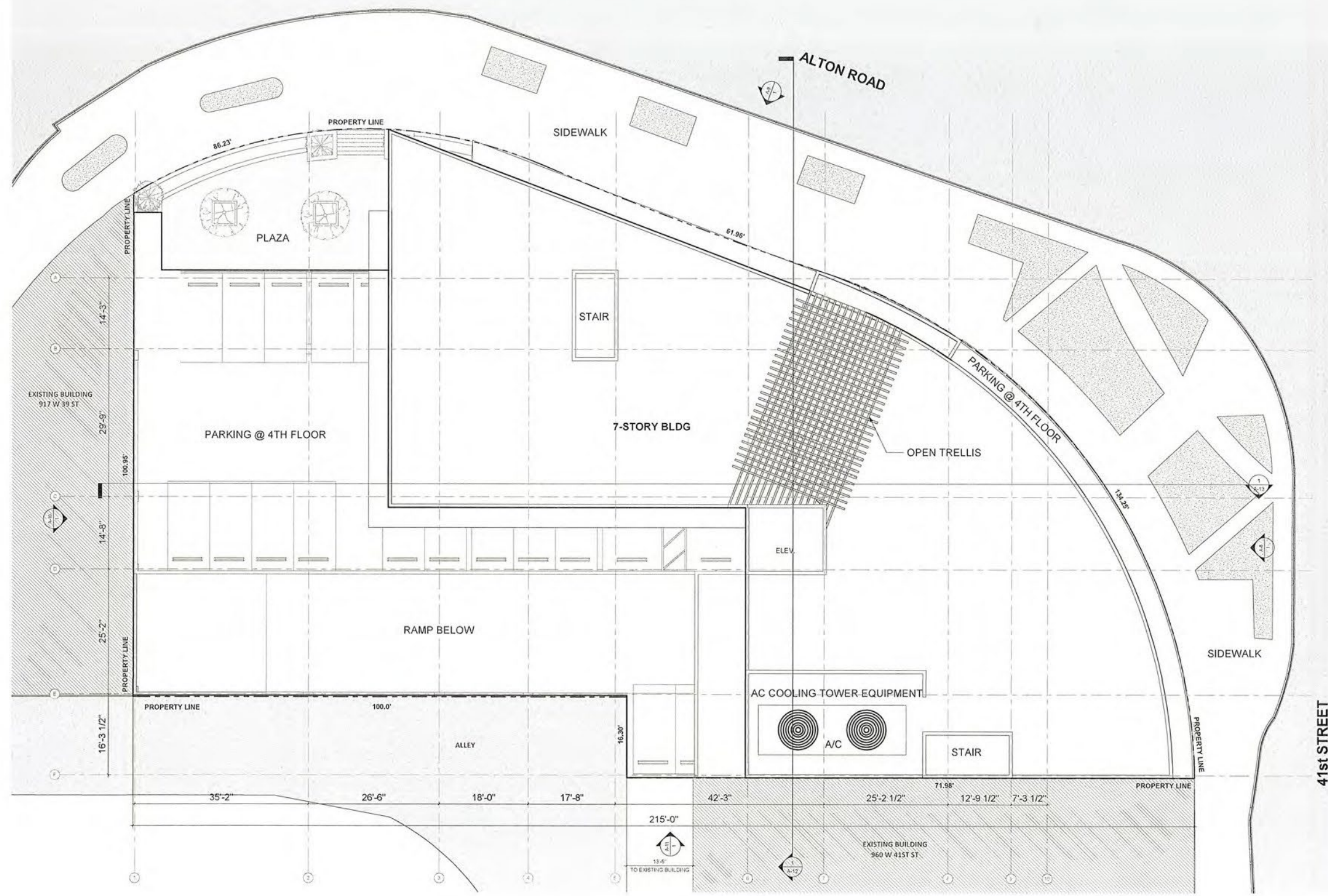
EAST REAR @ ALLEY



SOUTH CONTEXT

DATE	REVISION DESCRIPTION

SHEET #	PHOTOS - EXISTING		DATE	CHECKED BY	APPROVED BY	CAD TO NAME
	G-9	TOTAL				
OF	2310		1/22/24			



Digitally signed by Ira D Giller
Date: 2024.02.06 17:01:30 -05'00'

Giller & Giller, Inc.
The Giller Building
976 Arthur Godfrey Road
Miami Beach, FL 33139
(305) 534-5324 FAX (305) 534-5021
GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

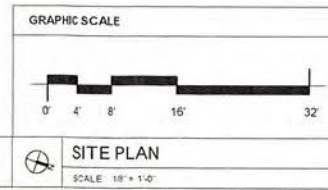
GILLER TOWER
MIAMI BEACH, FL
976 Arthur Godfrey Road

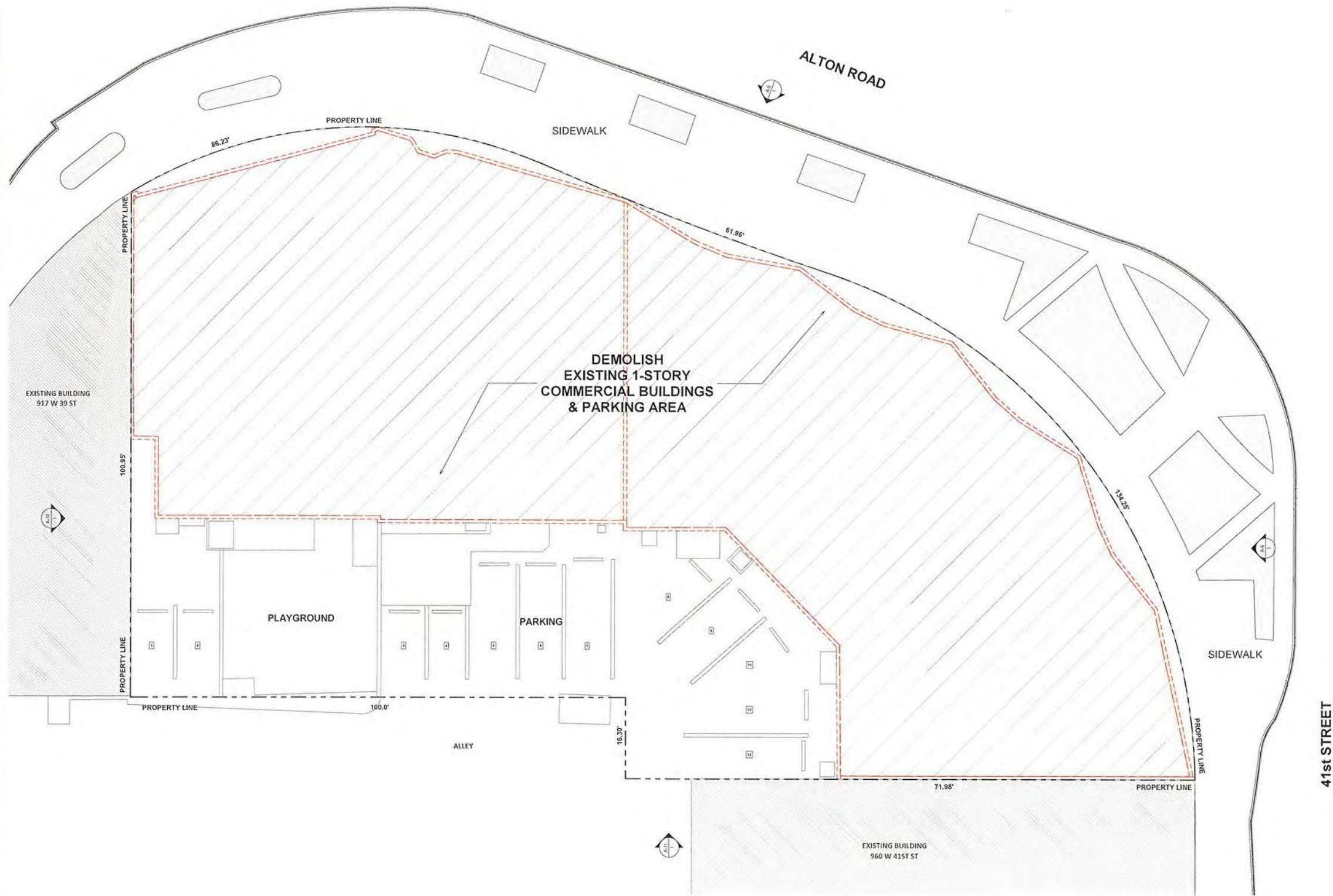
PLANNING FINAL

DATE	REVISION DESCRIPTION

SHEET TITLE	DATE	CHECKED BY	DATE
A-1	01/22/24		
ARCH. COUNCIL #			
23110			

Digitally signed by Ira D Giller
Date: 2024.02.06 17:10:20 -05'00'





NOTES

- EXISTING 1-STORY BUILDINGS SHALL BE COMPLETELY DEMOLISHED.
- EXISTING BUILDING AREAS:
3907 = 3,562 SF.
3915 = 3,618 SF.
976 = 9,875 SF.
TOTAL = 17,055 SF.
- EXISTING F.A.R.
17,055 / 11,882 = 1.435
- EXISTING PARKING: 12 SPACES.



Giller & Giller, Inc.
The Giller Building
976 Arthur Godfrey Road
Miami Beach, Florida 33149
G&G@GAIL.COM (305) 536-6971
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

976 Arthur Godfrey Road
MIAMI BEACH, FL

PLANNING FINAL

DATE	REVISION DESCRIPTION

DEMOLITION PLAN


A-1.1

DATE: 01/22/24
CHECKED BY: **
APPROVED BY: **
SHEET TOTAL: 23110



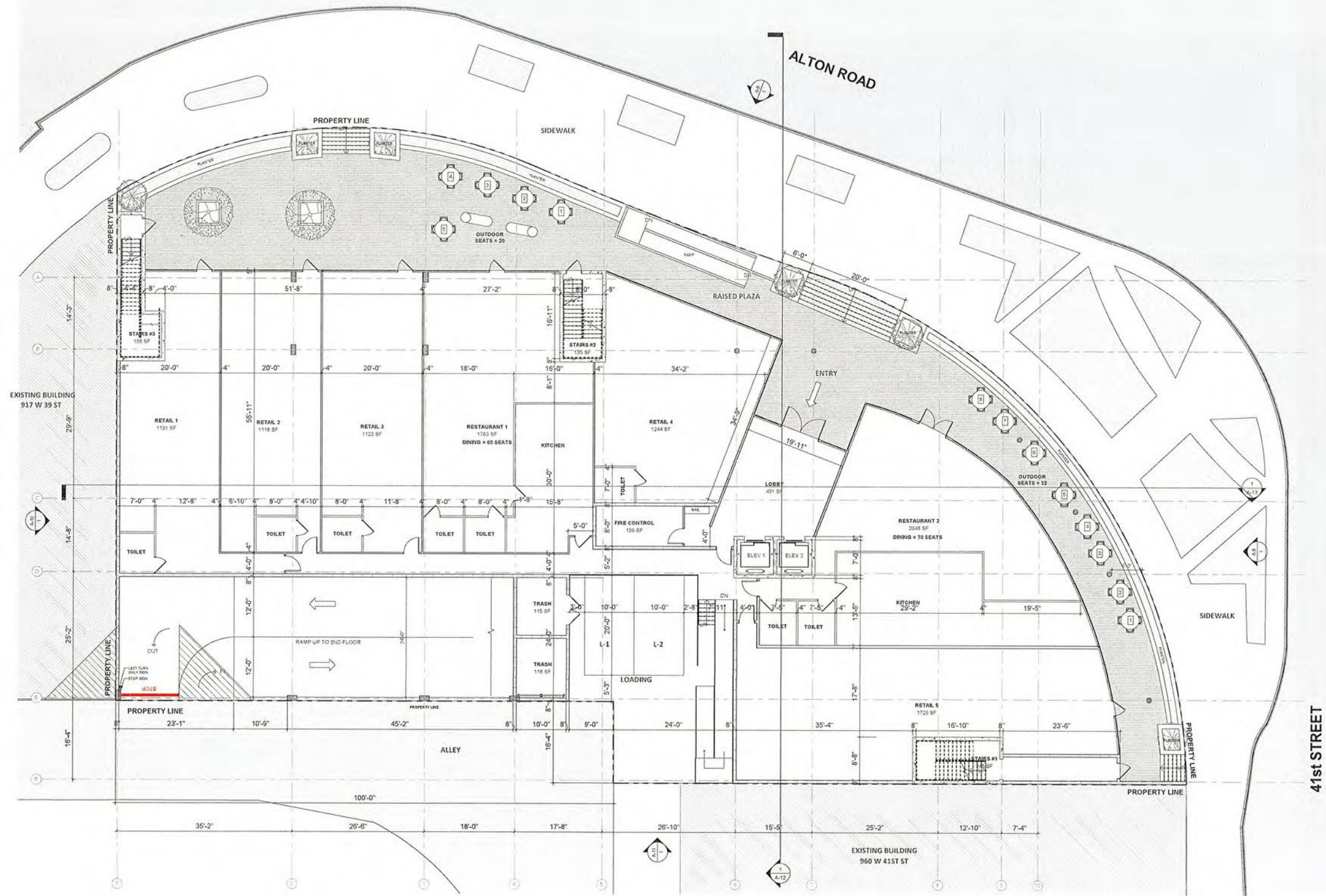
Digitally signed by Ira D Giller Date: 2024.02.06 17:02:17 - 05'00'

GRAPHIC SCALE

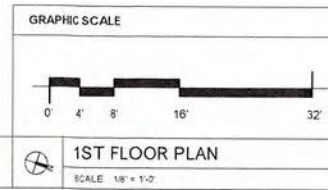


1 DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



Digitally signed by Ira D Giller Date: 2024.02.06 17:03:04 - 05'00'



SHEET TITLE		DATE		REVISION DESCRIPTION	
A-2	TOTAL	01/22/24			
	23110				

1ST FLOOR PLAN

APPROVED BY: [Signature]

DATE: 01/22/24

REVISION DESCRIPTION

GILLER & GILLER, Inc.
1775 Arthur Godfrey Road
Miami Beach, Florida 33140
305.674.6071
GILLER7@AOL.COM
ARCHITECTS, INTERIOR DESIGNERS, CONSTRUCTION MANAGERS

GILLER TOWER
976 Arthur Godfrey Road
MIAMI BEACH, FL

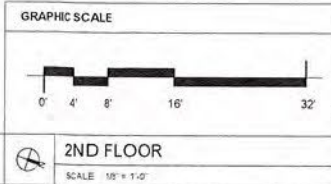
PLANNING FINAL

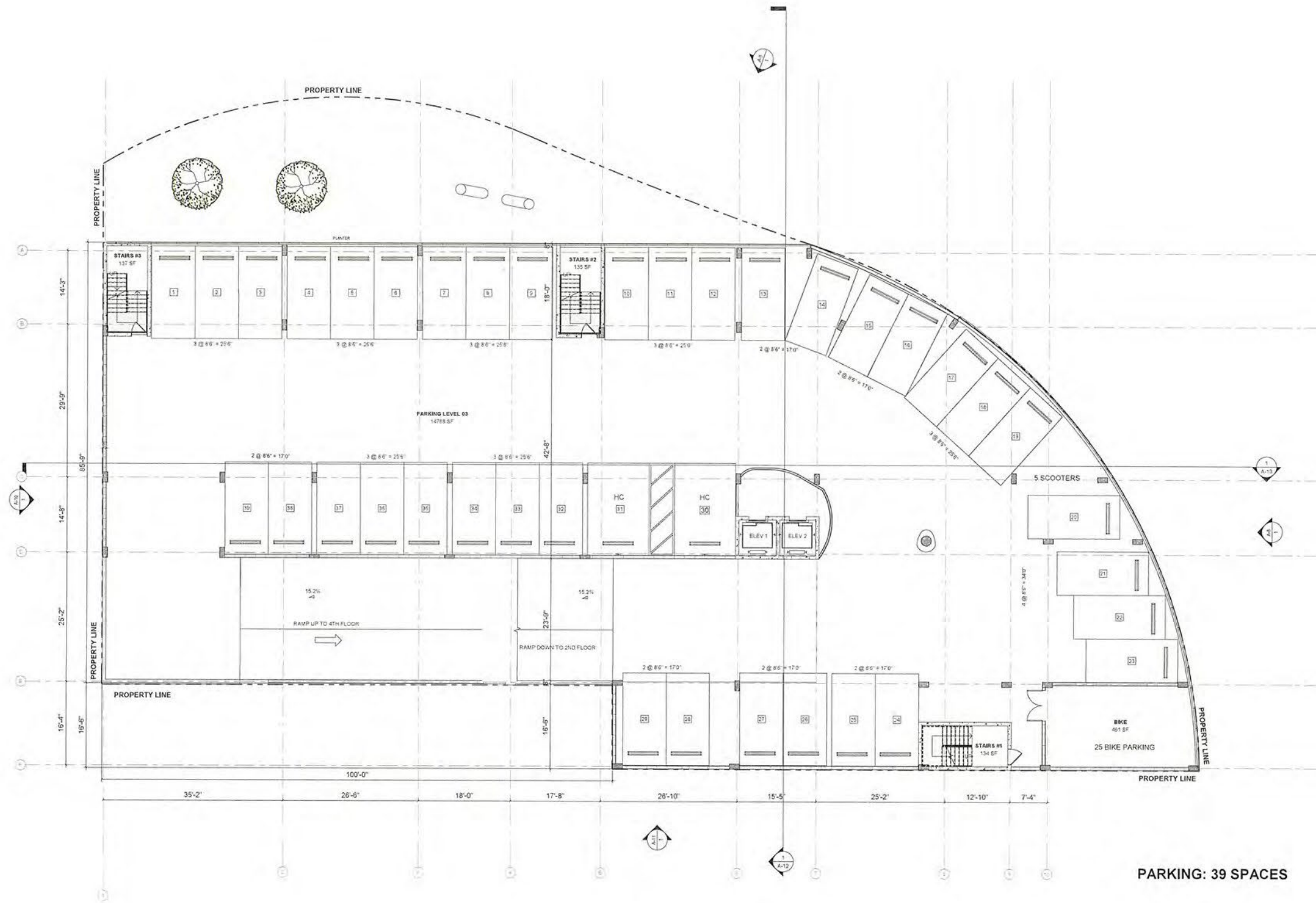
976 Arthur Godfrey Road

A	DATE	REVISION DESCRIPTION
---	------	----------------------

23110

23110

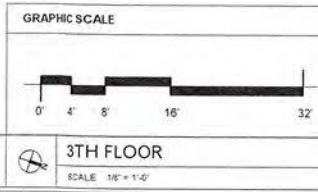




PARKING: 39 SPACES



Digitally signed by Ira D Giller Date: 2024.02.06 17:03:56 - 05'00'



DATE REVISION DESCRIPTION

DATE	REVISION DESCRIPTION

3RD FLOOR PLAN

A-4

TOTAL

23110

DATE 01/22/24

APPROVED BY

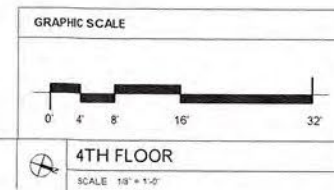
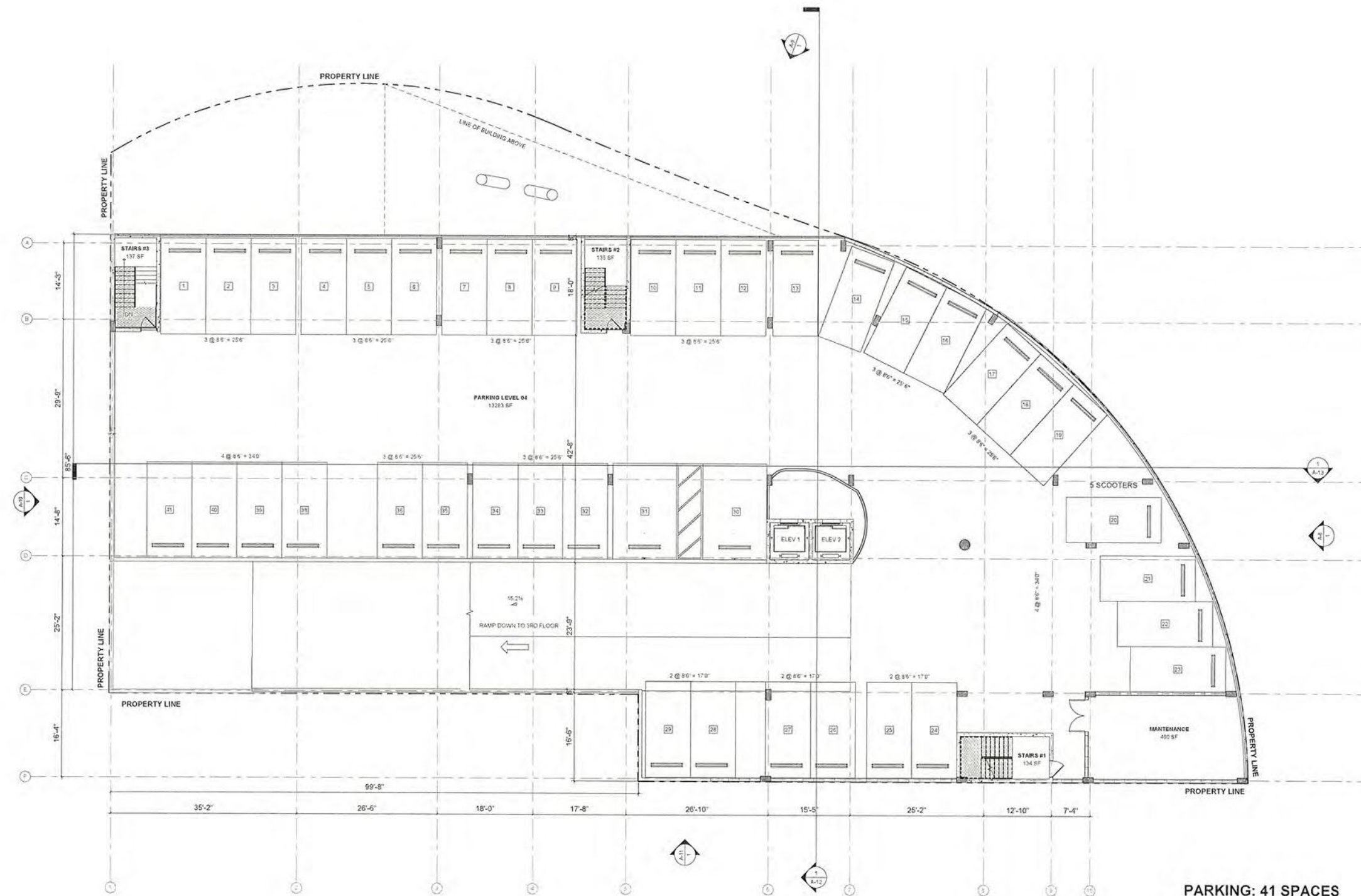
SAID BY NAME

Giller & Giller, Inc.
7777 Arthur Godfrey Road
Miami Beach, Florida 33140
305.356.6374
G&G@G&G.COM
ARCHITECTS INTERIORS DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road





GRAPHIC SCALE

0' 4' 8' 16' 32'

5TH, 6TH & 7TH FLOOR

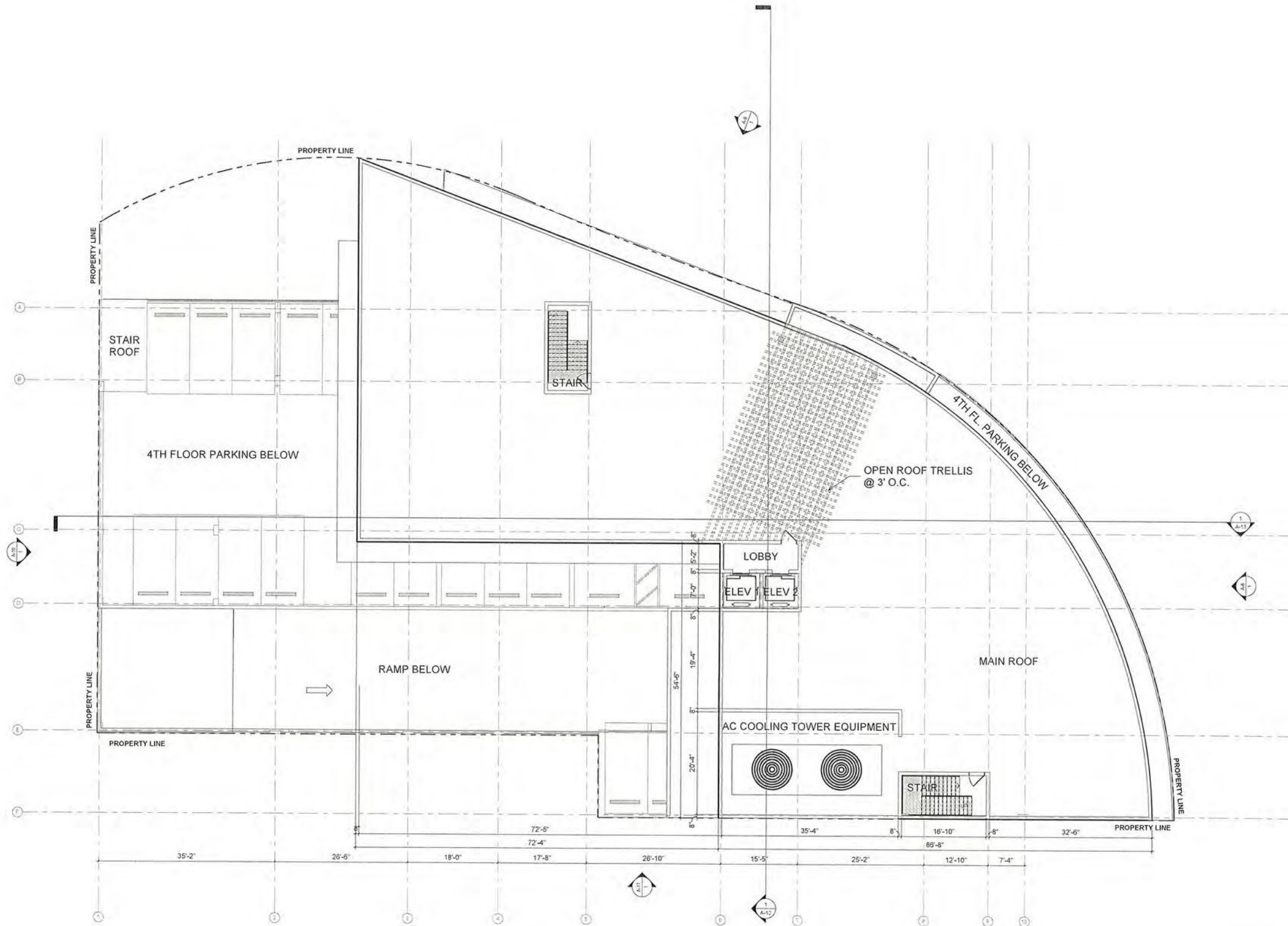
SCALE 1/8" = 1'-0"

[illegible]

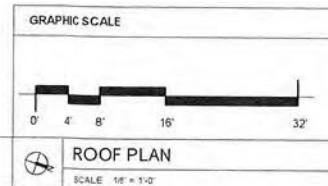
Giller & Giller, Inc.
The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33149
(305) 536-6324 FAX (305) 536-5921
GILLER7@AOL.COM

GILLER TOWER

976 Arthur Godfrey Road
MIAMI BEACH, FL



Digitally
signed by
Ira D Giller
Date:
2024.02.06
17:05:34
-05'00'



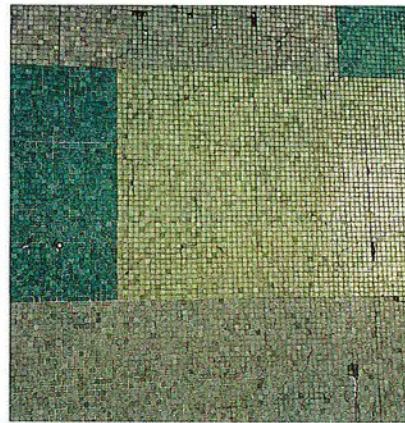
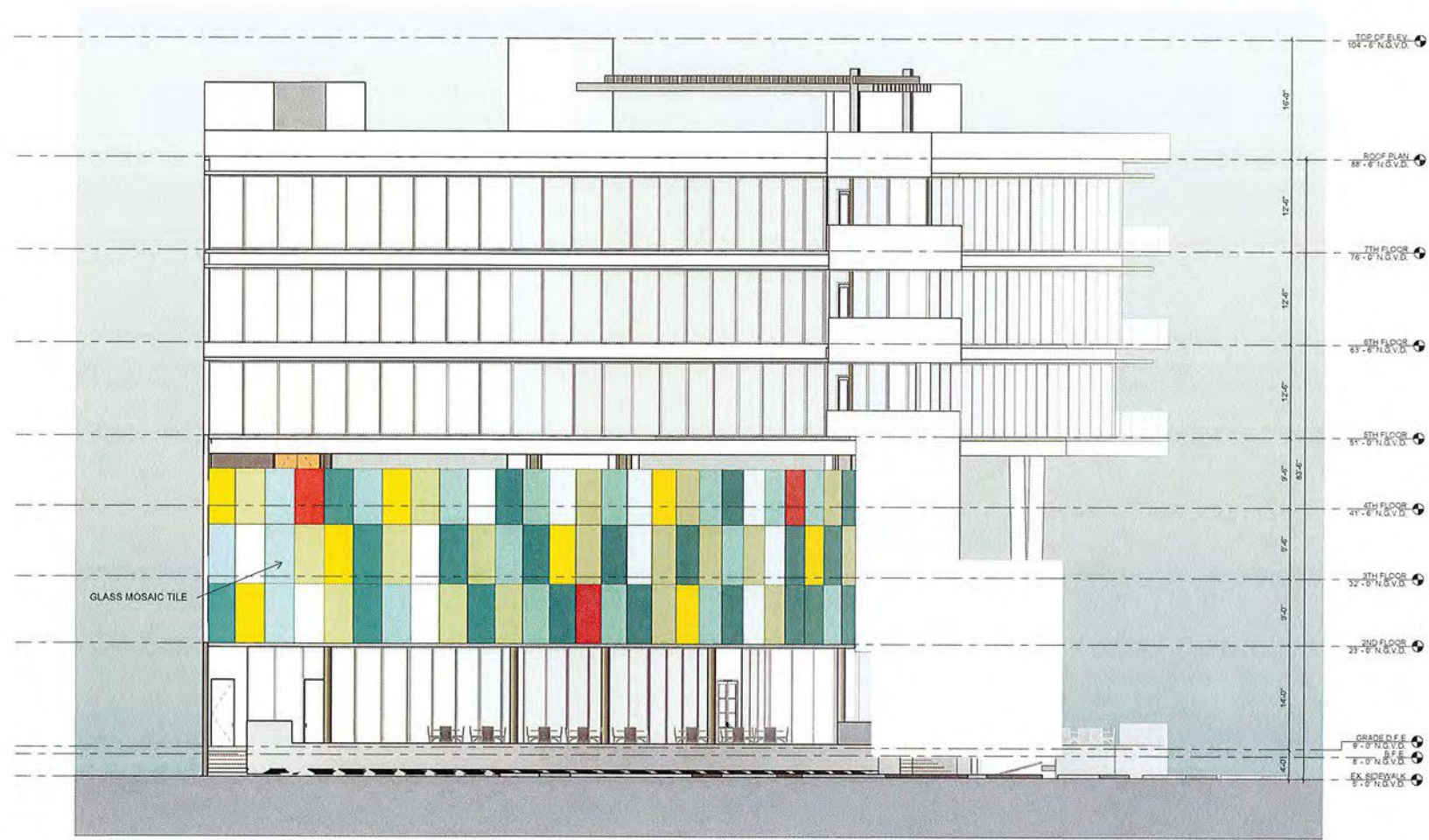
SHEET #		SHEET TITLE		DATE		REVISION DESCRIPTION	
A-7	TOTAL	ROOF PLAN		01/22/24			
	23110						

APPROVED BY: CAD NAME: DATE: 01/22/24

Copyright © 2024, Giller & Giller, Inc. All Rights Reserved.

GILLER TOWER
PLANNING FINAL
MIAMI BEACH, FL

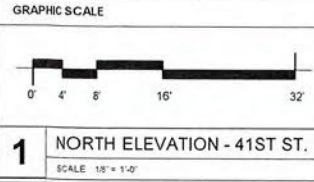
Giller & Giller, Inc.
7775 G. Giller Road
Miami Beach, Florida 33140
(305) 534-4324 FAX (305) 534-9921
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



1X1 GLASS MOSAIC TILE - COLOR & PATTERN
NOT FINAL

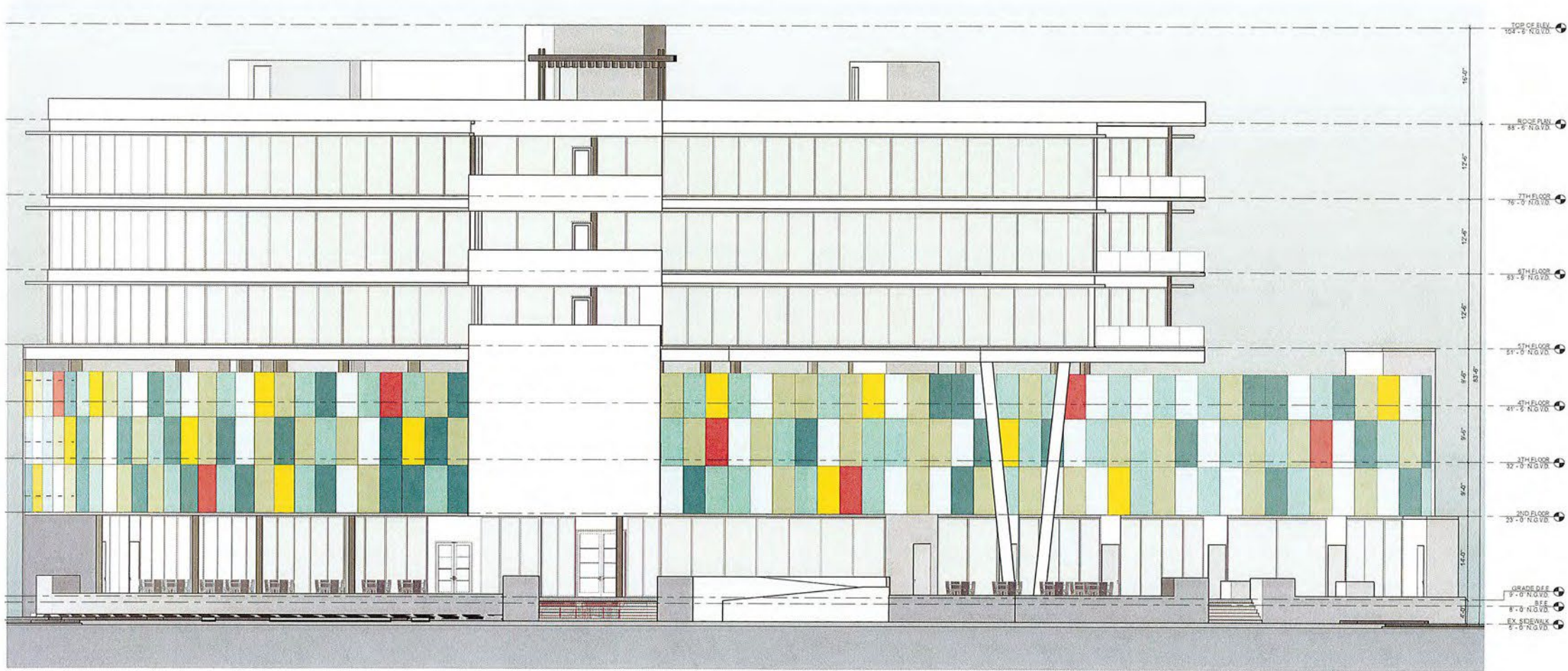


Digitally signed by Ira D Giller Date: 2024.02.06 17:06:01 - 05'00'

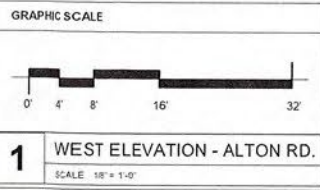


DATE	REVISION DESCRIPTION

SHEET TITLE	NORTH ELEVATION 41ST ST.
DATE	01/22/24
CHECKED BY	
APPROVED BY	
CAUS BY NAME	
ARCH/COMA#	23110
SHEET #	A-8
OF TOTAL	23110



Digitally signed by Ira D Giller Date: 2024.02.06 17:06:24 - 05'00'



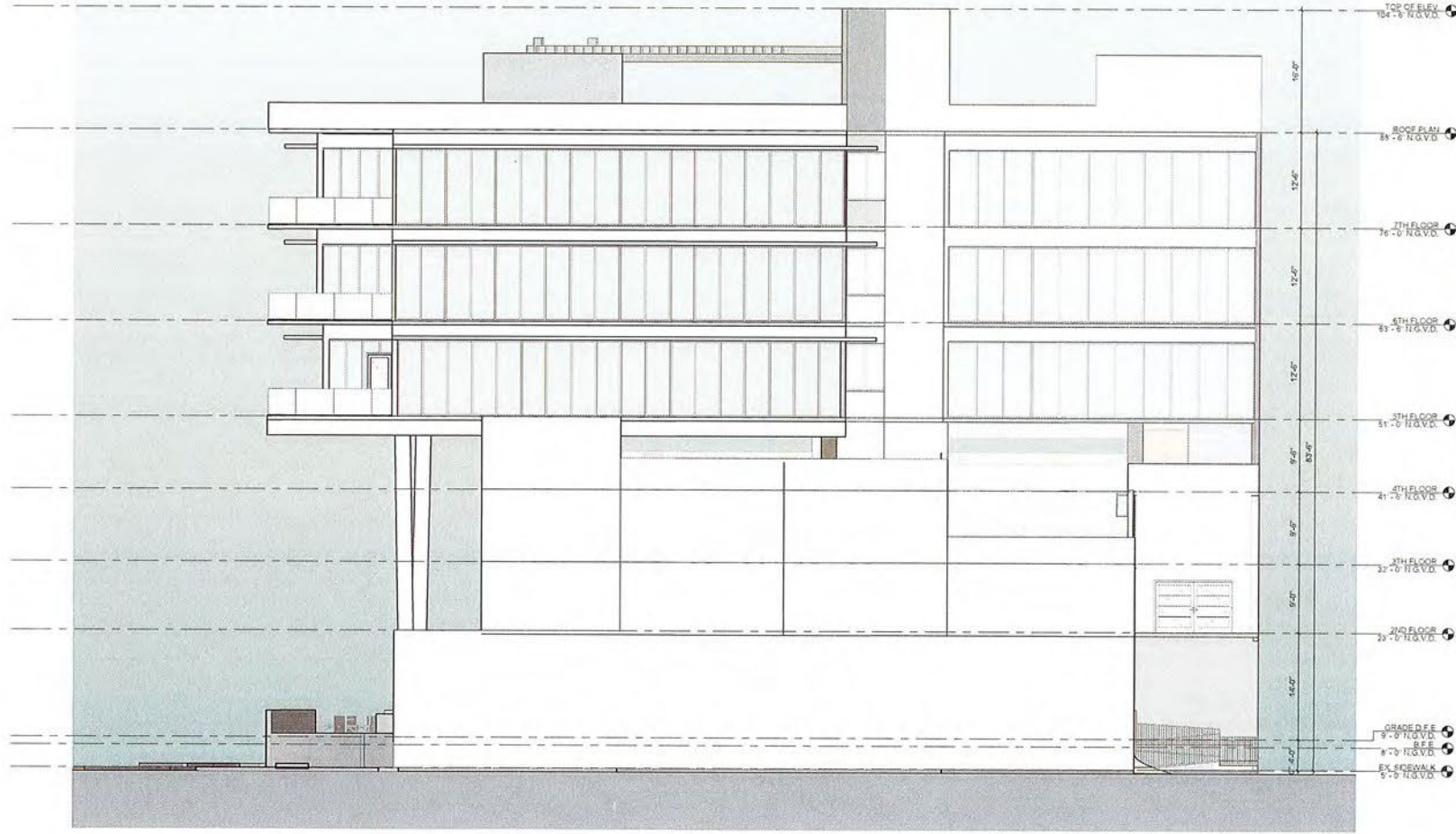
SHEET TITLE		DATE		REVISION DESCRIPTION	
WEST ELEVATION ALTON RD.		01/22/24			
A-9		DATE		APPROVED BY	
23110		01/22/24		..	

PLANNING FINAL

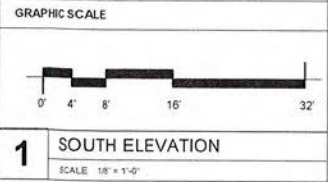
GILLER TOWER

MIAMI BEACH, FL

Giller & Giller, Inc.
The Giller Building
975 Arthur Godfrey Road
Miami Beach, FL 33139
(305) 536-6324 FAX (305) 536-6921
Giller@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



Digitally
signed by Ira
D Giller Date:
2024.02.06
17:06:50 -
05'00'



1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

SHEET #		SOUTH ELEVATION	
A-10			
OF TOTAL			
ARCH COM #	DATE	CHECKED BY	DATE
23110	01/22/24	--	--
DRAWN BY		DATE	

A DATE		REVISION DESCRIPTION	
COPYRIGHT © 2024, Giller & Giller, Inc. All Rights Reserved.			

PLANNING FINAL

GILLER TOWER

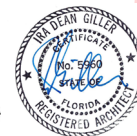
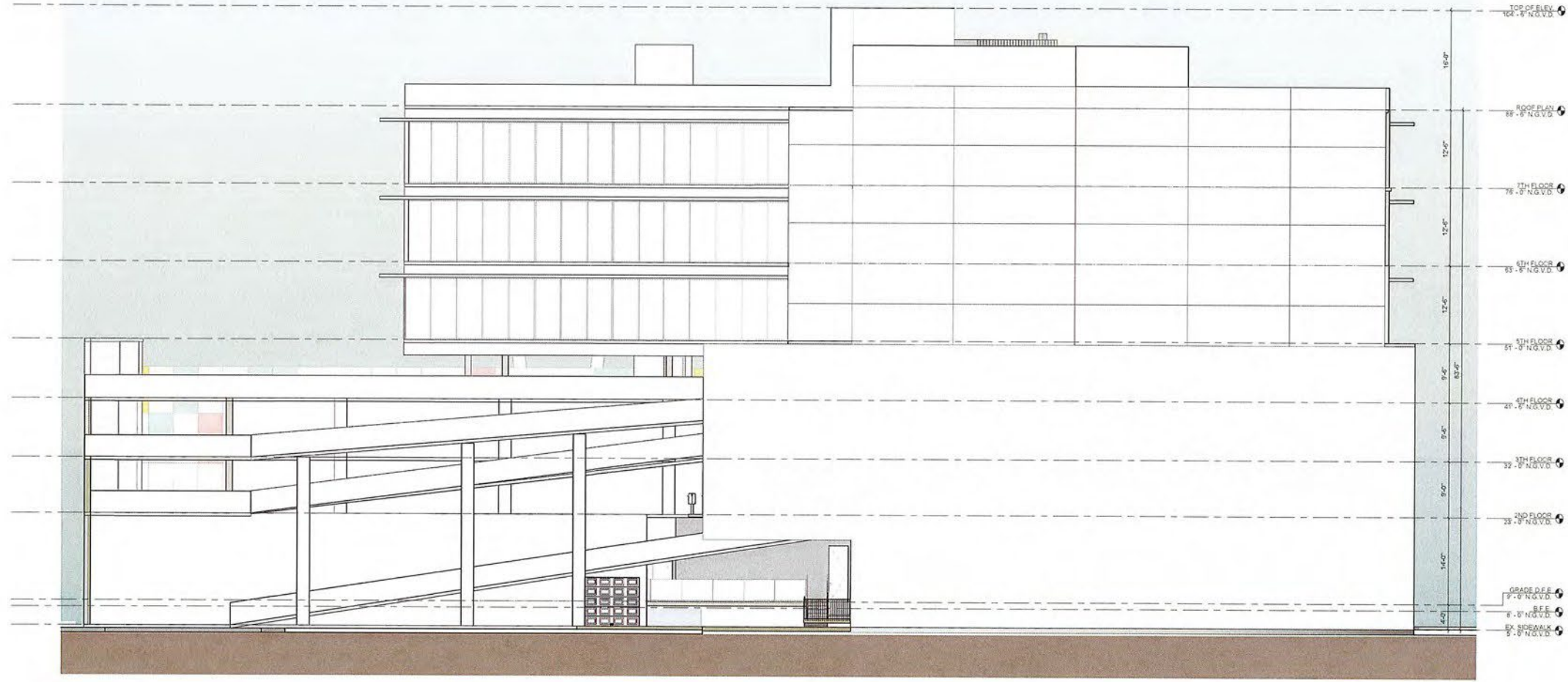
976 Arthur Godfrey Road

MIAMI BEACH, FL

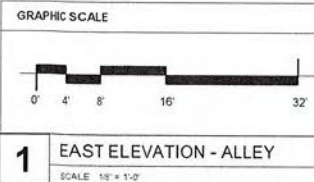
Giller & Giller, Inc.

The Giller Building
976 Arthur Godfrey Road
Miami Beach, FL 33139
(305) 534-6324 FAX (305) 534-5921
GGILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





Digitally signed by Ira D Giller Date: 2024.02.06 17:07:13 - 05'00'



SHEET TITLE		DATE		REVISION DESCRIPTION	
EAST ELEVATION (ALLEY)					
A-11		01/22/24		APPROVED BY: **	
23110				CADD NAME: **	

GILLER TOWER

PLANNING FINAL

976 Arthur Godfrey Road

MIAMI BEACH, FL

Giller & Giller, Inc.

The Giller Building
976 Arthur Godfrey Road
Miami Beach, Florida 33146
(305) 358-6001
GG&G@G&G.COM

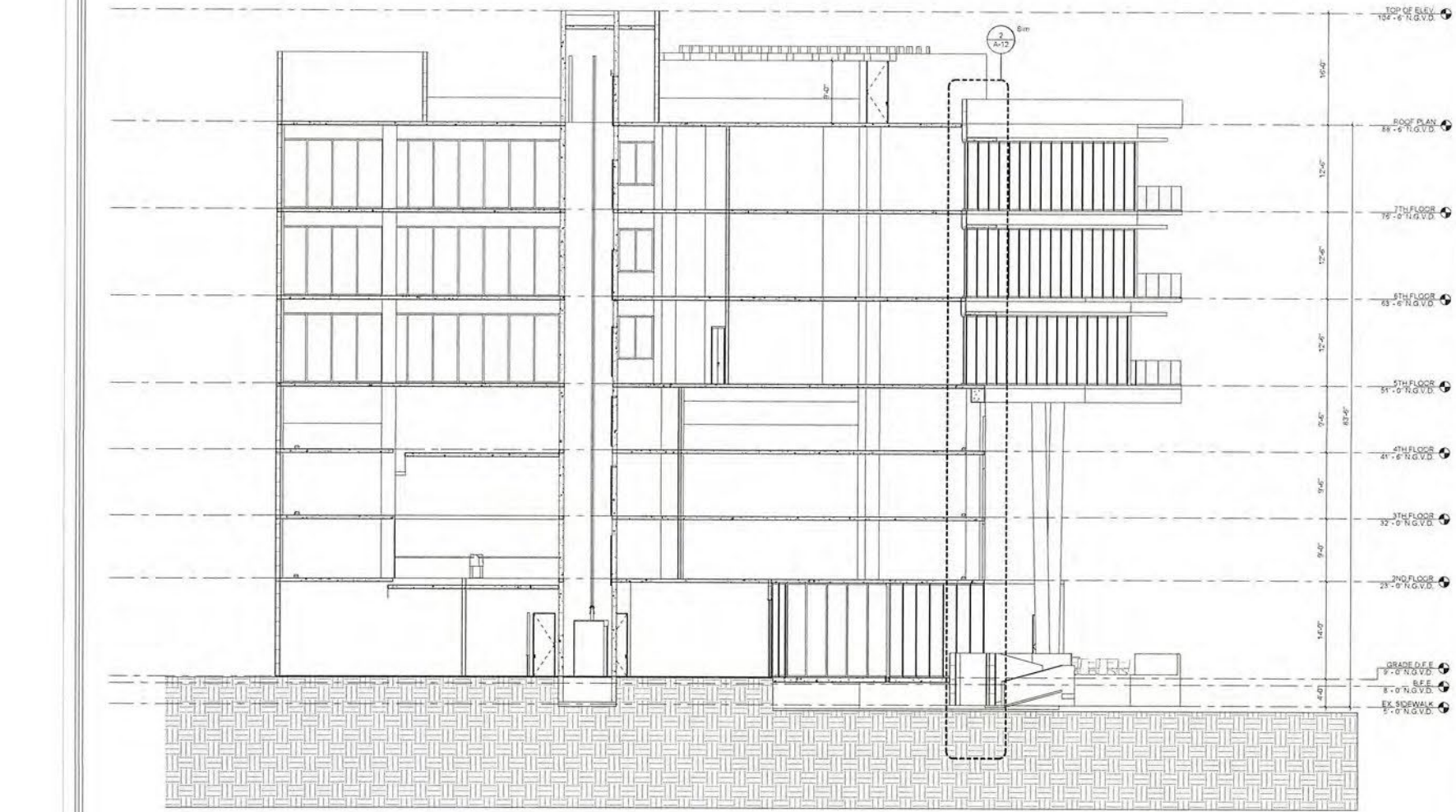
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



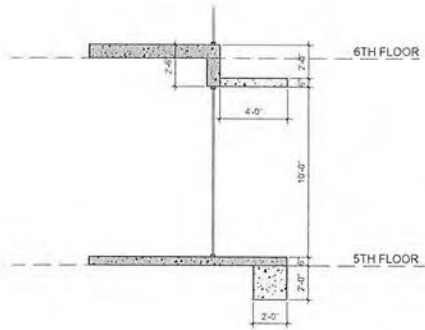
GILLER TOWER

PLANNING FINAL

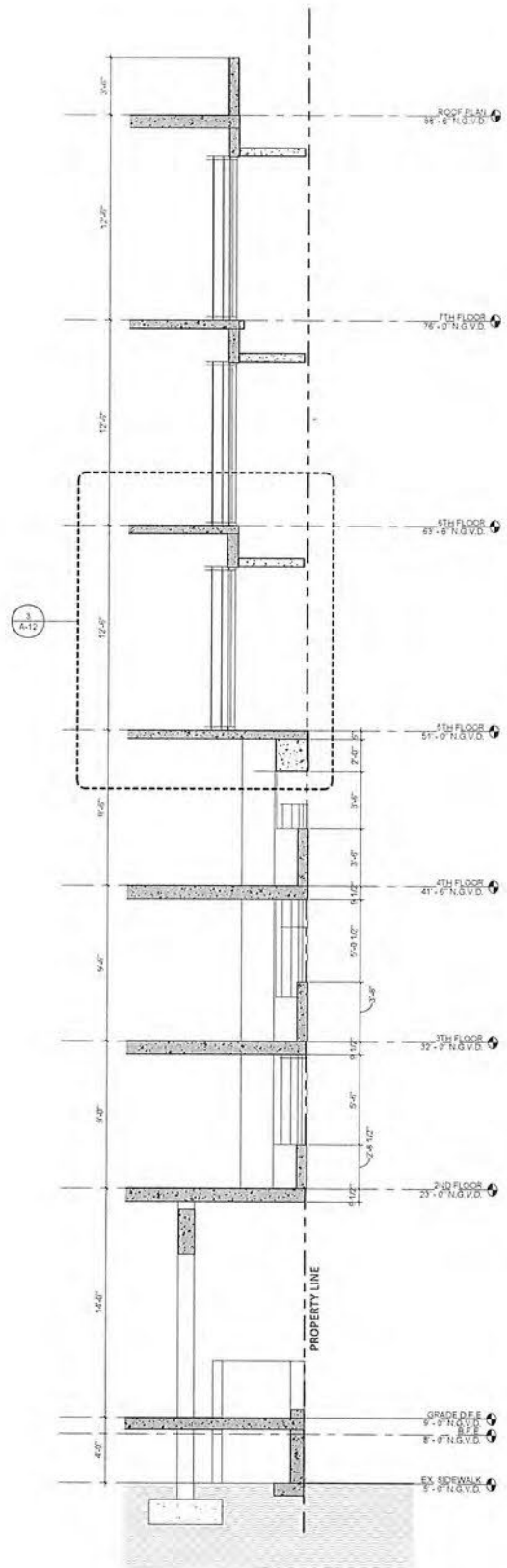
A-12		BUILDING SECTIONS EAST/WEST			
OF	TOTAL	DATE	CHECKED BY	APPROVED BY	CAD ID NAME
		01/22/24	
APCI COMM #		COMMENT (NOT, DATE & CDR - PR. ALL RIGHTS RESERVED)			
23110					



1 SECTION #1 - EAST/WEST



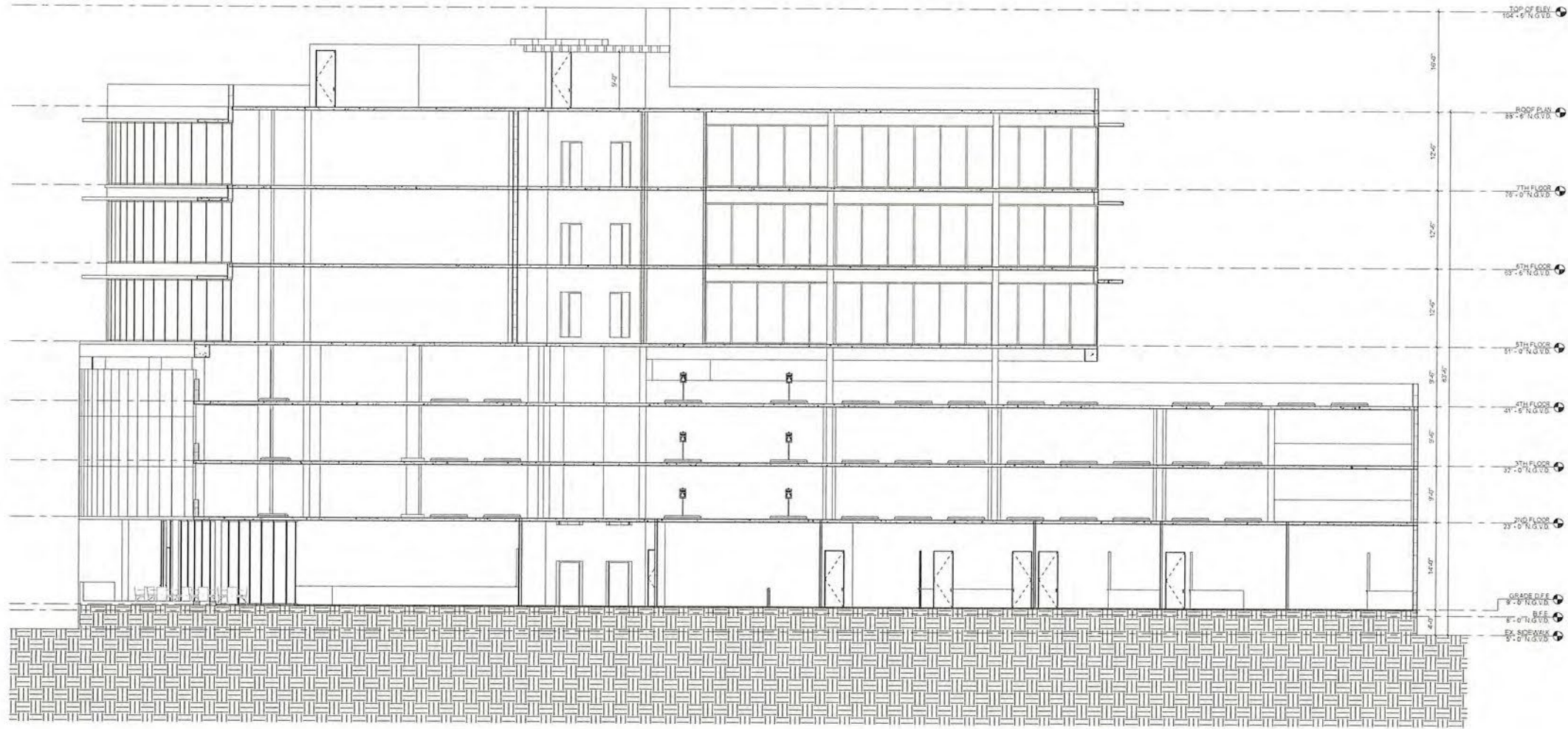
3 OFFICE SPANDREL



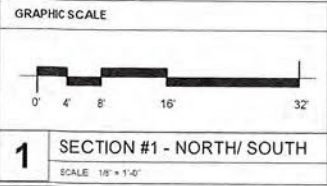
2	TYP. WALL SECTION
	SCALE: 1/4" = 1'-0"

Digitally signed by Ira D Giller Date: 2024.02.06 17:07:38 - 05'00'





Digitally signed by Ira D Giller Date: 2024.02.06 17:08:05 - 05:00'



1 SECTION #1 - NORTH/ SOUTH
SCALE: 1/8" = 1'-0"

SHEET TITLE	
BUILDING SECTIONS NORTH/SOUTH	
SHEET #	DATE
A-13	01/22/24
ARCH/CAVEM #	CAVEM NAME
23110	..

DATE	REVISION DESCRIPTION
..	..
..	..
..	..
..	..

COPYRIGHT © 2023 Ira D Giller, Inc. ALL RIGHTS RESERVED.

GILLER TOWER
976 Arthur Godfrey Road
MIAMI BEACH, FL



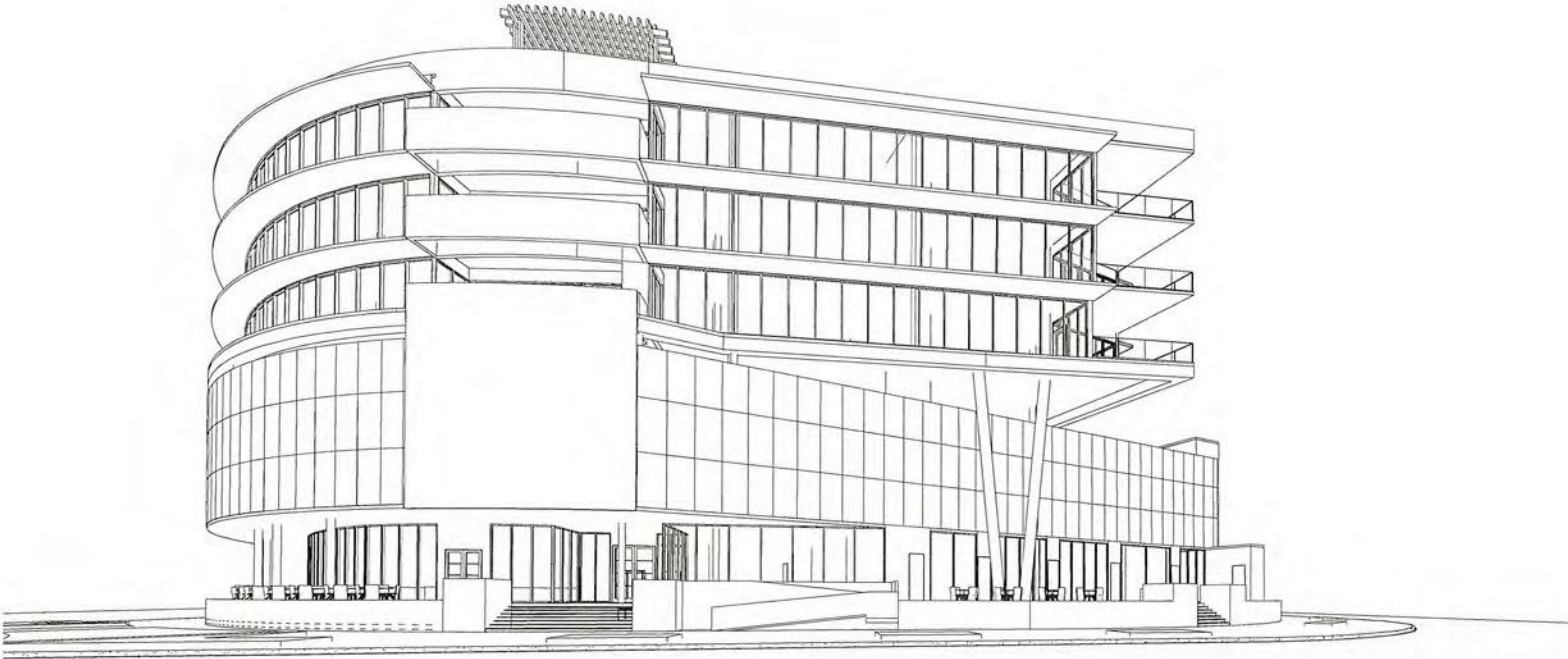
Giller & Giller, Inc.
The Giller Building
976 Arthur Godfrey Road
Miami Beach, FL 33139
(305) 536-6324 FAX (305) 536-6021
Giller7@AOL.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



1

View 1

SCALE



2

View 2

SCALE



Digitally
signed by Ira
D Giller Date:
2024.02.06
17:08:32 -
05'00'



Giller & Giller, Inc.

The Giller Building
976 Arthur Godfrey Road
Miami Beach, FL 33139
(305) 536-4344 FAX (305) 536-0721
GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

PLANNING FINAL

DATE REVISION DESCRIPTION

COPYRIGHT © 2023 Giller & Giller, Inc. ALL RIGHTS RESERVED

EXTERIOR PERSPECTIVES

A-14

OF TOTAL

23110

DATE CHECKED BY APPROVED BY CAD BY NAME



1

View 3
SCALE



2

View 4
SCALE



Digitally signed
by Ira D Giller
Date:
2023.05.20
05:00'

GILLER & GILLER, Inc. The Giller Building 975 Arthur Godfrey Road Miami Beach, Florida 33140 GILLER75@AOL.COM ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS	
GILLER TOWER 975 Arthur Godfrey Road MIAMI BEACH, FL	
PLANNING FINAL	
DATE REVISION DESCRIPTION	
COPYRIGHT © 2023 Ira D. Giller, Inc. ALL RIGHTS RESERVED	
SHEET TITLE A-15 EXTERIOR PERSPECTIVES	
DATE 01/22/24	
CHECKED BY	
APPROVED BY	
CAUTION NAME	
SHEET # A-15	
TOTAL 23110	



Giller & Giller, Inc.
ARCHITECTS
1000 N. W. 10th Ave.
Fort Lauderdale, FL 33304
(954) 561-1111

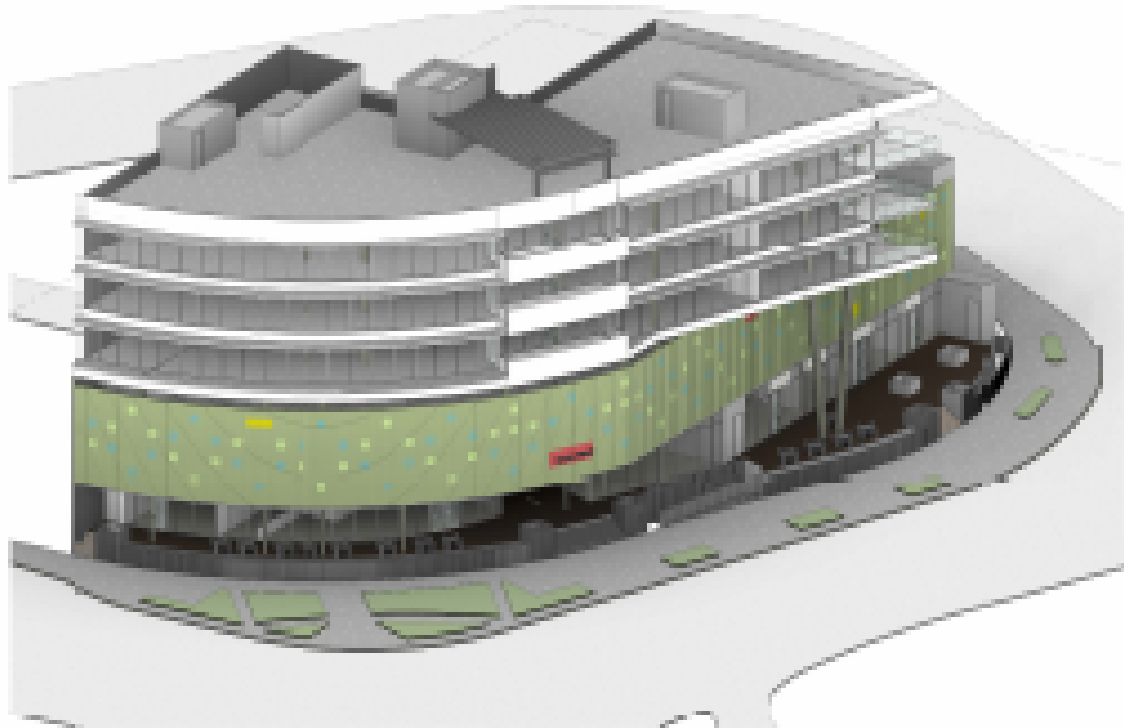
GILLER TOWER
1750 Wilton Country Road
MIRAGE BUILDING, FL

DRB - 1ST
SUBMITTAL

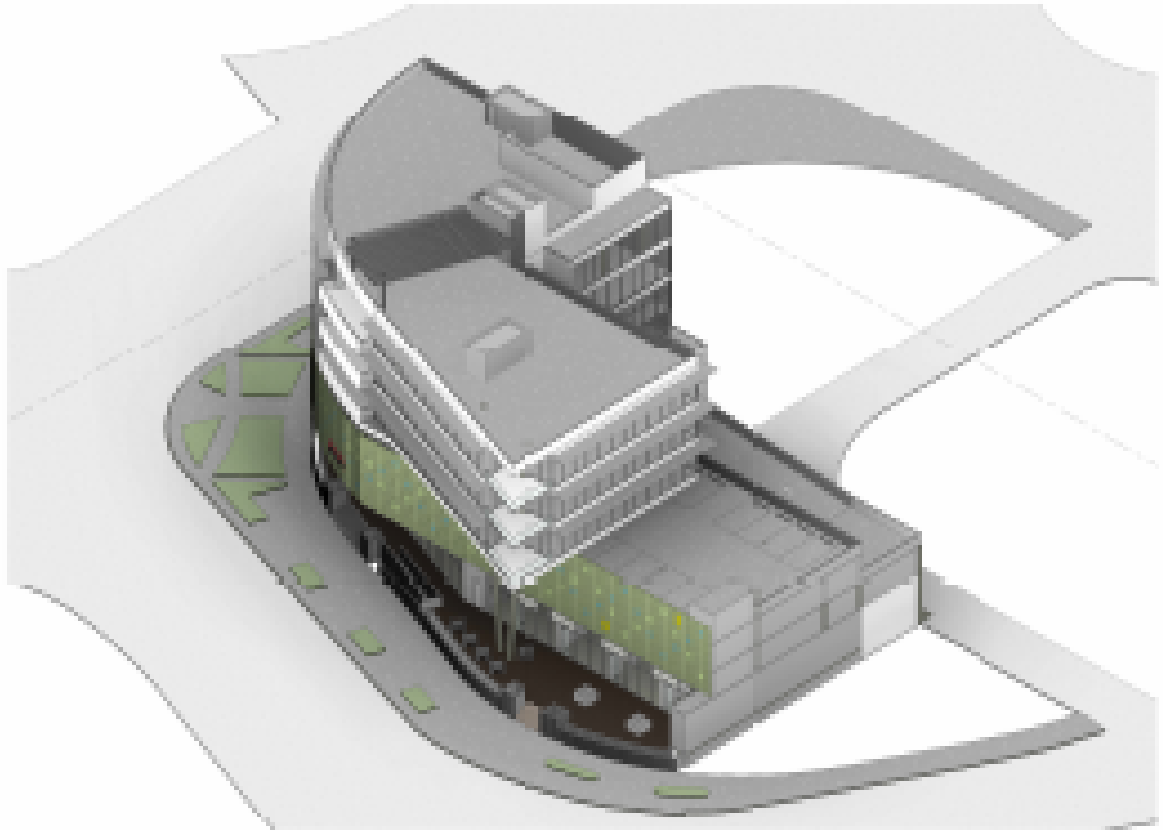
DATE SUBMITTED	
DATE REVIEWED	
DATE APPROVED	
DATE REVISIONS	
DATE FINAL	

EXTENSION PERIODS
1st 1st 2nd 3rd 4th 5th 6th 7th 8th 9th 10th 11th 12th 13th 14th 15th 16th 17th 18th 19th 20th 21st 22nd 23rd 24th 25th 26th 27th 28th 29th 30th 31st 32nd 33rd 34th 35th 36th 37th 38th 39th 40th 41st 42nd 43rd 44th 45th 46th 47th 48th 49th 50th 51st 52nd 53rd 54th 55th 56th 57th 58th 59th 60th 61st 62nd 63rd 64th 65th 66th 67th 68th 69th 70th 71st 72nd 73rd 74th 75th 76th 77th 78th 79th 80th 81st 82nd 83rd 84th 85th 86th 87th 88th 89th 90th 91st 92nd 93rd 94th 95th 96th 97th 98th 99th 100th

A-10
1st 1st 2nd 3rd 4th 5th 6th 7th 8th 9th 10th 11th 12th 13th 14th 15th 16th 17th 18th 19th 20th 21st 22nd 23rd 24th 25th 26th 27th 28th 29th 30th 31st 32nd 33rd 34th 35th 36th 37th 38th 39th 40th 41st 42nd 43rd 44th 45th 46th 47th 48th 49th 50th 51st 52nd 53rd 54th 55th 56th 57th 58th 59th 60th 61st 62nd 63rd 64th 65th 66th 67th 68th 69th 70th 71st 72nd 73rd 74th 75th 76th 77th 78th 79th 80th 81st 82nd 83rd 84th 85th 86th 87th 88th 89th 90th 91st 92nd 93rd 94th 95th 96th 97th 98th 99th 100th



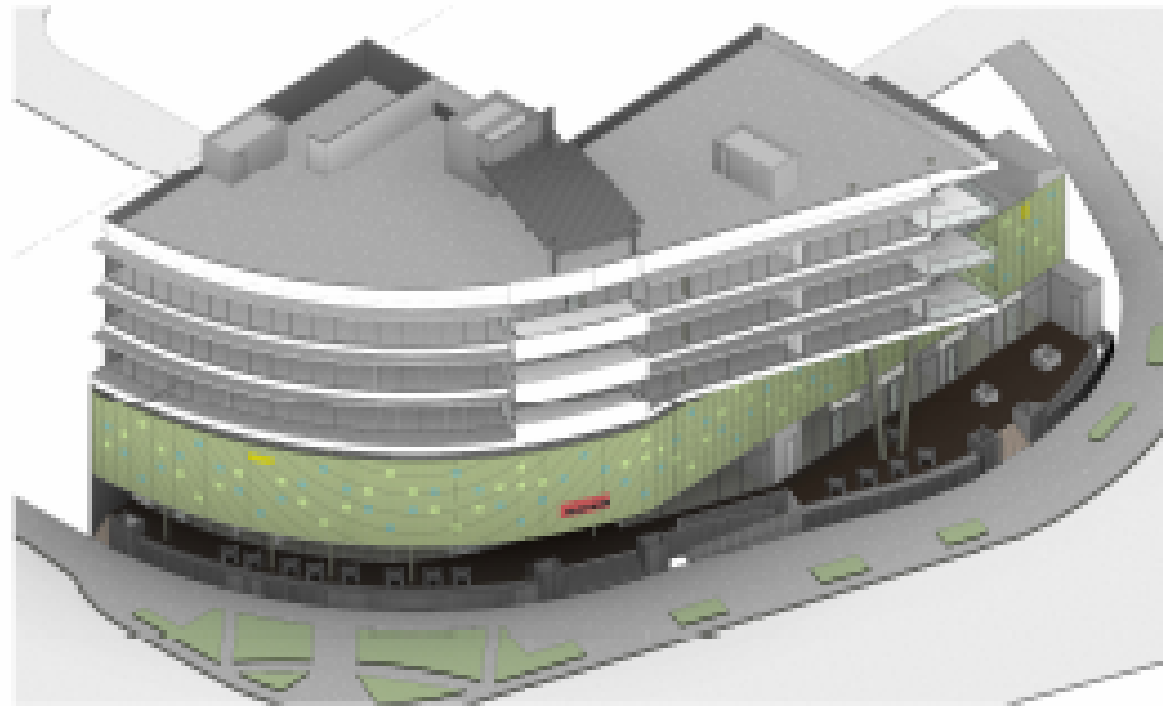
1 View 1



2 View 2



4 View 3



3 View 4