



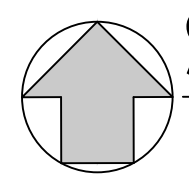
SUBJECT PROPERTY

ALTON RD

CHEROKEE AVE

W 51 ST

W 50 ST



SURROUNDING BUILDINGS CONTEXT MAP

SCALE: N.T.S.

DRAWN BY:
REVISIONS:

AA00035689
ANTHONY LEON
0016752

3DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
P: 305-438-9377 | F: 305-438-9379

SEAL

REMODELING PERMIT
for:
719 W 51st STREET
MIAMI BEACH, FL 33140

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A-5.0
CONTEXT MAP

JCM



5101W 51 ST



751 W 51 ST



745 W 51 ST



733 W 51 ST



725 W 51 ST



719 W 51 ST



715 W 51 ST

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A-5.1
FRONT FACADES CORNER TO CORNER
JCM



710 W 51 ST



736 W 51 ST



746 W 51 ST



750 W 51 ST



754 W 51 ST



768 W 51 ST



5035 W 51 ST

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A-5.2

FRONT FACADES
CORNER TO
CORNER

JCM

DEMOLITION LEGEND

DEMOLITION

EXISTING TO REMAIN

E.T.R.

EXISTING TO REMAIN

SCOPE OF WORK

DEMOLITION

1. DEMOLITION

2. REMOVE PARTIAL EXISTING ROOF AS INDICATED.

A

REMOVE EXTERIOR PARTIAL DOOR

B

REMOVE PARTITION WALL

C

REMOVE INTERIOR DOOR

D

REMOVE EXTERIOR STEPS

E

REMOVE CONCRETE SLAB

F

REMOVE PARTIAL ROOF

G

REMOVE CONDENSER UNIT

H

REMOVE ROOF

I

REMOVE DRIVEWAY AND WALKWAY

J

REMOVE GRASS AND LANDSCAPE

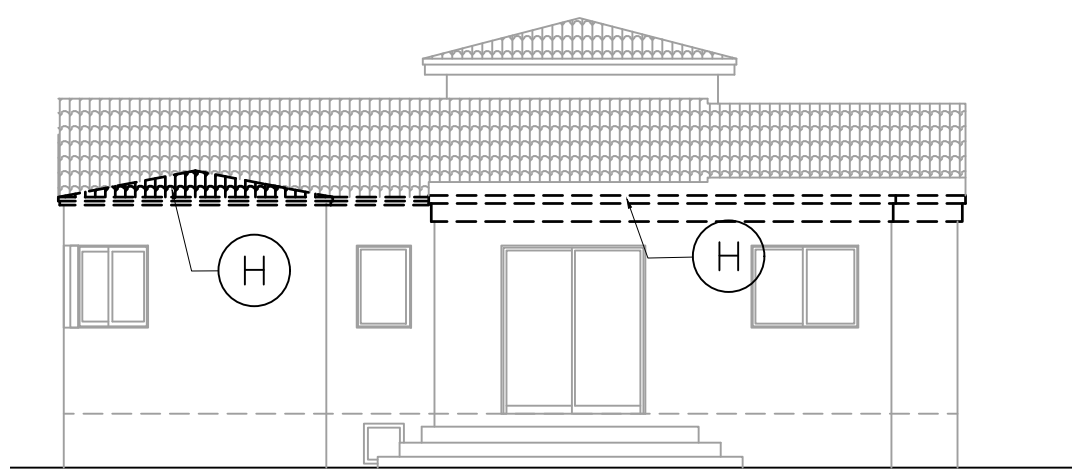
NOTE: OTHER THAN ADDITION, NO STRUCTURAL WALLS THAT WILL REQUIRE SHORING, WILL BE REMOVED.

AREA OF WORK DEMOLITION

EXISTING TOTAL AREA: 1,834.00 S.F.

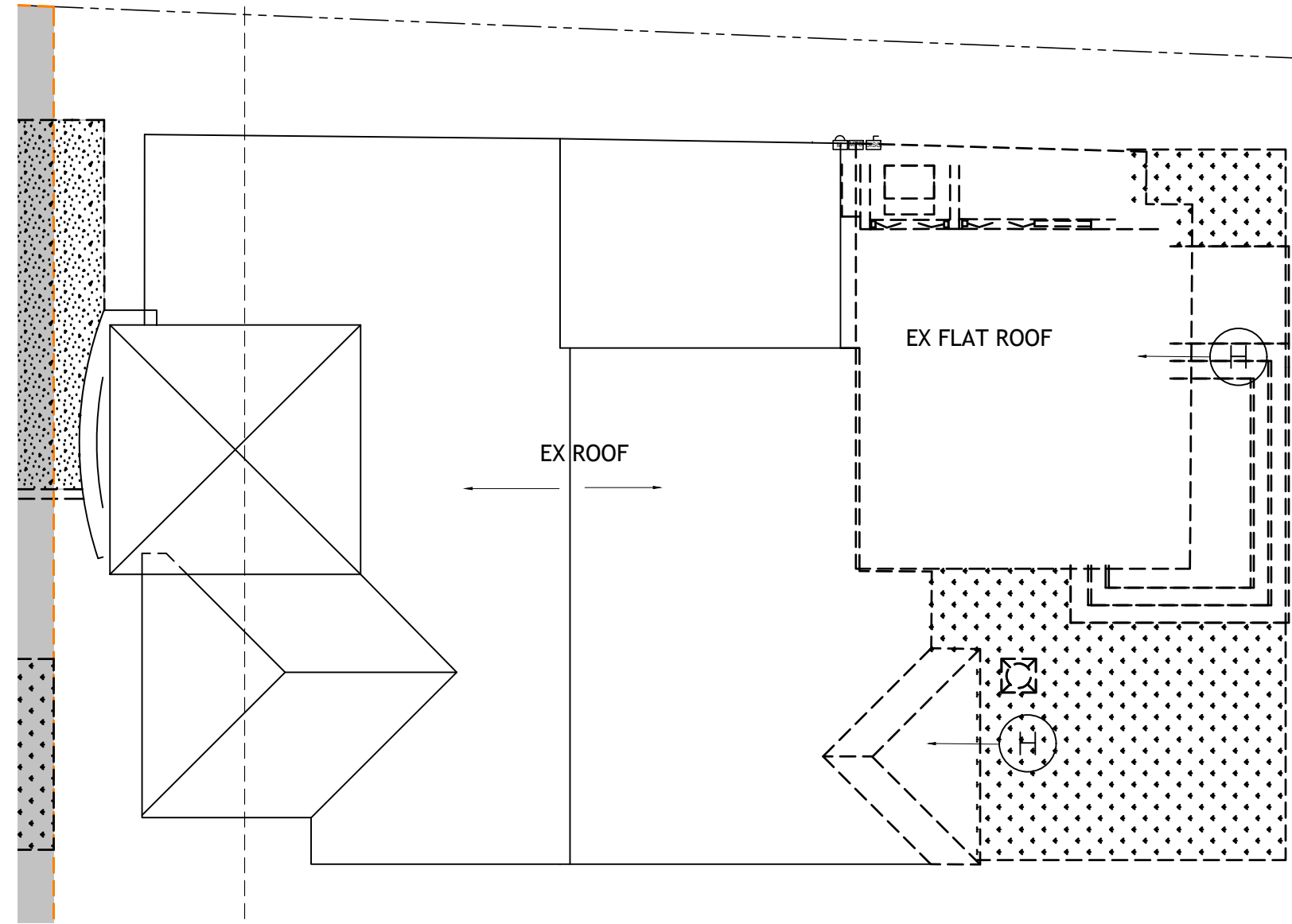
INTERIOR FLOORING AREA OF DEMOLITION-----200.00 SQFT
(UNDER A.C.) GROUND FLOOR

TOTAL AREA OF DEMOLITION-----200.00 SQFT



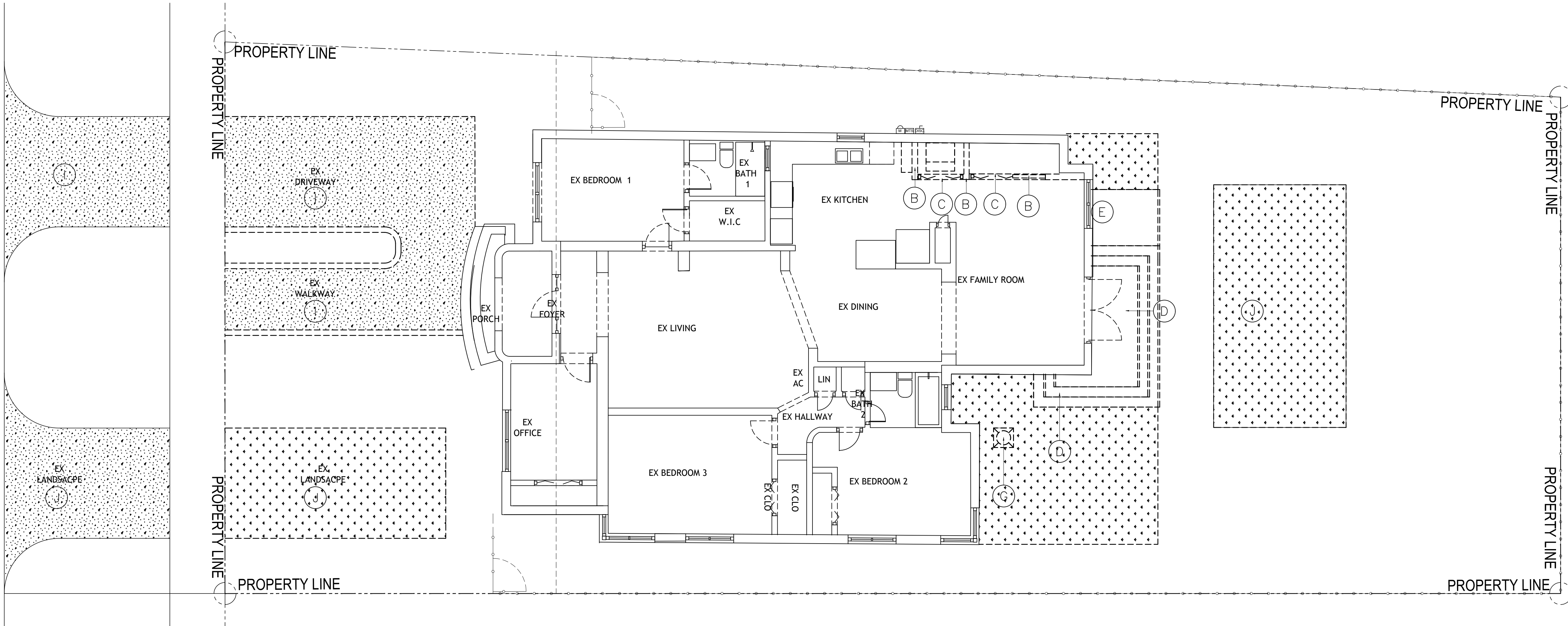
DEMOLITION ELEVATION

SCALE 1/8" = 1'-0



DEMOLITION ROOF PLAN

SCALE 1/8" = 1'-0



DEMOLITION PLAN

SCALE 3/16" = 1'-0

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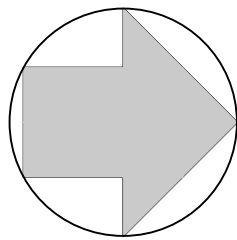
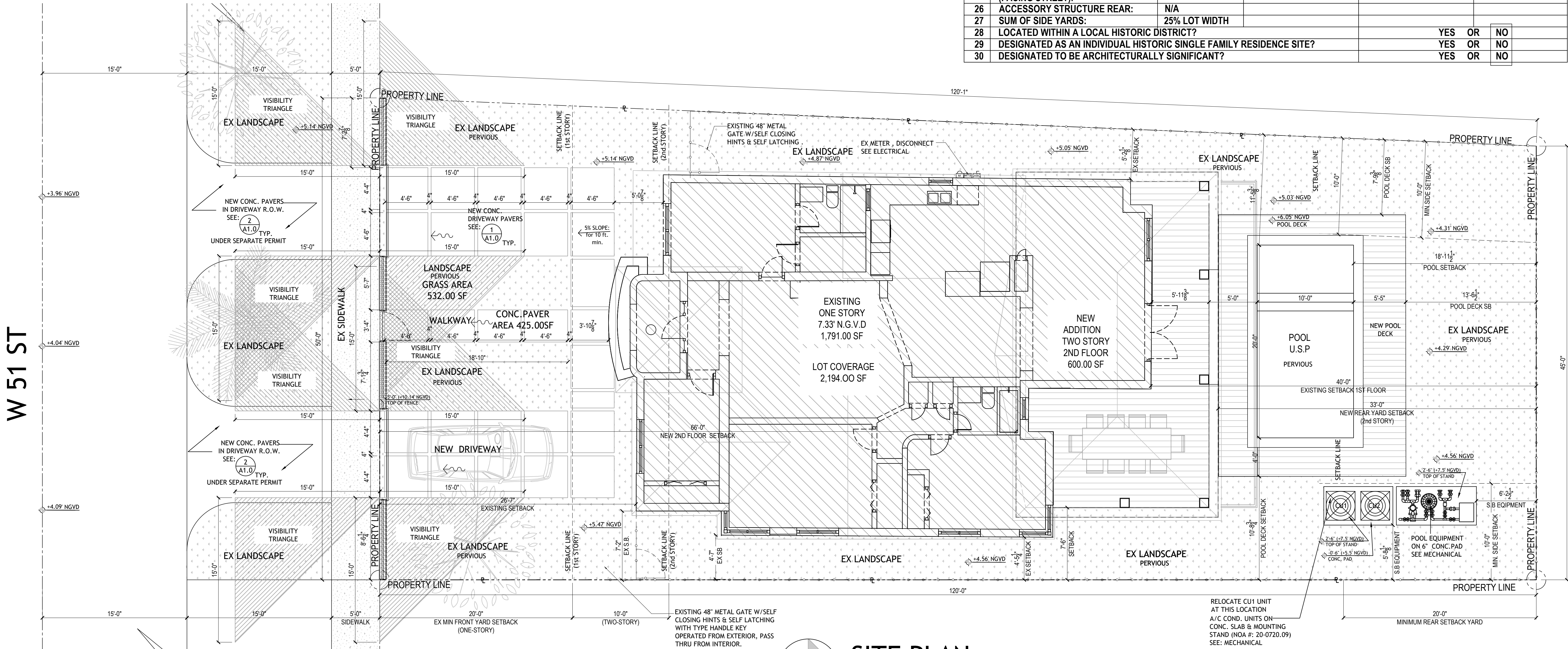
A-1.0

DEMOLITION PLAN

JCM

PROJECT INFORMATION			
1	ADDRESS:	719 W 51 STREET, MIAMI BEACH, FL 33140	
2	FOLIO NUMBER:	02-3222-022-0210	
3	BOARD AND FILE NUMBER:		
4	YEAR BUILT:	1941	ZONING DISTRICT:
5	BASE FLOOD ELEVATION:	9'	GRADE VALUE IN NGVD:
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7.04' NGVD	5.08' NGVD
7	LOT AREA:	5,717.00 SQ FT	
8	LOT WIDTH:	50'	LOT DEPTH:
9	MAX LOT COVERAGE FT AND %:	1,723.65 SQ FT (30%)	PROPOSED LOT COVERAGE FT AND :(40%) M.B PER Sec. 142-108. (2)(B)(I)
10	EXISTING LOT COVERAGE FT AND %:	1,791.00 SQ FT	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:
11	FRONT YARD OPEN SPACE FT AND 50%:	997 SQ FT	REAR YARD OPEN SPACE FT AND 70%:
12	MAX UNIT SIZE FT AND %:	2,858 SQ FT (50%)	PROPOSED UNIT SIZE FT AND %:
13	EXISTING 1st FLOOR UNIT SIZE:	1,791.00 SF (EX)	PROPOSED 1st FLOOR UNIT SIZE:
14	EXISTING 2nd FLOOR UNIT SIZE:	N/A	PROPOSED 2nd VOLUMETRIC UNIT SIZE SF AND %. (NOTE: TO EXCEED 70% OF THE 1st FLOOR OF THE MAIN HOME REQUIRES BOARD APPROVAL)
15			PROPOSED 2nd FLOOR UNIT SIZE SF AND %:
16			PROPOSED ROOF DECK AREA SIZE SF AND %. (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):

ZONING INFORMATION CALCULATIONS		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:				
18	SETBACKS:				
19	FRONT 1st LEVEL	20'	26.5'	N/A	
20	FRONT 2nd LEVEL	30'	N/A	66.00'	
21	SIDE 1:	10'	5.16'	5.16'	
22	SIDE 2 OR (FACING STREET):	10'	4.57'	7.5'	
23	REAR:	20'	40.0'	33.0'	
24	ACCESSORY STRUCTURE SIDE 1:	N/A			
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A			
26	ACCESSORY STRUCTURE REAR:	N/A			
27	SUM OF SIDE YARDS:	25% LOT WIDTH			
28	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?				YES OR NO
29	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?				YES OR NO
30	DESIGNATED TO BE ARCHITECTURALLY SIGNIFICANT?				YES OR NO



SITE PLAN
SCALE 3/16" = 1'-0"

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

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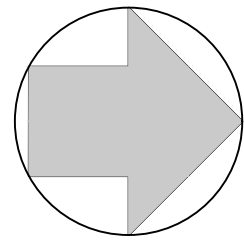
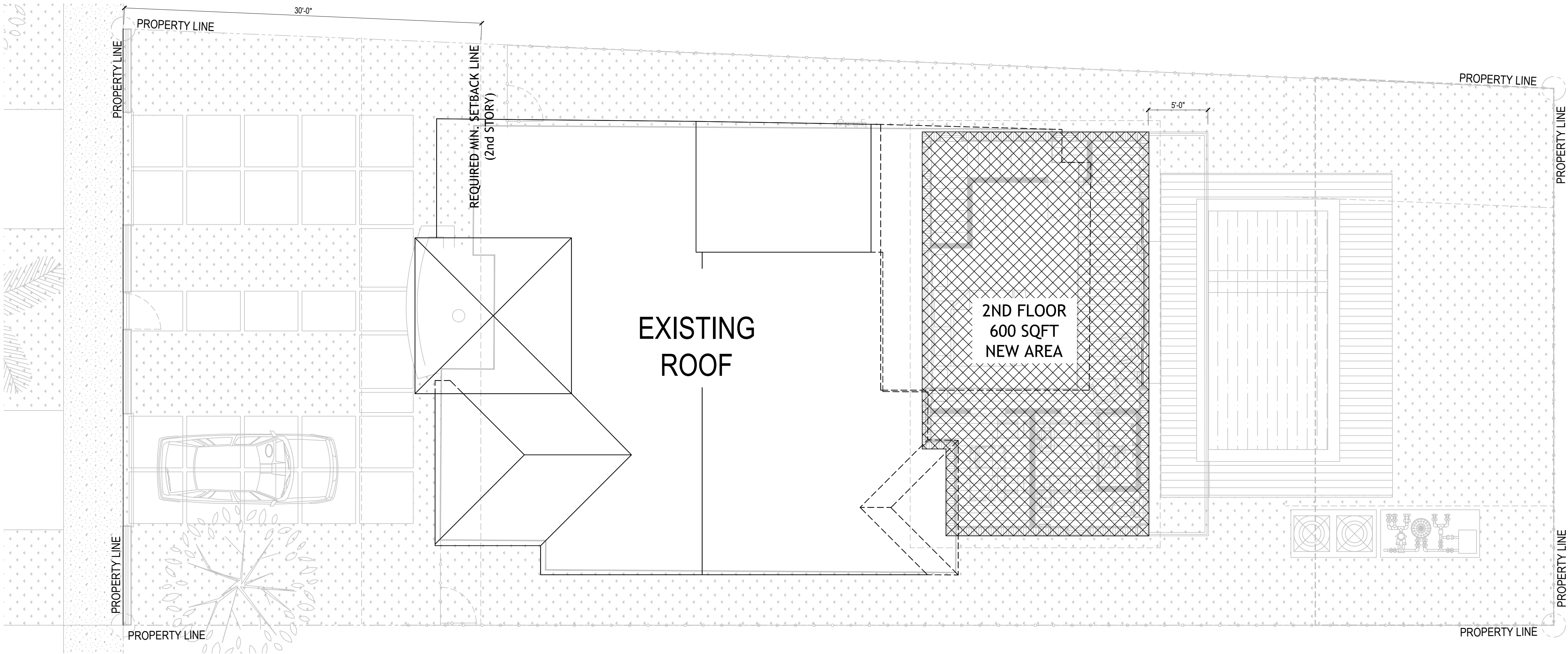
DEMOLITION PLAN

JCM

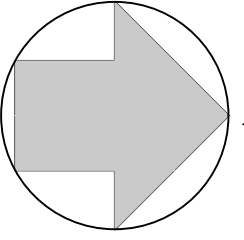
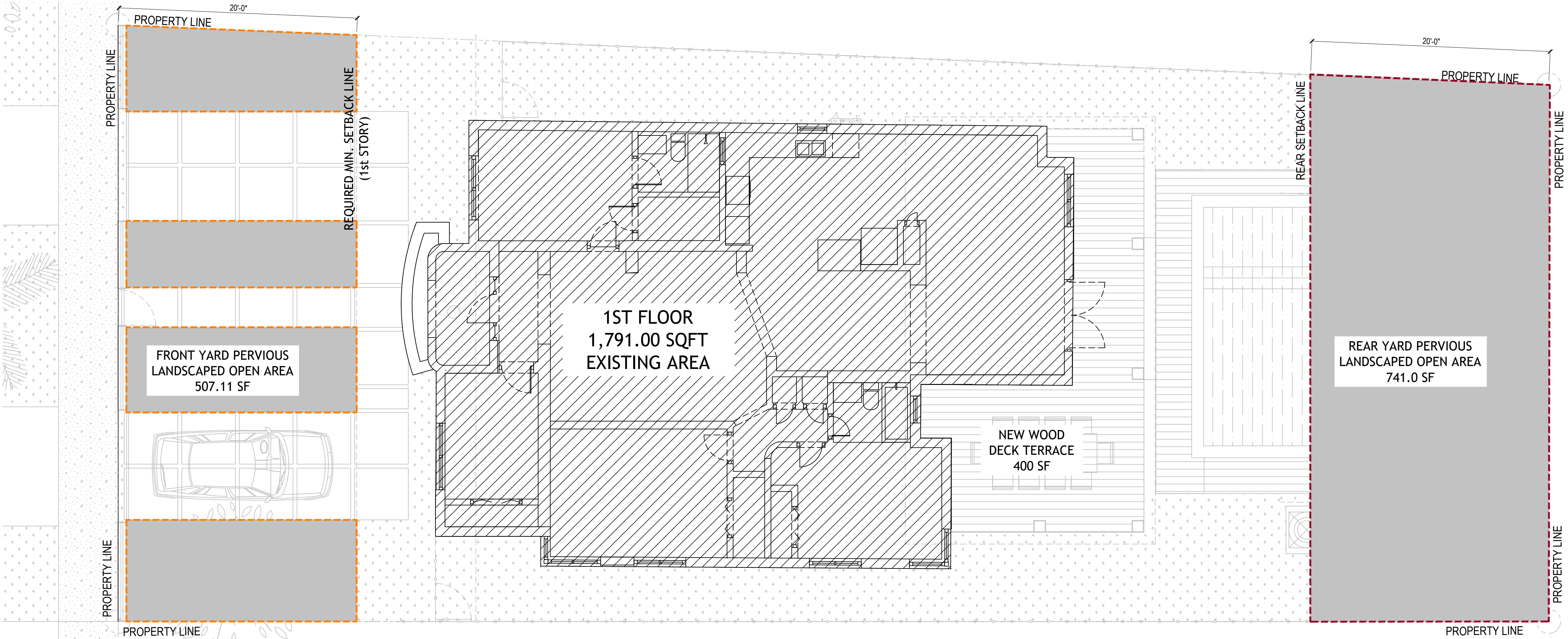
UNIT SIZE DIAGRAM:		
MAX. 50% of LOT AREA (Lot Area = 5,717.00 Sq. Ft.)	MAX. ALLOWED 2,858.5 SF	PROPOSED 2,391.00 SF
 AREA 1st FL(EXISTING)	-----	1,791.00 SF (1st FL.)
 AREA 2nd FL(NEW)	-----	600.00 SF (2nd FL.)
		2,391.00 SF (41.82%)

50% of FRONT yard (Front Setback Area = 998.00 Sq. Ft.)	MIN. REQ'D. 499.00 SF	PROPOSED 507.11 SF (50.81%)
	PERVIOUS LANDSCAPED OPEN AREA:.....507.11 SF	

70% of REAR yard (Rear Setback Area = 980.00 Sq. Ft.)	MIN. REQ'D. 686.00 SF	PROPOSED 741.00 SF (75.61%)
	PERVIOUS LANDSCAPED OPEN AREA:.....741.00 SF	



UNIT SIZE FL 2 DIAGRAM
SCALE 3/16" = 1'-0



UNIT SIZE FL 1/PERVIOUS AREAS DIAGRAM
SCALE 3/16" = 1'-0

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A-1.3

UNIT SIZE AND
PERVIOUS AREA
DIAGRAMS

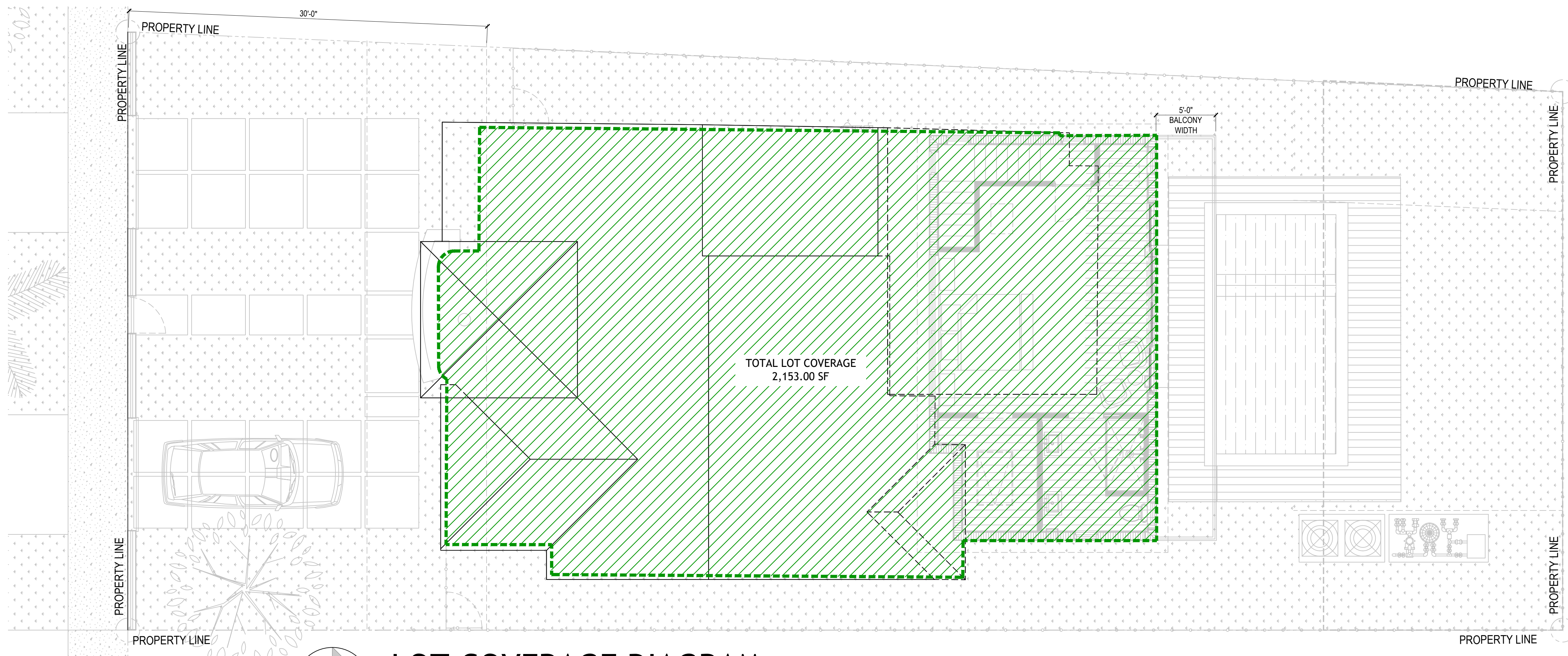
JCM

MAX. 30% of LOT AREA _____ 1,723.65 SF
(Lot Area = 5,745.5 Sq. Ft.)

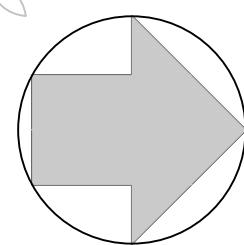


TOTAL LOT COVERAGE AREA:
PER Sec. 142-108. (2)(B)(I)


PROPOSED
- 2,153.00 SF
(37.47%)



SCALE 3/16" = 1'-0"



MAX. 30% of LOT AREA _____ 1,723.65 SF
(Lot Area = 5,745.5 Sq. Ft.)

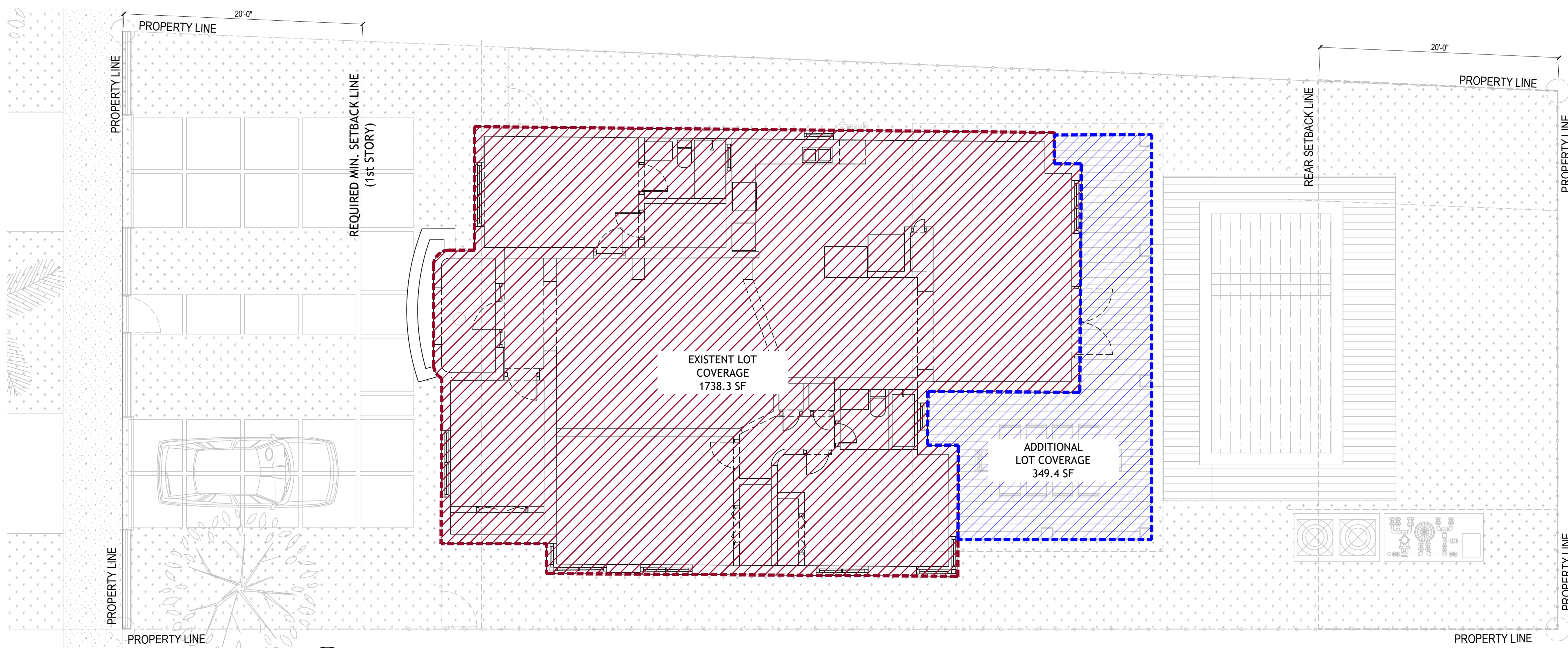


EXISTENT LOT COVERAGE AREA:

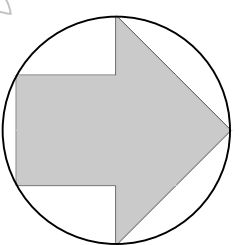
1738.3 SF
(30.25%)

ADDITIONAL PROPOSED LOT COVERAGE AREA:-

— 349.4 SF
(6.08%)



SCALE 3/16" = 1'-0



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SEA

REMODELING PERMIT

for:

719 W 51st STREET
101.

719 W 51ST STREET
MIAMI BEACH, FL 33140

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A-1.4

LOT
COVERAGE/VARIANCE
DIAGRAM

JCH

MISCELLANEOUS NOTES:

- 1- ALL CONSTRUCTION MATERIAL BELOW DFE (+10.00' NGVD) MUST BE OF FLOOD RESISTANT MATERIAL (INCLUDING DOORS). e.g. MASONRY, STUCCO, ETC...
- 2- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE DESIGN FLOOD ELEVATION (DFE), +10.00' NGVD.
- 3- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE WITHIN 15" MIN. AND 48" MAX. HIGH. A.F.F.
- 4- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED 1/2" MAXIMUM & BE LEVEL @ E.A SIDE OF DOOR.
- 5- COORDINATE FLOOR FINISHES WITH OWNER.
- 6- SMOOTH SURFACE, NON-ABSORBENT, SLIP RESISTANT, CERAMIC TILED FLOOR & WALLS FULL HEIGHT. TYPICAL @ ALL SHOWERS & TUBS.
- 7- SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.
- 8- ALL INTERIOR AREAS TO HAVE A 6" WOOD BASEBOARD EXCEPT ALL RESTROOM AREAS TO HAVE A 6" COVE BASE TILE T.B.D. (U.O.N.)
- 9- WALL HUNG CABINETS TO BE ANCHORED TO HORIZONTAL MEMBER (20 GA MIN.) SECURELY FASTENED TO MIN (2) 20 GA STUDS, TYP.
- 10- PAINT COLORS UNDER A SEPARATE PERMIT
- 11- FOR INTERIOR FINISHES ,FIXTURES, MILLWORK, RD WARE,APPLIANCES ETC. REFER TO OWNER OR INTERIOR DESIGNER
- 12- SOUNDPROOFING MATERIAL TO BE USED ON ALL FLOORS AT SECOND LEVEL. MIN. STC RATING OF 50.
- 13- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER ASTM E-84
14. ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL WOOD USE BELOW DESIGN FLOOD ELEVATION SHALL BE PRESERVATIVE-TREATED OR NATURALLY DECAY-RESISTANT.
15. CRAWL SPACE VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH W/ OPENING NOT GREATER THAN 1/8 INCH FBCR 4409.13.3.1. OR BY MATERIALS PROVIDED IN FBCR408.2.
16. ALL CLOSET SYSTEMS TO BE SUPPLIED BY OWNER.
17. ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATIONS (+10.00' NGVD) SHALL BE SOLELY USED FOR PARKING,BUILDING ACCESS OR STORAGE.

FIRESTOPPING NOTE:

FIRESTOPPING SHALL BE INSTALLED (WOOD FRAME CONSTRUCTION):

1. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS (INCLUDING FURRED SPACES @ CEILING & FLOOR LEVELS TO LIMIT MAX. DIMENSION OF ANY CONCEALED SPACE TO 8 FT).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS (AT LEAST ONCE IN THE MIDDLE OF EACH RUN, @ TOP & BOTTOM, & BETWEEN STUDS ALONG & IN LINE W/ ADJACENT RUN OF STAIRS OF THE RUN).
4. AT OPENINGS AROUND VENTS, PIPES, & DUCTS.
5. IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FOR THE FULL DEPTH OF THE JOISTS @ THE ENDS & OVER THE SUPPORT.
6. AROUND TOP, BOTTOM, & SIDES OF DOOR POCKETS.

SMOKE DEVELOPED INDEX: (FBC R302.9.2, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

FLAME SPREAD INDEX: (FBC R302.9.1, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

LEGEND

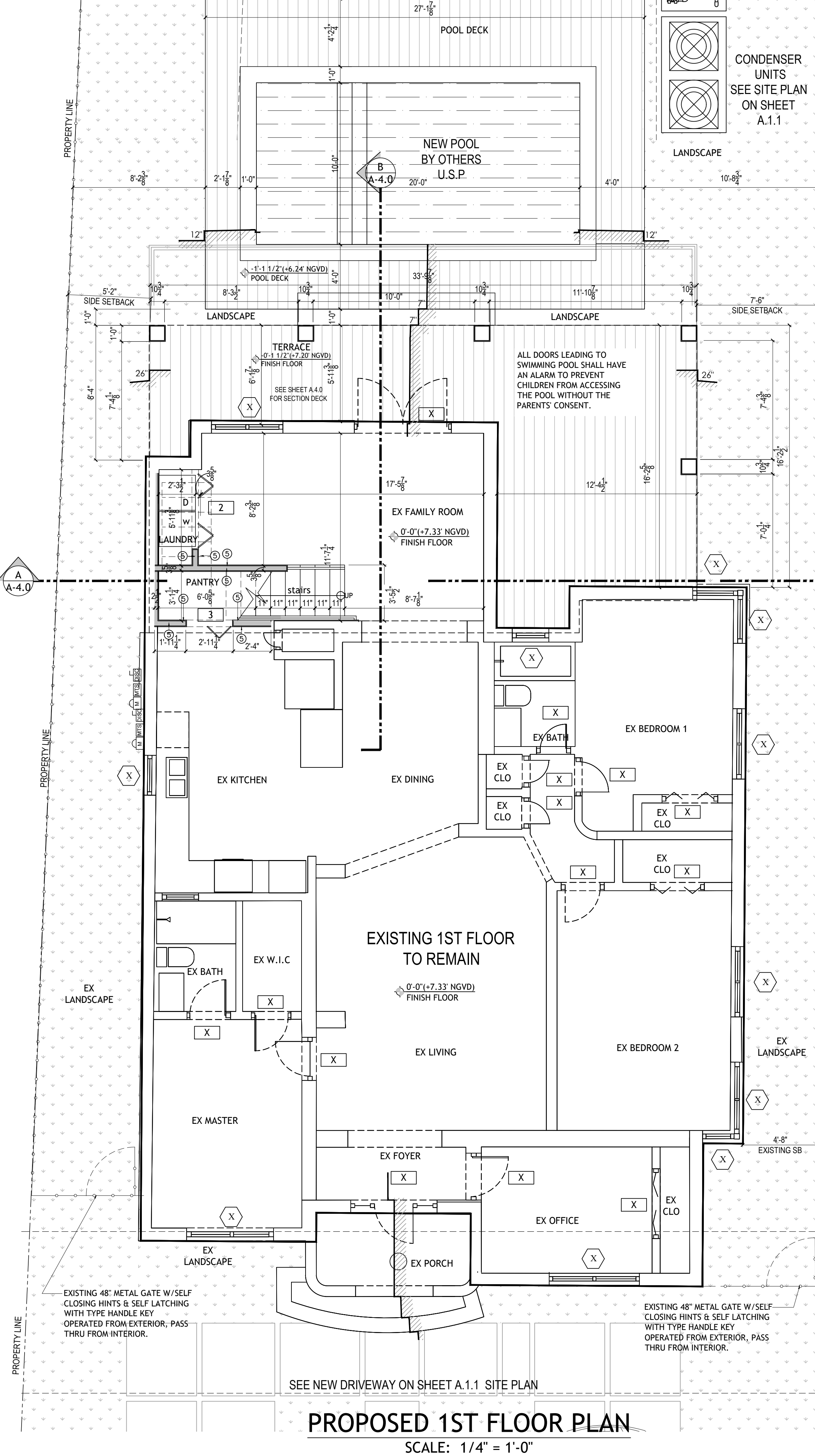
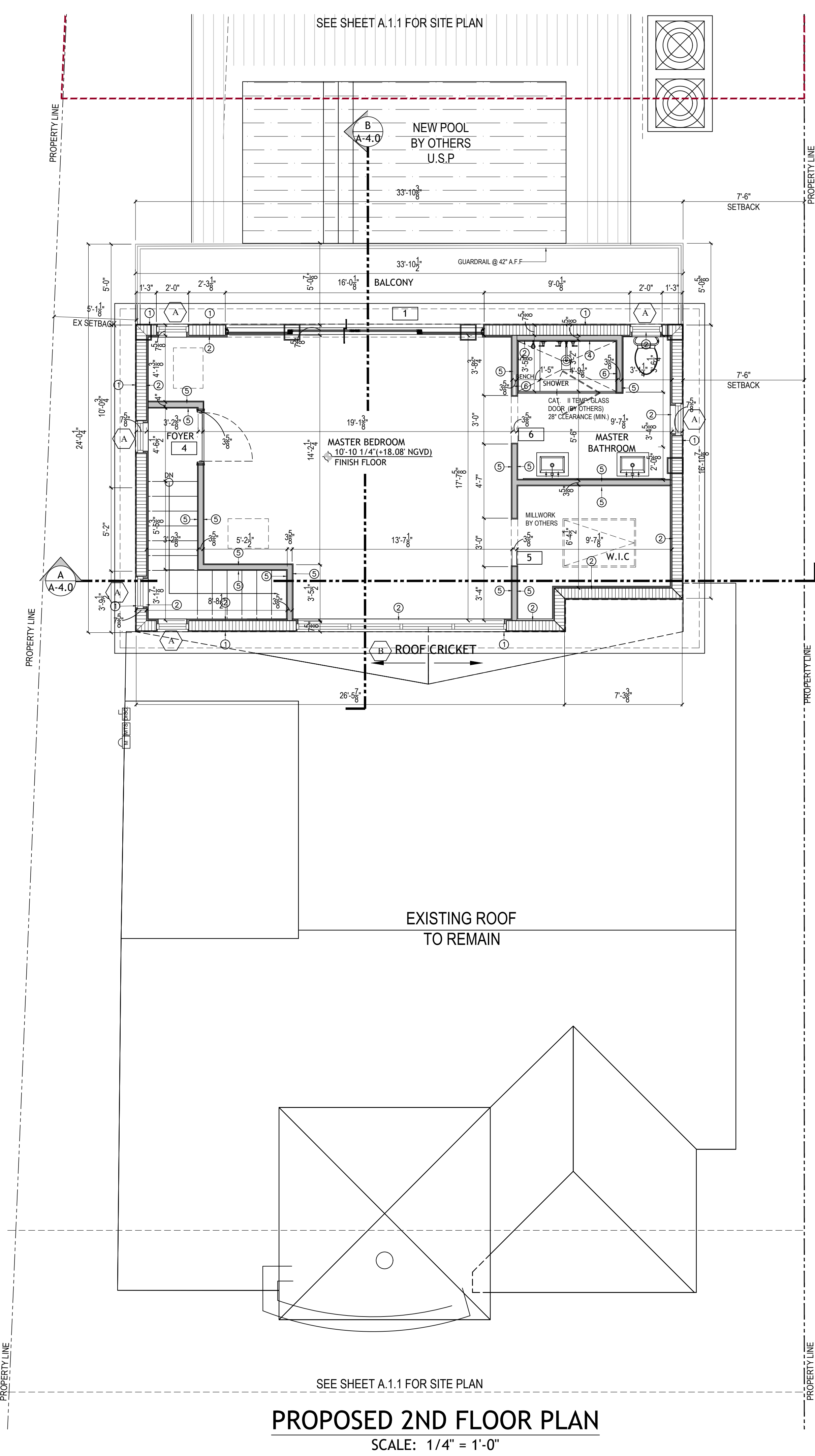
	NEW MASONRY WALL
	NEW METAL STUD WALL
	EXISTING MASONRY WALL
	EXISTING PARTITION WALL

FLOOR PLAN LEGEND:

	WINDOW TYPE,SEE SHEET A-5.0
	DOOR TYPE, SEE SHEET A-5.0
	WALL TYPE, SEE SHEET A-2.1

WATERPROOFING NOTE:
ALL SCREWS AND WALL JOINTS IN SHOWER AREA MUST BE WATERPROOFED.

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)



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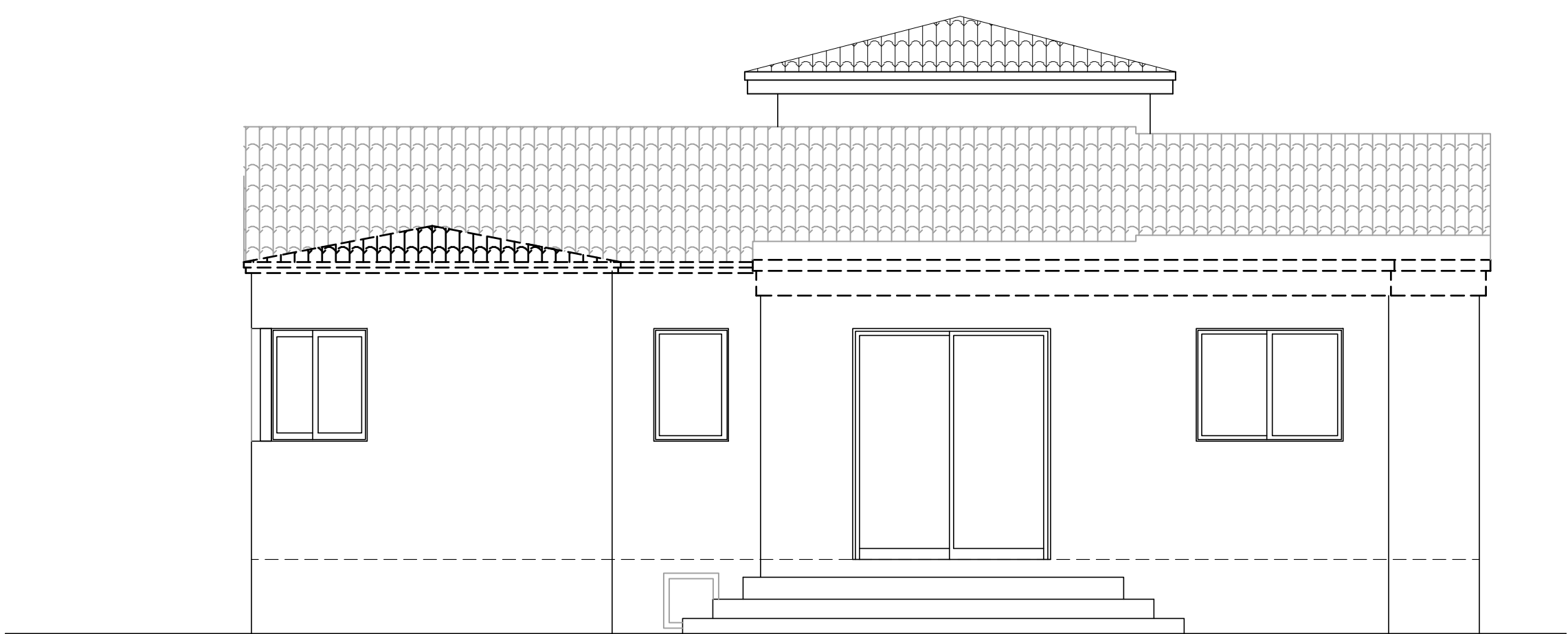
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A-2.0

PROPOSED PLANS

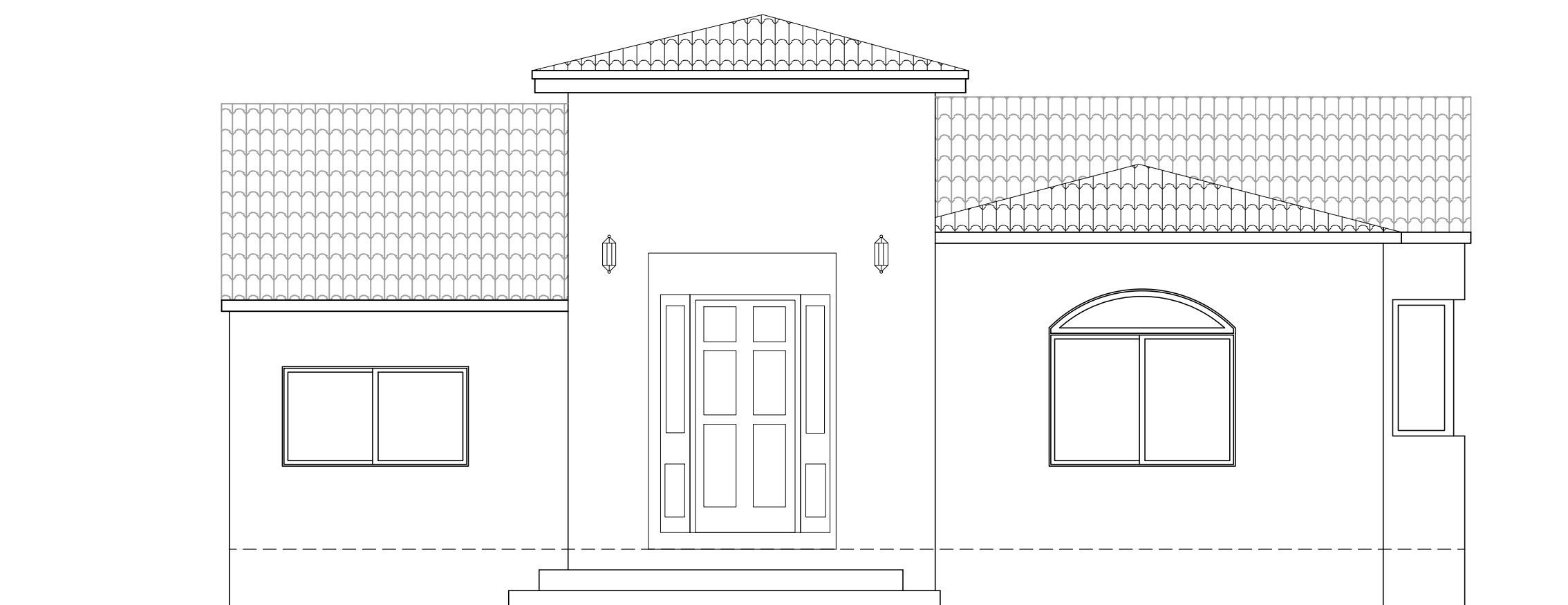
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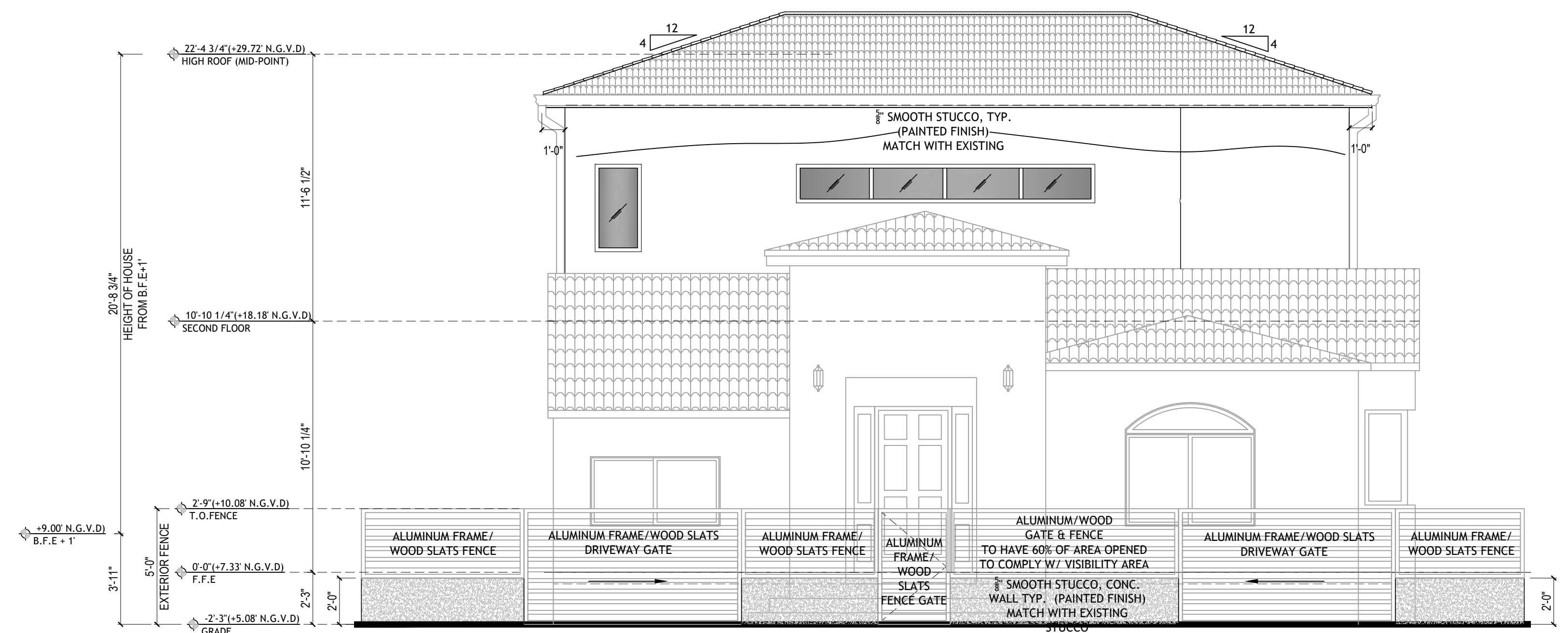
EX. NORTH ELEVATION
SCALE 1/4" = 1'-0



PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0



EX. SOUTH ELEVATION
SCALE 1/4" = 1'-0



PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0

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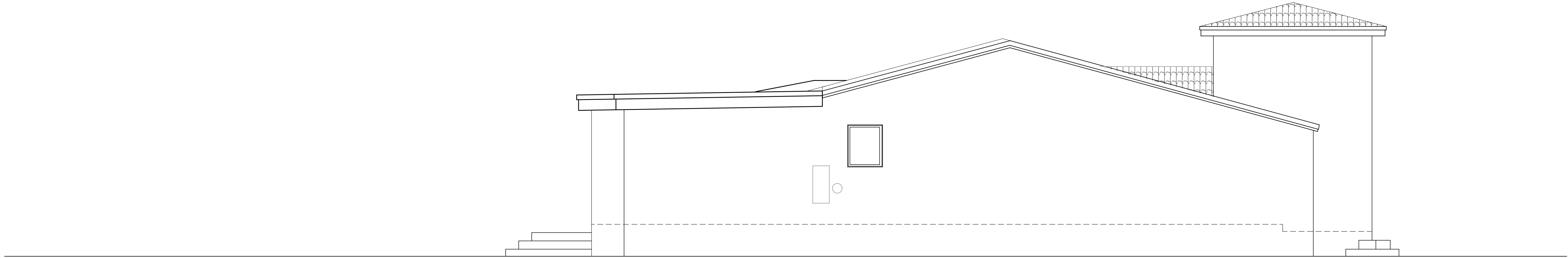
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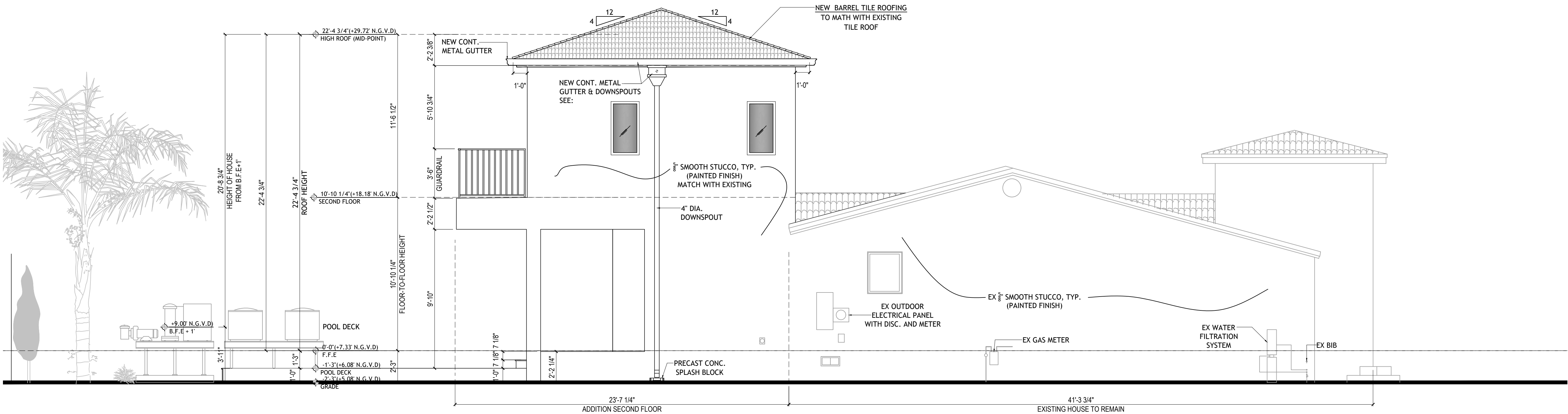
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EX. WEST ELEVATION
SCALE 1/4" = 1'-0



PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0

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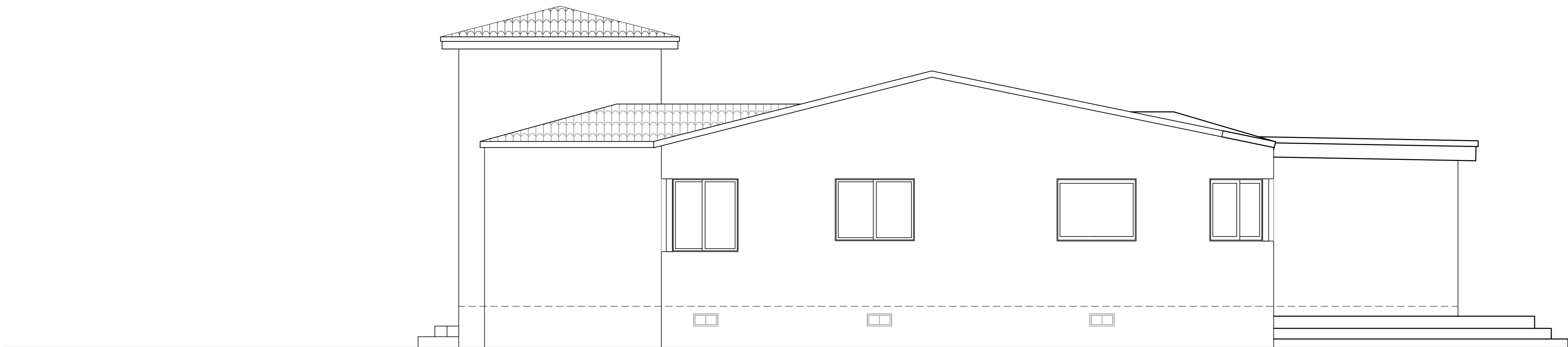
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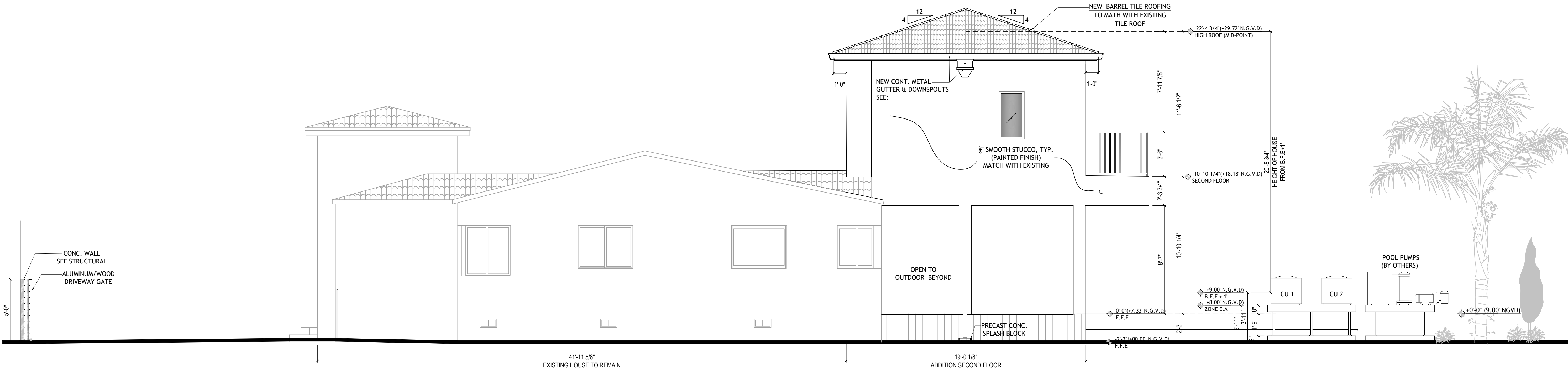
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A-3.1
ELEVATIONS

JCM



EX. EAST ELEVATION
SCALE 1/4" = 1'-0



PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0

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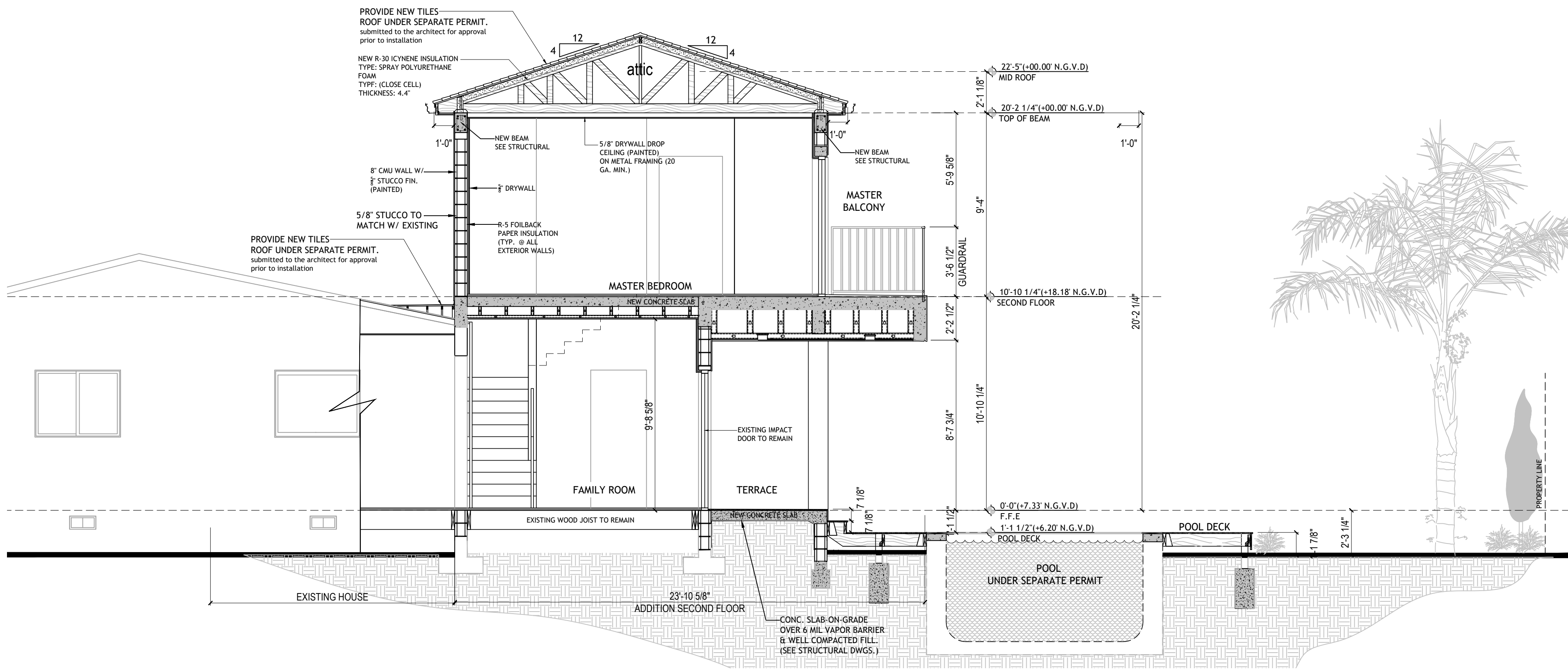
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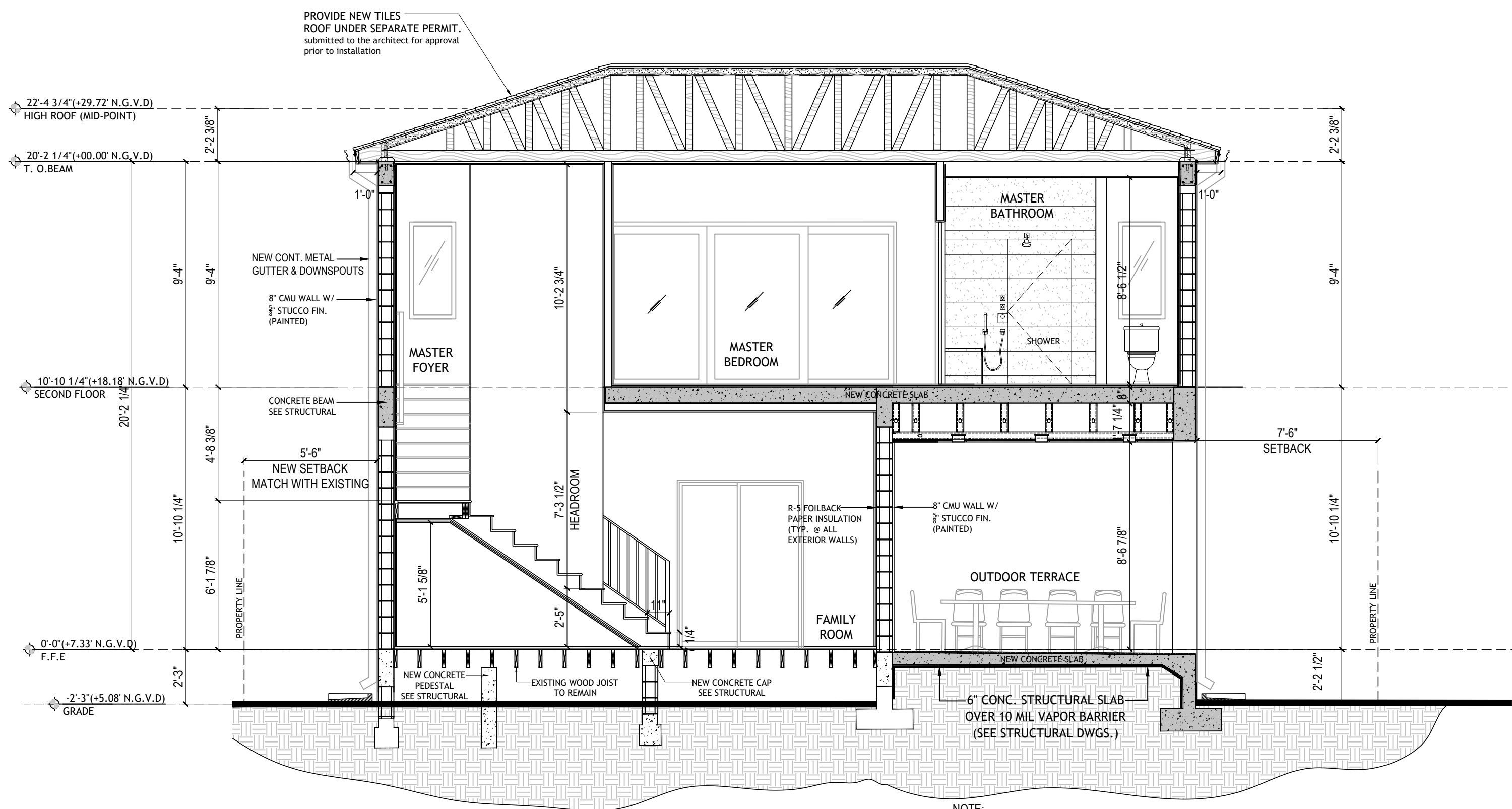
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A-3.2
ELEVATIONS

JCM



SECTION B
SCALE 1/4" = 1'-0"



SECTION A
SCALE 1/4" = 1'-0"

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for:
719 W 51st STREET
MIAMI BEACH, FL 33140

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSTRUED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

A-4.0

SECTIONS

JCM



FRONT VIEW EAST SIDE
SCALE: N.T.S.



REAR VIEW EAST SIDE
SCALE: N.T.S.



FRONT VIEW WEST SIDE
SCALE: N.T.S.



REAR VIEW WEST SIDE
SCALE: N.T.S.

DRAWN BY:
REVISIONS:

AA00035689
ANTHONY LEON
0016752

3
DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
P: 305-438-9377 | F: 305-438-9379

SEAL

REMODELING PERMIT
for:
719 W 51st STREET
MIAMI BEACH, FL 33140

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A-7.0
RENDERINGS

JCM



REAR VIEW
SCALE: N.T.S.



SIDE WEST VIEW
SCALE: N.T.S.



FRONT VIEW
SCALE: N.T.S.



SIDE EAST VIEW
SCALE: N.T.S.

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3
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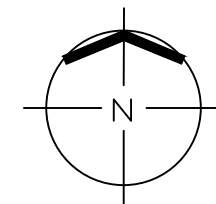
SEAL

REMODELING PERMIT
for:
719 W 51st STREET
MIAMI BEACH, FL 33140

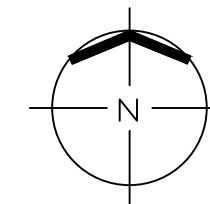
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A-7.1
RENDERINGS

JCM



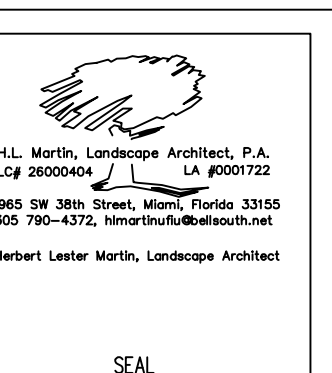
Plant List				
QTY	KEY	Botanical / Common Name	Description/ Specification	Native Y/N
2	QV	Quercus virginiana / Live Oak	16' oa ht, 4" dbh, 7' spr.	Yes
3	CES	Conocarpus e. sericeus / Silver Buttonwood	12' oa ht, 2" dbh, 6' spr.	Yes



AA0003569
ANTHONY LEON
0016752

DESIGN
ARCHITECTURE

4300 Biscayne Blvd, #G-04, Miami, FL 33137
P: 305.438.9377 | F: 305.438.9378



AT:
719 W. 51 ST
MIAMI BEACH, FLORIDA

E DATE:

SIONS:

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1