

B9500334
BMS 60048

PERMIT NUMBER

B 9500334

BMS 60048

ADDRESS

10

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302.3 (c) Complete plans shall be submitted in duplicate and with a third copy of the plot plan showing parking, landscaping and drainage; or such plans may be submitted in single copy where it is evident that Code interpretation is needed before final working drawings can be prepared.

(d) Plans for proposed construction, where such plans are not required to be prepared by and bear the impress seal of a licensed Architect or registered Professional Engineer, shall be submitted by the designer with the application as set forth in Subsection 302.1, hereinabove.

302.4 EXAMINATION OF PLANS:

(a) The Building Official shall examine all plans and amendments thereto.

(b) If the Building Official reasonably believes the plans conform to all pertinent laws the plans shall be marked "approved."

(c) If the Building Official reasonably believes that plans do not conform to all pertinent laws the plans shall be rejected and the plan examiner shall state the reasons for rejection in writing.

(d) Plans for which only minor correction is necessary may be corrected by notation on the prints with the approval of the designer.

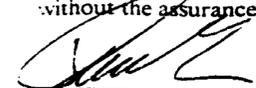
(e) Plans for which major correction is necessary shall be revised on the tracings by the designer and new corrected prints submitted.

(f) Plans the Building Official reasonably believes have been corrected to satisfy his/her rejections and to comply with all pertinent laws shall be marked "approved."

(g) When plans are approved, such plans shall become a part of the application prepared by and submitted by the qualified applicant for permit as set forth in Paragraph 302.1 (b), hereinabove.

(h) Approval of the permit shall not be given until plans as set forth herein, are approved.

302.5 PARTIAL APPROVAL: Pending the completion of detailed drawings and checking of plans and specifications, the Building Official, at his discretion, and upon payment of the total required fee, may authorize the issuance of a temporary permit for site preparation, excavation and construction below grade provided such drawings and specifications are presented in such detail as to show the design, extent and scope of the project, but the holder of such temporary permit shall proceed only at his own risk and without the assurance that a permit for the superstructure will be granted.


PAUL A. GIOIA

3-10


JIM SILVERS

7/31/95

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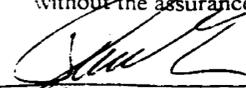
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PAUL A. GIOIA

5-10


JIM SILVERS

7/31/95

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(APPL)
Printed: 08/04/95 11:15
Version: BUILD 9501

CITY OF MIAMI BEACH
Building Department
1680 Michigan Avenue, Suite 701
Miami Beach, Florida 33139
(305) 673-7610 Hours of Operation 8:30 to 5:00

Page 1 OF 2

1100 5TH ST
Permit Number : 89500334
Status : PENDING
Project Number: A9515523
Validated by : CH
Inspector area: S
Date Applied : 07/24/95
Date Approved :
Date Completed:
Date To Expire: 12/20/95
This type : APPLICATION BUILD
(This is NOT a PERMIT)
Parcel number : 4203-009-8200
Group-occup/use: COMM
Owner : GATEWAY DEVELOPMENT INC
Applicant : TO BE APPOINTED
Applicant Addr :
Phone number :
Class code : NECOS
Valuation : 250,000
Construction : NEW
Permit to do : FOUNDATION FOR 2 BLDG SHELLS ONLY-COMM
Job Address : 1100 5TH ST

PAID
AUG 04 1995
CITY OF MIAMI BEACH
BUILDING DEPARTMENT

SS NO OR TAXPAYER ID NO
BENEFIT DISTRICT NO. 8
CHANGE OF USE FROM APTS, DUPLEX, BODY SHOP
TO MERCANTILE + OFFICE
IMPACT FEE FOR NEW USE \$ 30,680.88 [SEE COMM]
CREDIT FOR EXISTING USE \$ 33,378.00 [SEE COMM]
SUBTOTAL ROAD IMPACT FEE 0000000000000000

*** Activity Fees ***

Fee description	Units	Fee/Unit	Ext fee	Data
ENTER SQ FT NEW BUILDING OR ADDITN>	12454		1626.00	
IF WALK-THRU ENTER VALUAT (ZONING)>	250000		100.00	
SUBTOT BLDG PERMIT FEE + PENALTY			1726.00	
SUBTOTAL RADON FUND SURCHARGE				
TOTAL BUILD FEE+ZONING+RADON SURCG			1726.00	
ENTER SQ FT NEW BUILDING OR ADDITN>	12454.00			
(MINIMUM FEE \$30)>			118.35	
SUBTOT FIRE SAFETY PROCESS FEE				
TOTAL BUILDG FEE + RADON + FIRE FEE			1844.35	
EN SQFT NEW CON/ADD-SFBC VALUATION>	12454.00	45.00	560430.00	
ENT ABOVE VALUATION FOR SURCHARGE >	560430.00		280.50	
SUBTOT SFBC COMPLIANCE SURCHARGE	10		280.50	
EN SQ.FT. IN PERMIT FOR TRAIING FEE>	12454	.01	124.54	
SUBTOTAL TRAINING FEE	11		124.54	
TOT BLD+RADN+FIRE+MRNE+COMP+TRN FEE			2249.39	

10

(APPL)
Printed: 08/04/95 11:15
Version: BUILD 9501

CITY OF MIAMI BEACH
Building Department
1680 Michigan Avenue, Suite 701
Miami Beach, Florida 33139
(305) 673-7610 Hours of Operation 8:30 to 5:00

Page 2 OF 2

1100 5TH ST
Permit Number : B9500334

Project Number: A9515523

Fee description	Units	Fee/Unit	Ext fee	Data
MISCELLE/ CHANGE OF USE(SEE BELOW)> EN Y IF FULL IMP FEE IS APPLICABLE> NET DADE COUNTY ROAD IMPACT FEE >	13			CHANGE USE Y

TOTAL BLDG PERMIT FEE & SURCHARGES 2249.39
*** Fees Required *** Fees Collected & Credits ***

Method	Check #	Receipt No.	Date	Payment
CHECK	1066		07/24/95	375.00
CHECK	1176		08/04/95	1,874.39
TOTAL THIS DATE				1,874.39
*****				1,874.39
Fees:	2,249.39			
Adjustments:	.00		Total Credits:	.00
Total Fees:	2,249.39		Total Payments:	2,249.39
			Balance Due:	.00

Distribution: 1-Building Inspection Cop(with Cashier Stamp), 2-Building Inspector,
3-City Accounting Division, 4-Metro Dade Co.Tax Assesor Dept., 5-Applicant
(Rev: 9001, PFBLDG01,em)

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PLATE 1311

SATISFACTION OF LIEN

KNOW ALL MEN BY THESE PRESENTS:

THAT, CITY OF MIAMI BEACH, FLORIDA, HEREINAFTER CALLED LIENOR, HOLDER OF A CERTAIN CLAIM OF LIEN FILED BY CITY OF MIAMI BEACH, FLORIDA AGAINST THE PROPERTY DESCRIBED BELOW IN DADE COUNTY, FLORIDA ALLEGED TO BE OWNED BY GATEWAY DEVELOPMENT, INC AND RECORDED ON THE 23RD DAY OF JUNE, 1992 IN OFFICIAL. RECORDED BOOK 14156 AT PAGE 582 IN THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA TO WIT:

OCEAN BEACH ADD NO 3 PB 26-62
LOTS 5 THRU 9 WHITE & WOODWARD'S RESUB OF
LOTS 5 & 6 BLK 103
PUB REC DADE COUNTY FL

DOES HEREBY ACKNOWLEDGE SATISFACTION OF SAID CLAIM OF LIEN, AND HEREBY DIRECTS THE CLERK OF THE CIRCUIT COURTS TO CANCEL THE SAME OF RECORD. WITNESS MY HAND AND SEAL THIS 02ND DAY OF AUGUST, 1995.

CITY OF MIAMI BEACH

BY William Gonzalez
WILLIAM GONZALEZ LIEN SUPERVISOR
1700 CONVENTION CENTER DR
MIAMI BEACH, FL 33139
(305) 673-7590

STATE OF FLORIDA)
COUNTY OF DADE)

BEFORE ME, THE UNDERSIGNED AUTHORITY, APPEARED WILLIAM GONZALEZ PERSONALLY KNOWN TO ME TO BE SUPERVISOR, LIEN DEPARTMENT, ACKNOWLEDGED TO AND BEFORE ME THIS 02ND DAY OF AUGUST, 1995. THAT HE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN EXPRESSED, PURSUANT TO DUE AUTHORITY AND WHO DID NOT TAKE AN OATH.

Enilda J. Barinas
NOTARY PUBLIC, STATE OF FLORIDA
ENILDA J BARINAS
MY COMMISSION EXPIRES:

PREPARED BY: LAURENCE FEINGOLD, CITY ATTORNEY
CITY OF MIAMI BEACH
1700 CONVENTION CENTER DR
MIAMI BEACH, FLORIDA 33139

OFFICIAL NOTARY SEAL
ENILDA J BARINAS
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC479678
MY COMMISSION EXP. JULY 11, 1999

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(APPL)
 Printed: 07/24/95 14:56
 Version: BUILD 9501

CITY OF MIAMI BEACH
 Building Department
 1680 Michigan Avenue, Suite 701
 Miami Beach, Florida 33139
 (305) 673-7610 Hours of Operation 8:30 to 5:00

1100 5TH ST
 Permit Number : B9500334
 Status : PENDING
 This type : APPLICATION BUILD
 (This is NOT a PERMIT)
 Parcel number : 4263-009-8200
 Group-occup/use: COMM

Project Number: A9515523
 Validated by : CH
 Inspector area: S
 Date Applied : 07/24/95
 Date Approved :
 Date Completed:
 Date To Expire:

Owner : GATEWAY DEVELOPMENT INC
 Applicant : TO BE APPOINTED
 Applicant Addr :

Phone number :
 Class code : NEC98
 Valuation : 250,000
 Construction : NEW
 Permit to do : FOUNDATION FOR 2 BLDG SHELLS ONLY-COMM
 Job Address : 1100 5TH ST

PAID
 JUL 24 1995
 CITY OF MIAMI BEACH
 BUILDING DEPARTMENT

SS NO OR TAXPAYER ID NO
 BENEFIT DISTRICT NO. 8

*** Activity Fees ***
 Fee description

Fee description	Units	Fee/Unit	Ext fee	Data
ENTER SQ FT NEW BUILDING OR ADDITN)	12454			
IF WALK-THRU ENTER VALUAT (ZONING))	250000		1626.00	
SUBTOT BLDG PERMIT FEE + PENALTY			190.00	
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TOTAL BLDG PERMIT FEE & SURCHARGES

2249.39

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(APPL)
Printed: 07/24/95 14:56
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CITY OF MIAMI BEACH Page 2 OF 2
Building Department
1680 Michigan Avenue, Suite 701
Miami Beach, Florida 33139
(305) 673-7610 Hours of Operation 8:30 to 5:00

1100 5TH ST
Permit Number : B9500334

Project Number: A9515523

*** Fees Required ***		*** Fees Collected & Credits ***		
Method	Check #	Receipt No.	Date	Payment
CHECK	1060		07/24/95	375.00
TOTAL THIS DATE			*****	375.00
Fees:	2,849.39			
Adjustments:	.00			
Total Fees:	2,849.39			
		Total Credits:		.00
		Total Payments:		375.00
		Balance Due:		1,874.39

Distribution: 1-Building Inspection Cop(with Cashier Stamp), 2-Building Inspector,
3-City Accounting Division, 4-Metro Dade Co. Tax Assesor Dept., 5-Applicant
(Rev: 9/94, PFBLDC01,em)

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CITY OF MIAMI BEACH

B9500334



BUILDING DEPARTMENT
1680 MICHIGAN AVE.
SUITE 701
MIAMI BEACH, FLORIDA 33139

ATTACH TO DEMO

Ch # 1000

BD950038

PHONE: (305) 673-7610
FAX: (305) 673-7357

WPI 375
1000

BUILDING WORK PERMIT APPLICATION

Date Applied: 07/24/95 Construction Type: _____ (NEW/ALTERATION/REPAIR)

Description of Work To Be Done: FOUNDATION FOR (2) Bldgs Shell - one
~~STAIR - Warehouse Bldg~~ RETAIL

Valuation: \$ 250,000.00 Square Foot: 12454 Linear Foot: _____ Gallons: _____

Lowest Living Floor Elevation: _____ M S L Base Flood Elevation: _____ M S L

Proposed Type of Commercial Use (PLEASE SPECIFY): _____

JOB ADDRESS INFORMATION

Folio Number: _____

Street Address: 1100 5TH ST

No. of Buildings: _____ No. of Units: _____ Occupancy: COMM

OWNER INFORMATION

Name: GATEWAY DEVELOPMENT Phone: 672-0801

Mailing Address: 1130-5TH ST. MIAMI BEACH FLA.

ARCHITECT INFORMATION

Name: JAMES SILVERS & ASSOC. PA Phone: 672-0801

Address: 1130-5TH ST. M.B. FLA 33139

License #: 6229

ENGINEER INFORMATION

Name: CLEM DIKILLIPPO PE. Phone: 672-6312

Address: 1680 MICHIGAN AVE M.B. FLA 33139

License #: 20321

APPLICANT INFORMATION TO BE APPOINTED:

Name: _____ Phone: _____

Address: _____

Qualifier Name: _____ Municipal CC#: _____

10

** HOLD MAINTENANCE FOR PARCELS **

07/24/95
14:02

Parcel No: 4283-089-0000 Situs: 422 LENOX AV
Owner: GATEWAY DEVELOPMENT INC

No	Date	User	Notation	Type	Effective Date Range
01 *	09/21/94	BULLSARN	SECURED LIEN 9237.60	2	09/21/94 - 12/31/99
02 *	09/21/94	BULLSARN	UNSECURED LIEN 21846.20	2	09/21/94 - 12/31/99

Enter ~~hold~~ no.: _____ Type: (type: 0=Warning, 1=Soft hold, 2=Hard hold)
 Effective date range: _____ thru _____
 Or Enter no. to delete: (Only delete Holds notated by '*')

10

DSITE 07210215
Primary Addr: 400 LENOX AV
Addr Entered: 400 LENOX AV
Structure: _____ Floor: _____ Unit: _____ Opt: I Lev: AD

Owner/Manager: IVAN RODRIGUEZ Phone: _____
Owner's Address: 1449 OCEAN DR
MIAMI BEACH, FL 33139
Area: _____ Primary Addr. Accums. only
Also Know As: _____

Is this address Primary or Subordinate? E

If this is Subordinate, Enter Primary address:

Street No: _____ Street Name: LENOX AV

10

ASSESSORS ADDRESS INDEX SEARCH

07/24/95

13:56

Address Entered: 1100 5TH ST

Address	CC	Owner Name	Index: Assessors Parcel Number
01 1100 5TH ST X	27	GATEWAY DEVELOPMENT INC	4203-009-0200 X
02 1101 5TH ST	11	KAY DEPAOLO & JOHN K RAVER	4203-009-0351
03 1111 5TH ST	10	VIC POTANKIN CHEVROLET INC	4203-009-0320
04 1117 5TH ST	11	VIC POTANKIN CHEVROLET INC	4203-009-0330
05 1119 5TH ST	11	VIC POTANKIN CHEVROLET INC	4203-009-0340
06 1130 5TH ST X	09	GATEWAY DEVELOPMENT INC	4203-009-0190 X
07 1131 5TH ST	12	ROBERT MCCANNA BELLY TR	4203-009-0360
08 1137 5TH ST	10	VIC POTANKIN CHEVROLET INC	4203-009-0380
09 1140 5TH ST	17	VIC POTANKIN CHEVROLET INC	4203-009-0370
10 1221 5TH ST	02	THE BIA BCB REDEVELOPMENT	4203-009-9250
11 100 5TH ST	01	FRANK B BROSS	3232-011-1360
12 111 5TH ST	01	FRANK BROSS	3232-011-1470
13 112 5TH ST	01	FRANK BROSS	3232-011-1350
14 1010 5TH ST	01	FRANK BROSS	3232-011-1350
15 1011 5TH ST	01	FRANK BROSS	3232-011-1350
16 1012 5TH ST	01	FRANK BROSS	3232-011-1350

Enter Choice: ___ and Keyword: _____



10

Parcel Number: 4202-022-0200 Tax Rate Area: Agency/Class:

Situs: 1100 NTH ST

Zone Code: Values

Owner(1): SATENAY DEVELOPMENT INC Prior Land: 175,000 Year: 24
 Owner(2): Exemption: 3,000 Year: 24
 Mail: PERS/PROP: 0 Type: I
 PERS/P Exp: 0 Key: -
 Inventory: 25,000
 Invtry Exp: 17,518
 Fixtures: 20,500
 Fix Exp: 15,500
 H/O Exp: 12,770 Key: -
 Real Est Amt: 22,770

Owner Class: App Book No: 24
 Tax Stmt: 24
 Assr Class: 24
 Need Assr: 24
 Retr Zone: 24
 Acres: 24

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ASSR1

** ASSESSOR'S FILE DISPLAY DATA **

07/24/95
13:58

Parcel Number: 4203-009-0120

Situs: 1130 BTH ST

Tax Rate Area: _____

Agency/Class: _____

Zone Code: _____

Owner(1): GATEWAY DEVELOPMENT INC

Owner(2): _____

Mail: 879 N MIBISCHE DR
MIAMI BEACH FL 33139

----- V a l u e s -----

Prior Land:	308,750	Year:	24
Prior Impr:	5,000	Year:	24
Exemption:	0	Type:	I
Pers/Prop:	0	Key:	---
Pers/P Exp:	0		
Inventory:	209,950		
Invtry Exp:	23,958		
Fixtures:	231,908		
Fix Exp:	125,250		
H/O Exp:	24,241	Key:	---
Real Est Amt:	209,491		

Ownr Chng: _____

Tax Stat: _____

Assr Use: _____

Use Abat: _____

Natr Zone: _____

Acres: _____

Map Book No: _____

Sold/State Yr: 24

Tax Code: _____

Gov't Owned: _____

Assess/Exempt: _____

10

ASSR2

** ASSESSOR'S FILE DISPLAY DATA **

07/24/95
13:58

Parcel Number: 4207-009-0100

Situs: 1130 STM ST Agency/Class: _____

Legal Desc: OCEAN BEACH ADDN NO 3 PR 2-01 LOT 3 LESS ----- Last Sale Data -----
5100FT & LESS EXT ARE OF CURVE IN NW CO Key Amount Date
R FR 2/4 & LOT 4 LESS R142FT BLK 103 LOT 2 800,000 10/00/86
SIZE 1200 SQ FT OR 10007-1200 0394 2 (5 9 06/00/88
2) 2 1,150,000 03/00/94

----- B u i l d i n g D a t a -----

Support	Area Type	Class	Yr	No/Units	Bedrms	Bathrms	Sq Ft/Impr
-----	-----	-----	00	-----	-----	-----	-----
-----	-----	-----	-----	-----	-----	-----	-----
-----	-----	-----	-----	-----	-----	-----	-----
-----	-----	-----	-----	-----	-----	-----	-----
Totals	-----	-----	-----	-----	-----	-----	-----

10

ASSR2

ASSESSOR'S FILE DISPLAY DATA

07/24/75
13:59

Parcel Number: 4207-009-0000

Situs: 1100 5TH ST

Agency/Class:

Legal Desc: OCEAN BEACH-ADDN NO 1 PB 2-S1 E 100 FT 0
E LOT 3 BK 122 LOT SIZE 100.000 X 50 OR
1222-1222 0724 S (4)

Last Sale Data		
Key	Amount	Date
2	899,000	10/09/66
2	0	06/09/68
2	1,159,000	03/09/74

Building Data							
Outpar	Usage	Type	Class	Yr	No/Units	Bedrms	Bathrms
				SI			
Totals							1674

10

ASSR2

** ASSESSOR'S FILE DISPLAY DATA **

07/24/95

14:12

Parcel Number: 4203-009-0220

Situs: 422 LENOX AV

Agency/Class:

Legal Desc: OCEAN BEACH ADDN NO 3 PB 2-81 E145.6FT 0
F LOT 4 BLK 123 LOT SIZE 50.000 X 146 OR
16202-1222 0324 E (4)

Last Sale Data		
Key	Amount	Date
2	899,000	10/00/86
5	0	06/00/88
2	1,150,000	03/00/94

Building Data							
Subpara	Area/Type	Class	Yr	No/Units	Bedrms	Bathrms	Sq ft/Impr
			88				
Totals.....*							

10

**** CONDITIONS OF PERMIT/APPROVAL ****

DATE: 07/28/95
PAGE: 3

Permit No.: B9500334 TYPE: BUILD
Location: 1100 5TH ST

- 0017 - THIS ROOFING PERMIT IS ISSUED BASED UPON THE CONTRACTORS STATEMENT THAT HE (THE CONTRACTOR) WILL TEAR OFF THE OLD (EXISTING) ROOF DOWN TO THE BARE WOOD OR BARE CONCRETE DECK. IF OTHER CONDITIONS SHALL EXIST, THEN THIS PERMIT SHALL BE NULL AND VOID.
- 0018 - THE USE OF ROOFING SPECIAL INSPECTORS IS NOT ACCEPTABLE UNLESS APPROVED AT THE TIME OF ISSUANCE OF THE ROOFING PERMIT. THE USE OF A ROOFING SPECIAL INSPECTOR (IF SO APPROVED) SHALL BE AT THE REQUEST OF THE PROPERTY OWNER, AND THE PROSPECTIVE SPECIAL INSPECTOR SHALL PROVIDE THE BUILDING OFFICIAL OF MIAMI BEACH SUFFICIENT EVIDENCE AS TO WHY SAID SPECIAL INSPECTOR IS QUALIFIED TO INSPECT ROOFS. (BEING A PE OR AN ARCHITECT IN ITSELF WILL NOT BE CONSIDERED SUFFICIENT)
- 0019 - ALL ROOFING TILES MUST BE NAIL SET UNLESS THE ROOFER CAN PRODUCE A DADE COUNTY PRODUCT CONTROL APPROVAL FOR A MUD-SET TILE DATED LATER THAN JUNE 1, 1993.

ENGINEERING CRITIQUE

EC01 -

ENGINEERING PLANS REVIEW

MSA
7/28/95

- APPROVED
- NOT APPROVED
- HOLD/PENDING FIELD CHECK

EC03 - LEGAL ADDRESS:
1100 5TH ST

EC04 - PLAN DESCRIPTION:
FOUNDATION PERMIT FOR NEW COMMERCIAL BUILDING

ECG0 - GARBAGE FACILITIES:

ECG1 - To provide adequate facilities.

ECG4 - Requires garbage room with floor drain with backflow preventer valve, hose-bib, sprinklers, 6'-0" door opening and minimum floor area of:

ECG7 - Garbage room to be air-conditioned.

ECS0 - SANITARY SEWER:

DERM SEWER ALLOCATION APPROVAL IS REQUIRED

10

** CONDITIONS OF PERMIT/APPROVAL **

DATE: 07/28/95
PAGE: 4

Permit No.: B9500334 TYPE: BUILD
Location: 1100 5TH ST

- ECS1 - To use existing facilities.
- ECS4 - Garbage disposal units not permitted.
- ECW0 - WATER:

- ECW3 - Contact Public Services Department (673-7645) for water service.
- ED00 - DRAINAGE:

- ED02 - Side yards to be sloped so as to not shed water to neighboring properties.
- ED04 - All drainage to be contained within property.
- ED05 - A/C condensate to be piped to driven drainage well to be shown inside property and dimensioned from two property lines.
- EGE0 - GRADES/ELEVATIONS:

+6.6 NGVD
- EGE2 - Federal Base Flood Elevation :
+8.00 NGVD
- EGE3 - All electrical equipment, outlets, electric meter, heating equipment, hot water tanks, air conditioning equipment, must be at or above:
- EGE4 - Must submit elevation certificate when finished floor construction is completed and prior to tie beam inspection.
- EGE5 - Must submit water proofing statement prior to obtaining a certificate of occupancy.
- EGF2 - All openings below FEMA base flood elevation to be provided with water-tight, water-proof gasketed shutters, to an elevation of one foot above base flood elevation. Shutters to be stored on site.
- EMT0 - ENCROACHMENTS/EASEMENTS:

10

**** CONDITIONS OF PERMIT/APPROVAL ****

DATE: 07/28/95
PAGE: 5

Permit No.: B9500334 TYPE: BUILD
Location: 1100 STH ST

ENT1 - None

ENC0 - GENERAL COMMENTS:

ENC1 - Public Services Department street permit required for work done on City Property.

ENC6 - Certificate of occupancy required.

ENC8 - Subject to approval of proper governmental agencies.

ENT2 - *D.O.T. PERMIT IS REQUIRED*

SIGNATURE _____ COMPANY _____

PHONE: _____ DATE: _____

10

**** CONDITIONS OF PERMIT/APPROVAL ****

DATE: 07/28/95
PAGE: 1

Permit No.: B9500334 TYPE: BUILD
Location: 1100 5TH ST

SPECIAL BLDG PERMIT CONDITIONS

- 0001 - THIS CONDITION APPLIES TO THE INSTALLATION OF WINDOWS AND SLIDING DOORS IN BUILDINGS OF ONE AND TWO STORIES ONLY:
By the action of supplying and or installing the windows and or sliding doors for which this permit is being issued, the supplier and or the installer are certifying that this windows and or sliding doors are structurally adequate for their use within a coastal construction zone, and for the location in the building where used, in accordance with Chapter 23, Sub-Section 2309.2 (b) of the South Florida Building Code, 1988 Edition and any other applicable Federal, State, County or City Ordinance.
- 0002 - FOR ALL WINDOWS, SLIDING GLASS DOORS, STOREFRONT & GLAZING CONTRACTOR SHALL SUBMIT COMPLETE DADE COUNTY PRODUCT CONTROL APPROVAL LETTERS FOR EACH TYPE USED TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT PRIOR TO INSTALLATION.
- 0003 - FOR ALL TRUSSES
Contractor shall submit shop drawings signed and sealed by a Professional Engineer, to the City of Miami Beach Building Department for approval prior to installation.
- 0005 - THIS PERMIT IS ISSUED ON THE FOLLOWING CONDITIONS:
THIS PERMIT IS FOR FOUNDATION AND SUBSURFACE WORK ONLY.
- 0007 - ALL HANDRAIL, STAIRRAIL AND SAFETY RAIL SHALL MEET SOUTH FLORIDA BUILDING CODE SECTIONS 516, 2303 & 3103
- 0008 - FOR ALL FABRIC AWNINGS
CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE CITY OF MIAMI BEACH BUILDING DEPT. FOR APPROVAL PRIOR TO THE BEGINING OF CONSTRUCTION.
1. SIGNED AND SEALED SHOP DRAWINGS FOR THE PROPOSED WORK.
 2. A SAMPLE OF THE FABRIC USED.
 3. A FLAME PROOF CERTIFICATE FOR THE FABRIC USED.
- 0009 - FOR ALL WINDOWS, SLIDING GLASS DOORS, STORE FRONTS, SKYLITES AND OTHER GLAZED STRUCTURES:
CONTRACTOR SHALL SUBMIT TO THE CMB BLDG DEPT. COMPLETE ENGINEERED DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A P.E.-OR- A COMPLETE DADE COUNTY PRODUCT CONTROL APPROVAL LETTER AND A CERTIFICATE SIGNED AND SEALED BY A FLA. P.E. STATING THAT HE/SHE HAS EVALUATED THE PROPOSED INSTALATION AND CERTIFIES THAT SAID INSTALLATION COMPLIES WITH THE REQUIREMENTS OF SOUTH FLORIDA BUILDING CODE CHAPTERS 23 & 35 FOR USE IN THE COASTAL CONSTRUCTION AREA AT THE ELEVATION AND IN THE LOCATION ON THE BUILDING INDICATED.

10

**** CONDITIONS OF PERMIT/APPROVAL ****

DATE: 07/28/95
PAGE: 2

Permit No.: B9500334 TYPE: BUILD
Location: 1100 5TH ST

- 0010 - FOR ALL FABRIC AWININGS:
CONTRACTOR SHALL SUBMIT COMPLETE ENGINEERED DRAWINGS SIGNED AND SEALED BY A FLORIDA P.E., A FABRIC SAMPLE AND A CERTIFICATE FROM THE MANUFACTURER OF THE FABRIC ATTESTING TO THE FLAME PROOF TREATMENT APPLIED TO THE SAID CLOTH. SAID SUBMITTAL SHALL BE TO THE CMB BUILDING DEPARTMENT AND NO INSTALLATION OF THESE AWININGS SHALL BE STARTED UNTIL APPROVAL HAS BEEN OBTAINED.
- 0011 - FOR ALL ROOFING PROJECTS WHICH USE A PROPRIATORY OR NEW ROOFING MATERIAL, THE CONTRACTOR SHALL SUBMIT TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT, A COPY OF THE COMPLETE DADE COUNTY PRODUCT CONTROL APPROVAL LETTER AND A COPY OF THE MANUFACTURERS RECOMMENDATIONS FOR THE INSTALLATION OF THIS MATERIAL PRIOR TO INSTALLATION.
- 0012 - FOR ALL REROOFING JOBS WHERE THERE IS NO TEAR DOWN TO BARE WOOD, THE CONTRACTOR SHALL PROVIDE TEST REPORTS BY A CERTIFIED LABORATORY, AS FOLLOWS.
A. THE MOISTURE CONTENT OF THE EXISTING ROOFING.
B. THE UPLIFT RESISTANCE OF THE EXISING ROOFING, ONE TEST FOR EACH 2500 SF OR ANY PART THERE OF.
SAID TESTS TO BE CERTIFIED BY A P.E. AND SUBMITTED PRIOR TO THE INSTALLATION OF ANY NEW ROOFING.
- 0013 - A SOIL STATEMENT IS REQUIRED.
UNLESS BASED UPON SOIL BORINGS AND OTHER TESTS,
1. NO SOIL BEARING VALUE HIGHER THAN 2000 PSF MAXIMUM WILL BE ACCEPTABLE.
2. THE DESIGN PROFESSIONAL SHALL VISIT THE SITE WHILE CONSTRUCTION IS IN PROGRESS AND BEFORE THE FIRST SITE INSPECTION AND OBSERVE THE TYPE AND NATURE OF THE SOIL AND SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE SUBJECT SOIL HAS A BEARING CAPACITY SUFFICIENT TO SUPPORT THE PROPOSED CONSTRUCTION.
- 0014 - THE FOLLOWING ITEMS ARE SPECIFICALLY OMITED FROM THIS PERMIT ALL SUPERSTRUCTURE AND ABOVE GROUND WORK.
- 0016 - FOR ALL PILING:
1. SIGNED AND SEALED DRIVE LOGS SHALL BE SUBMITTED TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT FOR APPROVAL PRIOR TO THE FIRST IN GROUND INSPECTION.
2. NON DRIVEN PILES REQUIRE A LOAD TEST TO VERIFY CAPACITY SUBMITT SIGNED AND SEALED TEST RESULTS TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT FOR APPROVAL PRIOR TO THE FIRST IN GROUND INSPECTION.

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EXHIBIT "A"

The legal description is as follows:

Parcel 1: Lot 3, less the East 100' thereof and less extension R of curve in the NW corner Right-of-Way, and Lot 4, less the East 142' thereof, of Block 103, of OCEAN BEACH ADDITION NO. 3, Plat Book 2 at Page 81, of the Public Records of Dade County, Florida, a/k/a 1130 5th Street, Miami Beach, Florida.

Parcel 2: The East 100' of Lot 3, and the East 142' of Lot 4, of Block 103, of OCEAN BEACH ADDITION NO. 3, Plat Book 2 at Page 81, of the Public Records of Dade County, Florida, a/k/a 1100 5th Street, Miami Beach, Florida.

Parcel 3: Lots 5, 6, 7, 8 and 9, of Block 103, of OCEAN BEACH ADDITION NO. 3, RE SUB., Plat Book 26 at Page 62, of the Public Records of Dade County, Florida, a/k/a 1100 5th Street, Miami Beach, Florida.

Parcel 1 contains a building with offices leased by Rollable Car Leasing Company. Parcel 2 contains a building currently leased to a body shop. Parcel 3 consists of a 2-bedroom house, one building with four (4) units, one building with five (5) units, and one building with six (6) units.

The total property consists of approximately 33,000 square feet of land, more or less.

This legal description may be modified to reflect the exact legal description as a result of a Survey or a Sketch of Survey, to be obtained by Buyer.

FILE 44 81-MAR-1969
ALAN COHEN
ORIGINAL 8TH ST. PROPERTIES

3-77
16
\$ 3000.00

NCNB
NATIONAL CITY BANK
4 South Miami Avenue
Miami, Florida 33130

DATE 20-07-78
MEMBER

NOB8005502H 8802012415M 0334 *000003000000*

TO: TIM Silvers
FROM: Alan

114
89

INITIAL

FEDERAL EMERGENCY MANAGEMENT AGENCY
 NATIONAL FLOOD INSURANCE PROGRAM
FLOODPROOFING CERTIFICATE
 FOR NON-RESIDENTIAL STRUCTURES

O.M.B. No 3067-0077
 Expires May 31, 1993

The floodproofing of non-residential buildings may be permitted as an alternative to elevating to or above the Base Flood Elevation; however, a floodproofing design certification is required. This form is to be used for that certification. Floodproofing of a residential building does not alter a community's floodplain management elevation requirements or effect the insurance rating unless the community has been issued an exception by FEMA to allow floodproofed residential basements. The permitting of a floodproofed residential basement requires a separate certification specifying that the design complies with the local floodplain management ordinance.

BUILDING OWNER'S NAME GATEWAY DEVELOPMENT INC.	FOR INSURANCE COMPANY USE POLICY NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER 1100-1130-5TH ST. MIAMI BEACH FLA 33139	COMPANY NAIC NUMBER
OTHER DESCRIPTION (Lot and Block Numbers, etc.)	
CITY	STATE ZIP CODE

SECTION I FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM:

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (in AO Zones, use depth)

SECTION II FLOODPROOFING INFORMATION (By a Registered Professional Engineer or Architect)

Floodproofing Design Elevation Information:

Building is floodproofed to an elevation of 9.0 feet NGVD. (Elevation datum used must be the same as that on the FIRM.)

Height of floodproofing on the building above the lowest adjacent grade is 4.0 feet.

(NOTE: for insurance rating purposes, the building's floodproofed design elevation must be at least one foot above the Base Flood Elevation to receive rating credit. If the building is floodproofed only to the Base Flood Elevation, then the building's insurance rating will result in a higher premium.)

SECTION III CERTIFICATION (By a Registered Professional Engineer or Architect)

Non-Residential Floodproofed Construction Certification:

I certify that based upon development and/or review of structural design, specifications, and plans for construction that the design and methods of construction are in accordance with accepted standards of practice for meeting the following provisions:

The structure, together with attendant utilities and sanitary facilities, is watertight to the floodproofed design elevation indicated above, with walls that are substantially impermeable to the passage of water.

All structural components are capable of resisting hydrostatic and hydrodynamic flood forces, including the effects of buoyancy, and anticipated debris impact forces.

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME JAMES R. SILVERS	LICENSE NUMBER (or Affix Seal) AKL 6229
TITLE Pres.	COMPANY NAME JAMES F. SILVERS ASSOC. PA
ADDRESS 1130-5TH ST.	CITY STATE ZIP MIAMI BEACH FL 33139
SIGNATURE <i>[Signature]</i>	DATE PHONE 7/29/95 622-0801

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

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PAPERWORK BURDEN DISCLOSURE NOTICE

GENERAL - This information is provided pursuant to Public Law 96-511, (The Paperwork Reduction Act of 1980, as amended), dated December 11, 1980, to allow the public to participate more fully and meaningfully in the Federal paperwork review process.

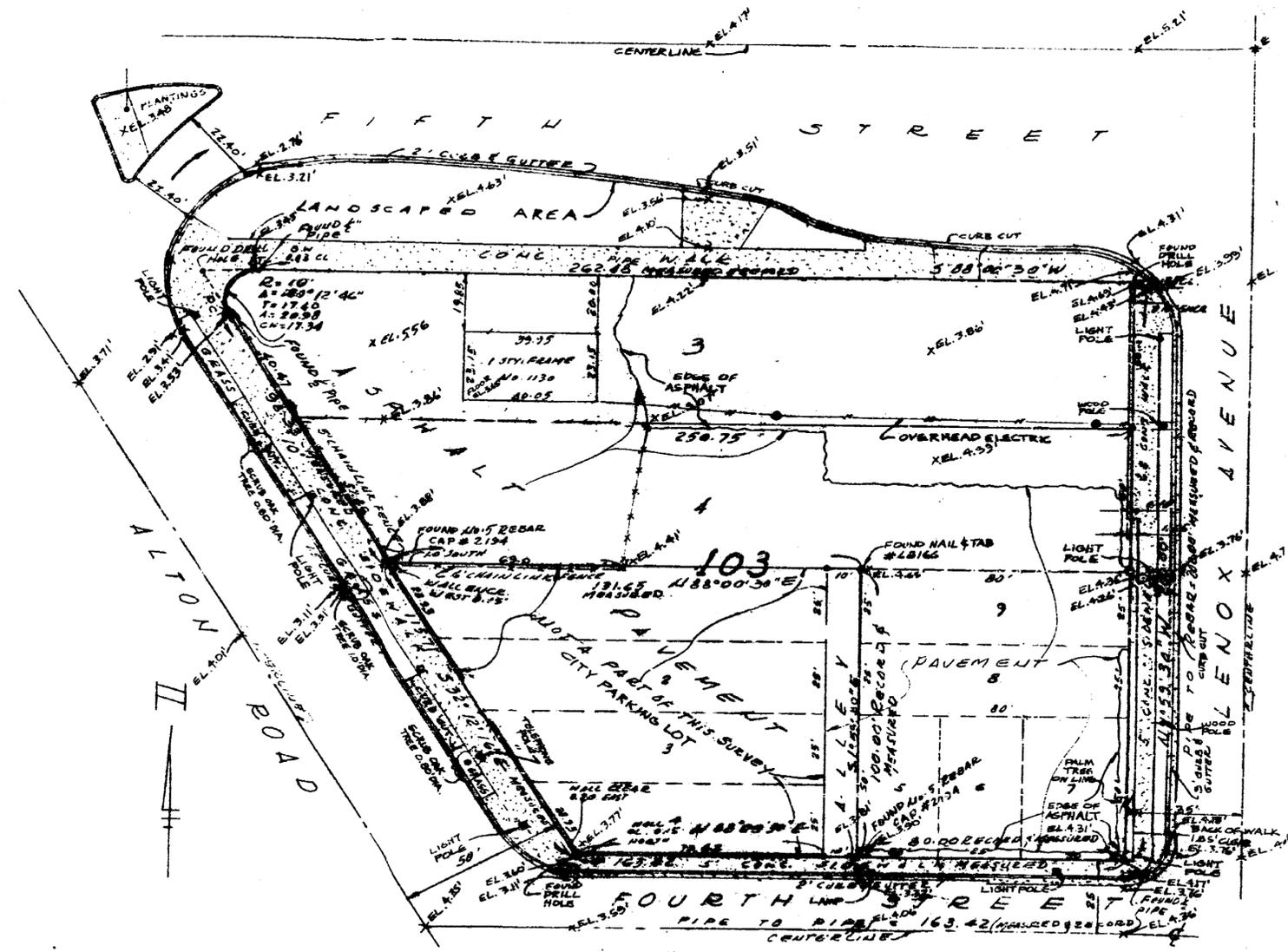
AUTHORITY - Public Law 96-511, amended; 44 U.S.C. 3507; and 5 CFR 1320

DISCLOSURE OF BURDEN - Public reporting burden for the collection of information entitled "Post-Construction Elevation Certificate/Floodproofing Certificate" (FEMA Form 81-31 and 81-65) is estimated to average 12 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the forms. Send comments regarding the burden estimate or any aspect of the collection, including suggestions for reducing the burden, to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, S.W. 20472; and to the Office of Management and Budget, Paperwork Reduction Project (3067-0077), Washington, D.C. 20503.

10

1060

1060



THIS IS A SKETCH OF AN AS-BUILT SURVEY OF:

PARCEL 1:
The East 100 feet of Lot 3, of Block 103, of OCEAN BEACH, FLA., ADDITION NO. 3, according to the Plat thereof, recorded in Plat Book 2, at Page 81, of the Public Records of Dade County, Florida.

PARCEL 2:
Lot 3, less the East 100 feet thereof and less that portion thereof which lies within the external arc formed by 18 feet radius arc on the South and tangent to the North line of said Lot 3 and tangent to the Southwesterly line of Lot 3, of Block 103, of OCEAN BEACH, FLA., ADDITION NO. 3, according to the Plat thereof, recorded in Plat Book 2, at Page 81, of the Public Records of Dade County, Florida.

PARCEL 3:
Lot 4, less the East 145.6 feet thereof, of Block 103, of OCEAN BEACH, FLA., ADDITION NO. 3, according to the Plat thereof, recorded in Plat Book 2, at Page 81, of the Public Records of Dade County, Florida.

PARCEL 4:
The East 145.6 feet of Lot 4, of Block 103, of OCEAN BEACH, FLA., ADDITION NO. 3, according to the Plat thereof, recorded in Plat Book 2, at Page 81, of the Public Records of Dade County, Florida.

PARCEL 5:
Lots 5, 6, 7, 8 and 9, of Subdivision Lots 5 and 6, Block 103, to the OCEAN BEACH BEACH CO.'S OCEAN BEACH ADDITION NO. 3, according to the Plat thereof, recorded in Plat Book 2, at Page 42, of the Public Records of Dade County, Florida.

All of the above described property contains 33,000 Square Feet, more or less, or 0.758 acres, more or less.

SURVEYOR'S CERTIFICATE:

I, SURVEYOR CERTIFY that the "Sketch of Survey" of the above described property is true and correct to the best of my knowledge and belief, as reasonably surveyed under my direction; also that there are no visible encroachments, unless shown hereon. Examination of the "Abstract of Title" will have to be had to determine recorded encroachments, if any, which may affect this property. Location of Utilities or, and/or adjacent to this property were not shown, as such information was not requested. Ownership of this property is subject to an "Opinion of Title". This survey meets the minimum technical standards for land surveys in the State of Florida, pursuant to Section 472.027, Florida Statutes and to Chapter 61677 of the Florida Administrative Code as adopted by the Department of Professional Regulation, Board of Land Surveyors. This "Sketch of Survey" is not valid unless the raised embossed seal of the undersigned is affixed hereon.

Order No. 79507-94

By: *James D. Reeves*
James D. Reeves, President
P.L.S. No. 2194, Florida

NOTES:

- The North Arrow and Bearings used hereon are referenced to those shown on the Erosion Control Line of the Atlantic Ocean, recorded in Plat Book 103 at Page 42, Dade County, Florida.
- The Pipes shown on the corners have a P.L.S. Plus No. 2194 inserted in the top of each.
- The Elevation information shown is referenced to 0.00 feet, National Geodetic Vertical Datum (N.G.V.D.), 1929.

LEGEND: B.M. = Back of Walk; E. = Centerline; CH. = Chain; CONC. = Concrete; EL. = Elevation; ENCL. = Encroachment; P.C. = Point of Curve; P.T. = Point of Tangent; STY. = Story; R. = Radius; Δ = Delta; T. = Tangent; A. = Arc; N. = North; S. = South; E. = East; W. = West.

3-16-94 CERTIFIED TO:

- CATEGORY DEVELOPMENT, INC.
- JAMES SILVERS, TRUSTEE
- ATTORNEY TITLE INSURANCE FUND, INC.
- WILLIAM A. ECKERTY, P.A.

PH. 6-1-205-534-4468

SURVEY FOR:
JAMES SILVERS, TRUSTEE

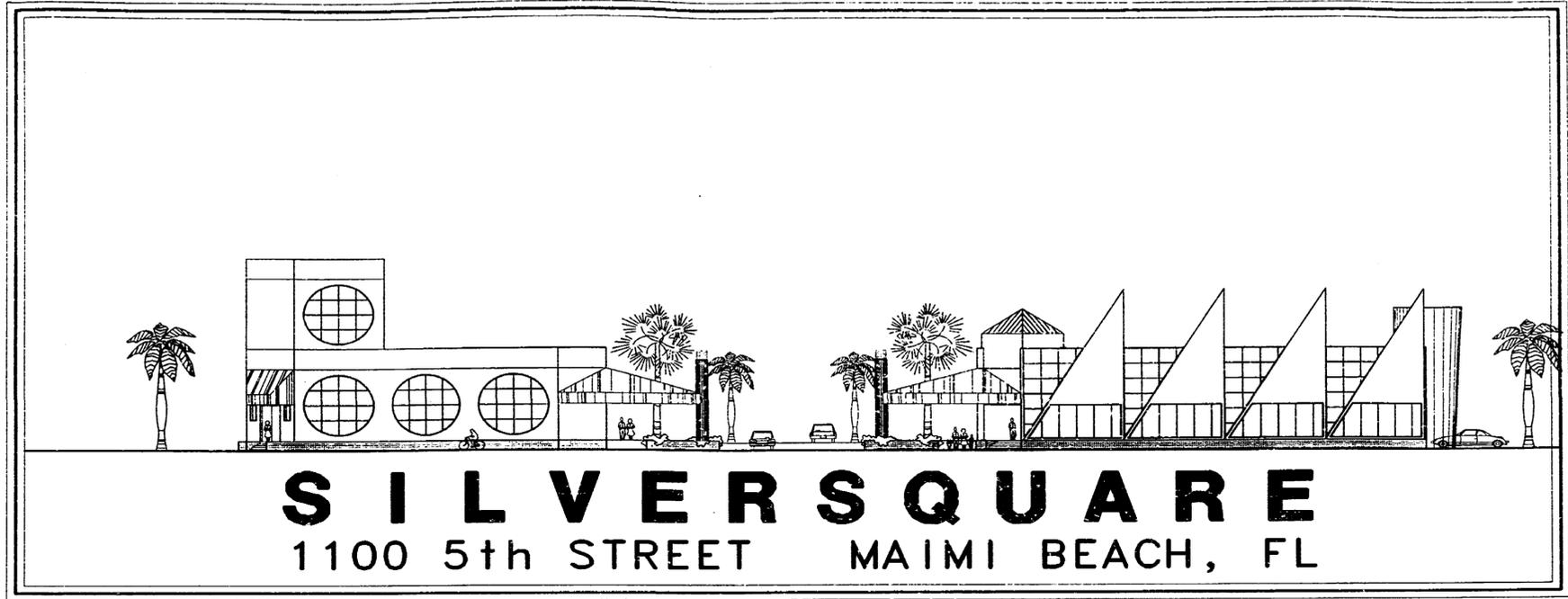
ZURWELLE WHITTAKER, INC. - EST. 1900
CONSULTING ENGINEERS AND SURVEYORS
805 LINCOLN RD. SUITE 700, BEACH BEACH, FLA. 33420

DATE	SCALE	DRAWN BY	CHECKED BY
5-16-86	1-20'	E.R.	J.D.R.
REVISIONS	DECLARATION		
1-15-86	BY: JAMES SILVERS, TRUSTEE		
2-12-86	BY: WILLIAM A. ECKERTY, P.A.		

NATIONAL FLOOD INSURANCE DATUM

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
120691	0192	J	5-2-84	AE	8.00'

10



ZONING DATA

ZONING.....C-PS2
 LOT AREA.....0.76 AC = 33,000 SF
 FAR (MINIMUM ALLOWED).....2.0 = 66,000 SF
 FAR (MAXIMUM ALLOWED).....2.5 = 82,500 SF
 FAR (PROPOSED).....0.38 = 12,454 SF
 PARKING REQUIRED.....SUBJECT TO MIXED USE
 PARKING PROVIDED.....40 SPACES

BUILDING DATA

BUILDING #1
 GROSS ENCLOSED FLOOR AREA.....4,167 SF
 BUILDING HEIGHT ALLOWED.....75 FT
 BUILDING HEIGHT PROPOSED.....
 MAIN ROOF.....24'-10"
 PENTHOUSE ROOF.....48'-6"
BUILDING #2
 GROSS ENCLOSED FLOOR AREA.....8,287 SF
 BUILDING HEIGHT ALLOWED.....75 FT
 BUILDING HEIGHT PROPOSED.....26'-3" FT

SHEET INDEX

ARCHITECTURAL
 A1-0.....COVER SHEET
 A1-1.....SITE PLAN
 A2-1.....BUILDING #1 GROUND FLOOR PLAN
 A2-2.....MAIN ROOF & PENTHOUSE PLAN
 A2-3.....PENTHOUSE ROOF PLAN
 A2-4.....BUILDING #2 GROUND FLOOR PLAN
 A2-5.....BUILDING #2 ROOF PLAN
 A3-1.....BUILDING #2 ELEVATIONS
 A3-2.....BUILDING #1 ELEVATIONS
 A4-1.....SECTIONS
STRUCTURAL
 S1-1.....BUILDING #1 FOUNDATION PLAN
 S1-2.....BUILDING #2 FOUNDATION PLAN
 S1-3.....FOUNDATION DETAILS
 S2-1.....BUILDING #1 FRAMING PLAN
 S2-2.....BUILDING #1 MAIN ROOF FRAMING PLAN
 S2-3.....BUILDING #1 PH ROOF FRAMING PLAN
 S2-4.....BUILDING #2 FRAMING PLAN
 S2-5.....BUILDING #2 MAIN ROOF FRAMING PLAN
 S3-1.....ELEVATIONS
 S4-1.....SECTIONS
LANDSCAPING
 L1-1.....LANDSCAPE PLAN

MECHANICAL

M.....

ELECTRICAL

E.....

PLUMBING

P.....

CIVIL

C.....

APPROVAL IS CONTINGENT ON PERFORMANCE OF FIRE SUPPRESSION LIFE SAFETY SYSTEMS IN ACCORDANCE WITH FBC CHAPTER 31

APPROVED BACK FLOW PREVENTION DEVICE REQUIRED.

FIRE FLOW FEE \$5000

FIRE STOPPING REQUIREMENTS: FIRE STOPPING SHALL BE INSTALLED AT ALL PENETRATIONS THROUGH EXISTING WALLS AND ROOFS TO MAINTAIN THE INTEGRITY OF THE FIRE RESISTIVE ASSEMBLY.

CONFORMANCE OR APPROVED EQUIPMENT TO THE MINIMUM REQUIREMENTS OF THE FBC CHAPTER 31.

MAINTAIN EFFECTIVENESS OF FIRE SUPPRESSION / LIFE SAFETY SYSTEMS IN ACCORDANCE WITH FBC CHAPTER 31.

Approved drawings for final sheet approval

CITY OF MIAMI BEACH RECEIVED JUL 24 1995 BUILDING DEPARTMENT

APPROVED FOR PERMIT BY THE FOLLOWING:
 BUILDING: *John T. [Signature]*
 ZONING: *X*
 PLUMBING: *X*
 ELECTRICAL: *X*
 MECHANICAL: *X*
 FIRE PREVENTION: *X*
 ENGINEERING: *X*
 PUBLIC WORKS: *X*
 STRUCTURAL: *X*
 ACCESSIBILITY: *X*

DATE: 24 JUL 95

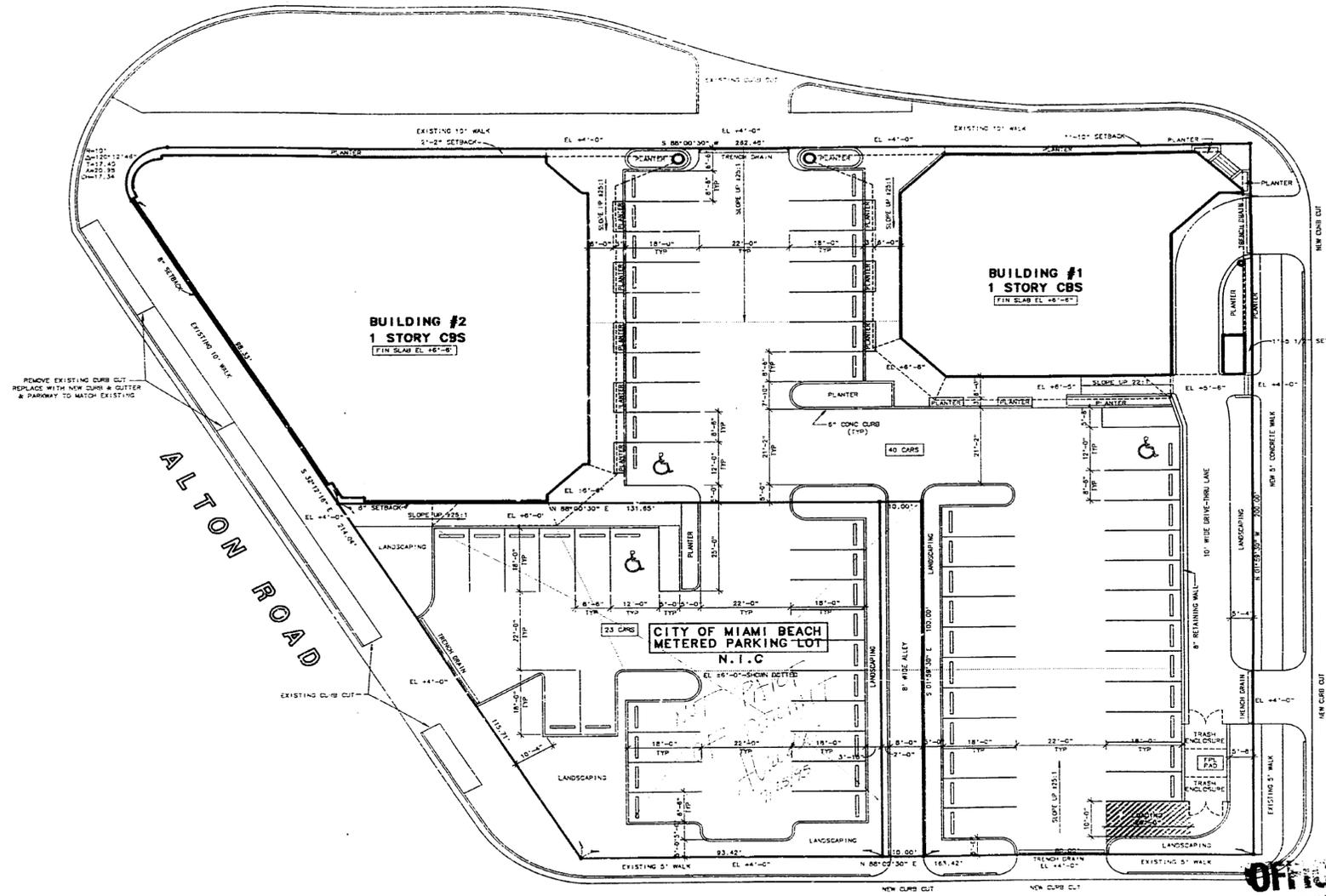
JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801

[Signature]

SILVERSQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 COVER SHEET

A1-0

5th STREET



ALTON ROAD

LENOX AVENUE

4th STREET

1 SITE PLAN
1/15/11-01



DESIGN REVIEW BOARD
 BOARD APPROVAL: _____
 DIRECTOR APPROVAL: _____
 APPROVED WITH COMMENTS: _____
 COMMENTS: _____
 NOT APPROVED: _____
 DATE: _____

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	_____
ZONING:	_____
PLUMBING:	_____
ELECTRICAL:	_____
FIRE PREVENTION:	_____
ENGINEERING:	_____
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ACCESSIBILITY:	_____

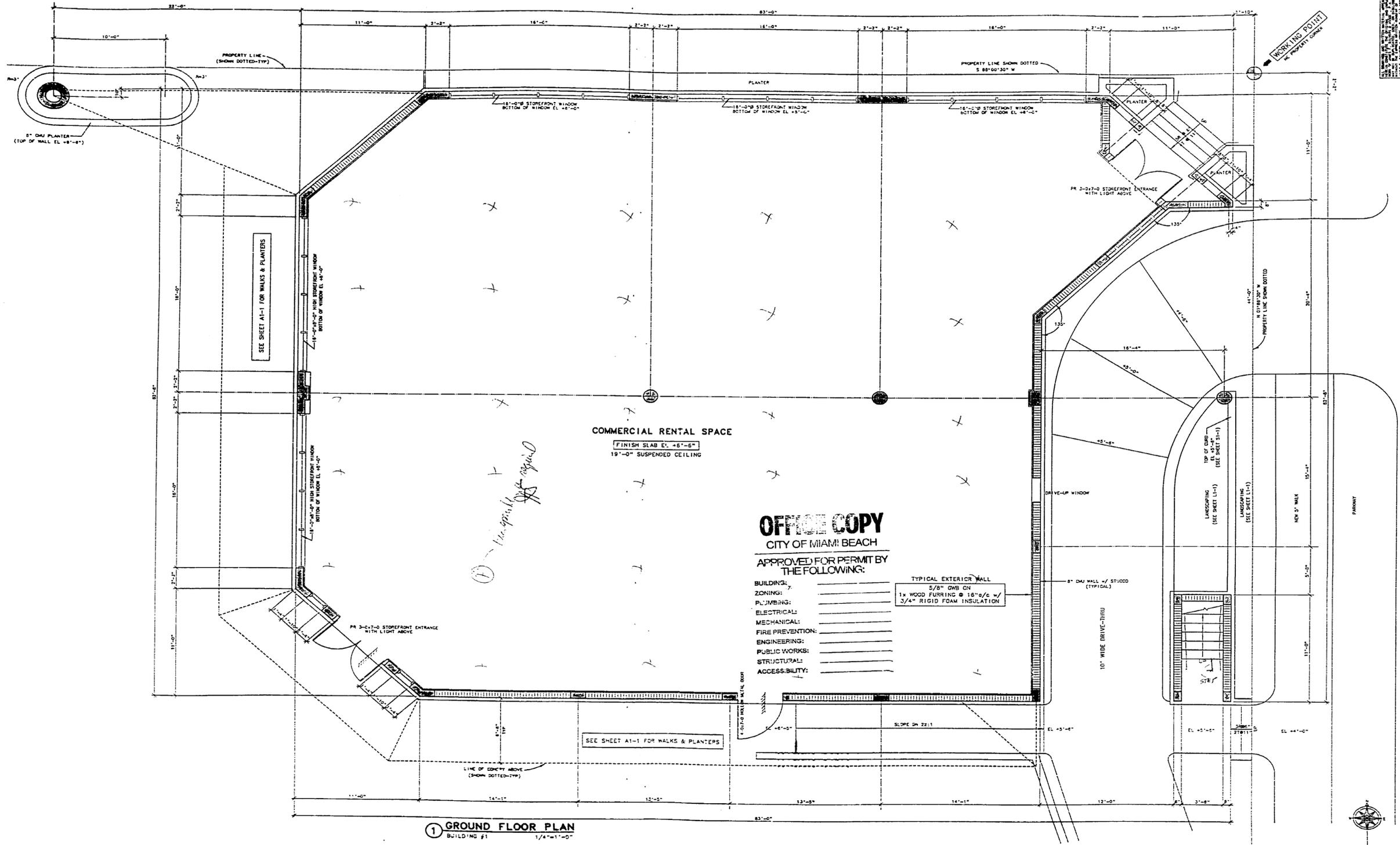
DATE: 24 JUL 95

JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801



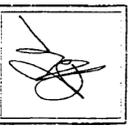
SILVER SQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 SITE PLAN

41-1



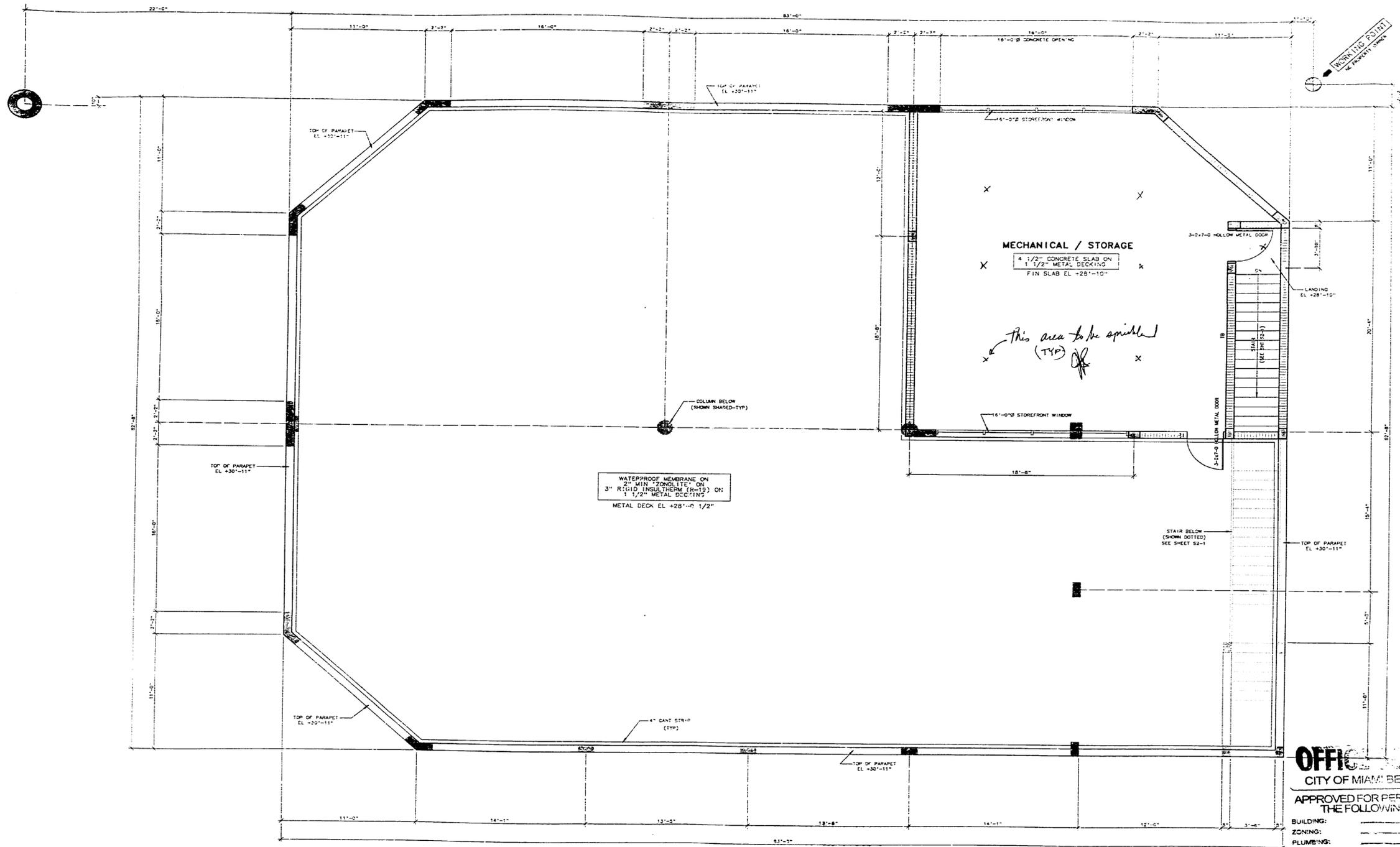
DATE: 24 JUN 95

JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801



SILVERSQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 BUILDING #1 GROUND FLOOR PLAN

A2-1



① MAIN ROOF & PENTHOUSE FLOOR PLAN
 BUILDING #1
 1/4" = 1'-0"

OFFICE
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____

DATE: 24 JUL 95

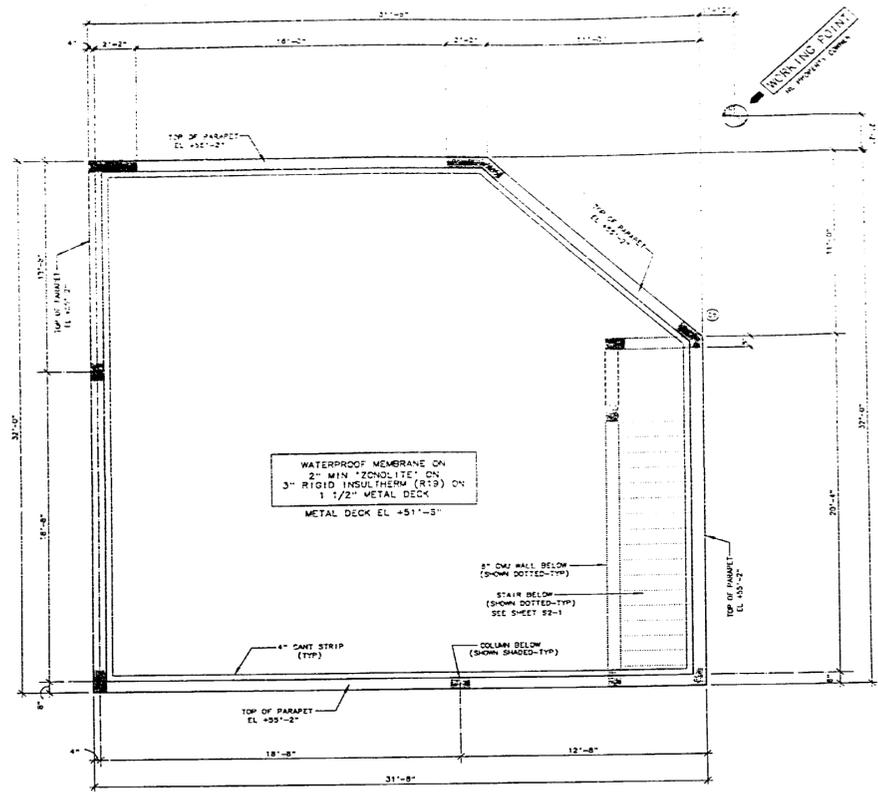
JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801

[Signature]

SILVER SQUARE
 1100 5TH STREET MIAMI BEACH, FLORIDA
 BLDG #1 MAIN ROOF & PH FLOOR PLAN

A2-2

10



① PENTHOUSE ROOF PLAN 1/4"=1'-0" N

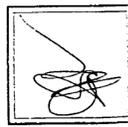
OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

DATE: 24 JUL 95

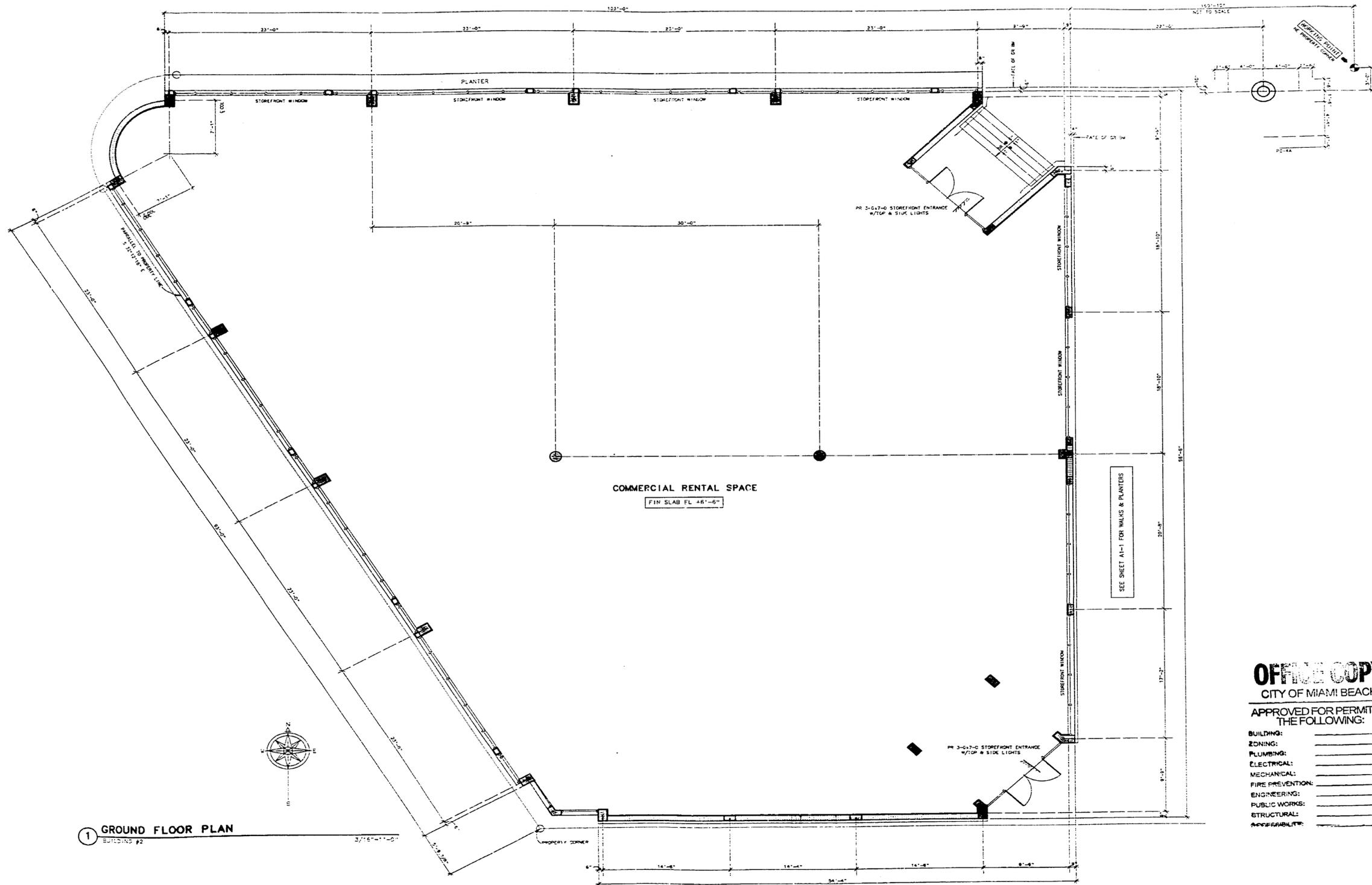
JAMES F. SILVERS & ASSOC., P.A.
1130-5TH STREET MIAMI BEACH, FLA.
ARCHITECT/DEVELOPER 305/672-0801



SILVERSQUARE
1100 5TH STREET MIAMI BEACH, FLORIDA
BLDG #1 PENTHOUSE ROOF PLAN

42-3

10



1 GROUND FLOOR PLAN
BUILDING #2
3/16"=1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 AFFIDAVIT: _____

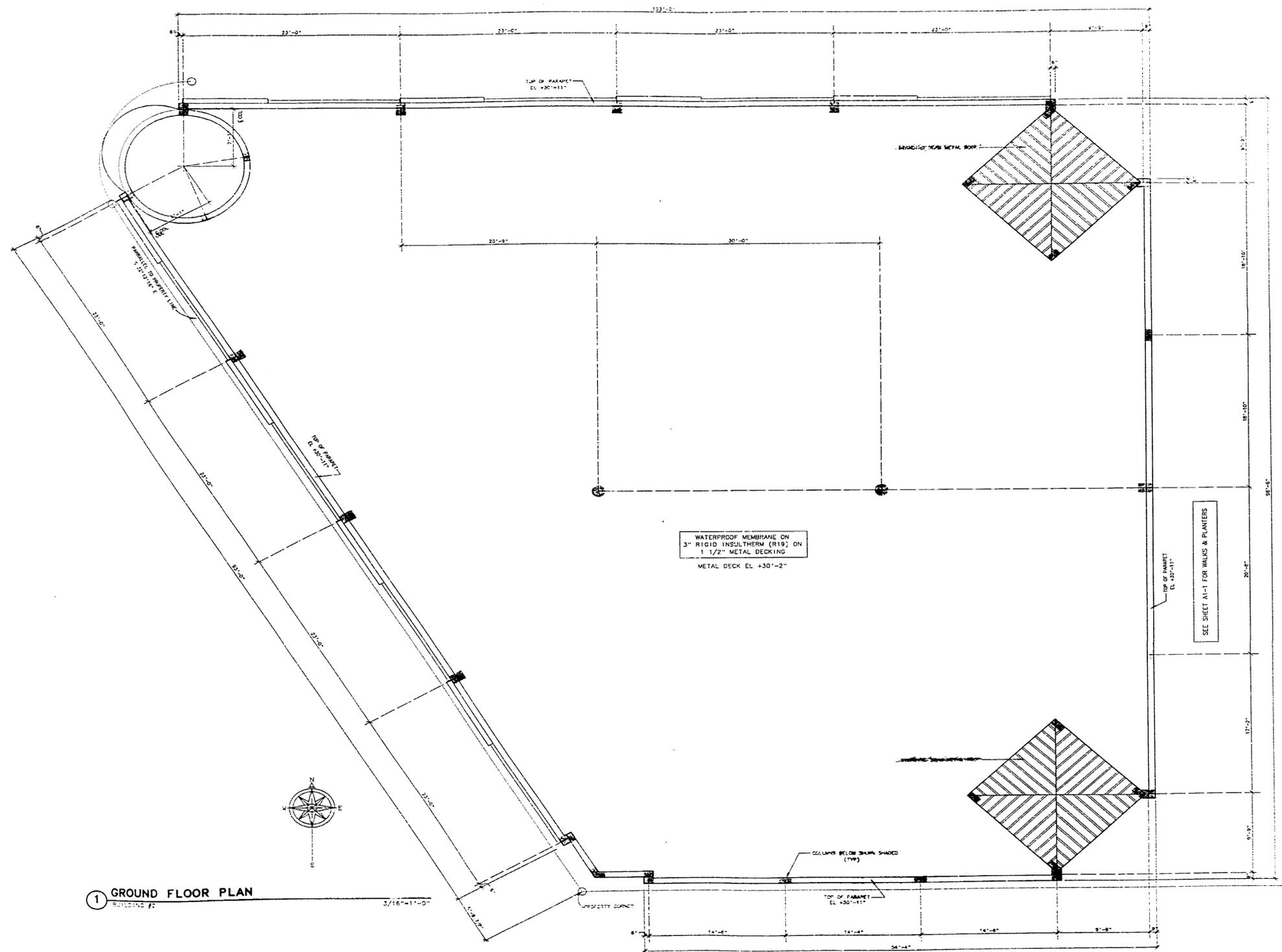
DATE: 24 JUL 95

JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801

[Signature]

SILVER SQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 BUILDING #2 GROUND FLOOR PLAN

A2-4



OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____

DATE: 24 JUL 93

JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801

[Signature]

SILVER SQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 BUILDING #2 ROOF PLAN

A2-5

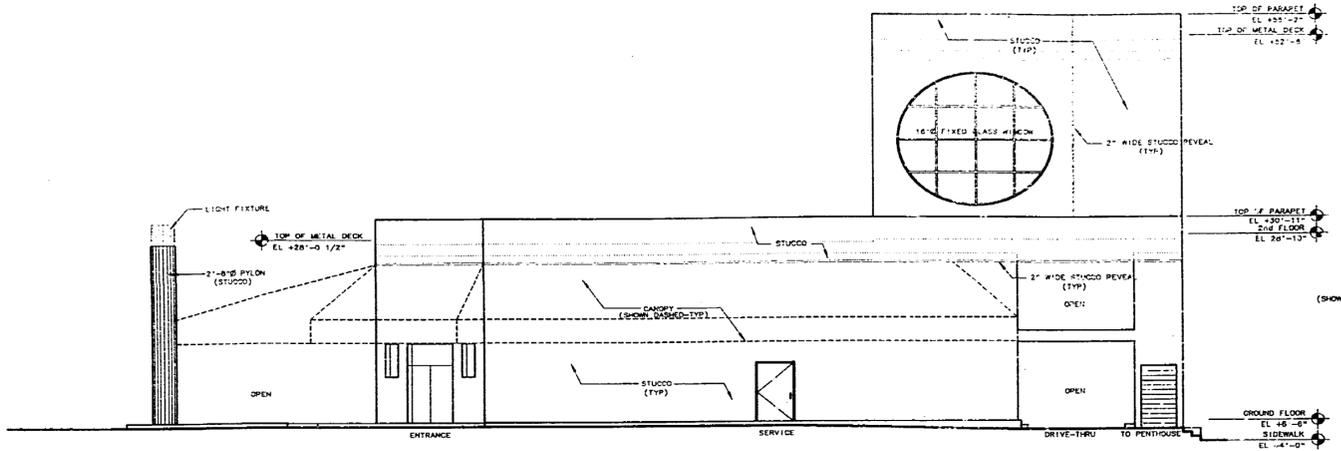
DATE: 24 JUL 85

JAMES F. SILVERS & ASSOC., P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801

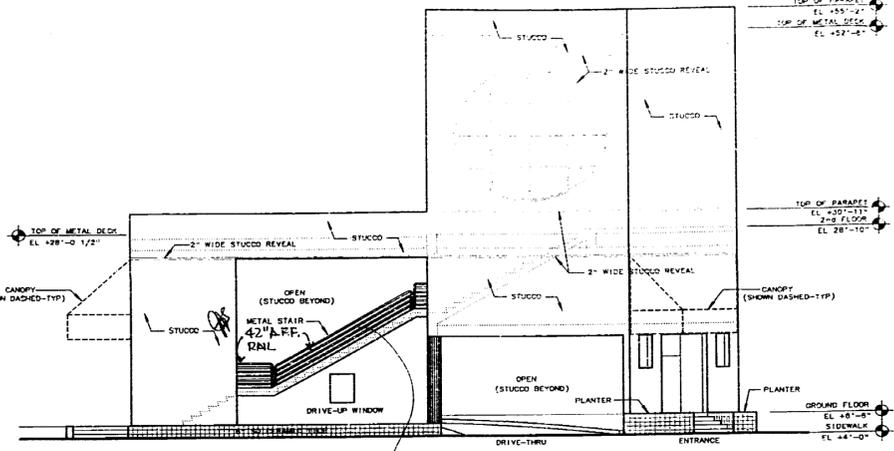
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SILVER SQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 BUILDING #1 ELEVATIONS

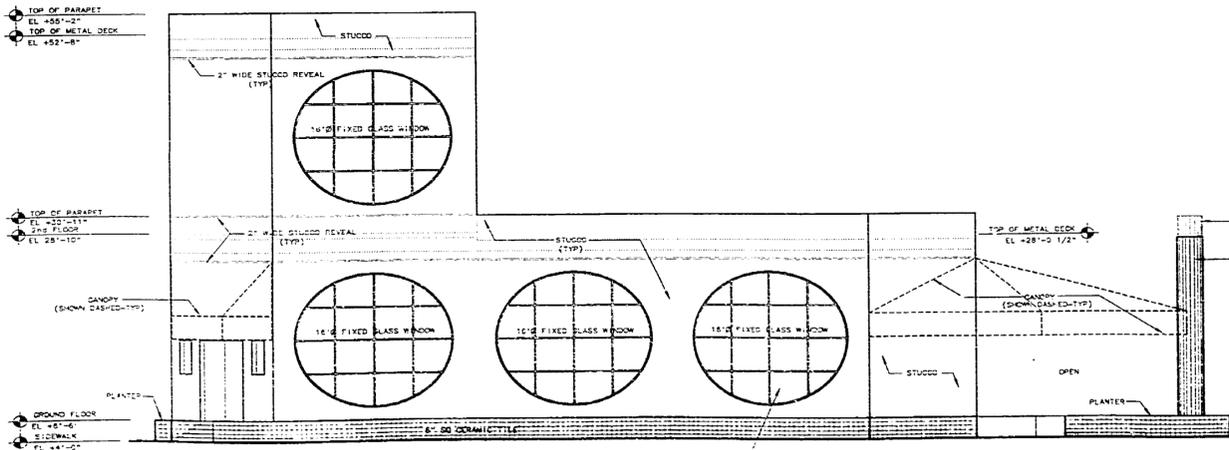
43-1



3 SOUTH ELEVATION
 1/8"=1'-0"



2 EAST ELEVATION
 1/8"=1'-0"

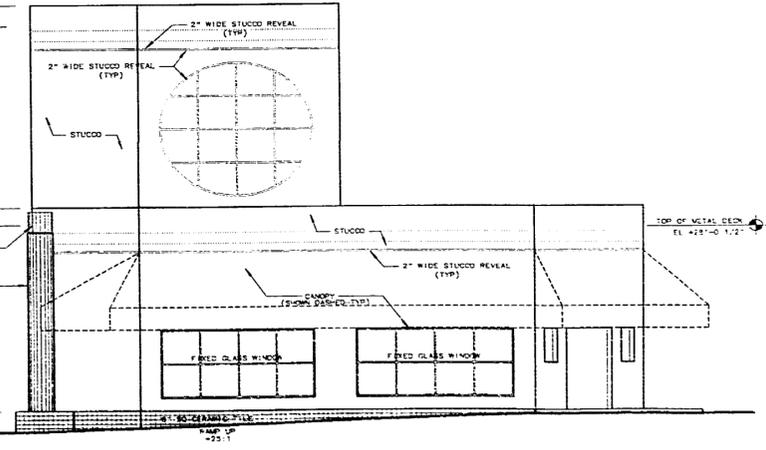


4 NORTH ELEVATION
 1/8"=1'-0"

NOTE
 PROVIDE FOR DADE COUNTY APPROVED STORM SHUTTERS FOR ALL WINDOWS AS REQUIRED.

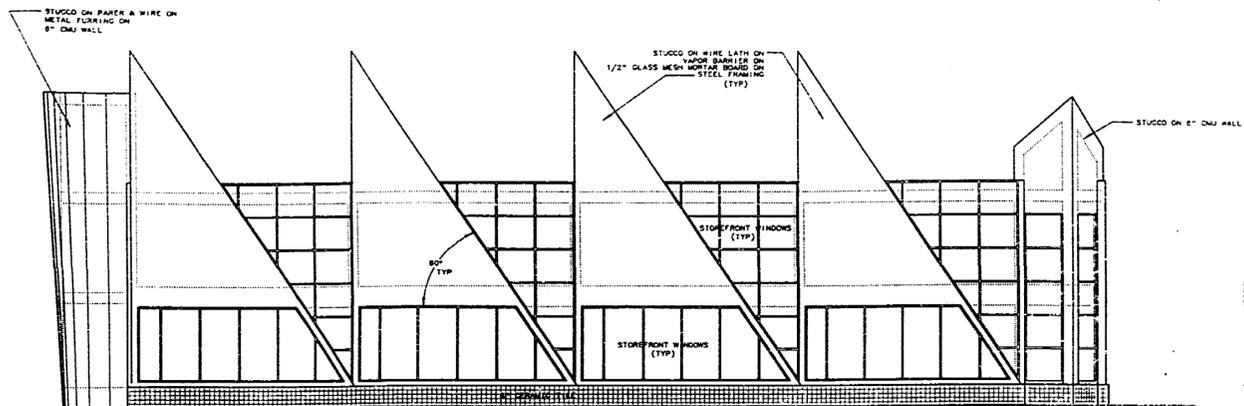
OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

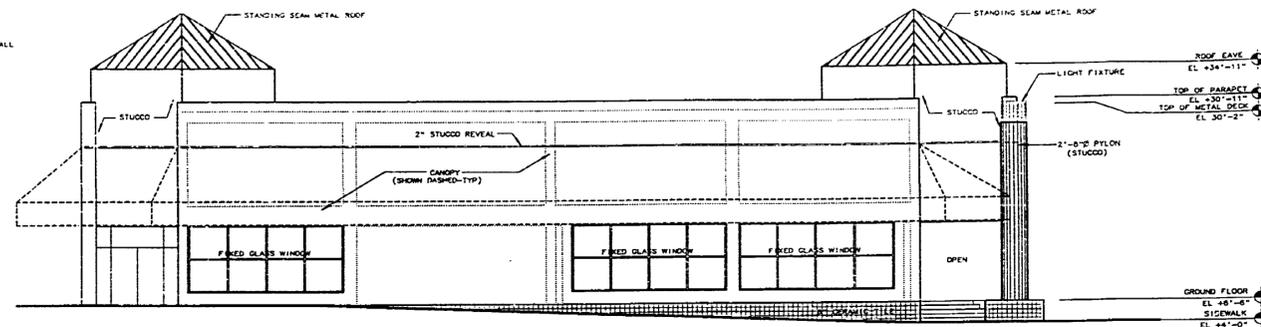


1 WEST ELEVATION
 1/8"=1'-0"

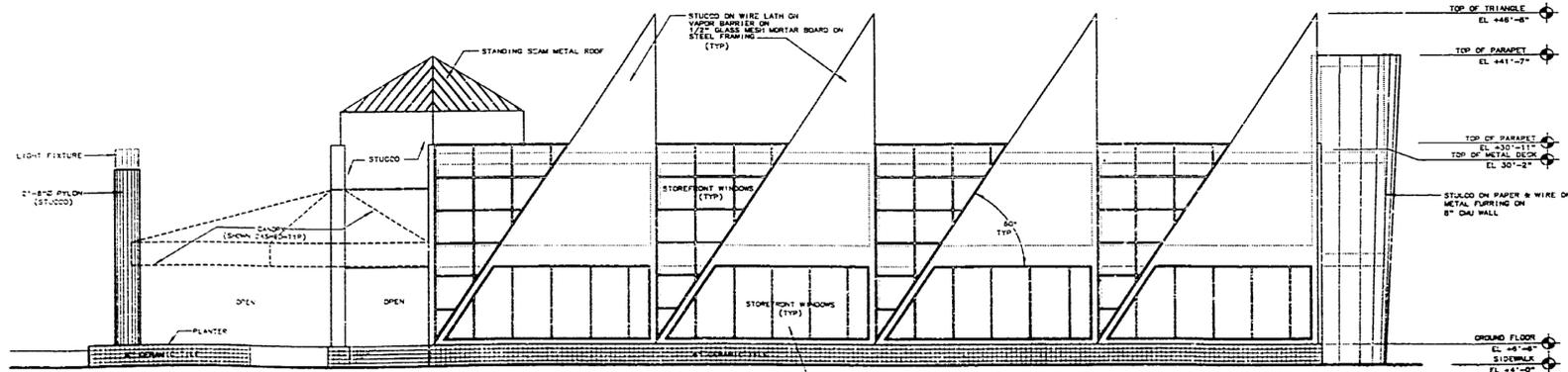
NOTE
 FLOOD PROOF ALL WALLS BELOW EL +9'-0" AS REQUIRED.



③ WEST ELEVATION
1/8"=1'-0"

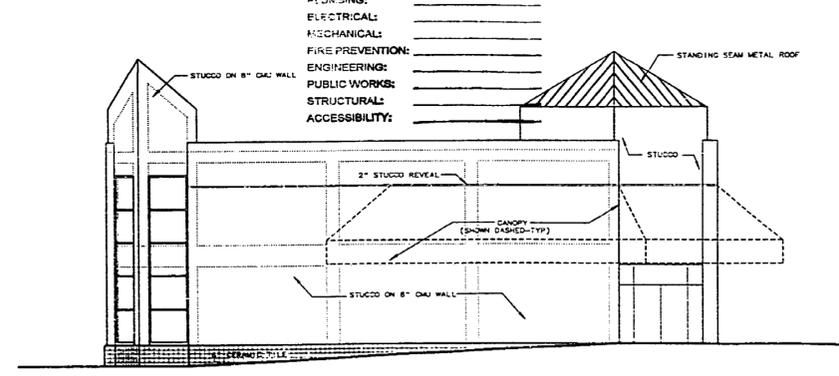


② EAST ELEVATION
1/8"=1'-0"



④ NORTH ELEVATION
1/8"=1'-0"

NOTE
PROVIDE FOR DADE COUNTY APPROVED STORM SHUTTERS FOR ALL WINDOWS AS REQUIRED.



① SOUTH ELEVATION
1/8"=1'-0"

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
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- ENGINEERING: _____
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- STRUCTURAL: _____
- ACCESSIBILITY: _____

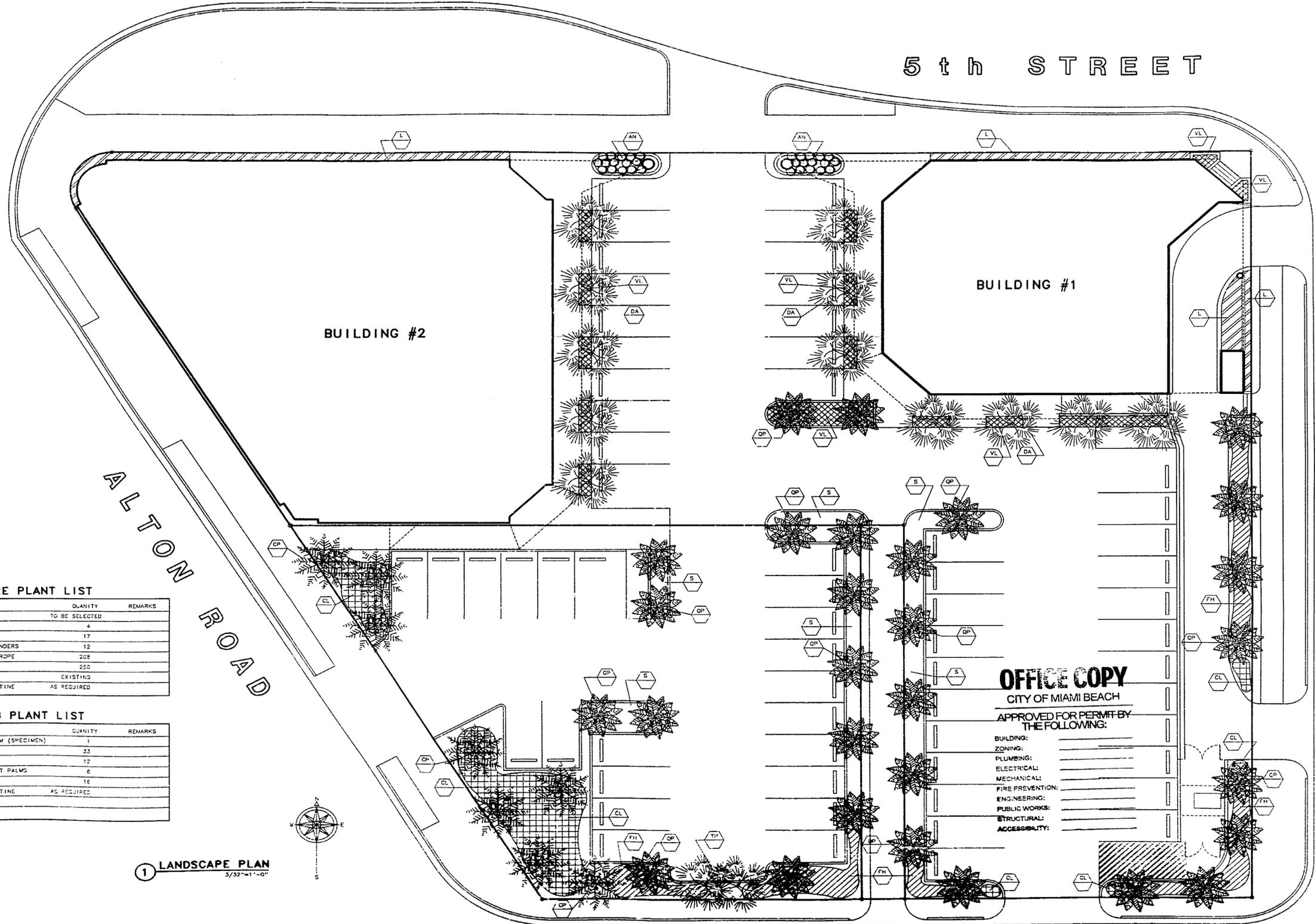
DATE: 24 JUL 95

JAMES F. SILVERS & ASSOC., P.A.
1130-5TH STREET MIAMI BEACH, FLA.
ARCHITECT/DEVELOPER 305/672-0801

[Signature]

SILVER SQUARE
1100 5TH STREET MIAMI BEACH, FLORIDA
BUILDING #2 ELEVATIONS

43-2



5th STREET

BUILDING #2

BUILDING #1

ALTON ROAD

LENOX AVENUE

SILVER SQUARE PLANT LIST

MARK	PLANT NAME	QUANTITY	REMARKS
A	ANNUALS	TO BE SELECTED	
CL	CRYNA LILLY	4	
QP	QUEEN PALMS	17	
DA	DOUBLE ALEXANDERS	12	
VL	VERIGATED LIROPE	208	
L	LIROPE	250	
FH	FIGUS HEDGE	EXISTING	
S	SOD-ST AUGUSTINE	AS REQUIRED	

CMB PARKING PLANT LIST

MARK	PLANT NAME	QUANTITY	REMARKS
TP	TRAVELER PALM (SPECIMEN)	1	
CL	CRYNA LILLY	33	
QP	QUEEN PALMS	12	
QP	WAPAN COCONUT PALMS	8	
FH	FIGUS HEDGE	1E	
S	SOD-ST AUGUSTINE	AS REQUIRED	

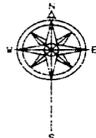
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CITY OF MIAMI BEACH

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- BUILDING: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

1 LANDSCAPE PLAN
3/32"=1'-0"

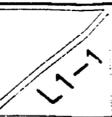


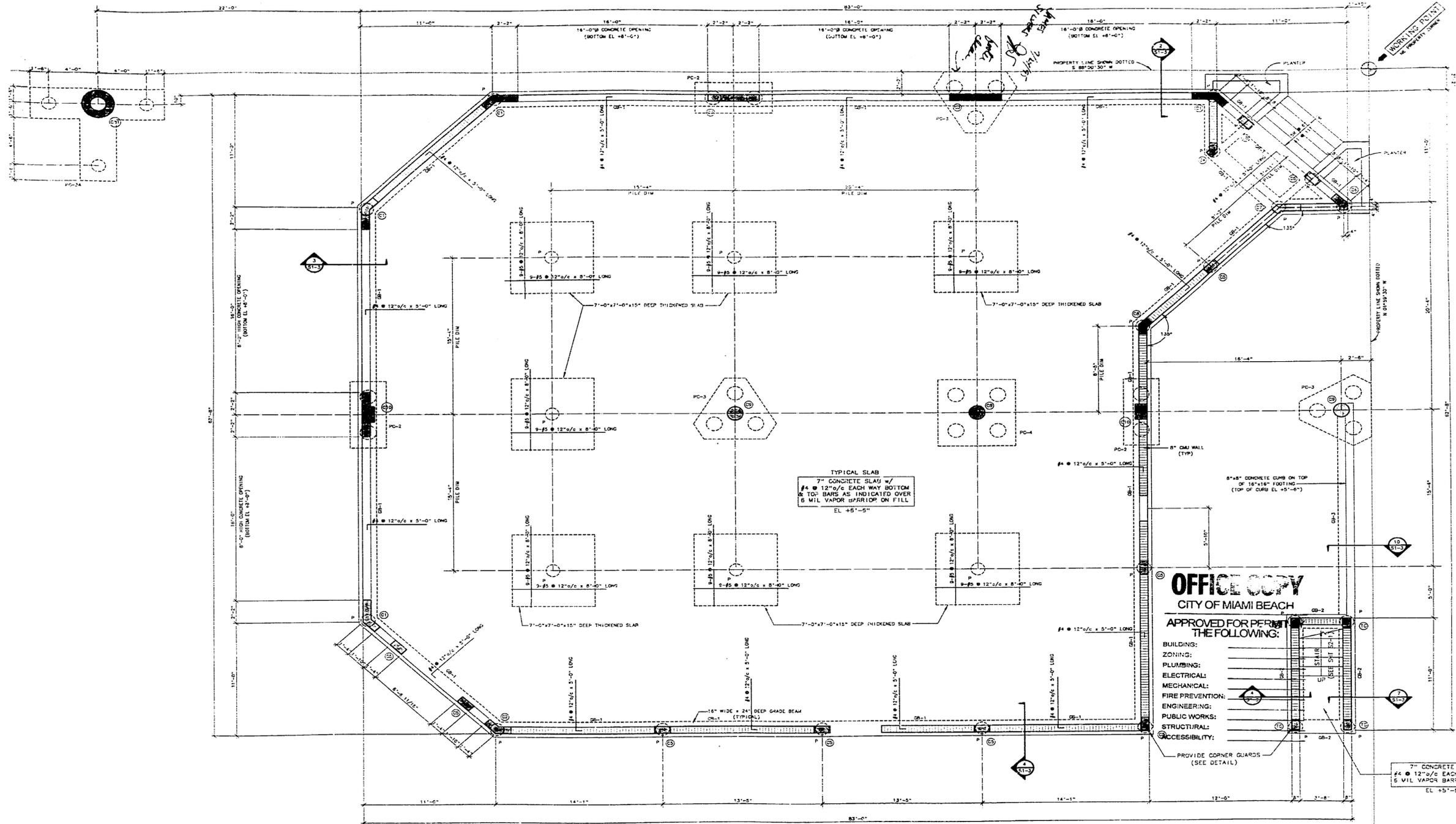
DATE: 24 JUL 95

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ARCHITECT/DEVELOPER 305/672-0801



SILVER SQUARE
1100 5th STREET MIAMI BEACH, FLORIDA
LANDSCAPE PLAN





① FOUNDATION & GROUND FLOOR FRAMING PLAN
BUILDING #1 1/4"=1'-0"

DATE: 24 JUL 95

JAMES F. SILVERS & ASSOC., P.A.
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ARCHITECT/DEVELOPER 305/672-0801



SILVER SQUARE
1100 5th STREET MIAMI BEACH, FLORIDA
BUILDING #1 FOUNDATION

ST-1

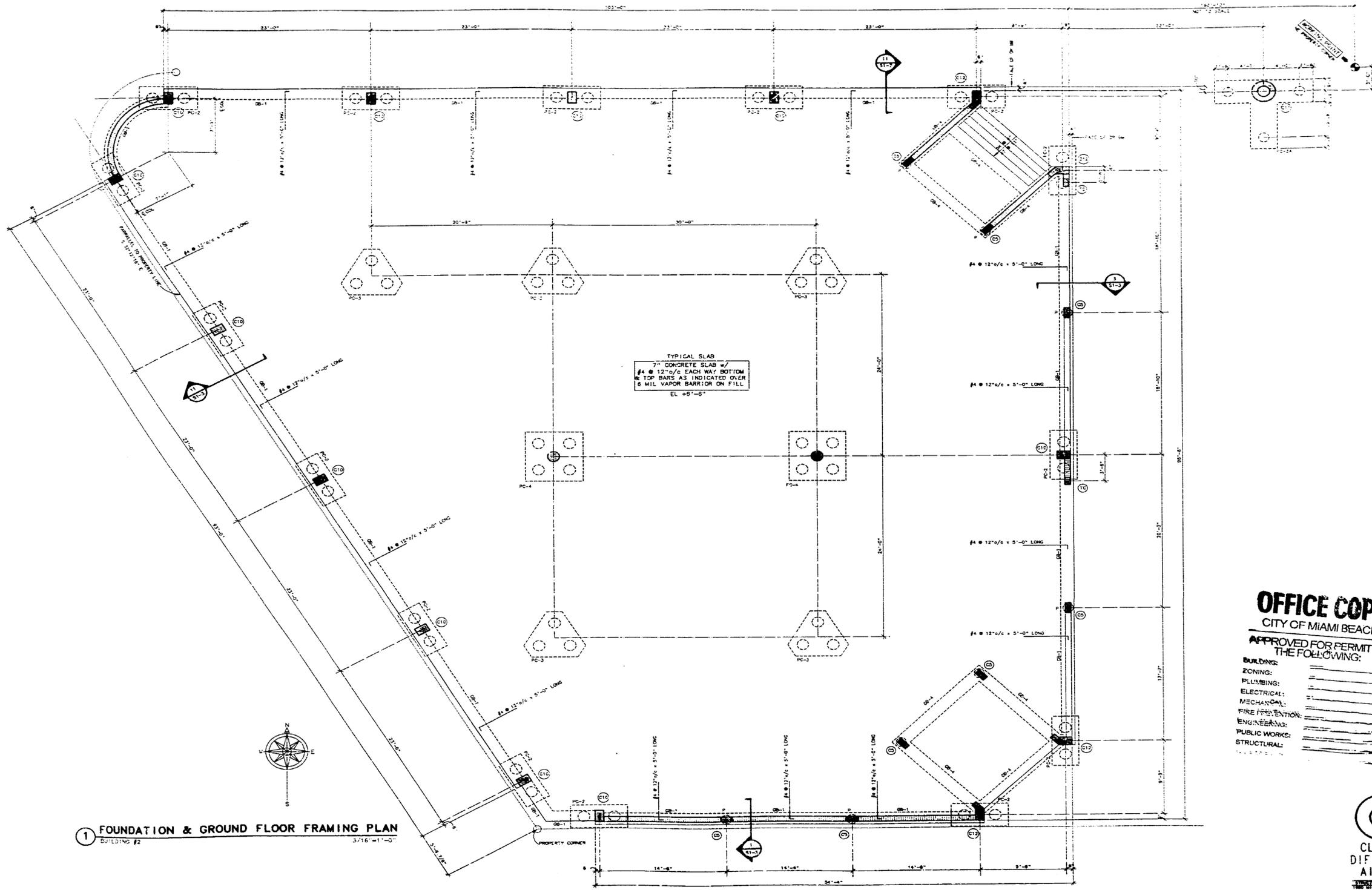
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- BUILDING: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

7" CONCRETE SLAB w/
#4 @ 12" o/c EACH WAY BOTTOM
5 MIL VAPOR BARRIER ON FILL
EL +5'-5"

CLEMENT DIFILIPPO
AIA, PE
1100 5th Street, Miami Beach, FL 33139
(305) 672-0801



1 FOUNDATION & GROUND FLOOR FRAMING PLAN
 BUILDING #2 3/16"=1'-0"



OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

BUILDING: _____
 ZONING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____

CLEMENT DIFILIPPO
 AIA, PE
1100 5th Street, Miami Beach, FL 33139
 (305) 477-0212

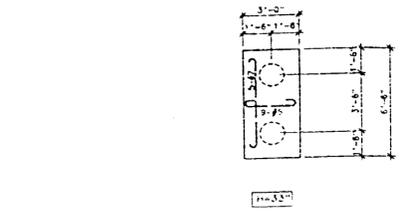
DATE: 24 JUL 93

JAMES F. SILVERS & ASSO. P.A.
 1130-5TH STREET MIAMI BEACH, FLA.
 ARCHITECT/DEVELOPER 305/672-0801

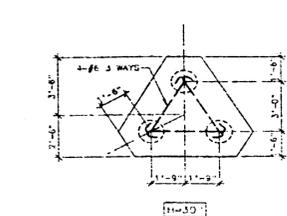
SILVER SQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA

BUILDING #2 FOUNDATION

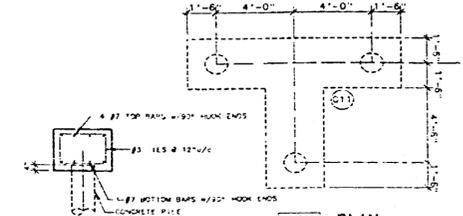
S1-2



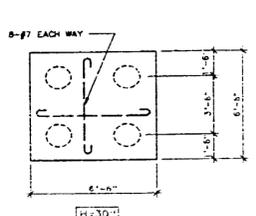
17 TYPICAL DETAIL AT PC-2 1/4"=1'-0"



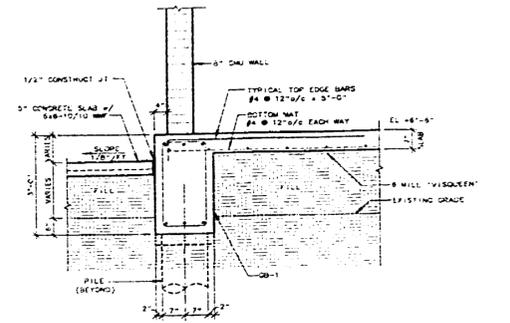
18 TYPICAL DETAIL AT PC-3 1/4"=1'-0"



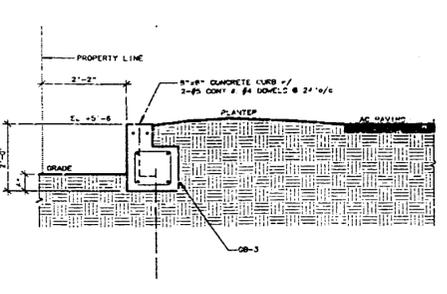
19 TYPICAL DETAIL AT PC-3A 1/4"=1'-0"



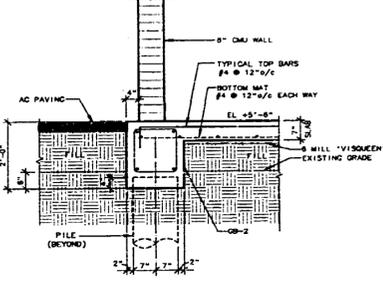
20 TYPICAL DETAIL AT PC-4 1/4"=1'-0"



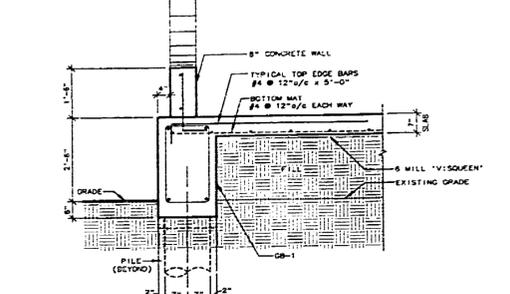
1 TYPICAL DETAIL AT GRADE BEAM GB-1 AT SLOPING WALLS SOUTH CMU WALLS 1/2"=1'-0"



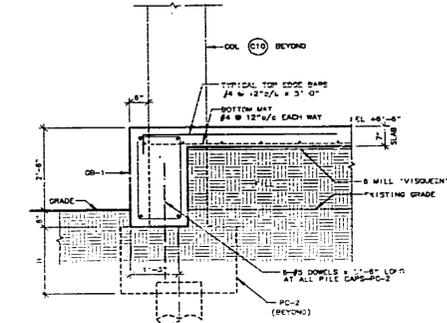
10 TYPICAL DETAIL AT GRADE BEAM GB-3 BUILDINGS #1 NORTH OF STAIR 1/2"=1'-0"



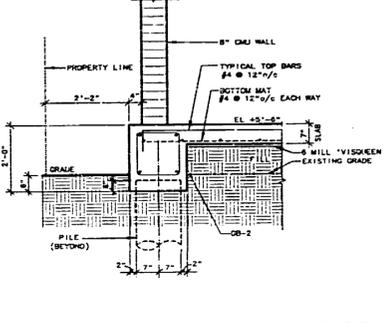
6 TYPICAL DETAIL AT GRADE BEAM GB-2 BUILDINGS #1 AT STAIR 1/2"=1'-0"



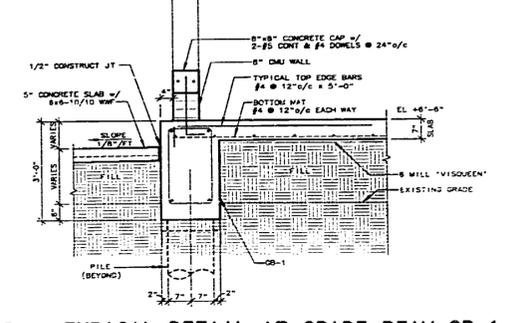
2 TYPICAL DETAIL AT GRADE BEAM GB-1 BUILDING #1 AT 16" ROUND WINDOWS NORTH WALL 1/2"=1'-0"



11 TYPICAL DETAIL AT GRADE BEAM GB-1 BUILDING #2 AT WEST & NORTH WALLS 1/2"=1'-0"



7 TYPICAL DETAIL AT GRADE BEAM GB-2 BUILDINGS #1 AT STAIR 1/2"=1'-0"



3 TYPICAL DETAIL AT GRADE BEAM GB-1 BUILDINGS #1 & #2 AT 8" x 16" WINDOWS 1/2"=1'-0"

GENERAL NOTES

GENERAL:
 The Contractor shall review all drawings and report any changes or corrections to the Architect before proceeding with the work. All construction shall conform to the South Florida building code and other codes and/or standards as referenced therein.

1. SUPERIMPOSED LOADS (KIPF IN DESIGN):
 A. Roof (C.L. = 30 psf) (DL = 10 psf) 40 psf
 B. Building #1 (C.L. = 80 psf) (DL = 25 psf) 105 psf
 C. Building #2 (C.L. = 50 psf) (DL = 25 psf) 75 psf

2. DESIGN STANDARDS:
 A. South Florida Building Code (SFBC), 1994 Edition
 B. ACI Building Code 318-83
 C. AISC Steel Construction Manual 8th Edition

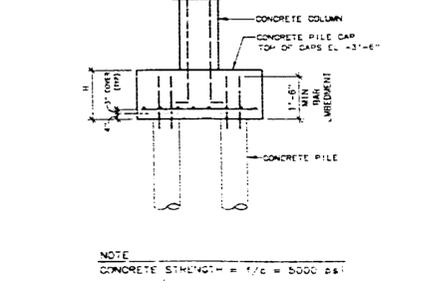
3. FOUNDATIONS:
 A. The Geotechnical Report submitted by Wingerter Laboratories shall be followed for all foundation piling, soil improvement, testing, as required, and procedures for work specifications.
 B. The Geotechnical Engineer shall field check and approve all pile foundations and/or soil testing as required and the contractor shall not proceed without said approvals.

4. CONCRETE:
 A. Poured-in-place concrete shall have at least the following strength after 28 days unless noted otherwise:
 1. Sidewalks and Miscellaneous Concrete 3000 psi
 2. All Others 4000 psi
 Concrete tests shall be made and reports submitted as per Code.
 B. All reinforcing bars shall be ASTM A616, Grade 60, U.N.C. Welded wire fabric shall conform to ASTM A185. Welded wire fabric for slabs on grade and for walls shall have a minimum tensile yield strength of 60 ksi. Waxed studs shall conform to ASTM A108 with 60 ksi minimum tensile strength and shall be automatically machine welded.
 C. Concrete Protection for Reinforcement (U.N.C.):
 1. Concrete poured against earth 3/4"
 2. Concrete poured in forms but exposed to weather or earth 1/2"
 3. Bars larger than #6 1/2"
 4. Columns, girders and beams (all 2" vapor barrier) 1/2"
 5. Slabs and walls not exposed to weather or earth 3/4"
 6. Slabs and walls exposed to weather or earth 1/2"
 7. Balcony slabs (economy coated rebar) 3/4"
 D. No splices of reinforcement shall be made and no welding to reinforcing shall be permitted except as detailed or authorized by the structural engineer. Lap splices, where permitted, shall be a minimum 36 bar diameters U.N.C. on the drawings. Wire fabric reinforcement must use one full mesh link 2' or wide and end around corners or provide corner bars of equal size and spacing.
 E. Detail bars in accordance with the latest editions of ACI Detailing Manual and ACI Building Code Requirements for Reinforced Concrete.
 F. Provide all accessories necessary to support reinforcing at positions shown on the drawings.
 G. Place 2-#5 bars (1" dia. face) in 12" projection around all openings in concrete slabs and walls, U.N.C.
 H. Slabs on grade shall have wire mesh (5/8" x 1' x 1' w/ 4 w/ 4) with 1/2" reinforcing and extend over 2" vapor barrier. 6" x 12" solid slabs shall be placed over well compacted fill with density test made at each 10' x 10' grid. The protection report. Slab sections shall be placed in areas not exceeding 500 square feet and shall be in keyed edges. Layers of not less than 1/2" thick, shall be placed against adjacent walls, columns, and all similar adjacent edges.
 I. Provide 8-#4 (1" dia.) w/ 4 w/ 4 wire mesh reinforcing in mechanical pads. See mechanical drawings for pad sections, pad sizes and pad reinforcing grades.

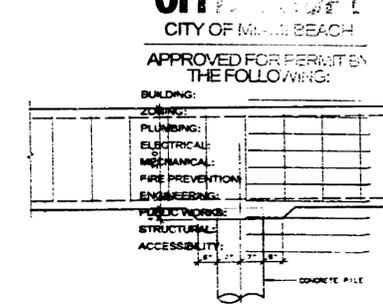
5. STEEL:
 A. All structural steel shall conform to ASTM A36, except tube columns which shall conform to ASTM A500, Grade B, Fy=46 ksi.
 B. Structural steel shall be detailed, fabricated and erected in accordance with the Erection Specification of Manual of Steel Construction and AISC Code of Standard Practice.
 C. All welds shall be made in accordance with the Structural Welding Code and AWS D1.1-B. All field welds shall be cleaned, inspected and approved. The project engineer shall provide a Florida P.E. certification that all welds meet code standards.
 D. All welders shall have evidence of passing the AWS standard qualification test.
 E. Minimum fillet size shall be 3/16" continuous fillet weld, unless noted otherwise on the drawings.

6. MASONRY:
 A. All masonry block units shall conform to ASTM C90 standards with block classification (N-1) for 8" C.M.U.
 B. Mortar strength types are as follows:
 TYPE M 2500 psi
 TYPE S 1800 psi
 TYPE N 1500 psi
 C. Wall types (Masonry):
 1. 8" CMU Wall (Mortar Type (minimum) Type M)
 2. Below grade foundation walls (full bedded joints)
 3. Retaining walls (full bedded joints)
 4. Exterior and load bearing walls (full bedded joints)
 5. parapet walls (full bedded joints)
 D. Wall reinforcing (wall panels shall not exceed 200 sq ft):
 1. Horizontal Joints (1/2" x 1/2" galv. wire @ 16" o/c)
 2. Vertical Joints (1/2" x 1/2" galv. wire @ 16" o/c)
 3. Girders (1/2" x 1/2" galv. wire @ 16" o/c)
 4. Girders (1/2" x 1/2" galv. wire @ 16" o/c)
 5. Girders (1/2" x 1/2" galv. wire @ 16" o/c)
 E. Lintels shall be placed over all wall openings, not exceeding 8' feet, and can be 8" x 8" precast or poured in place with 2-#4 bottom reinforcement. Lintels spanning greater than six feet must be approved by the Engineer.
 F. Lintels shall be 8" at each end with the end cells filled. If a precast lintel is used and the end cell requires a vertical bar, the adjacent cell shall also be filled and a vertical bar installed.
 G. Grouting (top of walls to underside of concrete block tightly).

7. ALL DIMENSIONS ON STRUCTURAL DRAWINGS SHALL BE CHECKED AGAINST ARCHITECTURAL.
8. ENGINEER'S APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.
9. VERIFY ALL OPENINGS THROUGH FLOOR, ROOF AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTOR.
10. DURING ERECTION OF THE BUILDING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING TO WITHSTAND ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING CRANE LOADS. STOCKPILES OF MATERIAL AND EQUIPMENT. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY AND UNTIL ALL STRUCTURAL BRACING AND DRAPROGAS ARE IN PLACE WITH CONNECTIONS COMPLETED.



12 TYPICAL PILE CAP SECTION 1/2"=1'-0"



8 TYPICAL DETAIL AT GRADE BEAM GB-1 AT PILE "P" WITHOUT PILE CAP 1/2"=1'-0"

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 CITY OF MIAMI BEACH
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 THE FOLLOWING:

BUILDING:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
FOUNDATION:	
STRUCTURAL:	
ACCESSIBILITY:	

GRADE BEAM SCHEDULE

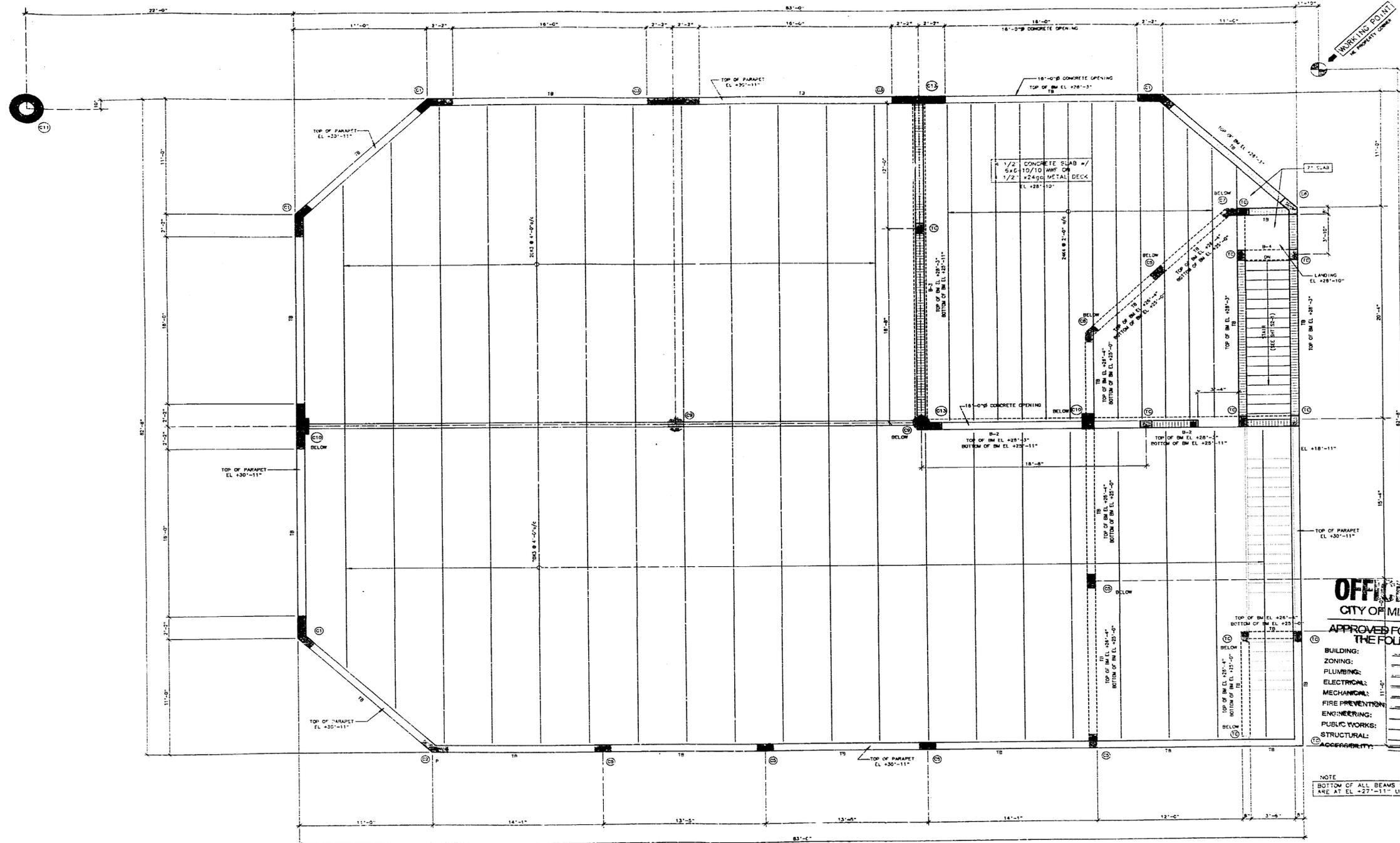
MARK	SIZE	REINFORCING BARS					TIE SPACING		REMARKS
		B	T	S	E	BAR	EA	MIDDLE	
GB-1	16x36	3#7	3#7			EC	#3	12" - 16"	
GB-2	16x24	2#7	2#7				#3	10" - 16"	
GB-3	16x16	2#6	2#6				#3	10" - 12"	
GB-4	16x36	3#7	3#7				#3	12" - 16"	
GB-5	8x36	2#7	2#7				#3	12" - 16"	

CLEMENT DIFILIPPO AIA, PE

DATE: 24 JUL 85
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 ARCHITECT/DEVELOPER 305/672-0801

SILVERSQUARE
 1100 5TH STREET MIAMI BEACH, FLORIDA
 FOUNDATION DETAILS

ST-3



1 MAIN ROOF & PENTHOUSE FRAMING PLAN
BUILDING #1 1/4"=1'-0"

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- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

NOTE
BOTTOM OF ALL BEAMS SHOWN ON THIS PLAN ARE AT EL +27'-11" UNLESS NOTED OTHERWISE.

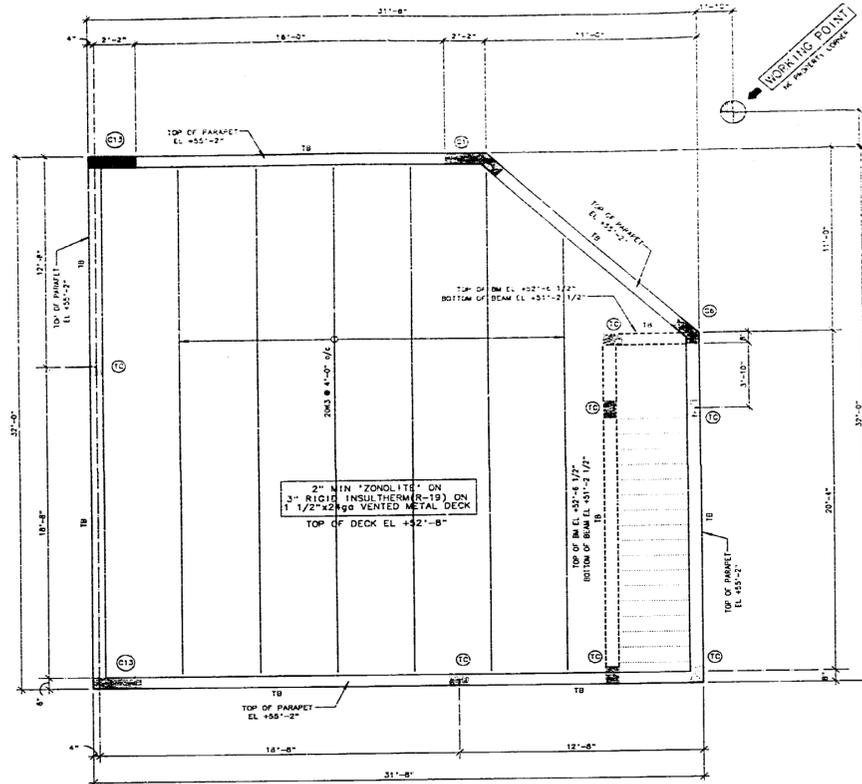
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DIFILLIPPO
AIA, PE

DATE: 24 JUL 93

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1130-5TH STREET MIAMI BEACH, FLA.
ARCHITECT/DEVELOPER 305/672-0801

SILVER SQUARE
1100 5TH STREET MIAMI BEACH, FLORIDA
BLDG #1 MAIN ROOF & PH FRAMING PLAN

S2-2



① PENTHOUSE ROOF FRAMING PLAN
1/4"=1'-0"



NOTE
BOTTOM OF ALL BEAMS SHOWN ON THIS PLAN
ARE AT EL +50'-10" UNLESS NOTED OTHERWISE.

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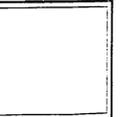
APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDINGS: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

**CLEMENT
DIFILLIPPO
AIA, PE**
1800 BRICKMAN BLVD STE 516
MIAMI BEACH, FL 33139
(305) 672-6312

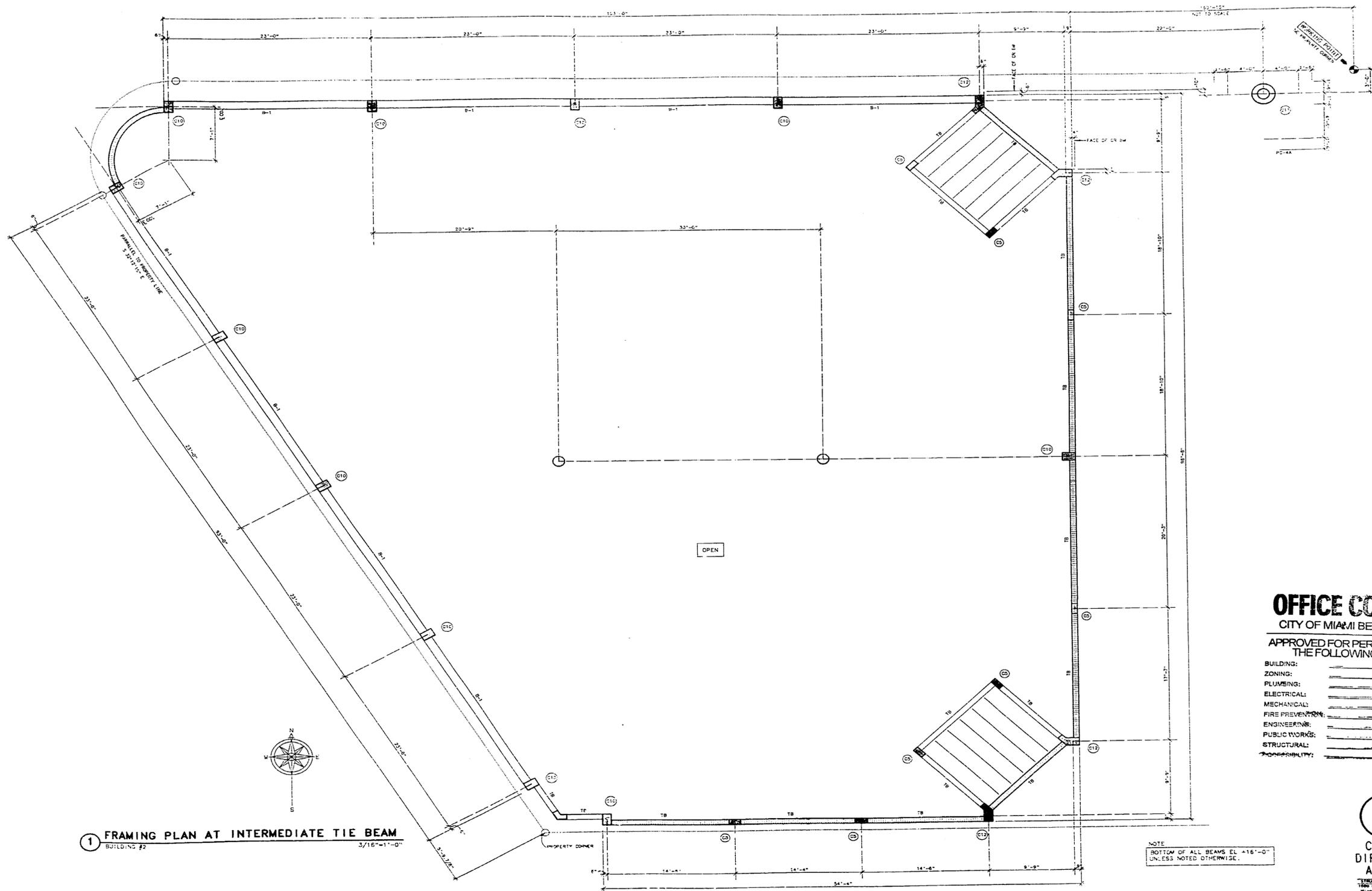
DATE: 24 JUL 95

JAMES F. SILVERS & ASSOC., P.A.
1130-5TH STREET MIAMI BEACH, FLA.
ARCHITECT/DEVELOPER 305/672-0801



SILVER SQUARE
1100 5th STREET MIAMI BEACH, FLORIDA
BLDG #1 PENTHOUSE ROOF FRAMING PLAN

S2-3



1 FRAMING PLAN AT INTERMEDIATE TIE BEAM
 BUILDING #2 3/16"-1'-0"

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 THE FOLLOWING:

- BUILDING: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- RESPONSIBILITY: _____

NOTE:
 BOTTOM OF ALL BEAMS EL +16'-0"
 UNLESS NOTED OTHERWISE.

CLEMENT
DIFILLIPPO
 AIA, PE

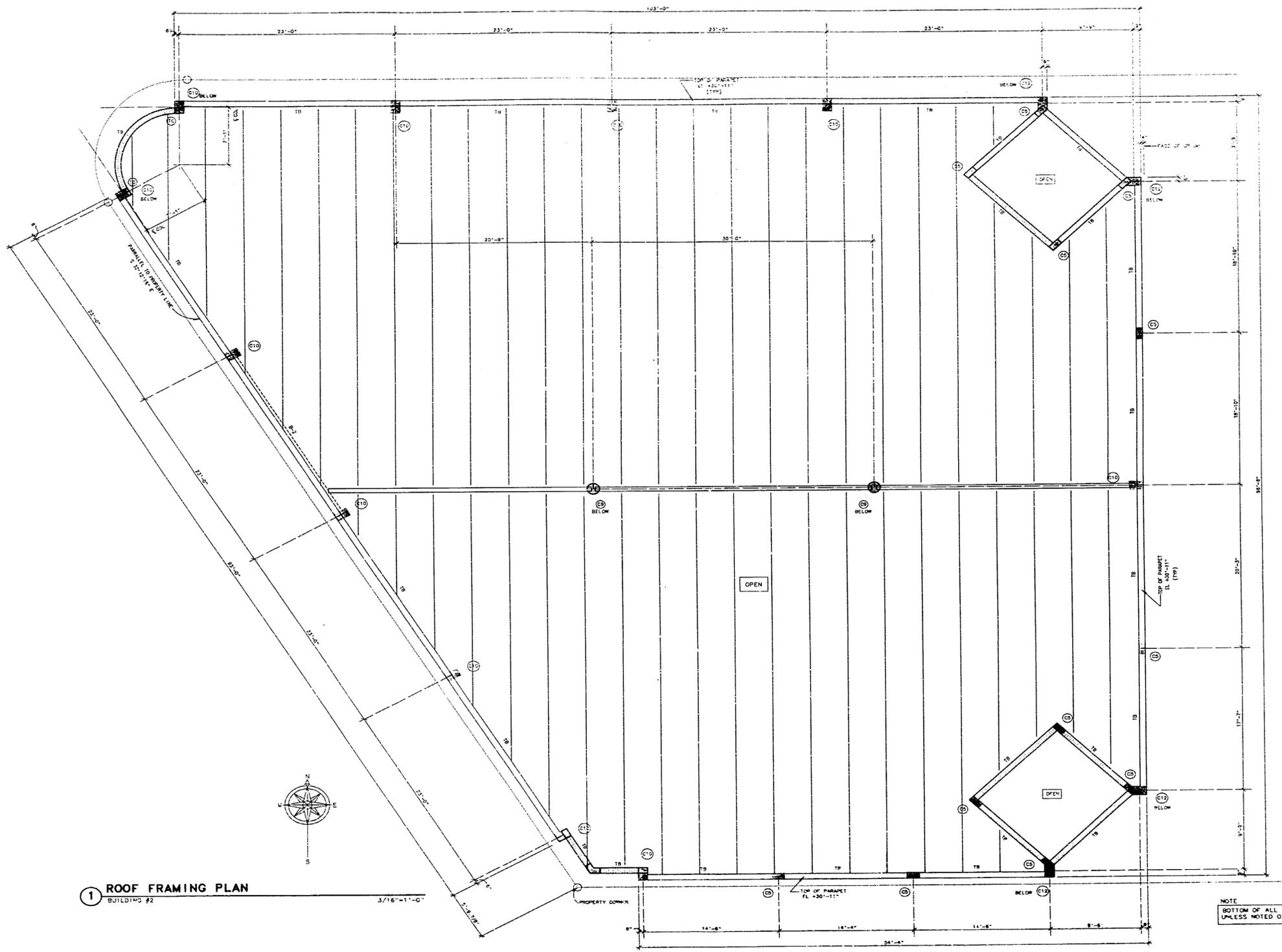
CR

DATE: 24 JUL 55

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 ARCHITECT/DEVELOPER 305/672-0801

SILVER SQUARE
 1100 5th STREET MIAMI BEACH, FLORIDA
 BUILDING #2 FRAMING PLAN

S2-4



1 ROOF FRAMING PLAN
BUILDING #2
3/16"=1'-0"

120000 AD

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- BUILDING: _____
- ZONING: _____
- PLUMBING: _____
- ELECTRICAL: _____
- MECHANICAL: _____
- FIRE PREVENTION: _____
- ENGINEERING: _____
- PUBLIC WORKS: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____

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AIA, PE
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Miami Beach, FL 33139
(305) 674-0312

DATE: 24 JUL 95

JAMES F. SILVERS & ASSOC., P.A.
1130-5TH STREET MIAMI BEACH, FLA.
ARCHITECT/DEVELOPER 305/672-0801

SILVERSQUARE
1100 5TH STREET MIAMI BEACH, FLORIDA

BUILDING #2 ROOF FRAMING PLAN

S2-5

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