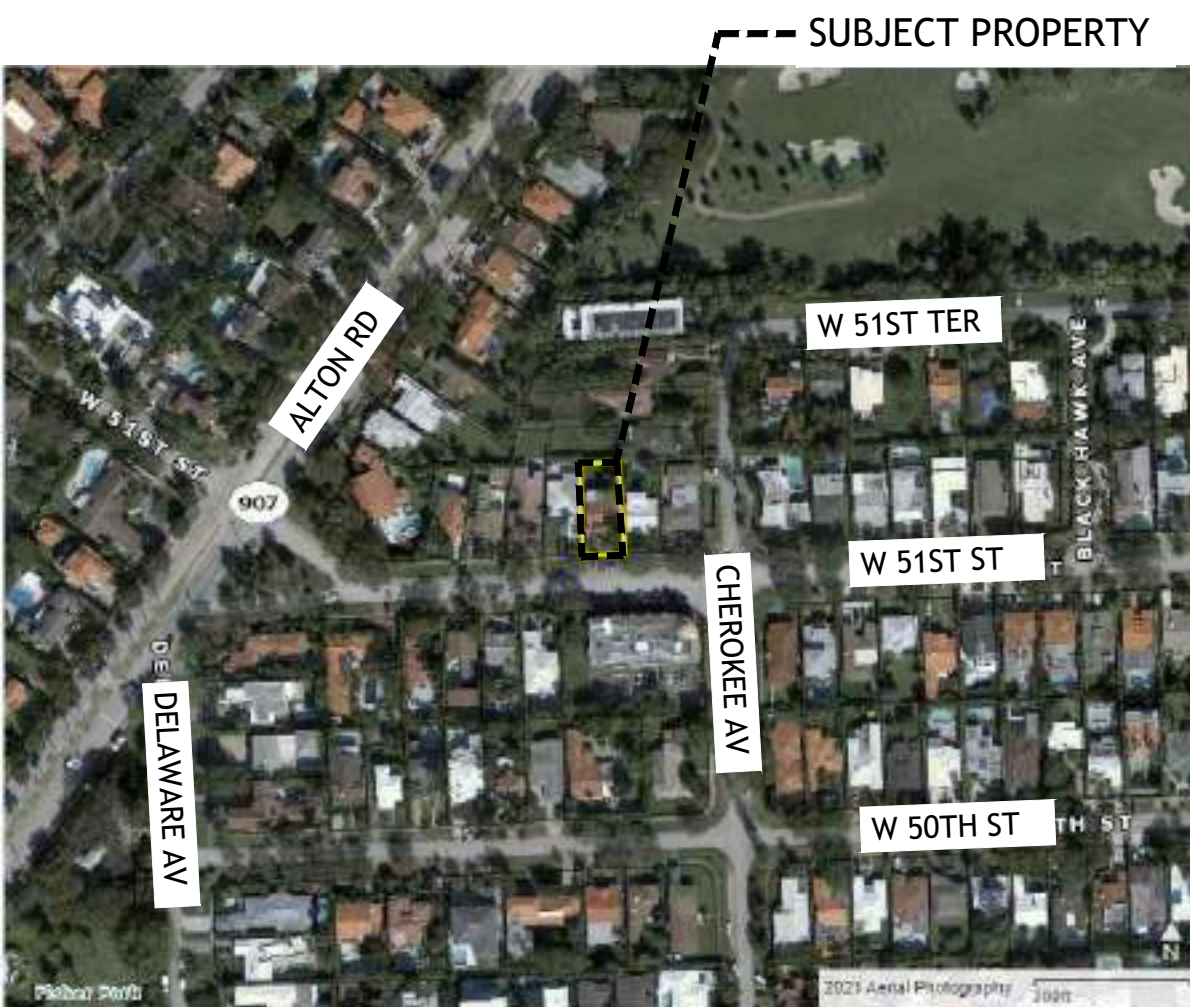


ADDITION TO: 719 W 51ST STREET MIAMI BEACH, FL 33140



PROJECT TEAM

Architect	Structural Engineer	MEP/FP Engineer	Landscape Architect
ANTHONY LEON #0016752 3 DESIGN, INC. 3260 NW 7th St. MIAMI, FLORIDA 33125 Off: 305.438.9377 Fax: 305.438.9379 E-mail: 3dtony@bellsouth.net	JUAN FERNANDEZ-BARQUIN, P.E., S.I. Structural Engineer PE 40114 Threshold Inspector SI 0947 2520 NW 97th Avenue, Suite 240 Doral, FL, 33172 Off: 786-336-0881 / Fax: 786-336-0884 E-Mail: jfbeng@f-m.fm	LESTER TRIANA, P.E. L. TRIANA & ASSOCIATES, INC. 9701 SW 56TH STREET MIAMI, FLORIDA 33165 Off: 305-595-9765 Email: office@ltriana.com	HERBERT "BUD" MARTIN H.L. MARTIN, Landscape Architect, PA 5965 S.W. 38th STREET MIAMI, FLORIDA 33155 Off: 305-790-4372 Email: hlmartinfiu@bellsouth.net



AERIAL VIEW
N.T.S.

FOLIO NUMBER:
02-3222-022-0210

APPLICABLE CODES:
FLORIDA BUILDING CODE, RESIDENTIAL - 2020, 7TH EDITION
FLORIDA FIRE PREVENTION CODE - 2020, 7TH EDITION
CITY OF MIAMI BEACH ZONING CODE - LATEST EDITION

LEGAL DESCRIPTION:

14-15-22-23 53 42 LAKE VIEW SUB PB 14-42LOT 16 BLK 21
LOT SIZE 47.500 X 121OR 19655-4043 05 2001 1
COC 22373-1394 05 2004 1

CLASSIFICATION OF WORK:

ADDITION AND INTERIOR REMODELING

SCOPE OF WORK:

ARCHITECTURE:

ADDITION TO EXISTING HOUSE AND INTERIOR
REMODELING ON 1ST FLOOR

ELECTRICAL:

NEW CIRCUITS, OUTLETS & LIGHTING

MECHANICAL:

NEW AC SYSTEM ON SECOND FLOOR ADDITION

PLUMBING:

NEW BATHROOM

STRUCTURAL:

NEW ADDITION TO EXISTING HOUSE

NEW ROOF

GENERAL NOTES

- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF 3DESIGN, INC. AND MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
- ALL WORK DESCRIBED BY THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENSED & INSURED IN THE STATE OF FLORIDA (F.B.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND F.B.C.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING THE WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK FOR CLEAR INSTRUCTION.
- DO NOT SCALE THE DRAWINGS. REFER TO FIGURED DIMENSIONS.
- THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR THE DEMOLITION, CONSTRUCTION, FINISHING, AND OCCUPANCY OF THE PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE F.B.C., LATEST EDITION.
- ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS (INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL REPAIR ALL DAMAGES TO THE EXISTING BUILDING DURING CONSTRUCTION RESULTING FROM SUCH LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.
- PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL SITE VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/RELOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER. IF SO DIRECTED, THE G.C. MAY INCLUDE ANY ADDITIONAL COSTS TO THE BID.
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ONSITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- IT IS THE INTENT OF 3DESIGN, INC. THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THE G.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES WILL BE RESOLVED BY ARCHITECT / ENGINEER OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK INCLUDED IN THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
- 3DESIGN, INC. IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS, OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.
- ALL WORK IS TO BE PLUMB, LINE, SQUARE, AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET 3DESIGN, INC. SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY CRAFTSMANSHIP WILL BE REDONE AT THE G.C.'S EXPENSE.
- THE GENERAL CONTRACTOR IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING SUBMITTED WITH THE BID.
- ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONTRUTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. IT IS THE G.C.'S RESPONSIBILITY TO FORSEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL ASSEMBLIES REFERRED TO AS FIRE-RATED SHALL BE A MINIMUM OF ONE HOUR UNLESS OTHERWISE INDICATED. ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED WITH APPROVED PENETRATION RATED DEVICES.
- THE GENERAL CONTRACTOR SHALL PROVIDE CUSTOM AND MULTI-COLOR PAINT SELECTIONS FOR OWNERS APPROVAL.
- ALL HARDWARE, LIGHTING & BATHROOM FIXTURES AND MISC. SPECIFICATIONS NOT SPECIFICALLY CALLED OUT ON THE DRAWINGS SHALL BE PROVIDED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TRUSSES, STORM SHUTTERS, REINFORCING STEEL, WINDOWS, DOORS, CAST CONCRETE, ORNAMENTAL IRON, STEEL CONNECTORS, ORNAMENTAL WOOD, ETC. TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE A TELEPHONE AND TELEPHONE LINE AT THE JOB SITE. THE G.C. IS RESPONSIBLE FOR ITS USE.

TERMITE PROTECTION NOTES:

TERMITE PROTECTION. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK INCLUDING PLACEMENT OF REINFORCING STEEL, DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT, TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED.

TERMITE PROTECTION. ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

PENETRATION. PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE OF CELLULOSE-CONTAINING MATERIALS AND SHALL RECEIVE APPLICATION OF A TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.

NOTE: TERMITE TREATMENT CO. SHALL PROVIDE A TERMITE CERTIFICATE AT SLAB INSPECTION

FLOOD-RESISTANT DESIGN & CONSTRUCTION NOTES:

- NEW CONSTRUCTION & SUBSTANTIAL IMPROVEMENTS IN FLOOD HAZARD AREAS SHALL BE CONSTRUCTED WITH FLOOD-DAMAGE-RESISTANT MATERIALS BELOW THE B.F.E. +1 FT (+10.00) PER TABLE 5-1 OF ASCE 24, LATEST EDITION.
- FLOOD-DAMAGE-RESISTANT MATERIALS SHALL HAVE SUFFICIENT STRENGTH, RIGIDITY, & DURABILITY TO ADEQUATELY RESIST ALL FLOOD-RELATED AND OTHER LOADS UNLESS DESIGNED TO BREAK AWAY PER ASCE 24, LATEST EDITION.
- UTILITIES & ATTENDANT EQUIPMENT SHALL BE ELEVATED AT OR ABOVE THE B.F.E. +1 FT. (+10.00) PER TABLE 7-1 OF ASCE 24, LATEST EDITION.

MISCELLANEOUS NOTES:

ALL WOODEN ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
SMOOTH SURFACE, NON-ABSORBENT CERAMIC TILED FLOOR AND WALLS 70" MIN. HIGH, TYPICAL ALL SHOWERS AND TUBS.

SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.

R.O.W. EXISTING CONDITIONS NOTE:

TO CONFIRM THE CONDITION OF THE EXISTING 6" SANITARY SEWER LATERAL FROM THE PROPERTY LINE TO THE SANITARY SEWER MAIN, THE GC SHALL PERFORM A VIDEO INSPECTION & PROVIDE TWO (2) DIGITAL COPIES TO THE CITY OF MIAMI BEACH PUBLIC WORKS DEPT.
FOR REVIEW BY THE ENGINEERING & OPERATIONS CREWS

ROOFING AND WATERPROOFING NOTES:

- ALL LOCKS ON EXTERIOR DOORS AND DOORS CONNECTING GARAGE AREAS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN 3601.2 (F.B.C.)
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT (MIN. 1 INCH THROW) WITH HARDENED BOLT INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8 INCH MINIMUM THROW BOLTS WITH INSERTS.
- SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLTS OR A BOLT OR PIN NOT REMOVABLE OR OPERABLE FROM EXTERIOR, AT THE JAMB, HEAD, SILL OR AT MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS, IF NECESSARY, AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE.
- JAMBS SHALL BE PROVIDED WITH APPROVED REINFORCED STRIKES INSTALLED WITH SCREWS AT LEAST 3" IN LENGTH AND PENETRATING SUB-BUCKS AT LEAST 1"
- HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINHS.
- JAMBS OF ALL EXTERIOR OFFSET TYPE (IN-SWINGING) DOORS BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
- SINGLE, SWINGING, EXTERIOR DOORS, IF WOOD SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8 INCHES THICK.
- GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD 297.1
- VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40 INCHES OF INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD 297.1.

- SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MGCS. ASSOC. STANDARDS FOR FORCED ENTRY RESISTANCE, ANMA 1303.3.
- LOCKS IN EXTERIOR WINDOWS SHALL COMPLY WITH SECTION 3104 (F.B.C.)
- FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCREW OR VISION PANELS. CONTRACTOR SHALL BE FAMILIAR WITH THE SPECIFIC INSTALLATION REQUIREMENTS OF THE WATERPROOFING SYSTEM. THE SYSTEM TO BE USED SHALL HAVE A CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL. MANUFACTURER TO PROVIDE WARRANTY OF A MINIMUM OF 10 YEARS. PRODUCT TO BE USED SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

ROOF TO BE WATER PROOFED W/ 'SEALOFLEX ROOF SYSTEMS OVER CONCRETE DECK' BY SEAL-O-FLEX, INC. N.O.A.# 16-0801.04 (SEE ATTACHED) (OR EQUAL) TERRACES TO BE WATER PROOFED W/ 'SEALOFLEX WATERPROOFING SYSTEMS OVER CONCRETE DECKS' BY EAL-O-FLEX, INC. N.O.A.# 16-0801.04 (SEE ATTACHED) (OR EQUAL) TOP OF EYEBROWS TO BE WATER PROOFED W/ 'SEALOFLEX WATERPROOFING SYSTEMS OVER CONCRETE DECKS' BY EAL-O-FLEX, INC. N.O.A.# 16-0801.04 (SEE ATTACHED) (OR EQUAL)

GENERAL CONDITIONS DURING CONSTRUCTION

DURING & PRIOR TO CONSTRUCTION, THE GC SHALL:

- MAINTAIN GRAVEL AT THE FRONT OF THE CONSTRUCTION SITE. WITHIN THE FIRST 15 FT OF THE REQUIRED FRONT YARD AND 10' OF THE REQUIRED SIDE YARD TO MITIGATE DISTURBANCE OF SOIL & MUD BY RELATED PERSONNEL VEHICLES EXITING & ENTERING THE SITE.
- PROVIDE AN 8 FT HIGH FENCE WITH A WIND RESISTANT GREEN MESH MATERIAL ALONG THE FRONT PROPERTY LINE.
- KEEP ALL CONSTRUCTION MATERIALS (INCLUDING DUMPSTERS & PORTABLE TOILETS) LOCATED BEHIND THE CONSTRUCTION FENCE AND NOT VISIBLE FROM THE R.O.W.
- PARK ALL CONSTRUCTION VEHICLES EITHER ON THE PROPERTY OR AT AN ALTERNATE OVERFLOW PARKING SITE.
- OBSERVE GOOD CONSTRUCTION PRACTICES AND PREVENT CONSTRUCTION MATERIALS & DEBRIS FROM IMPACTING THE R.O.W.
- SUBMIT A "CONSTRUCTION TRAFFIC MANAGEMENT PLAN" TO CMB PARKING DIRECTOR FOR APPROVAL PRIOR TO ISSUE OF PERMIT.

SITE PLAN NOTES:

- ALL RAINWATER TO BE CONTAINED WITHIN THE SITE. NO RUNOFF ALLOWED ONTO ADJACENT PROPERTIES. A SWALE 4" DEEP X 4' WIDE SLOPING AWAY FROM PROPERTY LINE AND ADJACENT PROPERTY TO BE PROVIDED AT PERIMETER OF PROPERTY. EXCEPT AT RETAINING WALL IN REAR.
- ALL LANDSCAPING BY OTHERS.
- ALL METAL FENCES, GATES TO BE UNDER SEPARATE PERMIT.
- ALL MISSING, BROKEN, CRACKED OR UPLIFTED SIDEWALK SHALL BE RECONSTRUCTED.
- NO TREES TO BE REMOVED ON THIS SITE.
- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE BASE FLOOD ELEVATION (B.F.E.), 9.0' + 1.0' NGVD.

NOTE: UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE SHALL BE SUBMITTED. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED AND APPROVED BEFORE THE CITY CAN ISSUE ANY CO OR TCO.

NOTE:

POOL, FENCES, GATES UNDER SEPARATE PERMIT

FIRESTOPPING NOTE:

FIRESTOPPING SHALL BE INSTALLED (WOOD FRAME CONSTRUCTION):

- IN CONCEALED SPACES OF STUD WALLS & PARTITIONS (INCLUDING FURRED SPACES & CEILING & FLOOR LEVELS TO LIMIT MAX. DIMENSION OF ANY CONCEALED SPACE TO 8 FT).
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS (AT LEAST ONCE IN THE MIDDLE OF EACH RUN, @ TOP & BOTTOM, & BETWEEN STUDS ALONG & IN LINE WITH ADJACENT RUN OF STAIRS OF THE RUN).
- AT OPENINGS AROUND VENTS, PIPES, & DUCTS.
- IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FOR THE FULL DEPTH OF THE JOISTS @ THE ENDS & OVER THE SUPPORT.
- AROUND TOP, BOTTOM, & SIDES OF DOOR POCKETS.

SMOKE DEVELOPED INDEX:

- WALL & CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

FLAME SPREAD INDEX: (FBC R302.9.1, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

SEPARATE SUB-PERMITS NOTES:

THE FOLLOWING SHALL REQUIRED A SEPARATE PERMIT AS PER CITY OF MIAMI BEACH. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

- WINDOWS/ DOORS
- ROOFING/ WATERPROOFING
- RAILINGS/ FENCES
- POOL/ WATER FEATURES
- PREFABRICATED STAIRS/ ELEVATOR
- ALUMINUM FACADE

DRAWN BY:
REVIEWS:

A00036569
ANTHONY LEON
0016752

3
DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
P: 305-438-9377 | F: 305-438-9379

SEAL

REMODELING PERMIT
for:
719 W 51st STREET

MIAMI BEACH, FL 33140

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

A-0.0
COVER SHEET

JCM

CONSTRUCTION DOCUMENTS SET FINAL SUBMITTAL. NOVEMBER 06, 2023

DEMOLITION LEGEND

DEMOLITION

EXISTING TO REMAIN

E.T.R.

EXISTING TO REMAIN

SCOPE OF WORK

DEMOLITION

1. DEMOLITION

2. REMOVE PARTIAL EXISTING ROOF AS INDICATED.

A

REMOVE EXTERIOR PARTIAL DOOR

B

REMOVE PARTITION WALL

C

REMOVE INTERIOR DOOR

D

REMOVE EXTERIOR STEPS

E

REMOVE CONCRETE SLAB

F

REMOVE PARTIAL ROOF

G

REMOVE CONDENSER UNIT

H

REMOVE ROOF

I

REMOVE DRIVEWAY AND WALKWAY

J

REMOVE GRASS AND LANDSCAPE

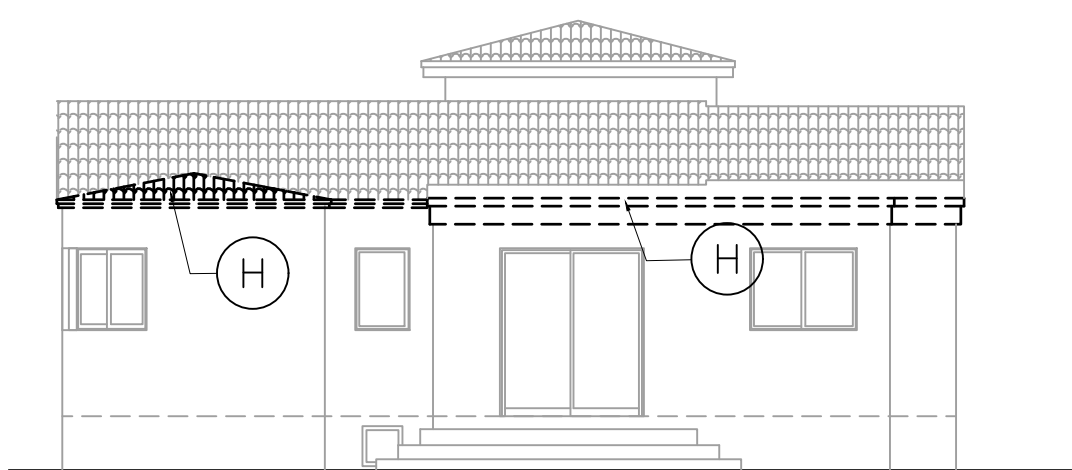
NOTE: OTHER THAN ADDITION, NO STRUCTURAL WALLS THAT WILL REQUIRE SHORING, WILL BE REMOVED.

AREA OF WORK DEMOLITION

EXISTING TOTAL AREA: 1,834.00 S.F.

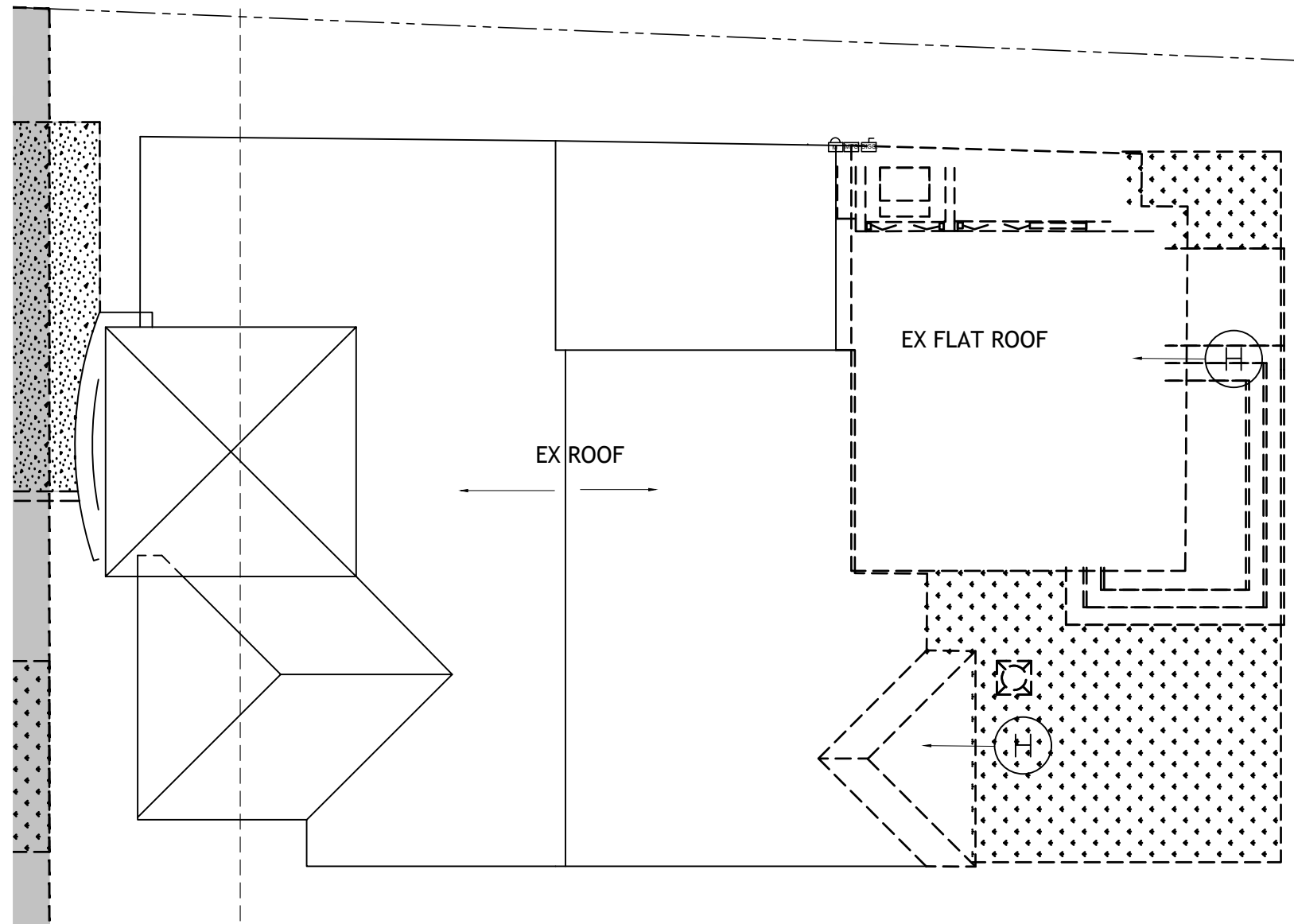
INTERIOR FLOORING AREA OF DEMOLITION-----200.00 SQFT (UNDER A.C.) GROUND FLOOR

TOTAL AREA OF DEMOLITION-----200.00 SQFT



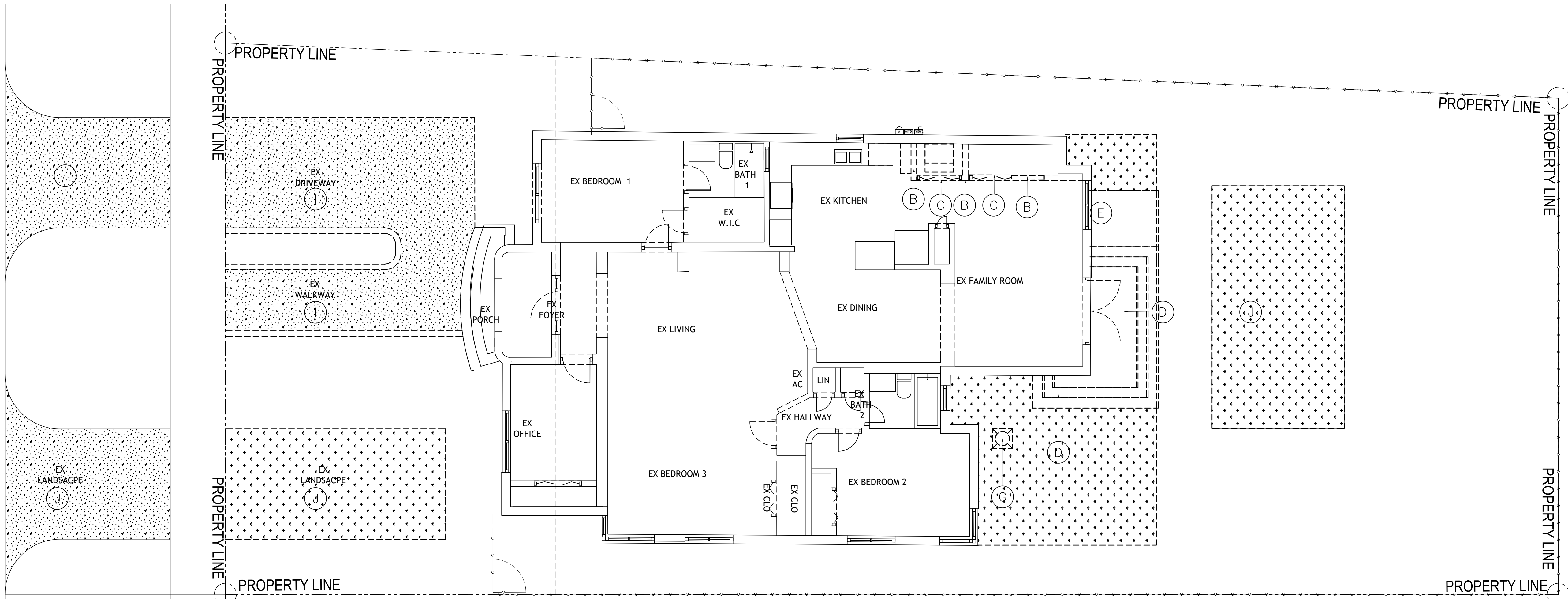
DEMOLITION ELEVATION

SCALE 1/8" = 1'-0



DEMOLITION ROOF PLAN

SCALE 1/8" = 1'-0



DEMOLITION PLAN

SCALE 3/16" = 1'-0

CONSTRUCTION DOCUMENTS SET FINAL SUBMITTAL. NOVEMBER 06, 2023

DRAWN BY:

REVISIONS:

AA0003569

ANTHONY LEON

0016752

3DESIGN

ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125

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SEAL

REMODELING PERMIT

for:

719 W 51st STREET

MIAMI BEACH, FL 33140

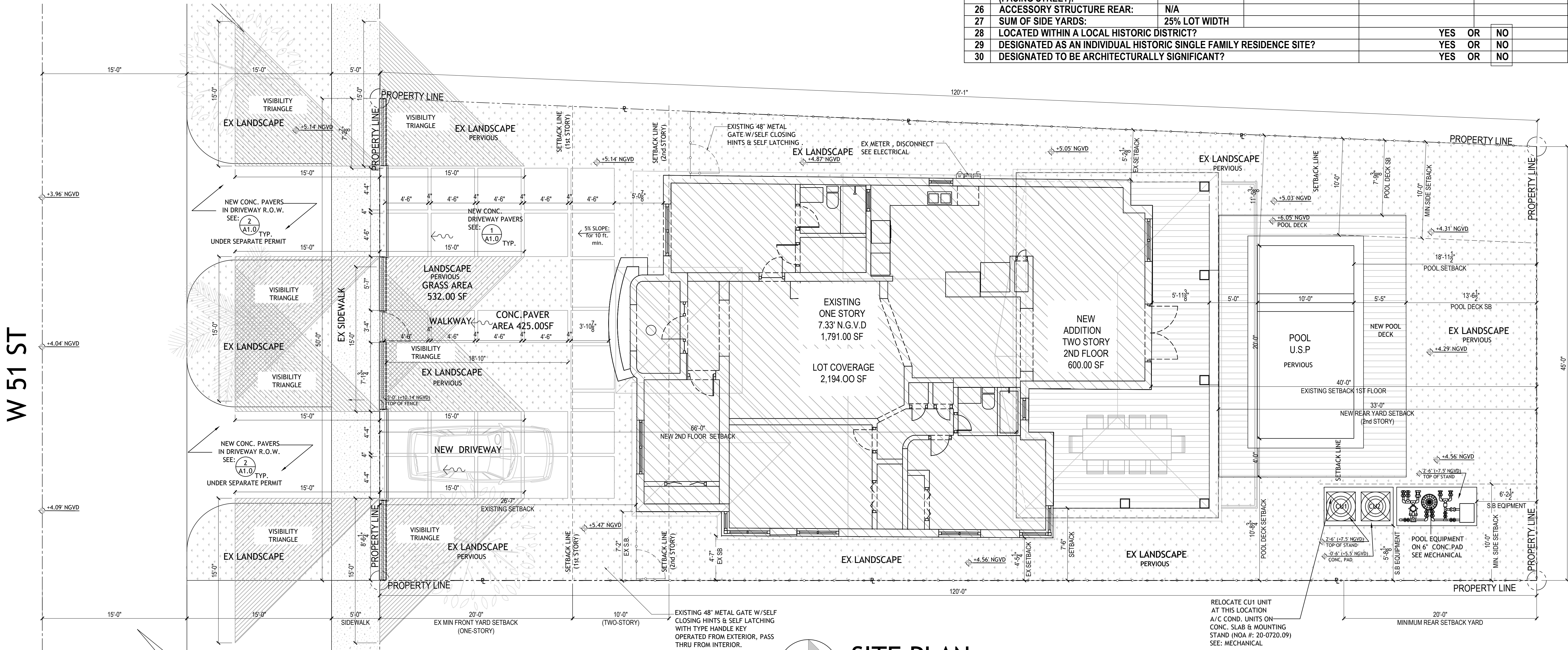
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A-1.0

DEMOLITION PLAN

JCM

PROJECT INFORMATION				
1	ADDRESS:	719 W 51 STREET, MIAMI BEACH, FL 33140		
2	FOLIO NUMBER:	02-3222-022-0210		
3	BOARD AND FILE NUMBER:			
4	YEAR BUILT:	1941	ZONING DISTRICT:	RS-4
5	BASE FLOOD ELEVATION:	9'	GRADE VALUE IN NGVD:	5.08' NGVD
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7.04' NGVD		
7	LOT AREA:	5,717.00 SQ FT		
8	LOT WIDTH:	50'	LOT DEPTH:	120.1'
9	MAX LOT COVERAGE FT AND %:	1,723.65 SQ FT (30%)	PROPOSED LOT COVERAGE FT AND %:(40%) M.B PER Sec. 142-108. (2)(B)(I)	2,194.00 SF (38.2%)
10	EXISTING LOT COVERAGE FT AND %:	1,791.00 SQ FT	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	N/A
11	FRONT YARD OPEN SPACE FT AND 50%:	997 SQ FT	REAR YARD OPEN SPACE FT AND 70%:	980.00 SF (100%)
12	MAX UNIT SIZE FT AND %:	2,858 SQ FT (50%)	PROPOSED UNIT SIZE FT AND %:	2,391.00 SF (41.8%)
13	EXISTING 1st FLOOR UNIT SIZE:	1,791.00 SF(EX)	PROPOSED 1st FLOOR UNIT SIZE:	1,791.00 SF (EX)
14	EXISTING 2nd FLOOR UNIT SIZE:	N/A	PROPOSED 2nd VOLUMETRIC UNIT SIZE SF AND %. (NOTE: TO EXCEED 70% OF THE 1st FLOOR OF THE MAIN HOME REQUIRES BOARD APPROVAL)	N/A
			PROPOSED 2nd FLOOR UNIT SIZE SF AND %:	600.00 SF
16			PROPOSED ROOF DECK AREA SIZE SF AND %. (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A
ZONING INFORMATION/ CALCULATIONS				
	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:			
18	SETBACKS:			
19	FRONT 1st LEVEL	20'	26.5'	N/A
20	FRONT 2nd LEVEL	30'	N/A	66.00'
21	SIDE 1:	10'	5.16'	5.16'
22	SIDE 2 OR (FACING STREET):	10'	4.57'	7.5'
23	REAR:	20'	40.0'	33.0'
24	ACCESSORY STRUCTURE SIDE 1:	N/A		
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A		
26	ACCESSORY STRUCTURE REAR:	N/A		
27	SUM OF SIDE YARDS:	25% LOT WIDTH		
28	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?			YES OR NO
29	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?			YES OR NO
30	DESIGNATED TO BE ARCHITECTURELLY SIGNIFICANT?			YES OR NO



SITE PLAN

SCALE 3/16" = 1'-0"

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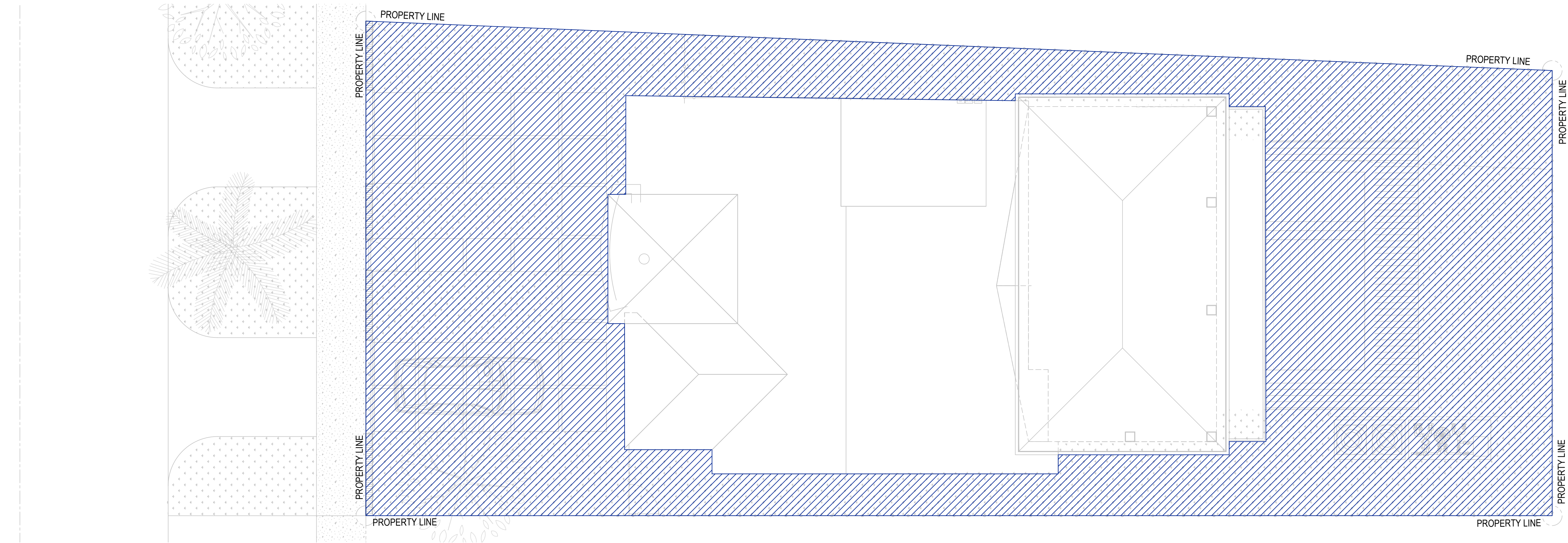
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for:
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MIAMI BEACH, FL 33140

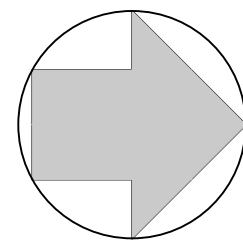
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A-1.1
DEMOLITION PLAN

JCM



OPEN SPACE DIAGRAM:		
	MAX. ALLOWED	PROPOSED
MAX. 50% of LOT AREA (Lot Area = 5,717.00 Sq. Ft.)	2,858.5 SF	3,374.00 SF
<div></div> OPEN SPACE AREA		3,374.00 SF (59.01%)



OPEN SPACE DIAGRAM

SCALE 3/16" = 1'-0

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

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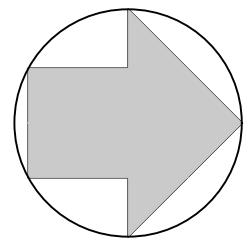
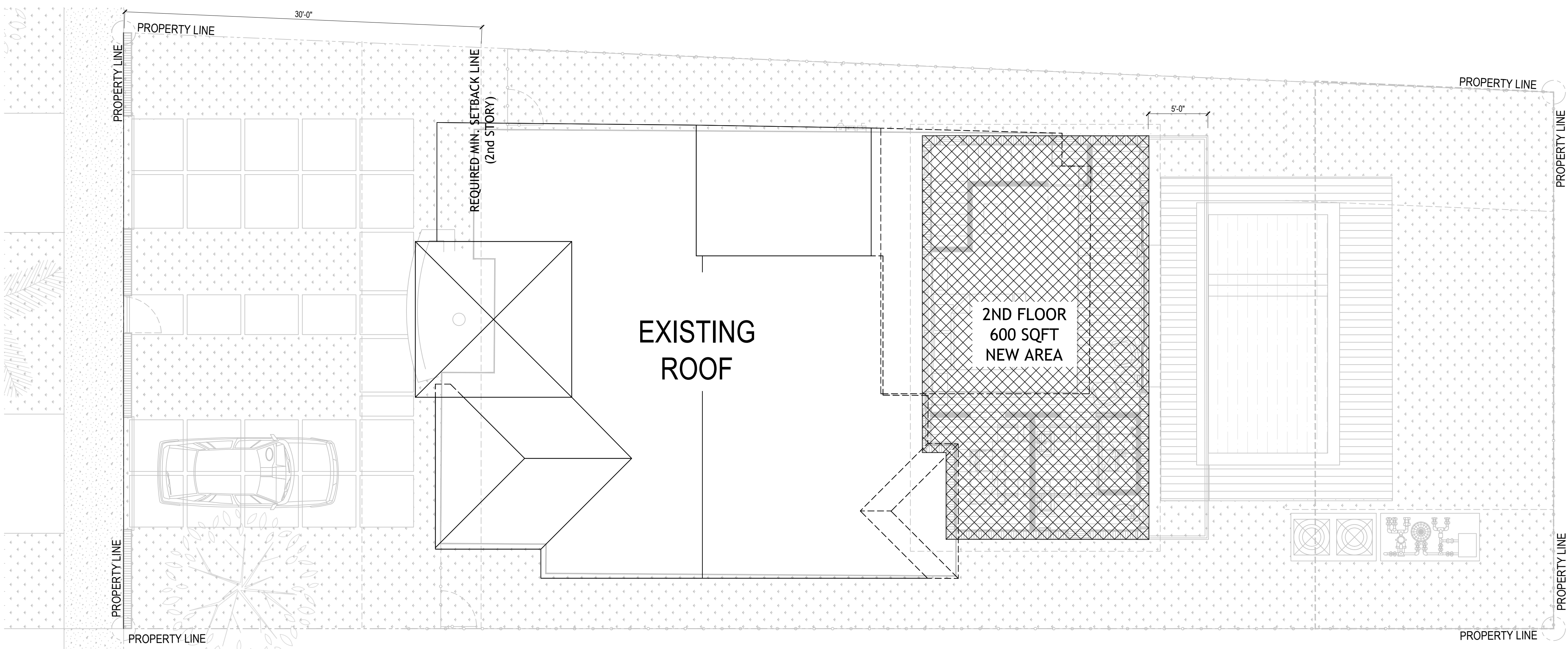
OPEN SPACE
DIAGRAM

JCM

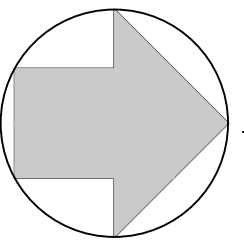
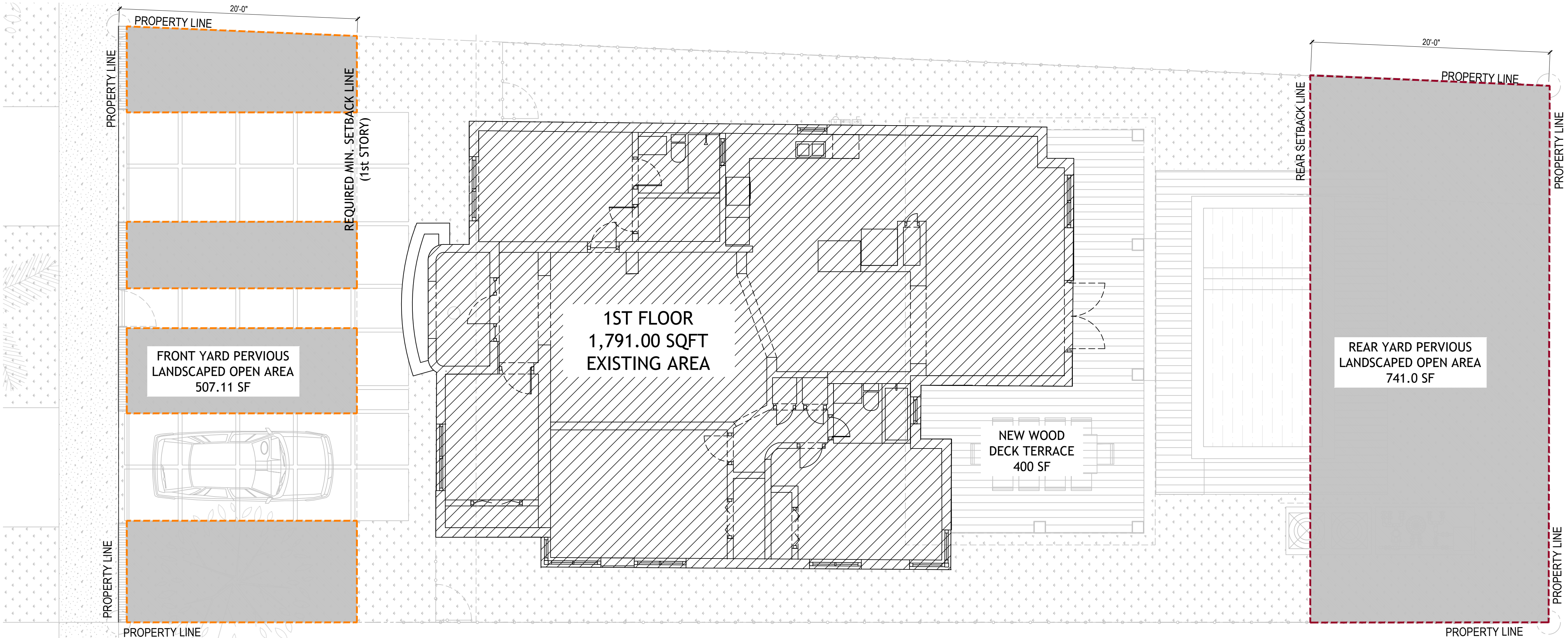
UNIT SIZE DIAGRAM:		
MAX. 50% of LOT AREA (Lot Area = 5,717.00 Sq. Ft.)	MAX. ALLOWED 2,858.5 SF	PROPOSED 2,391.00 SF
 AREA 1st FL(EXISTING)	-----	1,791.00 SF (1st FL.)
 AREA 2nd FL(NEW)	-----	600.00 SF (2nd FL.)
		2,391.00 SF (41.82%)

50% of FRONT yard (Front Setback Area = 998.00 Sq. Ft.)	MIN. REQ'D. 499.00 SF	PROPOSED 507.11 SF (50.81%)
	PERVIOUS LANDSCAPED OPEN AREA:.....507.11 SF	

70% of REAR yard (Rear Setback Area = 980.00 Sq. Ft.)	MIN. REQ'D. 686.00 SF	PROPOSED 741.00 SF (75.61%)
	PERVIOUS LANDSCAPED OPEN AREA:.....741.00 SF	



UNIT SIZE FL 2 DIAGRAM
SCALE 3/16" = 1'-0



UNIT SIZE FL 1/PERVIOUS AREAS DIAGRAM
SCALE 3/16" = 1'-0

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A-1.3
UNIT SIZE AND PERVIOUS AREA DIAGRAMS
JCM

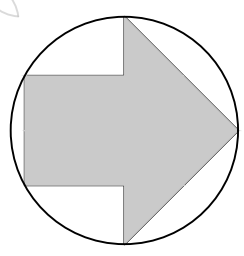
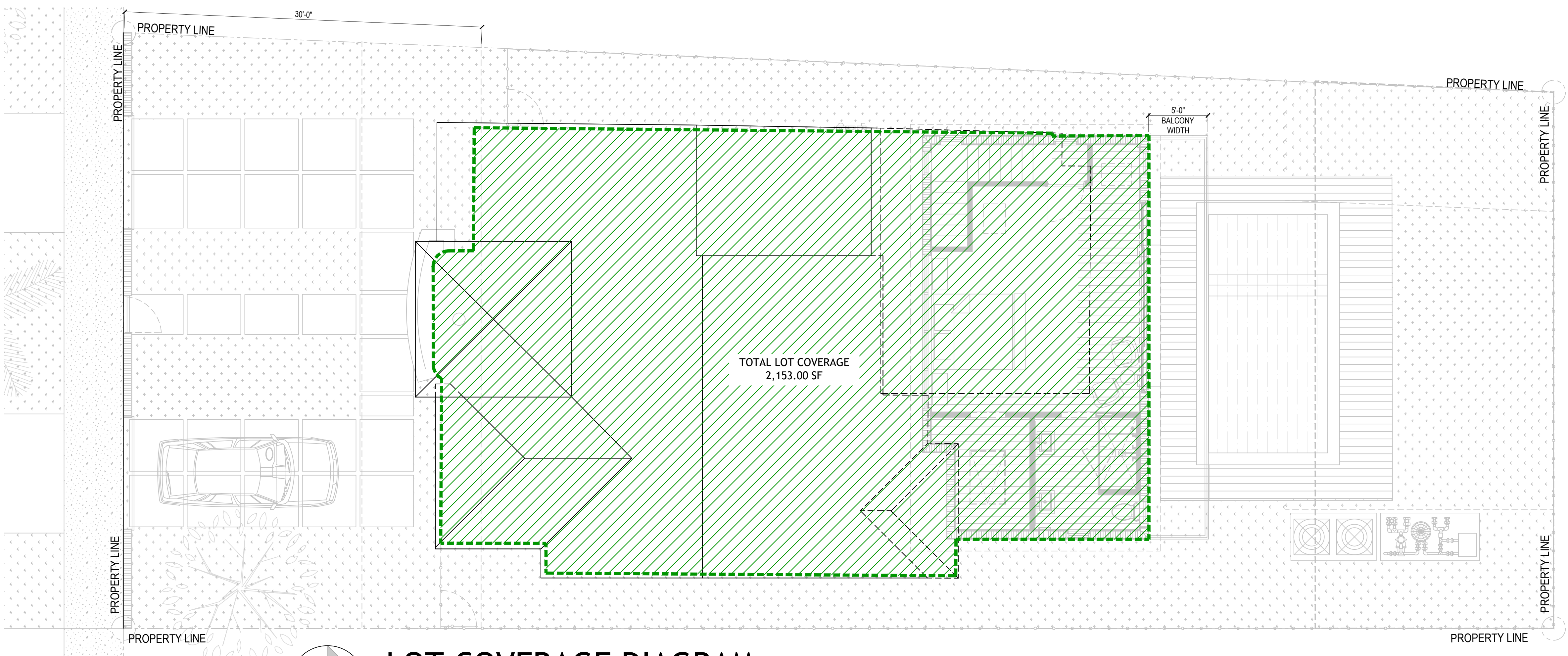
LOT COVERAGE:

MAX. 30% of LOT AREA
(Lot Area = 5,745.5 Sq. Ft.)

MAX. ALLOWED
1,723.65 SF

TOTAL LOT COVERAGE AREA:
PER Sec. 142-108, (2)(B)(I)

PROPOSED
2,153.00 SF
(37.47%)



LOT COVERAGE DIAGRAM
SCALE 3/16" = 1'-0

LOT COVERAGE:

MAX. 30% of LOT AREA
(Lot Area = 5,745.5 Sq. Ft.)

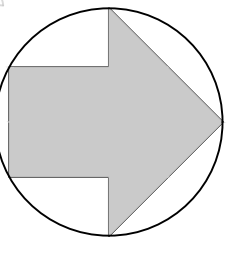
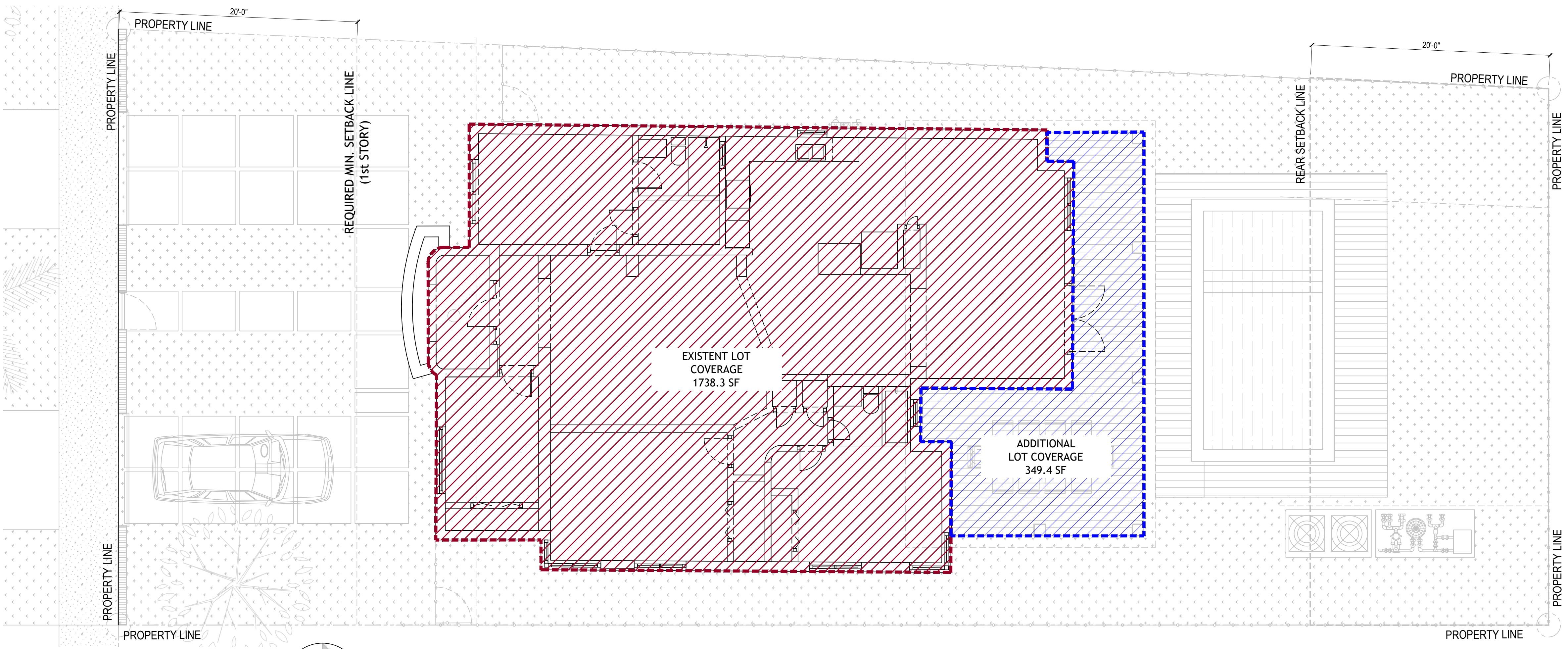
MAX. ALLOWED
1,723.65 SF

EXISTENT LOT COVERAGE AREA:

1738.3 SF
(30.25%)

ADDITIONAL PROPOSED LOT COVERAGE AREA:

349.4 SF
(6.08%)



VARIANCE DIAGRAM
SCALE 3/16" = 1'-0

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A-1.4

LOT
COVERAGE/VARIANCE
DIAGRAM

JCM

MISCELLANEOUS NOTES:

- 1- ALL CONSTRUCTION MATERIAL BELOW DFE (+10.00' NGVD) MUST BE OF FLOOD RESISTANT MATERIAL (INCLUDING DOORS). e.g. MASONRY, STUCCO, ETC...
- 2- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE DESIGN FLOOD ELEVATION (DFE), +10.00' NGVD.
- 3- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE WITHIN 15" MIN. AND 48" MAX. HIGH. A.F.F.
- 4- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED 1/2" MAXIMUM & BE LEVEL @ E.A SIDE OF DOOR.
- 5- COORDINATE FLOOR FINISHES WITH OWNER.
- 6- SMOOTH SURFACE, NON-ABSORBENT, SLIP RESISTANT, CERAMIC TILED FLOOR & WALLS FULL HEIGHT. TYPICAL @ ALL SHOWERS & TUBS.
- 7- SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.
- 8- ALL INTERIOR AREAS TO HAVE A 6" WOOD BASEBOARD EXCEPT ALL RESTROOM AREAS
TO HAVE A 6" COVE BASE TILE T.B.D. (U.O.N.)
- 9-WALL HUNG CABINETS TO BE ANCHORED TO HORIZONTAL MEMBER (20 GA MIN.) SECURELY FASTENED TO MIN (2) 20 GA STUDS, TYP.
- 10-PAINT COLORS UNDER A SEPARATE PERMIT
- 11- FOR INTERIOR FINISHES ,FIXTURES, MILLWORK, RD WARE,APPLIANCES ETC.
REFER TO OWNER OR INTERIOR DESIGNER
- 12- SOUNDPROOFING MATERIAL TO BE USED ON ALL FLOORS AT SECOND LEVEL. MIN. STC RATING OF 50.
- 13- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER ASTM E-84
- 14.ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL WOOD USE BELOW DESIGN FLOOD ELEVATION SHALL BE PRESERVATIVE-TREATED OR NATURALLY DECAY-RESISTANT.
15. CRAWL SPACE VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH W/ OPENING NOT GREATER THAN 1/8 INCH FBCR 4409.13.3.1. OR BY MATERIALS PROVIDED IN FBCR408.2.
16. ALL CLOSET SYSTEMS TO BE SUPPLIED BY OWNER.
17. ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATIONS (+10.00' NGVD) SHALL BE SOLELY USED FOR PARKING,BUILDING ACCESS OR STORAGE.

FIRESTOPPING NOTE:

- FIRESTOPPING SHALL BE INSTALLED (WOOD FRAME CONSTRUCTION):**
- IN CONCEALED SPACES OF STUD WALLS & PARTITIONS (INCLUDING FURRED SPACES @ CEILING & FLOOR LEVELS TO LIMIT MAX. DIMENSION OF ANY CONCEALED SPACE TO 8 FT).
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS (AT LEAST ONCE IN THE MIDDLE OF EACH RUN, @ TOP & BOTTOM, & BETWEEN STUDS ALONG & IN LINE W/ ADJACENT RUN OF STAIRS OF THE RUN).
 - AT OPENINGS AROUND VENTS, PIPES, & DUCTS.
 - IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FOR THE FULL DEPTH OF THE JOISTS @ THE ENDS & OVER THE SUPPORT.
 - AROUND TOP, BOTTOM, & SIDES OF DOOR POCKETS.

SMOKE DEVELOPED INDEX: (FBC R302.9.2, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.

- INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

FLAME SPREAD INDEX: (FBC R302.9.1, R302.10.1)

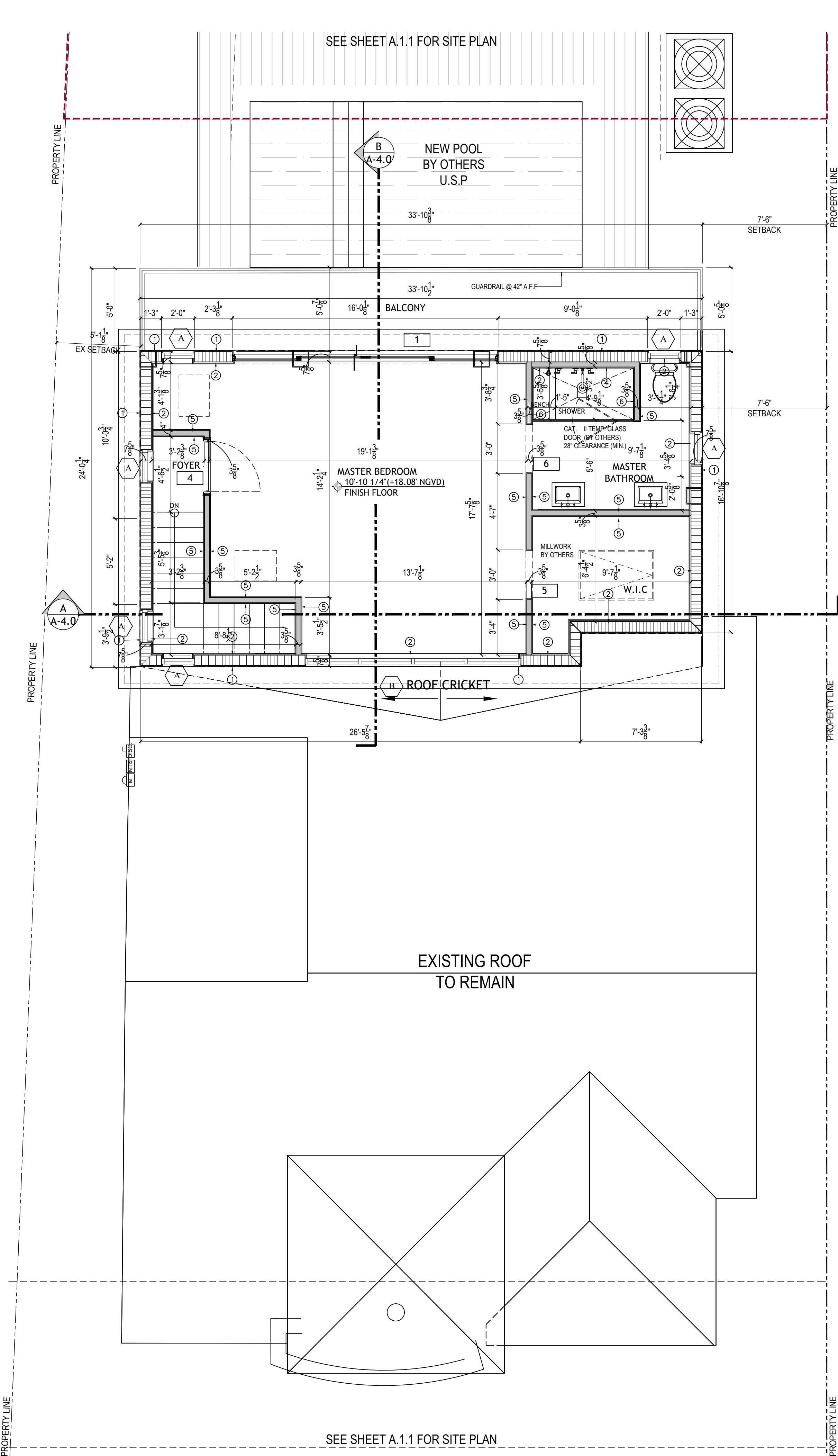
- WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

LEGEND	
	NEW MASONRY WALL
	NEW METAL STUD WALL
	EXISTING MASONRY WALL
	EXISTING PARTITION WALL

FLOOR PLAN LEGEND:	
	WINDOW TYPE,SEE SHEET A-5.0
	DOOR TYPE, SEE SHEET A-5.0
	WALL TYPE, SEE SHEET A-2.1

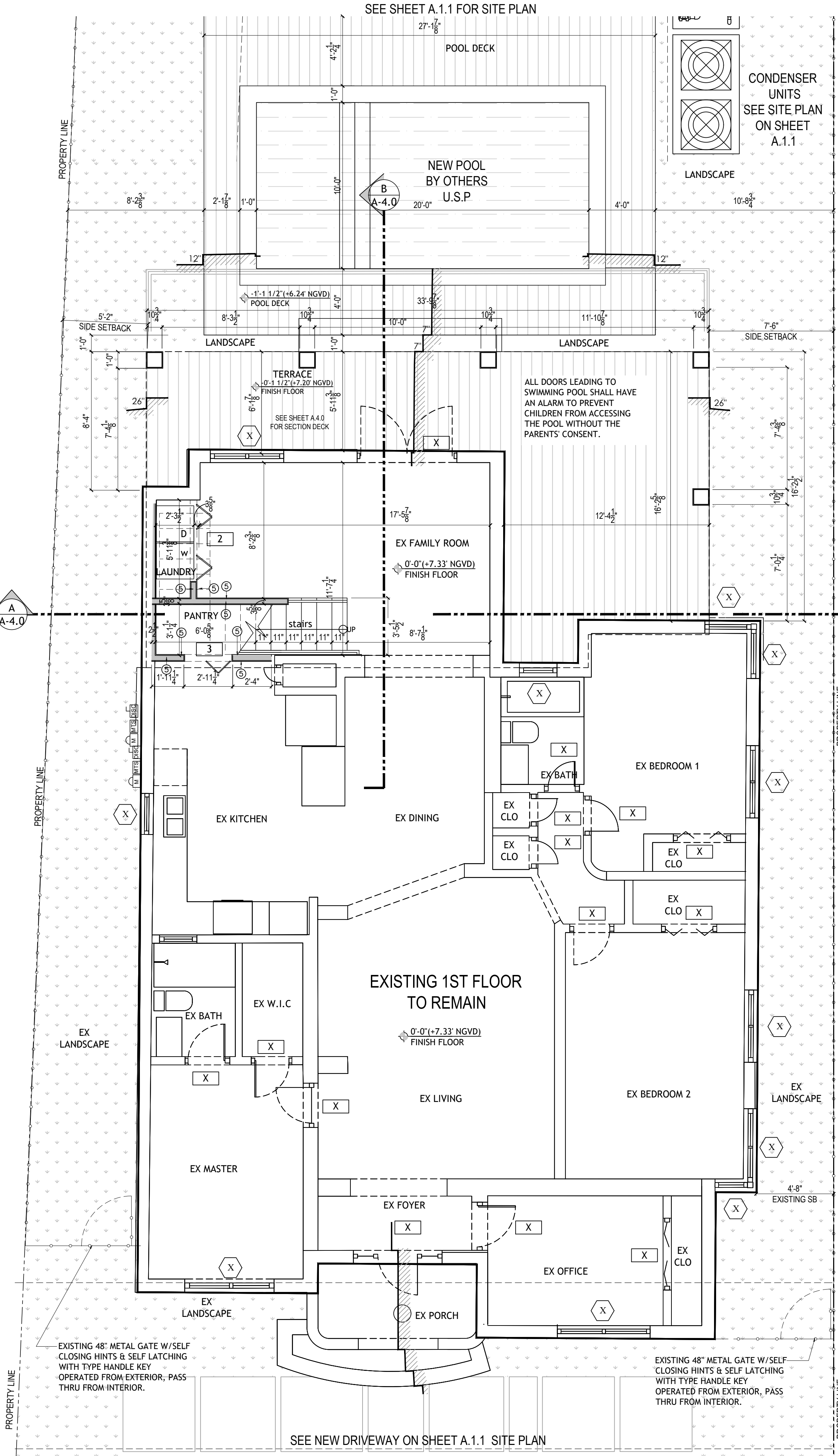
WATERPROOFING NOTE:
ALL SCREWS AND WALL JOINTS IN SHOWER AREA MUST BE WATERPROOFED.

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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ANTHONY LEON
0016152

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A-2.0

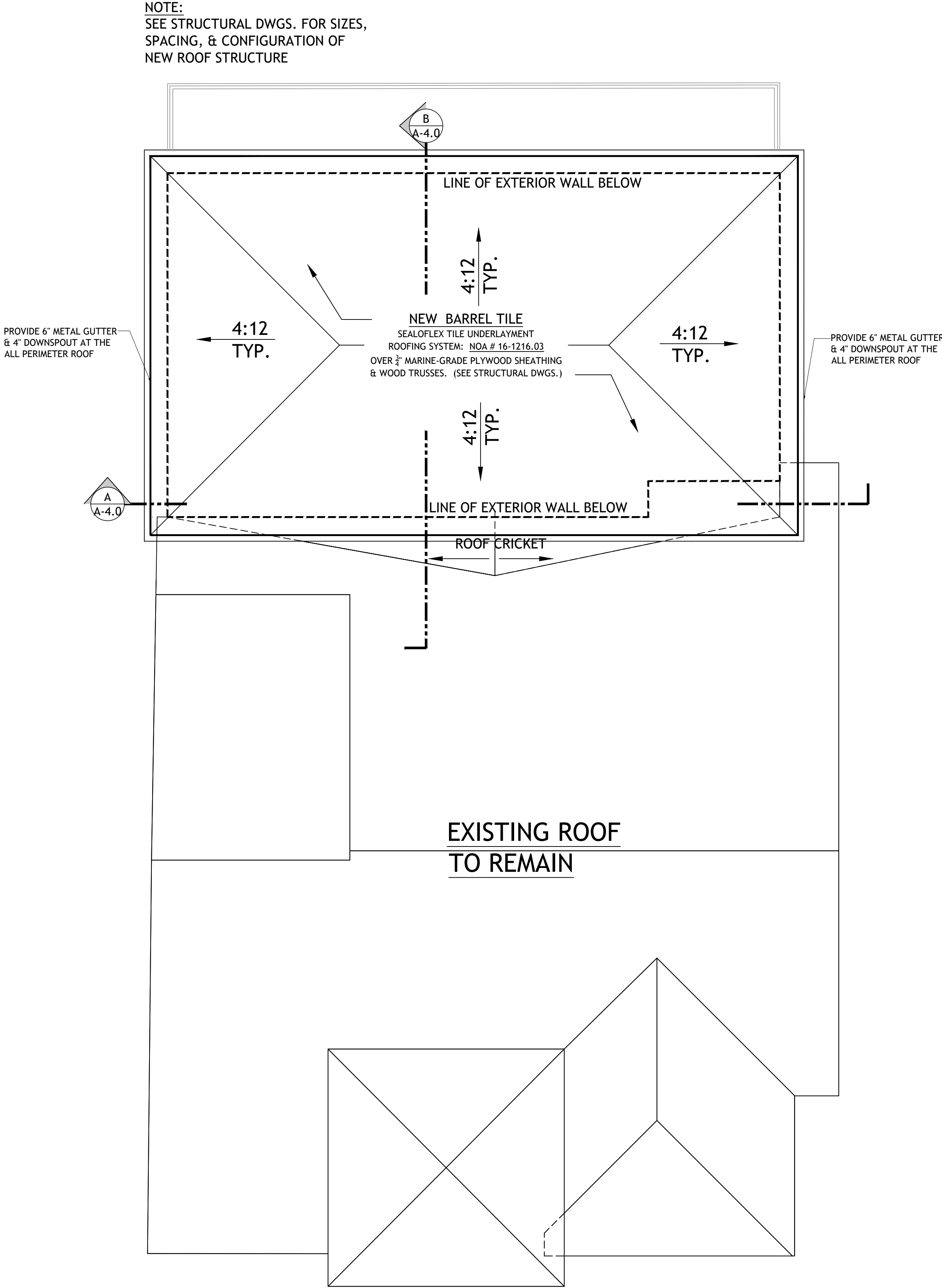
PROPOSED PLANS

JCM

ROOF DRAINAGE CALCULATIONS:	
<u>NEW SPANISH BARREL TILE ROOF</u>	
• HORIZONTALLY PROJECTED ROOF AREA: = 751.00 SQ. FT. = 108,144 SQ. IN.	
• 108,144 SQ. IN. X 5" RAINFALL/60 min. = 540,720 CU. IN.	
• 540,720 CU. IN. / 231 = 2,340 GALLONS	
• 2,340 GAL. / 60 min. = 39 gpm CAPACITY	
PER <i>Plumbing</i> TABLE 1106.3: A 4" VERTICAL LEADER CAN SERVE 192 gpm CAPACITY	
REQUIRED: (1) 4" DIA. LEADERS	
PROVIDED: (2) 4" DIA. LEADERS	
PER <i>Plumbing</i> TABLE 1106.6: A 4 1/2" x 6" HORIZONTAL GUTTER @ 1/4" PER FT. CAN SERVE 348 gpm CAPACITY	
PROVIDED: 5 1/2" x 6" HORIZONTAL GUTTER @ 1/4" PER FT.	

BUILDING THERMAL INSULATION	
MANUFACTURED BY ICYNENE CORPORATION 1-800-758-7325, WWW.ICYNENE.COM	
CONTRACTOR TO PROVIDE CUT-SHEETS AND LITERATURE FOR THE REVIEW & APPROVAL OF THE ARCHITECT FOR EQUIVALENT SUBSTITUTED PRODUCT.	
PROPOSED PRODUCT INFORMATION	
1.)	ICYNENE CLASSIC MAX, LD-C-50v2 (OPEN CELL) SPRAY POLYURETHANE FOAM
R VALUE	3.7 PER INCH THICKNESS
FLAME SPREAD:	20
SMOKE DEVELOPED:	340
COMBUSTIBILITY:	ASTM E-84 CLASS 1 SYSTEM
AREA(S) PROVIDED:	UNVENTED ROOF ATTIC SPACES (UNDERSIDE OF ROOF) R-30 (8.1")
2.)	ICYNENE MD-C-200 (CLOSED CELL) SPRAY POLYURETHANE FOAM
R VALUE	6.75 PER INCH THICKNESS
FLAME SPREAD:	10
SMOKE DEVELOPED:	350
COMBUSTIBILITY:	ASTM E-84 CLASS A SYSTEM
AREA(S) PROVIDED:	OUTDOOR TERRACES (UNDERSIDE OF DECK) R-30 (4.4")

- ALL NEW ROOF AREAS SHALL BE WATERPROOFED
- All waterproofing to be installed per manufacturer's complete specifications.
 - Contractor responsible for coordination with manufacturer for all systems installed.
 - GC shall be familiar with the specific installation requirements of the waterproofing system.
 - The system to be used shall have a current Miami-Dade County product approval
 - Manufacturer to provide warranty of a minimum of 10 years.
 - Product to be used to be submitted to the architect for approval prior to installation.



ROOF PLAN
SCALE: 1/4" = 1'-0"

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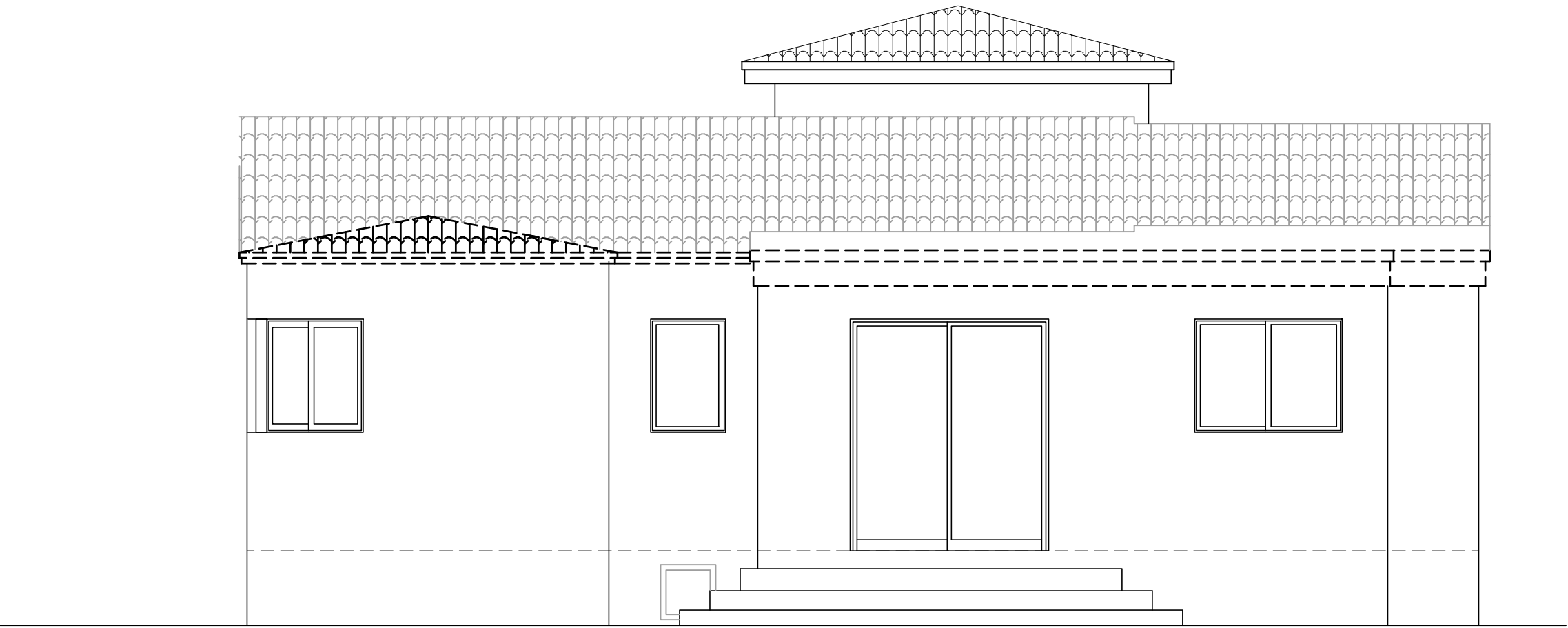
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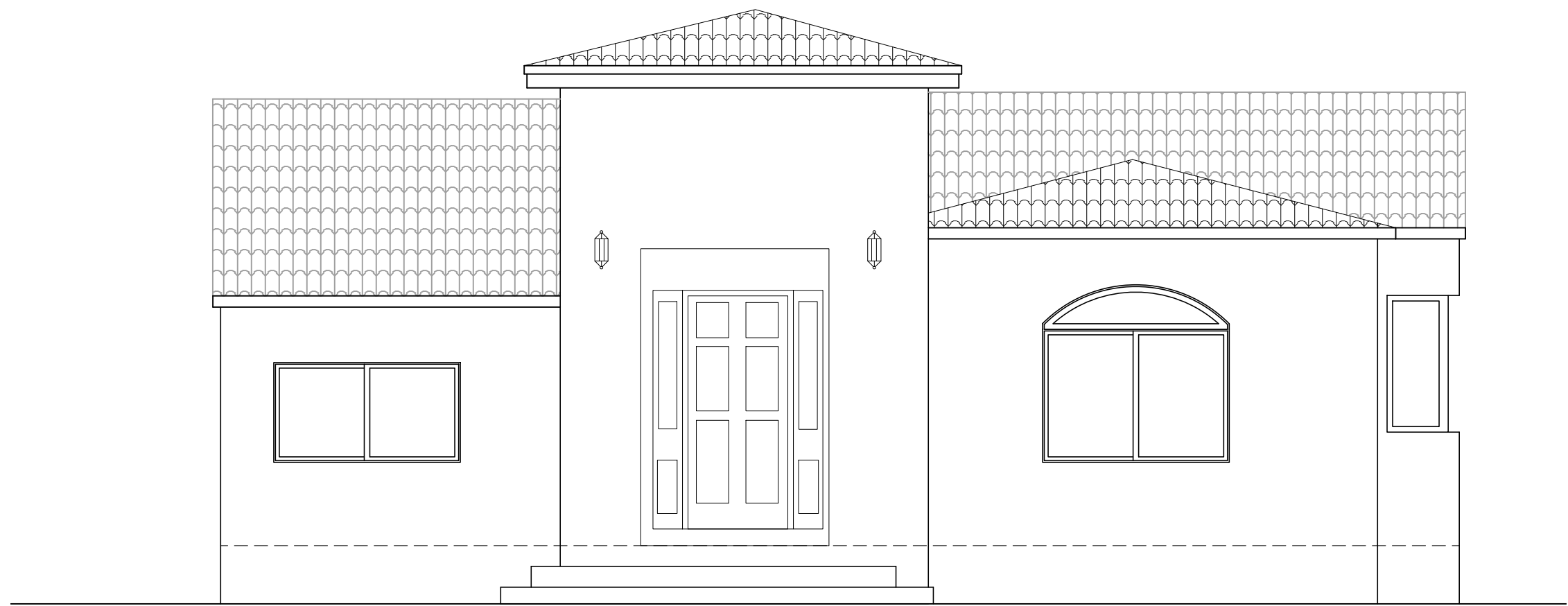
A-2.1

PROPOSED ROOF
PLAN

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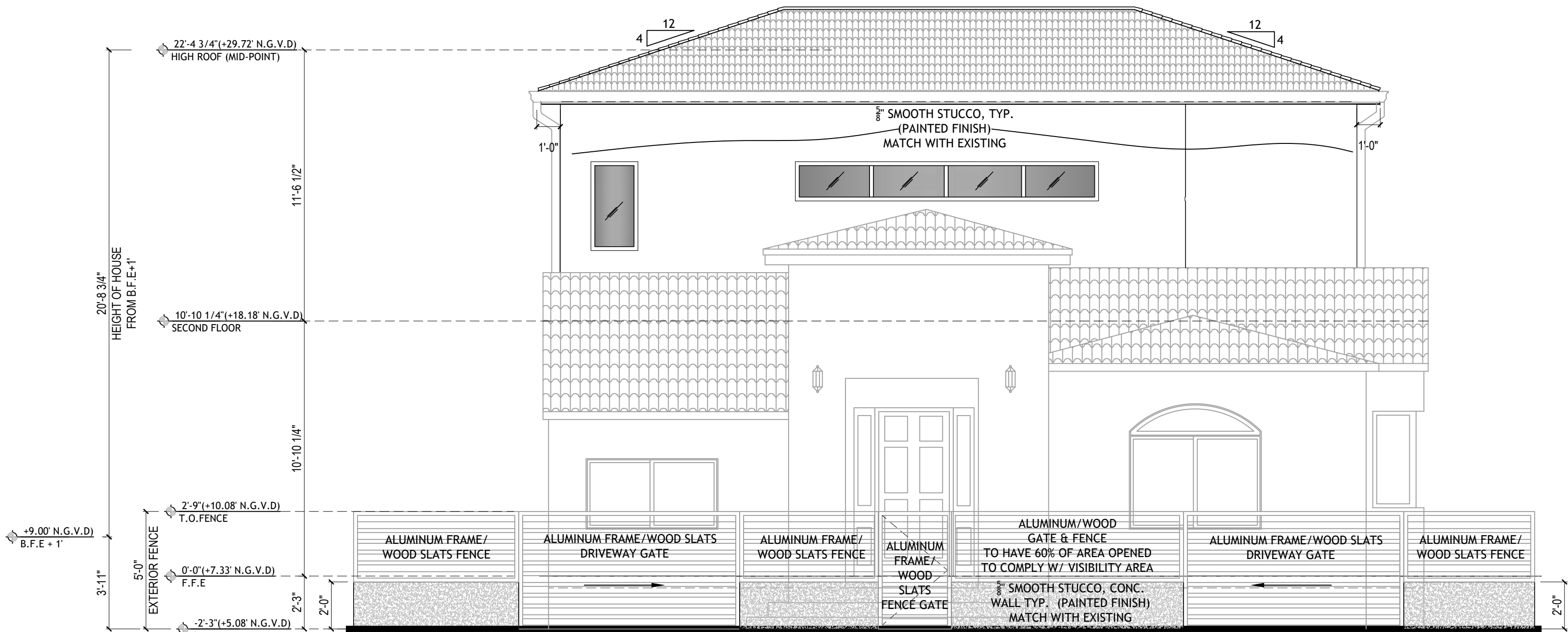
EX. NORTH ELEVATION
SCALE 1/4" = 1'-0



EX. SOUTH ELEVATION
SCALE 1/4" = 1'-0



PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0



PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0

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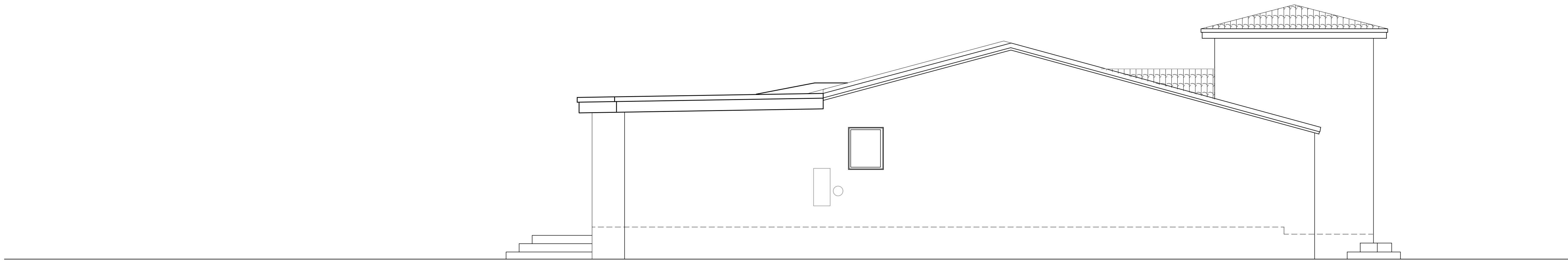
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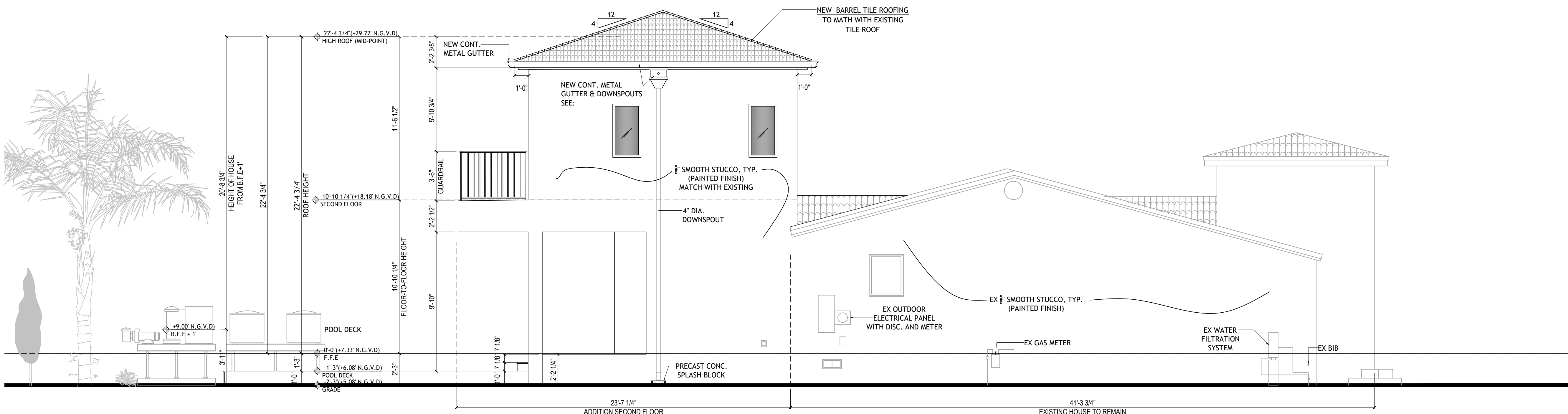
A-3.0

ELEVATIONS

JCM



EX. WEST ELEVATION
SCALE 1/4" = 1'-0



PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0

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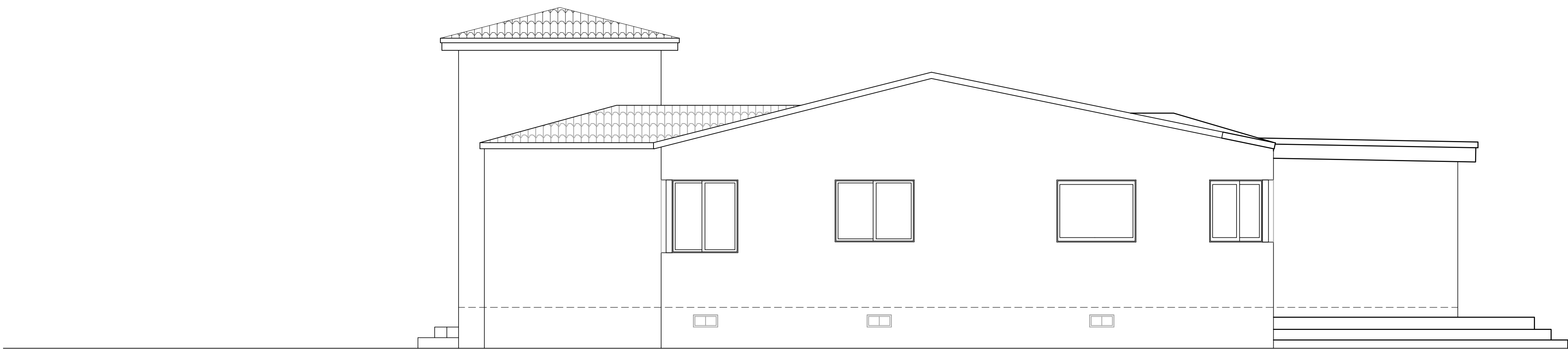
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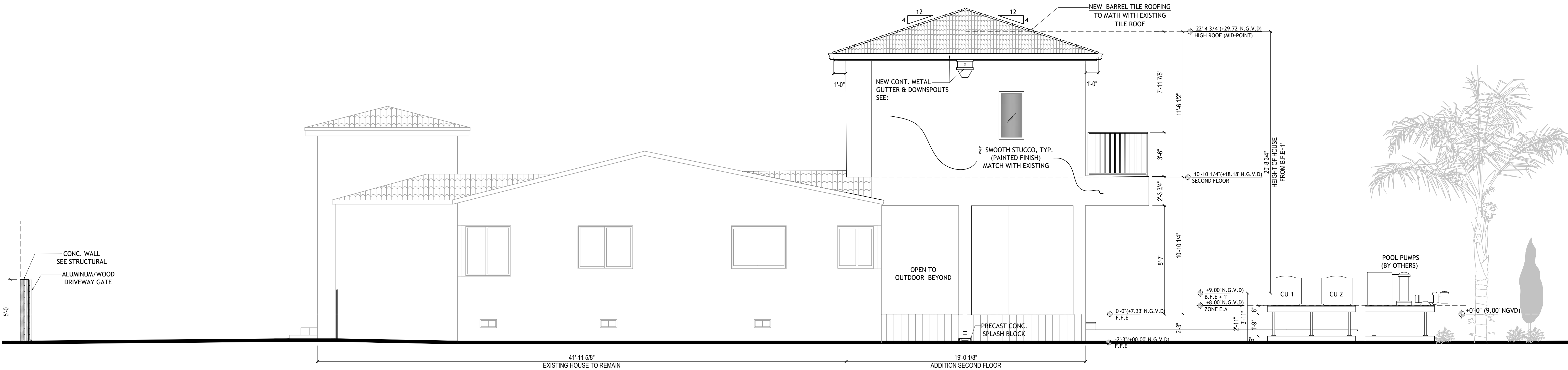
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ELEVATIONS

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EX. EAST ELEVATION
SCALE 1/4" = 1'-0



PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0

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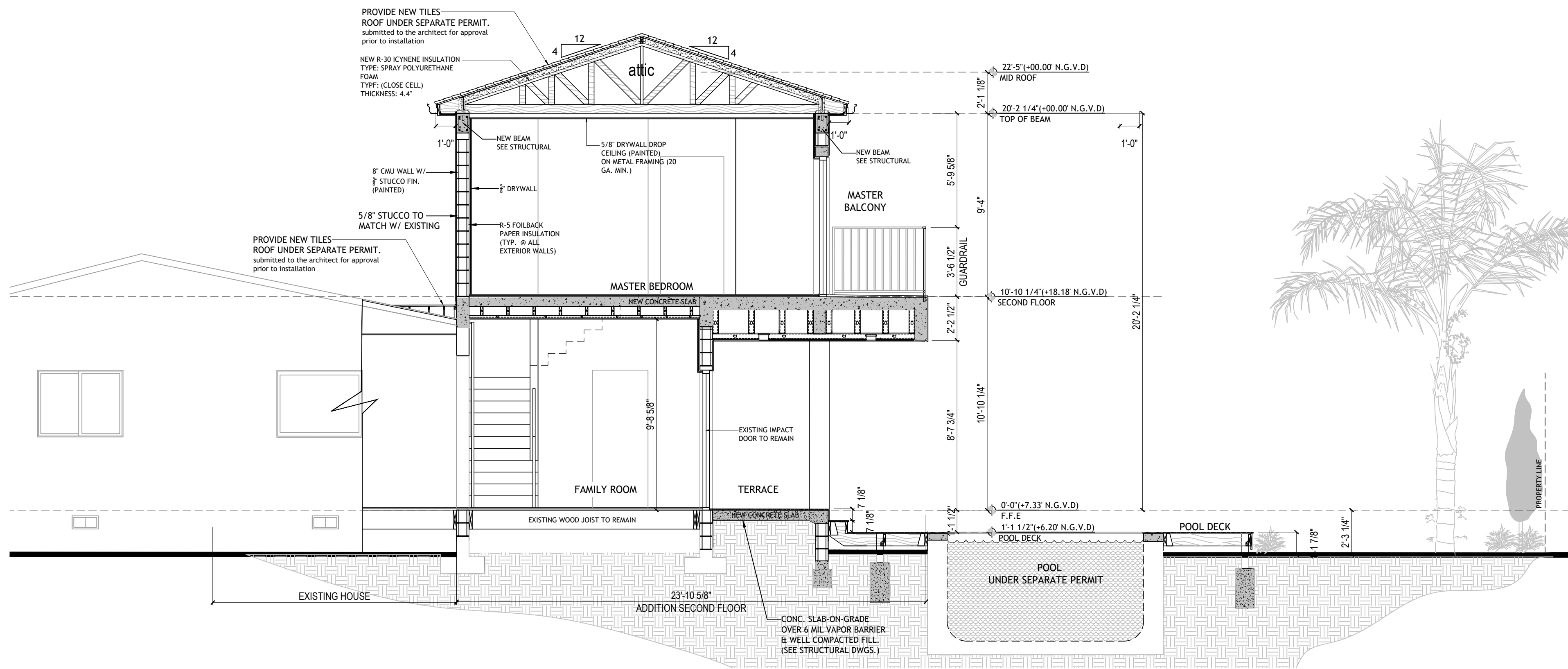
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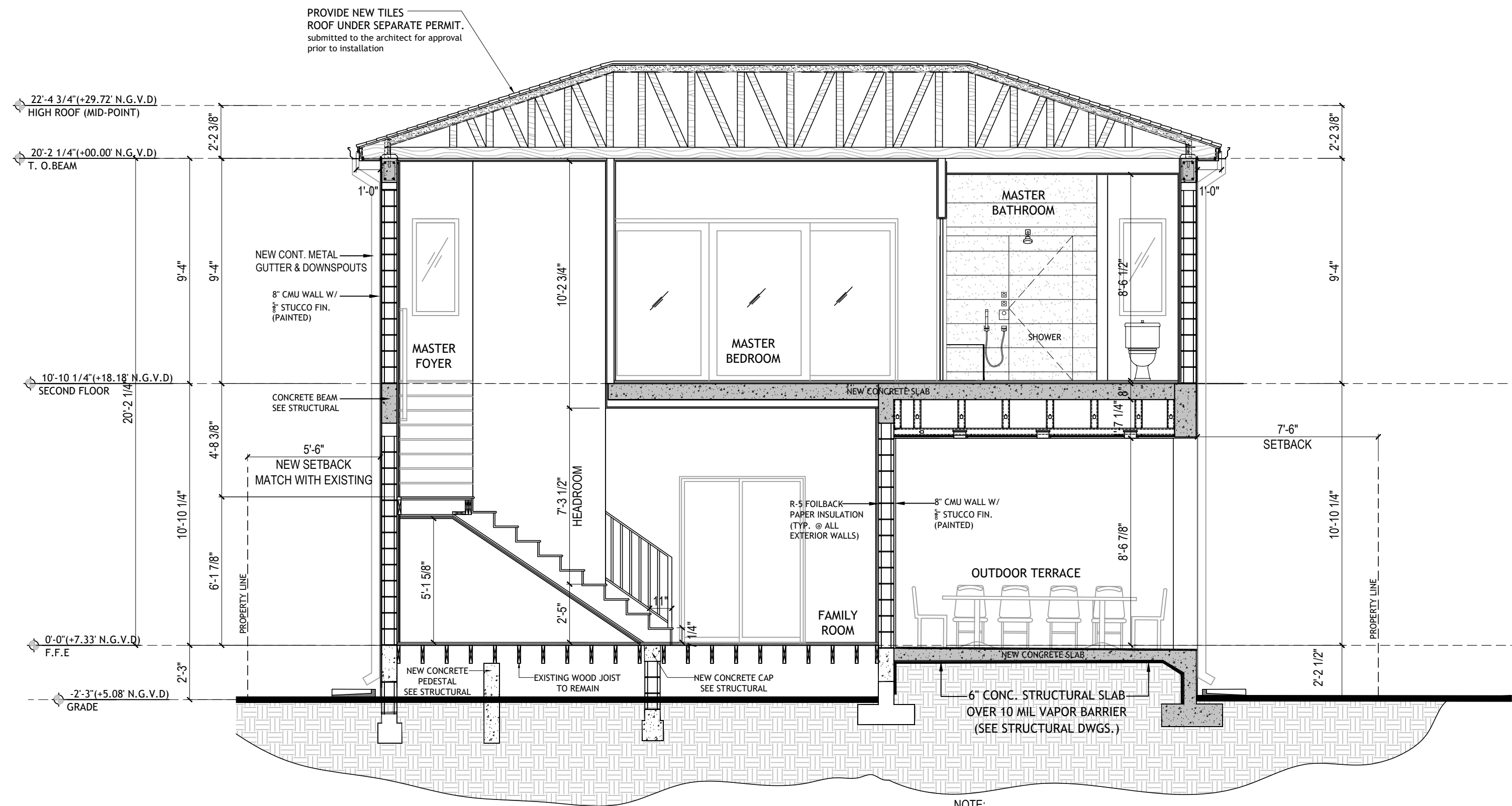
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A-3.2
ELEVATIONS

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SECTION B
SCALE 1/4" = 1'-0"



SECTION A
SCALE 1/4" = 1'-0"

NOTE:
SEE STRUCTURAL DWGS. FOR ALL
FOUNDATIONS / FOOTINGS
(DETAILS, SIZES, & CONFIGURATIONS)

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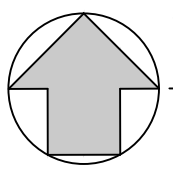
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A-4.0
SECTIONS

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SURROUNDING BUILDINGS CONTEXT MAP

SCALE: N.T.S.

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A-5.0
CONTEXT MAP

JCM



5101W 51 ST



751 W 51 ST



745 W 51 ST



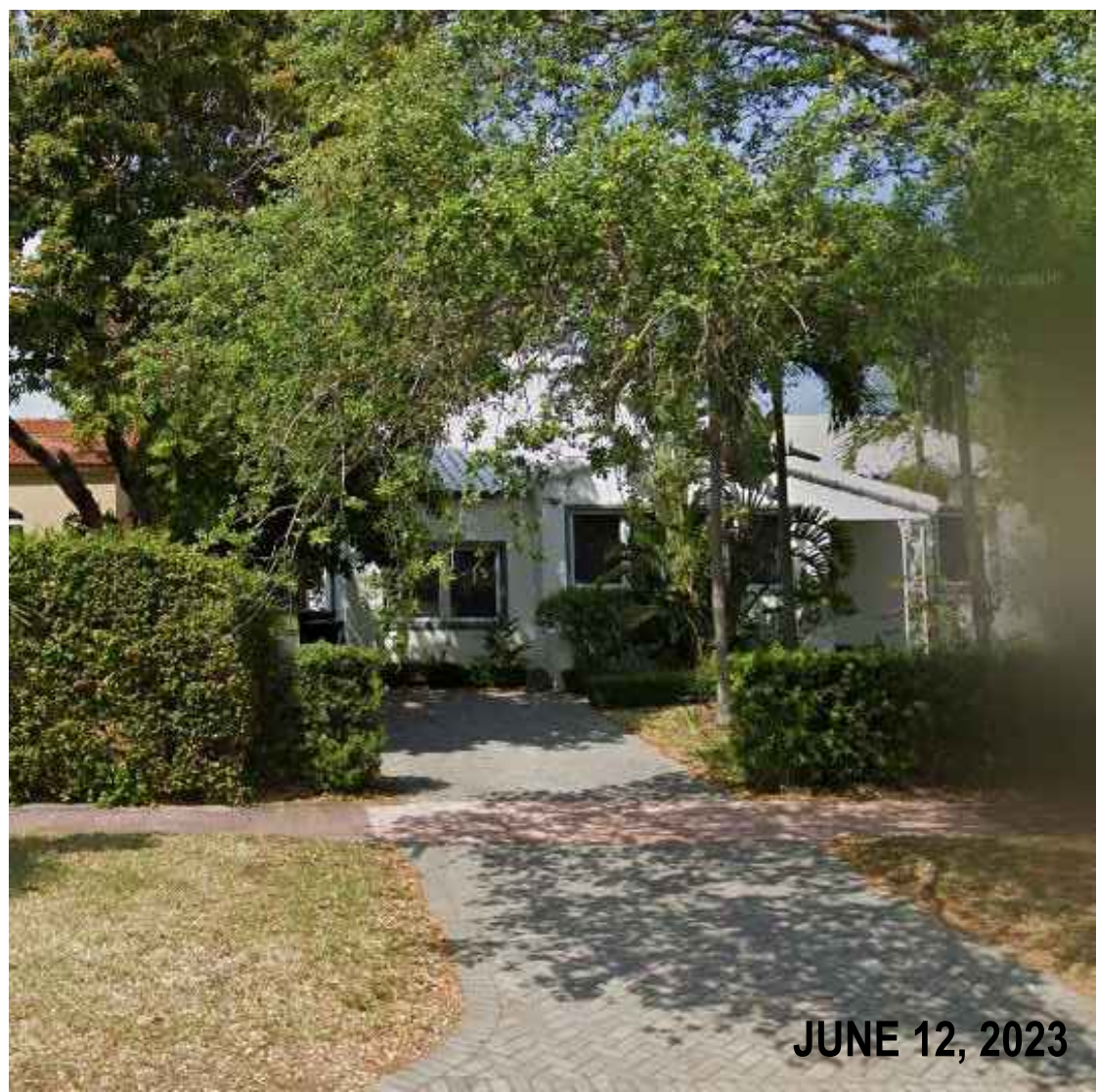
733 W 51 ST



725 W 51 ST



719 W 51 ST



715 W 51 ST

DRAWN BY:
REVISIONS:

AA0003569
ANTHONY LEON
0016752

3
DESIGN
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REMODELING PERMIT
for:
719 W 51st STREET
MIAMI BEACH, FL 33140

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A-5.1
FRONT FACADES
CORNER TO
CORNER

JCM



710 W 51 ST



736 W 51 ST



746 W 51 ST



750 W 51 ST



754 W 51 ST



768 W 51 ST



5035 W 51 ST

CONSTRUCTION DOCUMENTS SET FINAL SUBMITTAL. NOVEMBER 06, 2023

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A-5.2
FRONT FACADES
CORNER TO
CORNER
JCM



VIEW 1



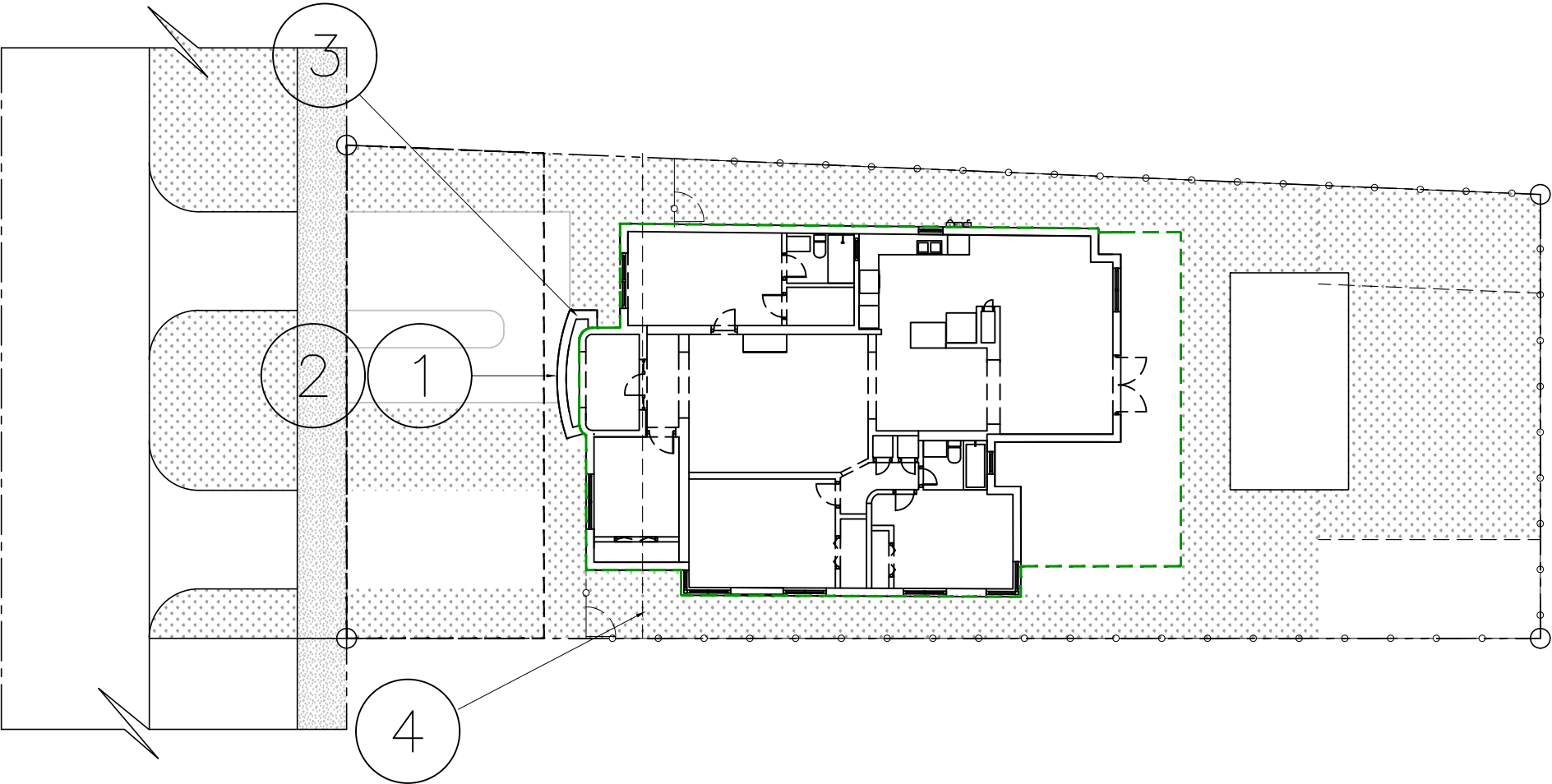
VIEW 2



VIEW 3



VIEW 4



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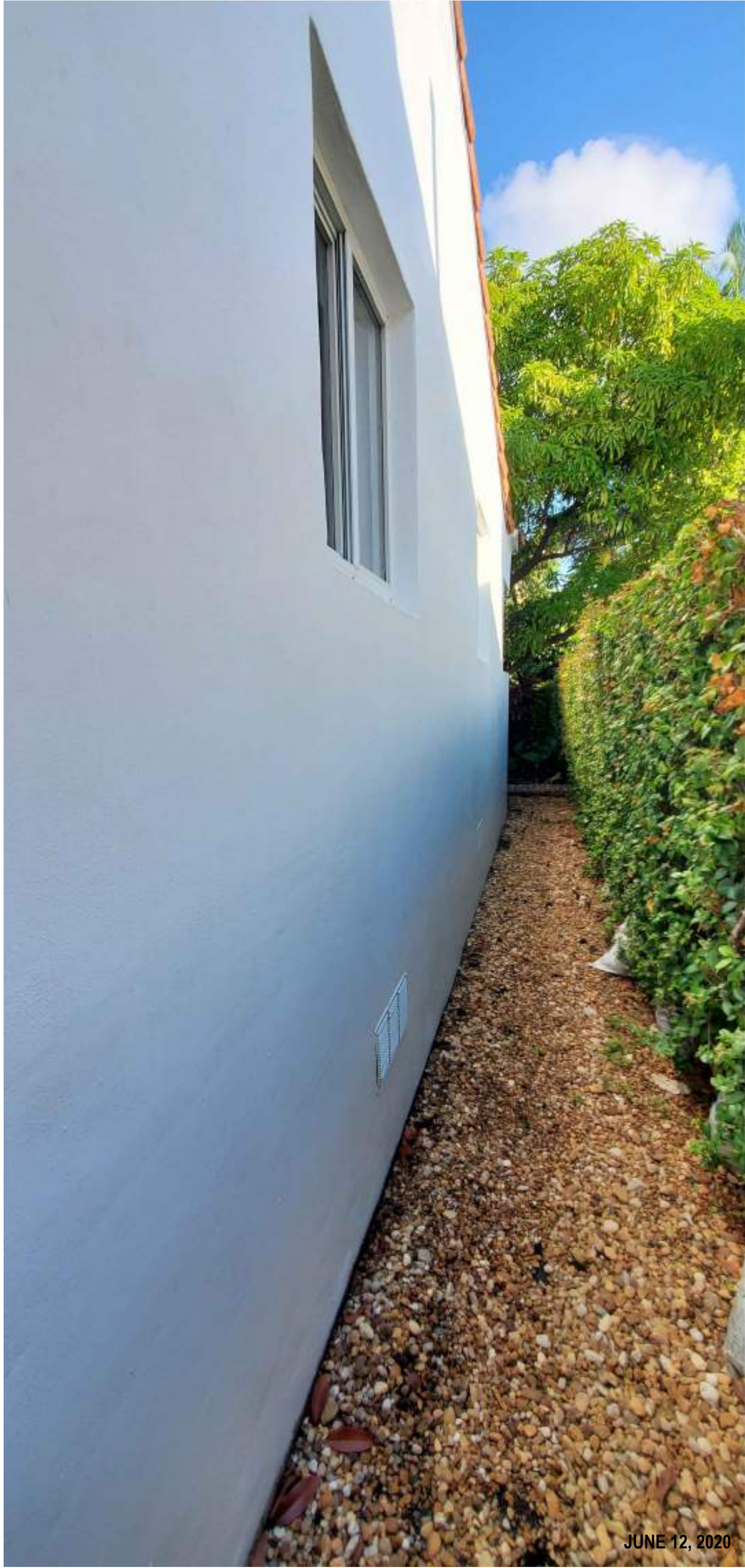
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A-6.0
CURRENT PHOTOS
OUTSIDE

JCM



VIEW 5



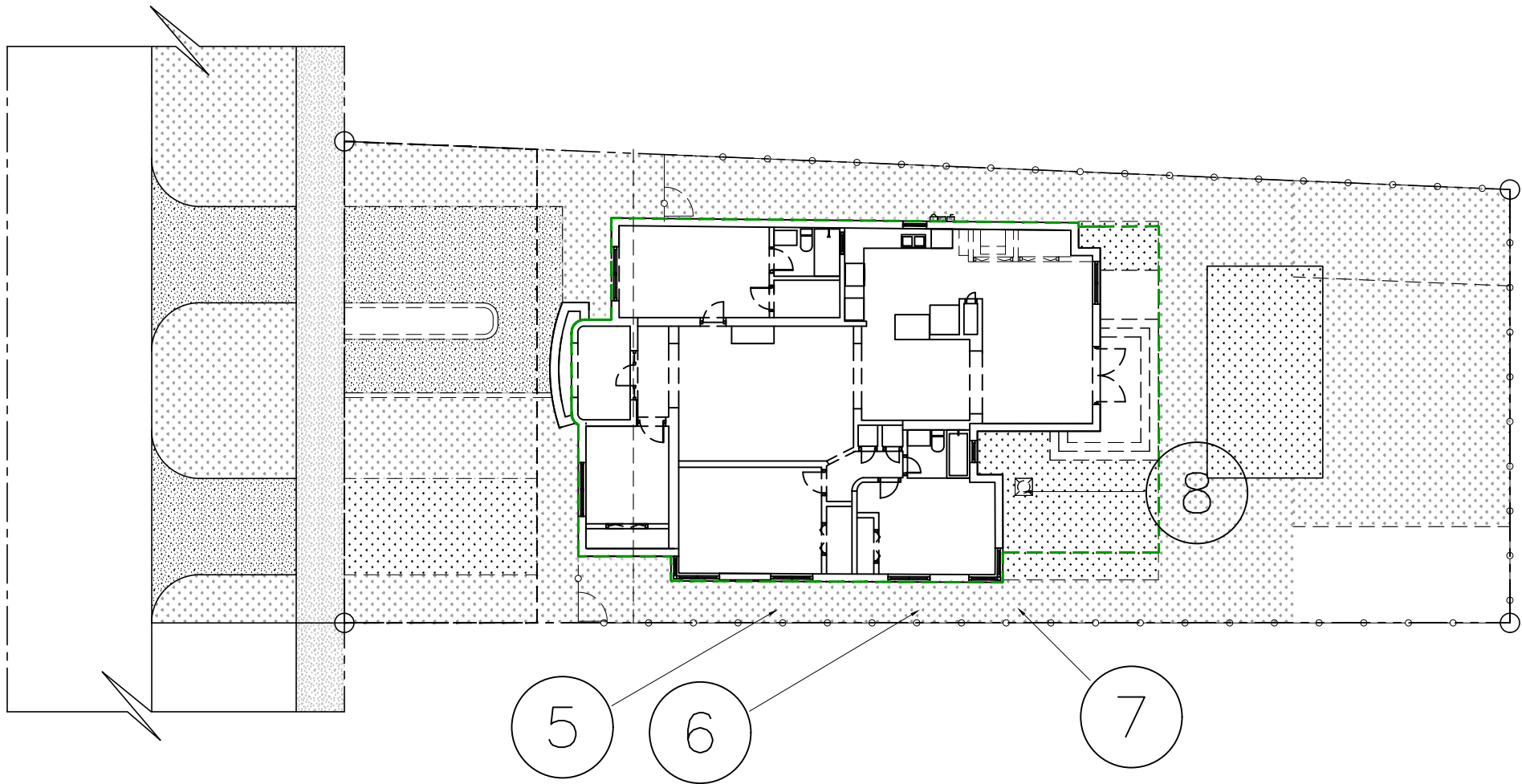
VIEW 6



VIEW 7



VIEW 8



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A-6.1
CURRENT PHOTOS
OUTSIDE

JCM



VIEW 9



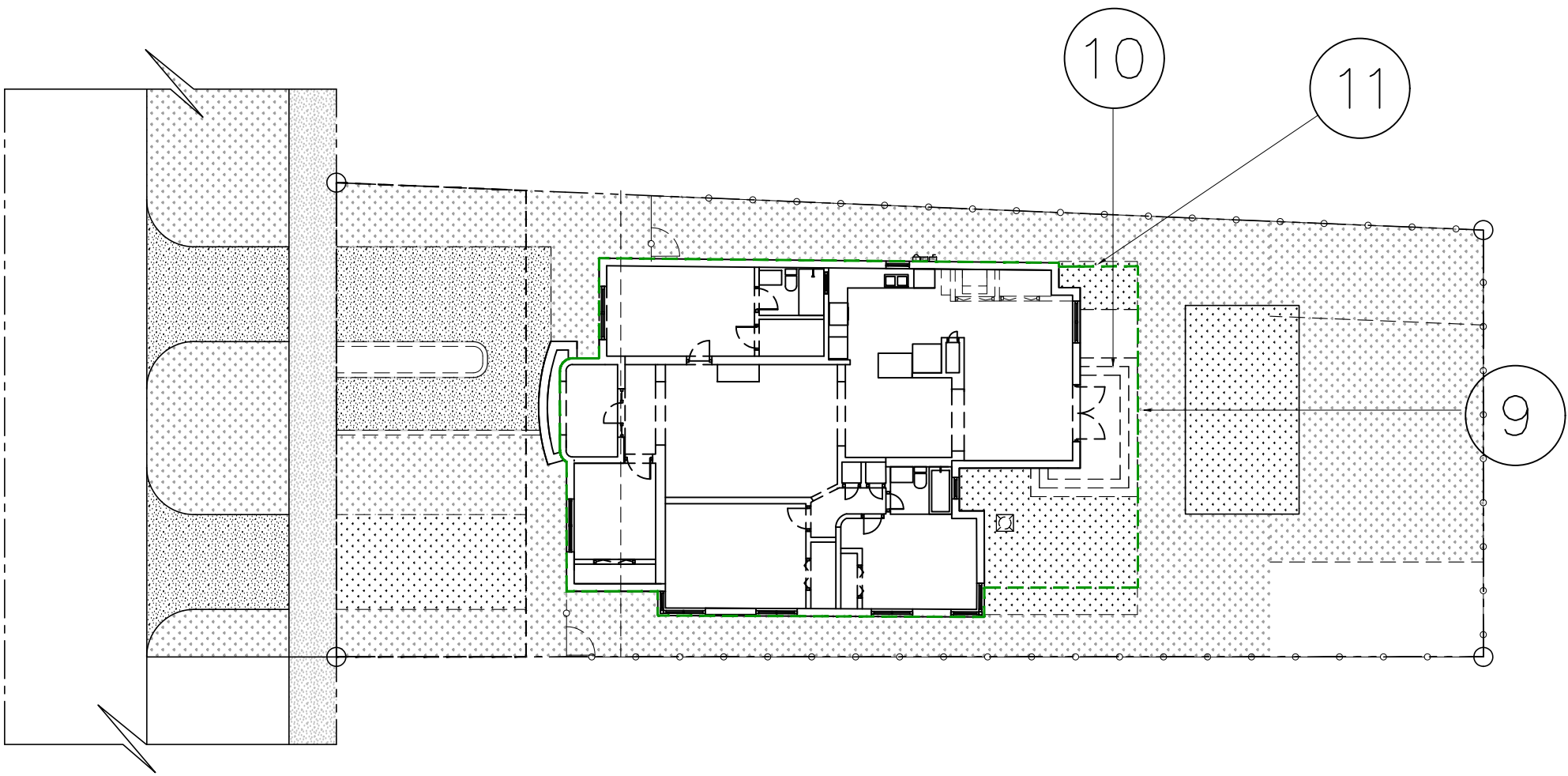
VIEW 10



VIEW 11



VIEW 11



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VIEW 12



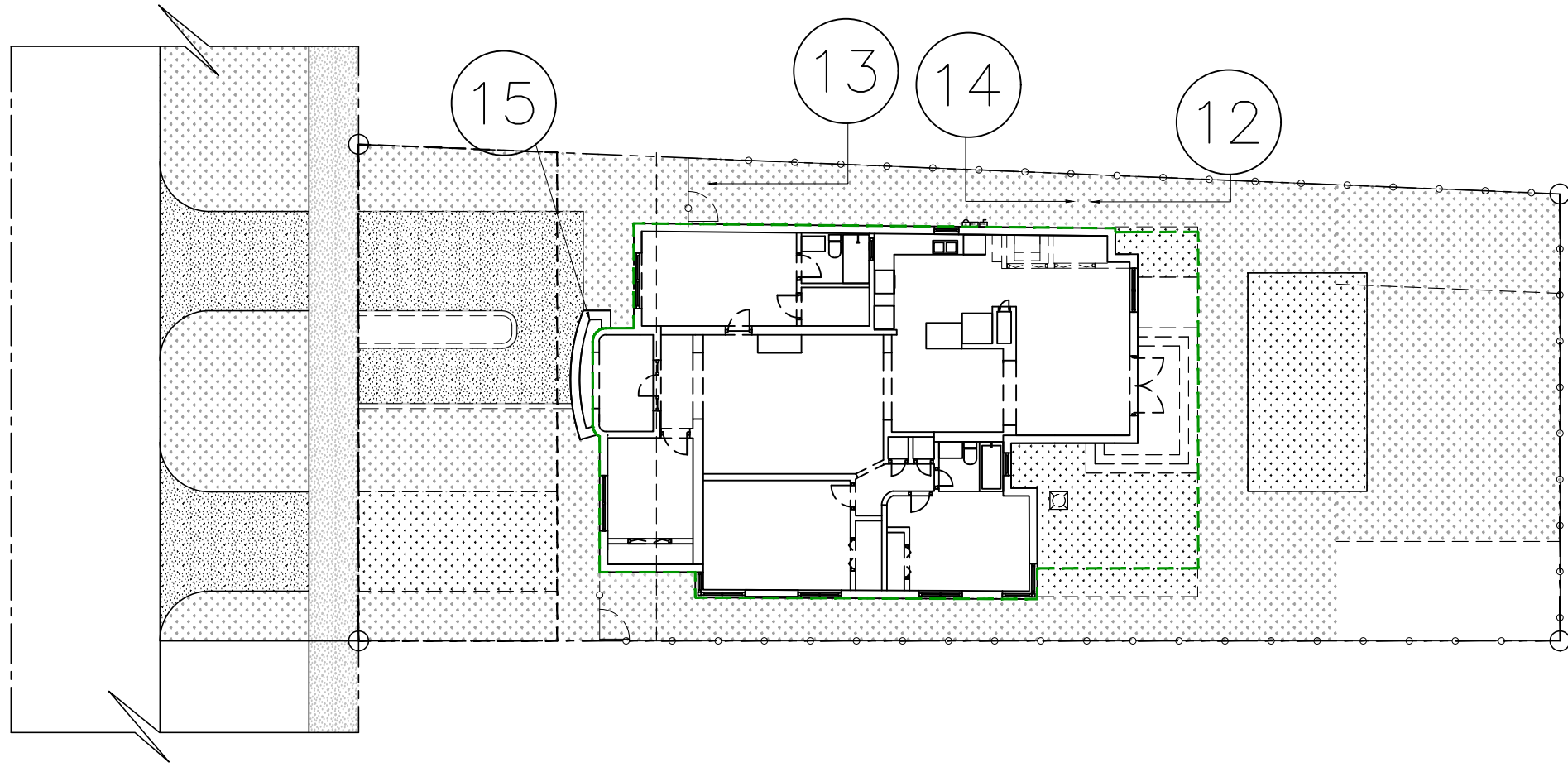
VIEW 13



VIEW 14



VIEW 15



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A-6.3

CURRENT PHOTOS
OUTSIDE

JCM



FRONT VIEW EAST SIDE
SCALE: N.T.S.



REAR VIEW EAST SIDE
SCALE: N.T.S.



FRONT VIEW WEST SIDE
SCALE: N.T.S.



REAR VIEW WEST SIDE
SCALE: N.T.S.

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A-7.0
RENDERINGS

JCM



REAR VIEW
SCALE: N.T.S.



SIDE WEST VIEW
SCALE: N.T.S.



FRONT VIEW
SCALE: N.T.S.



SIDE EAST VIEW
SCALE: N.T.S.

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