

An aerial, black and white photograph of Miami Beach, Florida. The image shows a dense urban landscape with numerous high-rise buildings, including a prominent curved skyscraper on the left. The city extends to the ocean, where a wide beach and waves are visible. The sky is filled with dramatic, cloudy patterns.

HOUSE OF KIRSCHNER

MIAMI BEACH, FLORIDA

NMD | NOMADASTM

PROPOSAL FOR 4410 ALTON RD PROJECT

Nominated ▼

MCHAP

Mies
Crown Hall
Americas
Prize 16/17

"ON" PRIZE
OSCAR NIEMEYER AWARD

BIAU

Iberoamerican Biennale
of Architecture and Urbanism

LATINOAMERICAN
PRIZE
OF ARCHITECTURE
**ROGELIO
SALMONA**



Winner ▼

XIVBA13

Bienal
Internacional de
Arquitectura
de Buenos Aires

- Young Generation Award -

**GERMAN
DESIGN
AWARD
2019**

- Honorable Mention for the Guaparo House -

VIIIBASC
INTERNATIONAL ARCHITECTURE BIENNALE OF SANTA CRUZ 2020

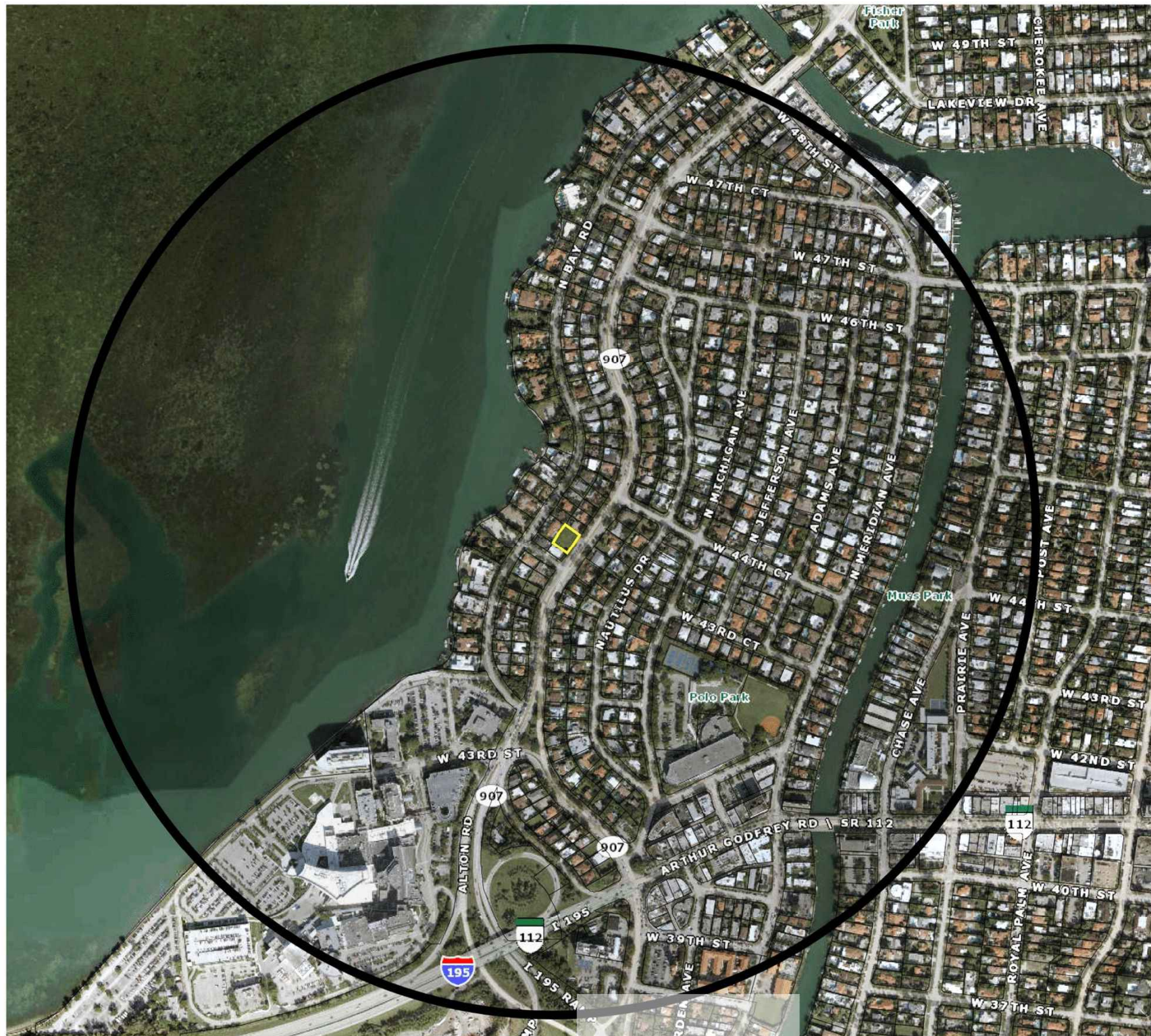
- Honorable Mention for the Guaparo House -

Invited ▼

**14. Mostra
Internazionale
di Architettura**
Eventi collaterali

HOUSE OF KIRSCHNER

LOCATION



HOUSE OF KIRSCHNER

LOT PHOTOGRAPHS



1 VIEW 1
A005



2 VIEW 2
A005



3 VIEW 3
A005



4 VIEW 4
A005



KEY DIRECTIONAL PLAN



HOUSE OF KIRSCHNER

LOT PHOTOGRAPHS



1 VIEW 1
A006



2 VIEW 2
A006



3 VIEW 3
A006



4 VIEW 4
A006



KEY DIRECTIONAL PLAN



HOUSE OF KIRSCHNER

LOT PHOTOGRAPHS



1 VIEW 1
A007



2 VIEW 2
A007



3 VIEW 3
A007



4 VIEW 4
A007



KEY DIRECTIONAL PLAN



HOUSE OF KIRSCHNER

LOT PHOTOGRAPHS



1
A008 VIEW 1



2
A008 VIEW 2



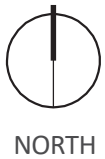
3
A008 VIEW 3



4
A008 VIEW 4



KEY DIRECTIONAL PLAN



HOUSE OF KIRSCHNER

LOT PHOTOGRAPHS



1 VIEW 1
A009



2 VIEW 2
A009



3 VIEW 3
A009



KEY DIRECTIONAL PLAN



HOUSE OF KIRSCHNER

LOT PHOTOGRAPHS



1
A010 VIEW 1



2
A010 VIEW 2



3
A010 VIEW 3



2
A010 VIEW 2



KEY DIRECTIONAL PLAN







HOUSE OF KIRSCHNER





HOUSE OF KIRSCHNER



HOUSE OF KIRSCHNER

HOUSE OF KIRSCHNER



HOUSE OF KIRSCHNER

LOT
13
BLOCK
5

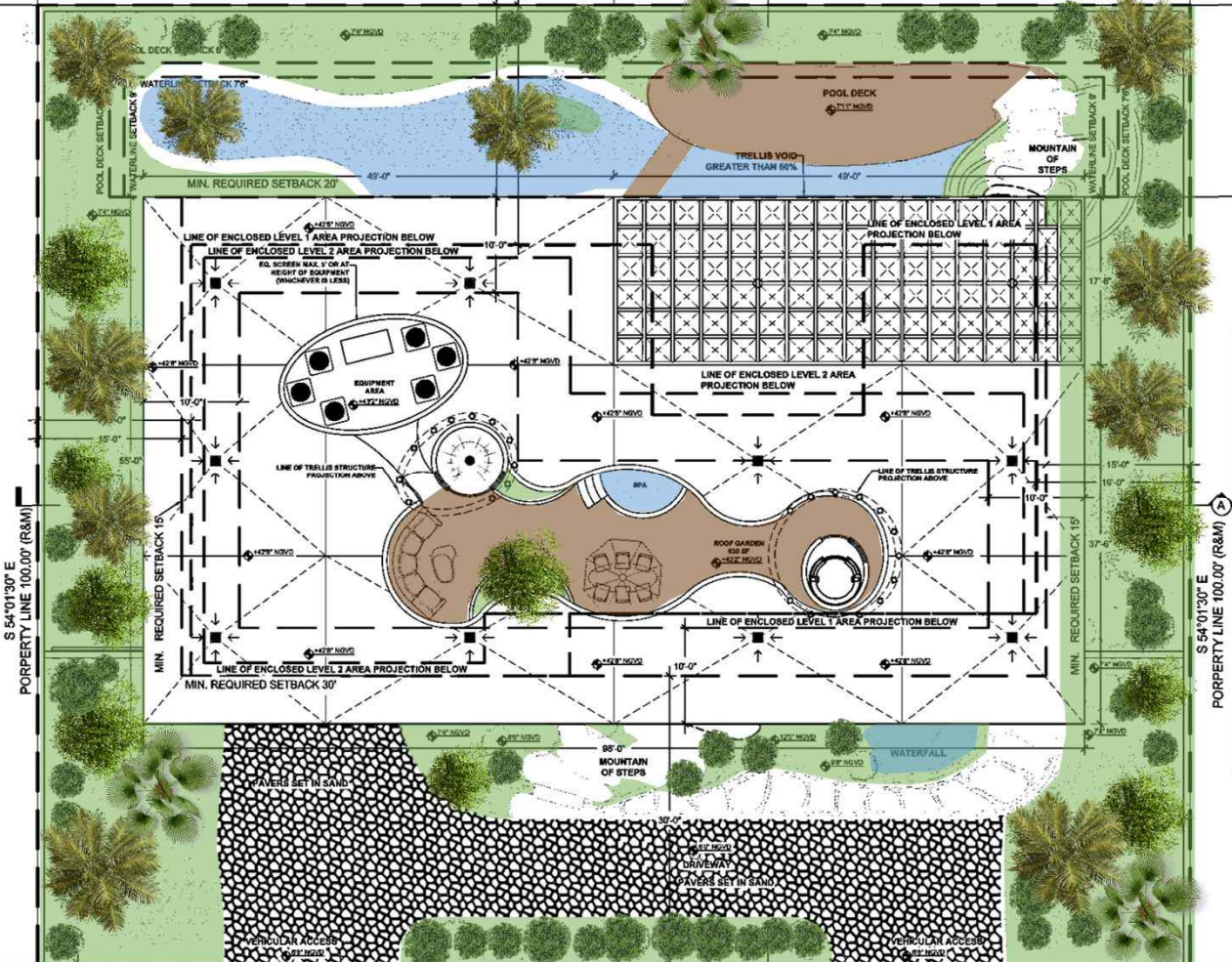
LOT
12
BLOCK
5

LOT
11
BLOCK
5

LOT
10
BLOCK
5

LOT
14
BLOCK
5

LOT
17
BLOCK
5



ALTON RD
100' RIGHT-OF-WAY (BY PLAT)
29± ASPHALT PAVEMENT
ALTON RD

CENTER OF RIGHT-OF-WAY

- MATERIALS LEGEND:
- WHITE BRAZILIAN PEDRA PORTUGUESA SET ON SAND.
 - LIGHT GREY BRAZILIAN PEDRA PORTUGUESA SET ON SAND.

HOUSE OF KIRSCHNER

SITE PLAN

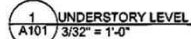
1 SITE PLAN
A100 1/16" = 1'-0"

ZONING ANALYSIS			
PROJECT NAME	ALTON RD		
LOCATION	4410 ALTON RD, MIAMI BEACH, FL 33140		
APPLICABLE ZONE	RS-4		
FEMA ZONE	ZONE AE (Moderate to High Flooding Risk) & N.G.V.D. FT		
UNIT SIZE (MAX)(50% OF LOT AREA)	6,000	6,000 (50%)	SOFT
LOT AREA (MIN)	6,000	12,000	SOFT
LOT WIDTH (MIN)		120	FT
LOT DEPTH (MIN)		120	FT
LOT COVERAGE FOR A 2-STORY HOME (MAX)(50% OF LOT AREA)	3,600	3,600 (50%)	SOFT
HEIGHTS			
BUILDING HEIGHT SLOPED ROOFS WITH UNDERSTORY (MAX)	34	27.16	FT
SETBACKS			
FRONT TWO-STORY STRUCTURES (MIN)	30	30	FT
SIDE, INTERIOR LOT GREATER THAN 65FT WIDTH (MIN) (THE SUM OF REQUIRED SIDE YARDS SHALL BE MIN. 25% OF LOT WIDTH)	15	16	FT
REAR (MIN) (10% OF LOT DEPTH / 20FT MIN)	20	25	FT
ELEVATIONS			
MAX. YARD ELEVATION	8	7.33	NA (V.D. FTING V.D. FT)
ROOF DECKS			
MAX. AREA	25%	630 (24.9%)	SOFT
MIN. SETBACK	10	10	FT
HEIGHT EXCEPTIONS ABOVE THE ROOFLINE	10	10	FT
MAX. HEIGHT	10	10	FT
OPEN SPACES (SHOULDER OR LANDSCAPING PERVIOUS)			
FRONT YARD MIN.	50%	2393 (66.45%)	SOFT
REAR YARD MIN.	70%	1833 (76.0%)	SOFT



NOMADAS

UNDERSTORY LEVEL

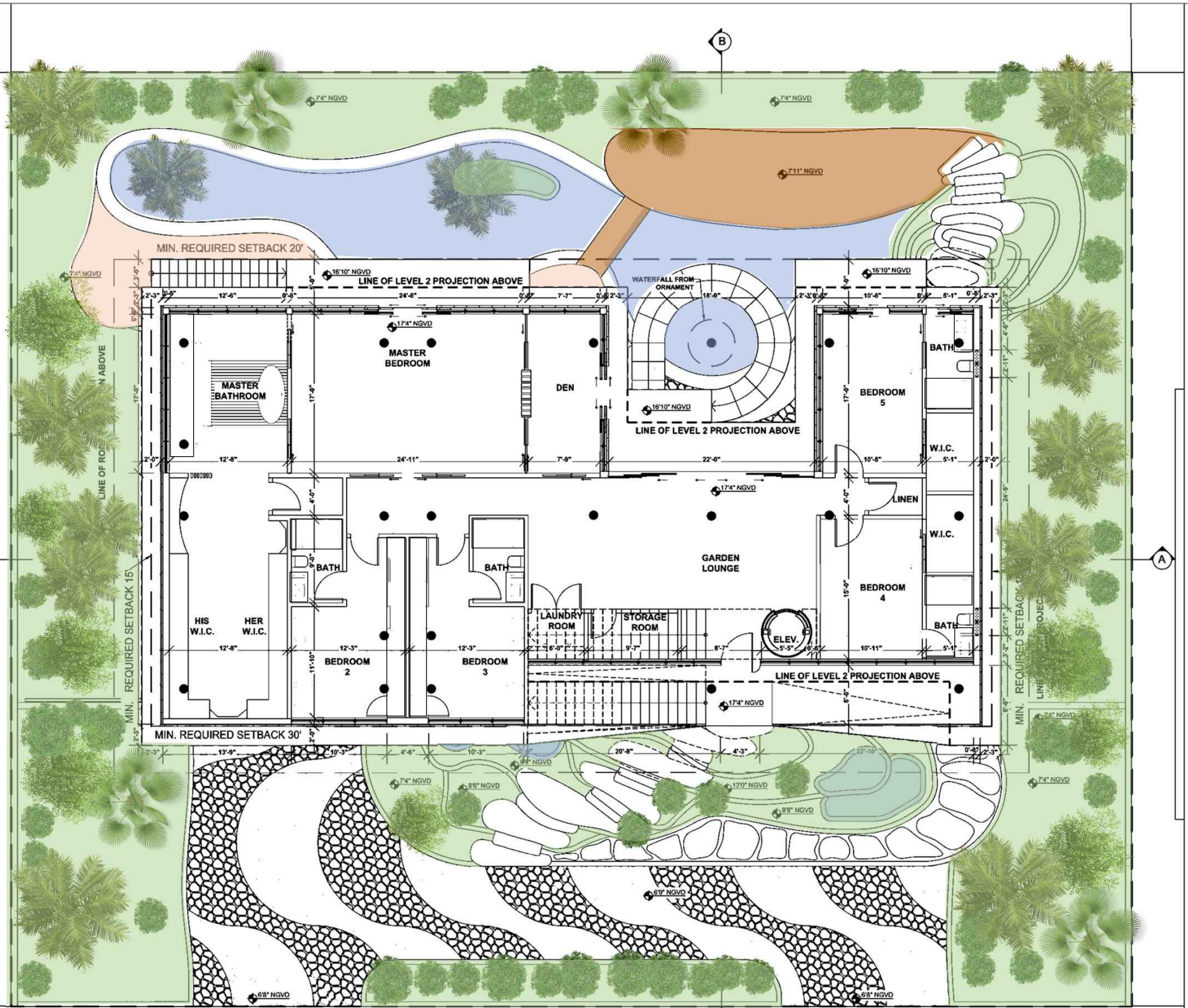


NORTH

NMD | NOMADAS™

HOUSE OF KIRSCHNER

LEVEL 1

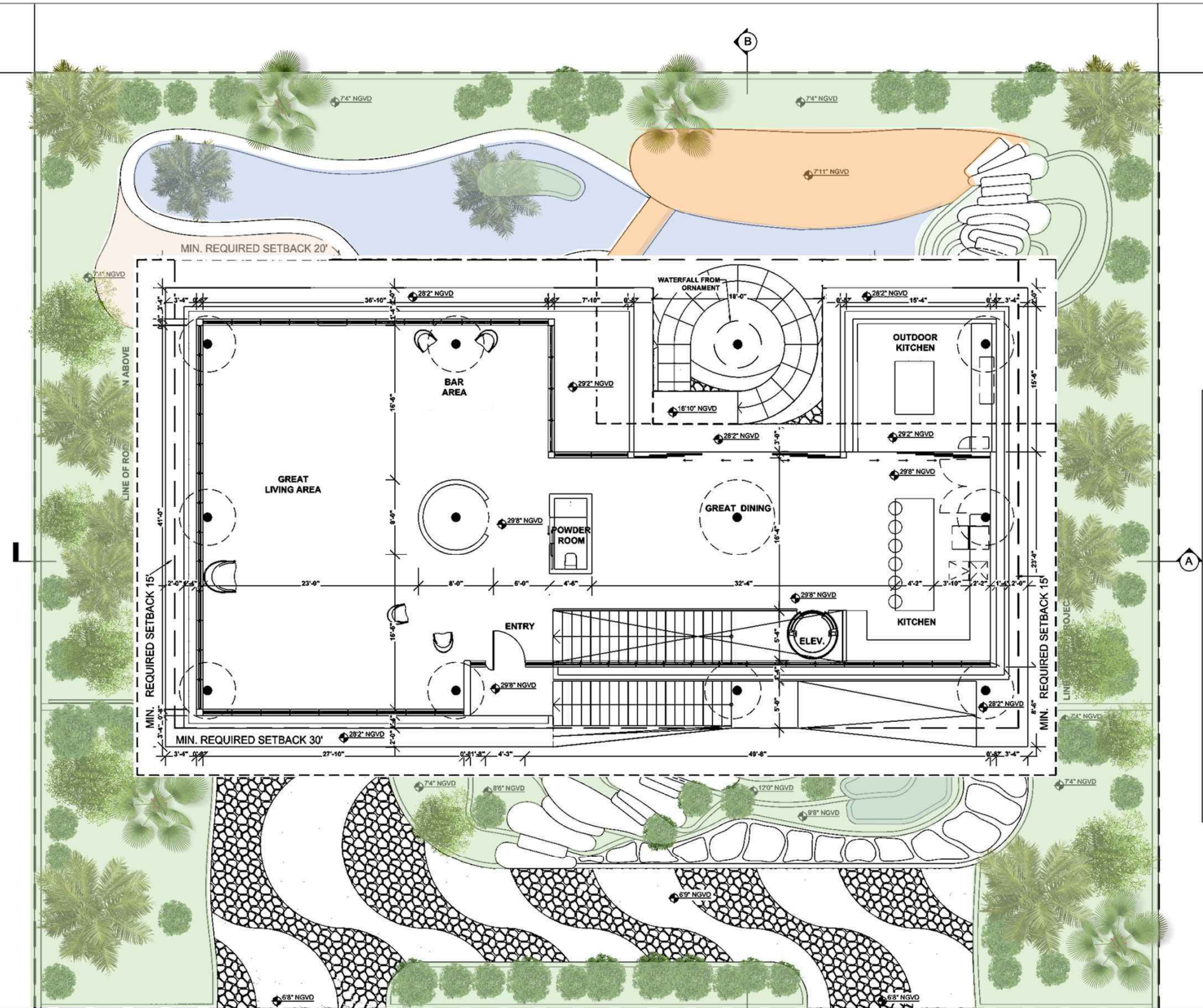


1 LEVEL 1
A102 3/32" = 1'-0"



HOUSE OF KIRSCHNER

LEVEL 2



$$\frac{1}{A102} \text{ LEVEL 1} \\ \frac{3}{32"} = 1'-0"$$

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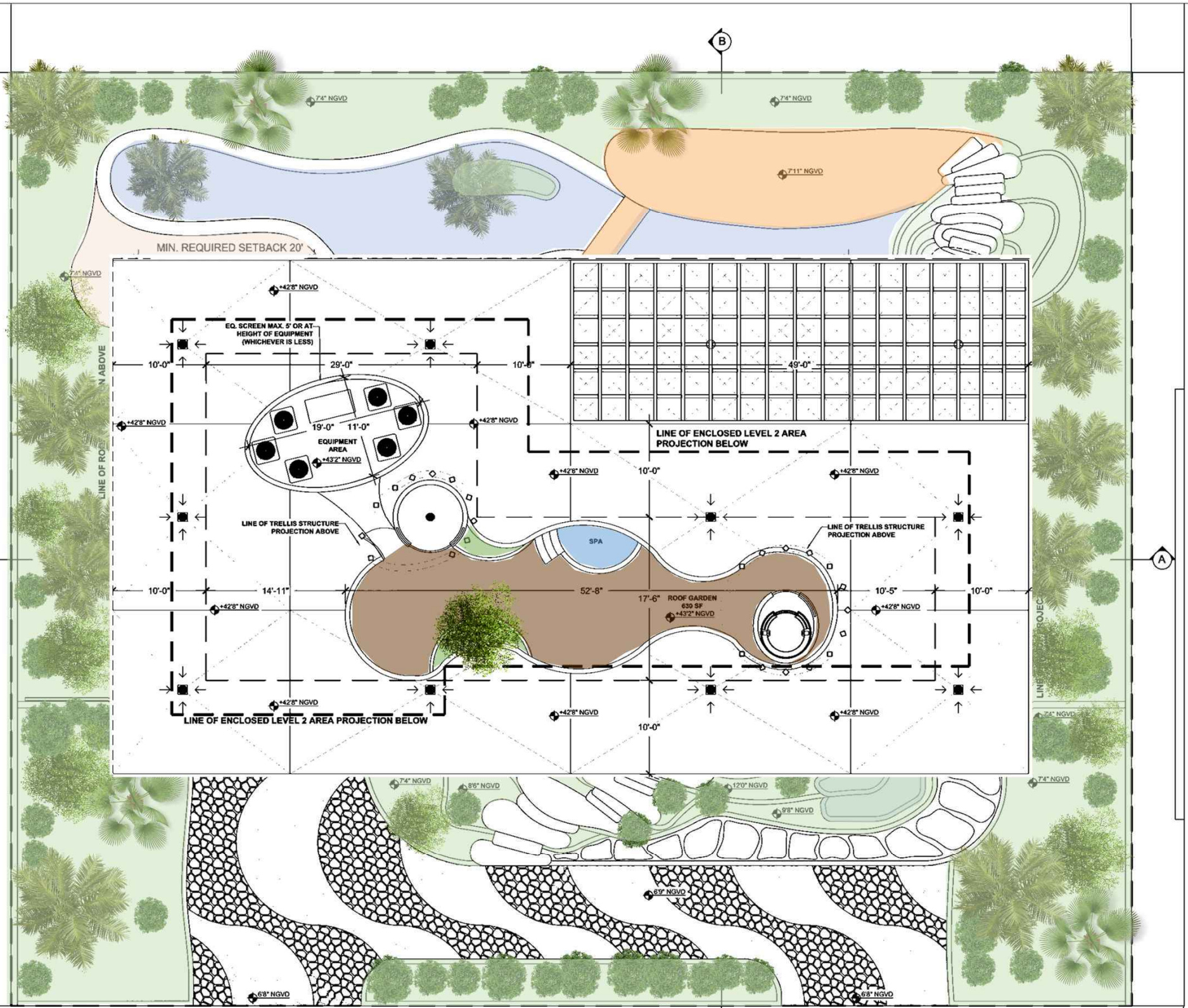


NORTH

NMD | NOMADAS™

HOUSE OF KIRSCHNER

ROOF LEVEL

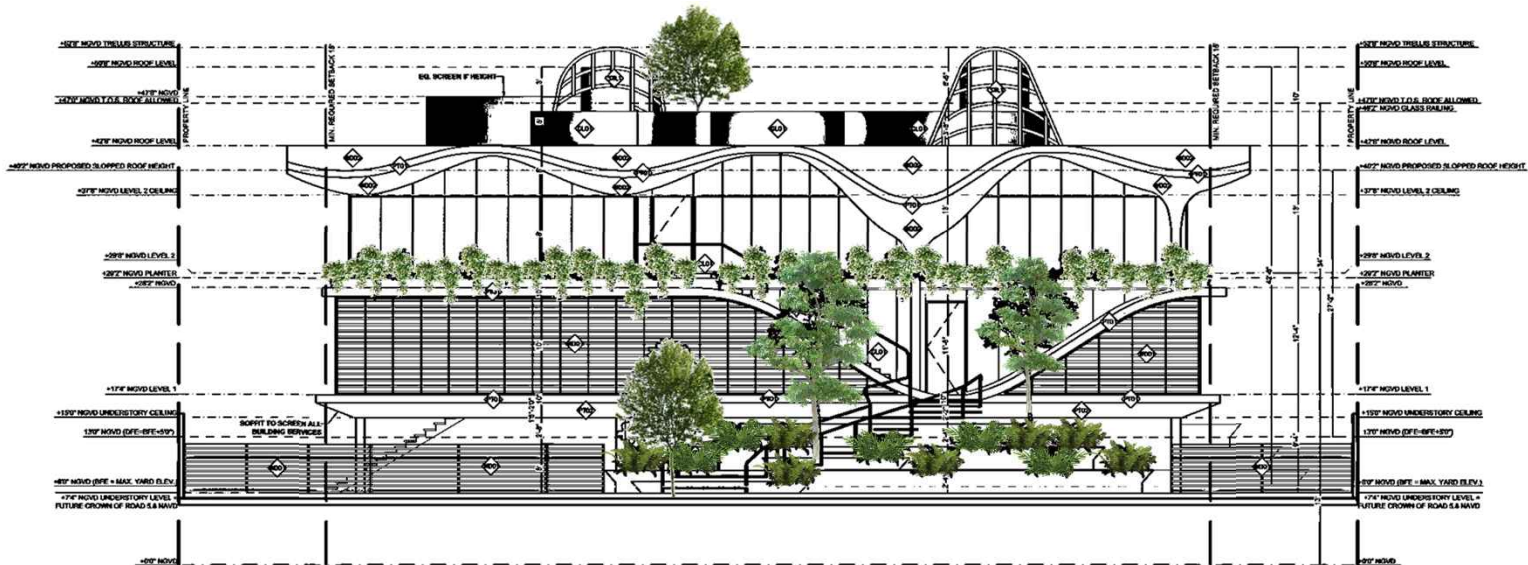


1 ROOF LEVEL
A104 3/32" = 1'-0"

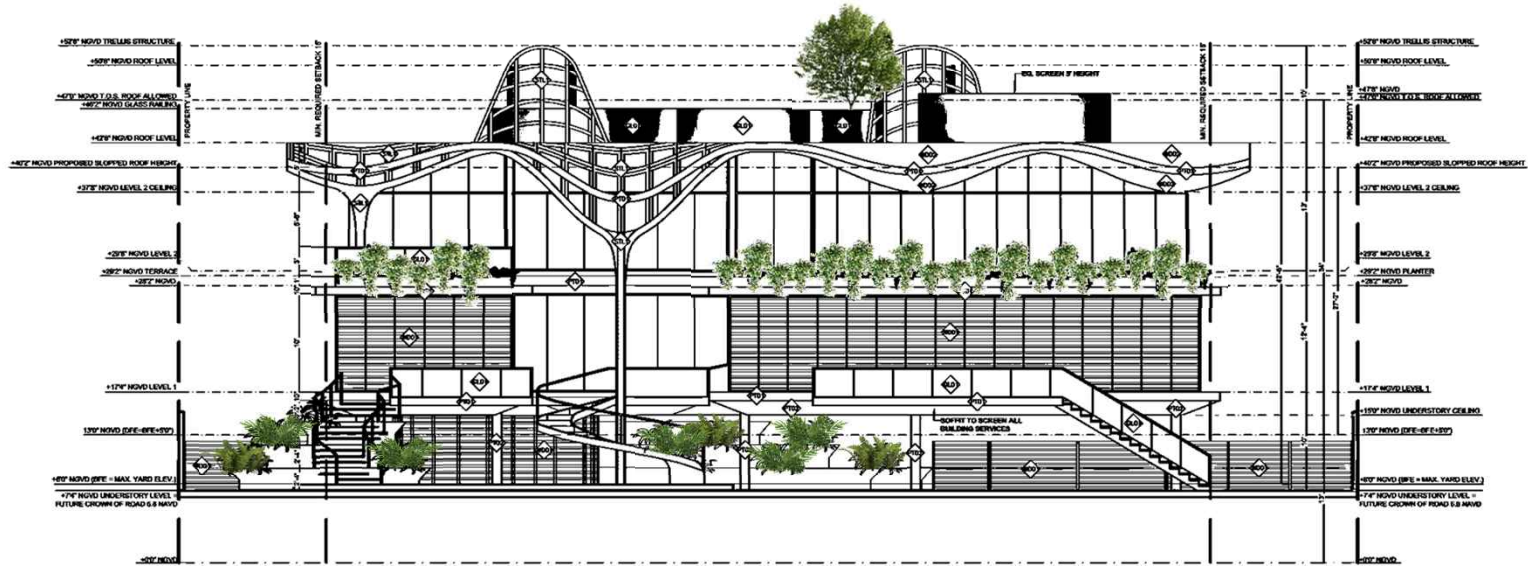


HOUSE OF KIRSCHNER

EXTERIOR ELEVATIONS



1 SOUTHEAST EXTERIOR ELEVATION
1/16" = 1'-0"



2 NORTHWEST EXTERIOR ELEVATION
1/16" = 1'-0"

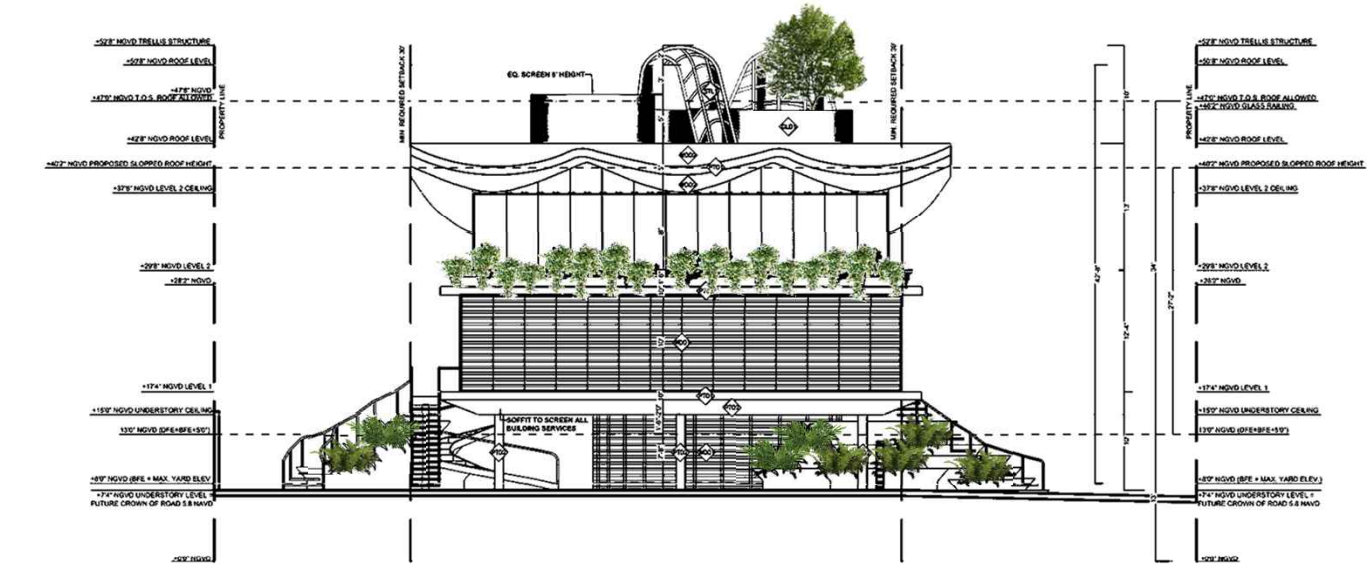
MATERIALS LEGEND:

- PTO1** STUCCO
Color: WHITE
Flat finish
- PTO2** STUCCO
Color: DARK BROWN
Flat finish
- WDO1** ACCOYA WOOD SIDING
Color: NATURAL WOOD STAIN
Style: rainscreen siding
- WDO2** CUSTOM THIN PHENOLIC PANELS WITH SIMULATED WOOD FINISH OVER PVC SLEEPERS
- GL01** GLASS BALCONY GUARDRAILS
TEMPERED CLEAR GLASS
- STL1** STEEL STRUCTURE
PAINTED
Color: TBD

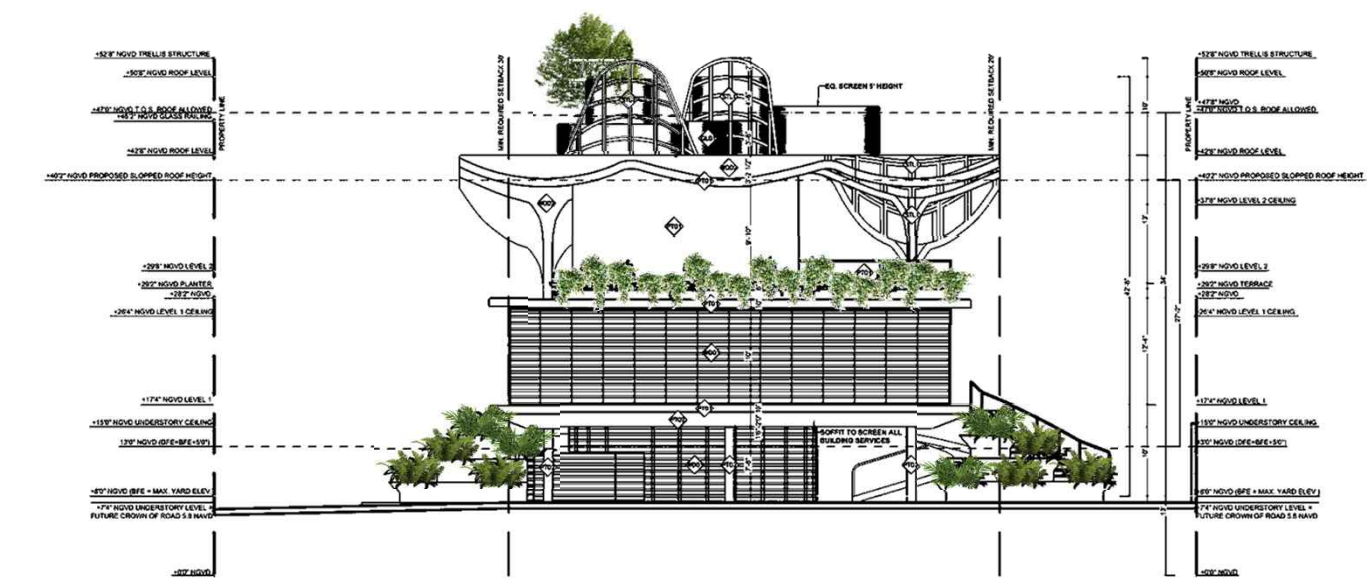
NOTE:
1. PRELIMINARY FINISHES BASED ON THE CONCEPTUAL IDEA BY NMD/NOMADAS. THESE FINISHES MAY VARY DURING THE CURRENT OR FUTURE DESIGN PHASES OF THIS PROJECT.

HOUSE OF KIRSCHNER

EXTERIOR ELEVATIONS



1 SOUTHWEST EXTERIOR ELEVATION
1/16" = 1'-0"

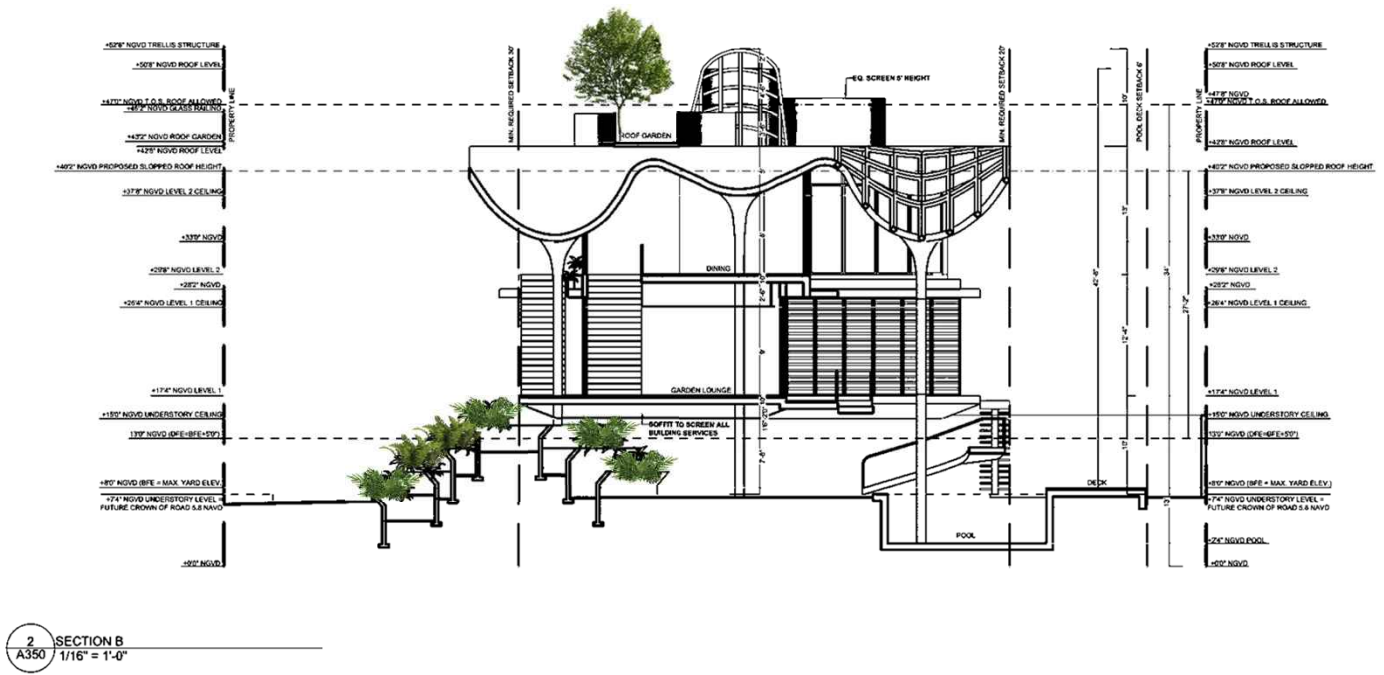


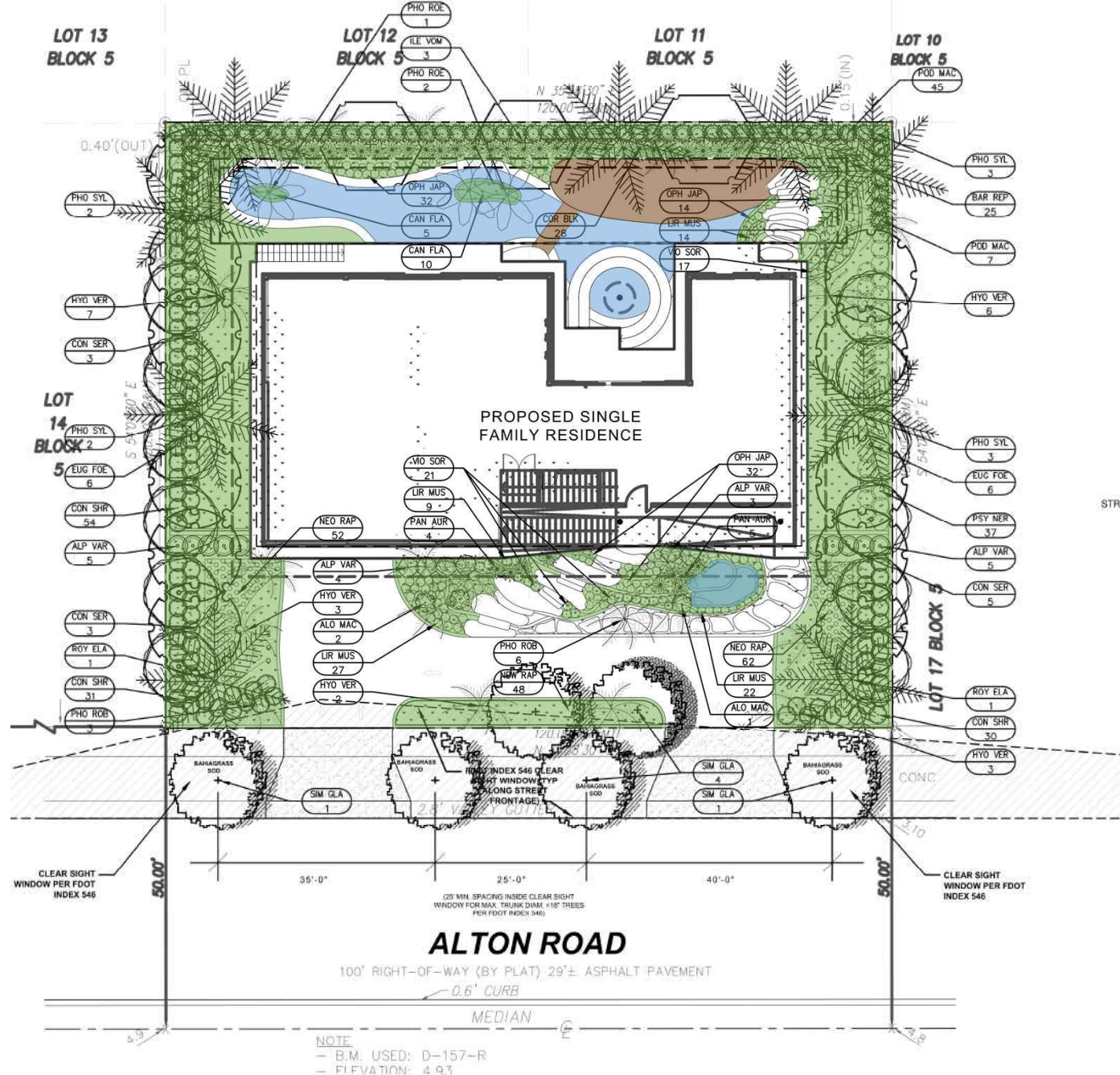
2 NORTHEAST EXTERIOR ELEVATION
1/16" = 1'-0"

MATERIALS LEGEND:	
	STUCCO Color: WHITE Flat finish
	STUCCO Color: DARK BROWN Flat finish
	ACCOYA WOOD SIDING Color: NATURAL WOOD STAIN Style: rainscreen siding
	CUSTOM THIN PHENOLIC PANELS WITH SIMULATED WOOD FINISH OVER PVC SLEEPERS
	GLASS BALCONY GUARDRAILS TEMPERED CLEAR GLASS
	STEEL STRUCTURE PAINTED Color: TBD

NOTE:
1. PRELIMINARY FINISHES BASED ON THE CONCEPTUAL
IDEA BY NMD/NOMADAS. THESE FINISHES MAY VARY
DURING THE CURRENT OR FUTURE DESIGN PHASES OF
THIS PROJECT.

SECTIONS





LANDSCAPE TABULAR DATA CODE CHART

REGULATING DOCUMENT: CITY OF MIAMI BEACH CHAPTER 126 - LANDSCAPE REQUIREMENTS		
SITE AREA: 12,000 SF (.28 ACRES)		
ZONING/LAND USE: RS-4	REQUIRED	PROVIDED
SEC. 126 (a)(1) - STREET TREE SIZE AND SPACING 1 TREE/200 LF STREET FRONTAGE @ 120 LF	6 TREES	6 TREES
SEC. 126 (b)(4) - MAXIMUM LAWN GRASS/SOD AREAS 50% @ 12,000 SF	6,000 SF	5,466 SF
SEC. 126 (c) - MINIMUM NUMBER OF TREES FRONT YARD 2 (+ 6 FOR ADD'L LOT SF) = 8 TREES BACK YARD 3 (+ 6 FOR ADD'L LOT SF) = 9 TREES	8 TREES 9 TREES	11 TREES 15 TREES
SEC. 126 (d) - SHRUBS 12 SHRUBS PER TOTAL REQUIRED TREES	276 SHRUBS	285 SHRUBS
NATIVE/DROUGHT TOLERANT SPECIES REQUIREMENTS	50%	57%
TREES	60%	62%

GROUND LEVEL PLANT LIST AND SPECIFICATIONS

TREES AND PALMS						
SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	SPRD	DESCRIPTION
N CON SER	11	Conocarpus e. 'Sericeus'	SILVER BUTTONWOOD	3" DBH 12 HT.	6'	STRAIGHT SINGLE TRUNK, STANDARD, HEAVY EVEN BRANCHING, FIELD GROWN
N EUG FOE	12	Eugenia foetida	SPANISH STOPPER	3" DBH 12 HT.	6'	STRAIGHT SINGLE TRUNK, STANDARD, HEAVY EVEN BRANCHING, FIELD GROWN
HYO VER	21	Hyophorbe verschaffeltii	SPINDLE PALM	10' GW	8'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
N ILE VOM	3	Ilex vomitoria	WEEPING HOLLY	3" DBH 12 HT.	6'	STRAIGHT SINGLE TRUNK, STANDARD, HEAVY EVEN BRANCHING, FIELD GROWN
PHO ROE	9	Phoenix roebelinii	PYGMY DATE PALM	8' GT	7'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
PHO SYL	5	Phoenix sylvestris	SYLVESTER PALM	10' GW	8'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
N ROY ELA	2	Roystonea elata	ROYAL PALM	18' GW	16'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
N SIM GLA	6	Simaruba glauca	PARADISE TREE	5" DBH 15 HT.	8'	STRAIGHT TRUNK, HEAVY EVEN BRANCHING, FIELD GROWN
SHRUBS AND GROUND COVER						
SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	SPRD	DESCRIPTION
ALO MAG	3	Alocasia macrorrhiza 'Lutea'	LUTEA ALOCASIA	36"	36"	FULL, PLACE WHERE SHOWN ON PLAN
ALP VAR	10	Alpinia zerumbet 'Variegata'	LITTLELEAF CLUSIA	42"	36"	FULL, SPACE 36" ON CENTER
BAR REP	25	Baleria repens	CORAL CREEPER	18"	24"	FULL, SPACE 24" ON CENTER TO FILL BED
CAN FLA	15	Canna flaccida	YELLOW CANNA	24"	24"	FULL, SPACE 30" ON CENTER
N CLU GUT	0	Clusia guttifera	LITTLELEAF CLUSIA	30"	24"	FULL, SPACE 24" ON CENTER TO CREATE CONT. HEDGE
N CON SHR	115	Conocarpus e. 'Sericeus'	SILVER BUTTONWOOD HEDGE	30"	24"	FULL, SPACE 24" ON CENTER TO CREATE CONT. HEDGE
COR BLK	26	Cordyline f. 'Black Magic'	BLACK MAGIC CORDYLINE	42"	36"	FULL, SPACE 36" ON CENTER
EPI SPP	0	Epidendrum speciosa	REED STEM ORCHID	18"	18"	FULL, SPACE 18" TO FILL SPACES
LIR MUS	58	Liriope muscari	LIRIOPE	18"	18"	FULL, SPACE 18" TO FILL SPACES
N MUH CAP	0	Muhlenbergia capillaris	MUHLI GRASS	30"	24"	FULL, STAGGER 24" ON CENTER TO CREATE DENSE SCREEN
NEO RAP	156	Neoregalia 'Raphael'	RAPHAEL BROMELIAD	12"	12"	FULL, SPACE 15" TO FILL SPACES
OPH JAP	32	Ophiopogon japonicus	MONDO GRASS	16"	16"	FULL, SPACE 16" ON CENTER TO FILL SPACES
PHY NOD	0	Phylla nodiflora	FROGFRUIT	24"	24"	FULL, SPACE 30" ON CENTER
POD MAC	52	Podocarpus macrophyllus	PODOCARPUS HEDGE	24"	24"	FULL, SPACE 24" ON CENTER TO CREATE CONT. HEDGE
N PSY NER	37	Psychotria nervosa	WILD COFFEE	36"	36"	FULL, SPACE 36" TO CREATE CONT. HEDGE
SAL ULI	114	Salvia uliginosa	BOG SAGE	16"	16"	FULL, SPACE 16" ON CENTER TO FILL SPACES
VIO SOR	XX	Viola sororia	BLUE VIOLET	24"	30"	FULL, SPACE IN LOCATIONS SHOWN ON PLAN

WHERE 'SOD' IS INDICATED SPECIES SHALL BE ST. AUGUSTINE 'FLORATAM' VARIETY AND 'BAHAGRASS SOD' SHALL BE ARGENTINE VARIETY BAHIA SOD

*N - ABOVE DENOTES FLORIDA NATIVE SPECIES - SEE NATIVE PERCENTAGE CALCULATIONS IN TABULAR DATA CHART BELOW

LICENSED PROFESSIONAL

William Dale Bryant

FL LICENSE NUMBER

LA6666943

PROJECT #

23-105

DATE

09-11-23

SCALE

AS NOTED

DESIGNED BY

WDB

DRAWN BY

WDB

CHECKED BY

WDB

FLORIDA

HOUSE OF KIRSCHNER

4110 Alton Road

Miami Beach, FL

MIAMI DADE COUNTY

GREEN EARTH

LANDSCAPE ARCHITECTURE, LLC

WILLIAM DALE BRYANT, P.E., C.E.

6141 NW 10TH AVENUE, SUITE 100

MIAMI, FL 33150-4010

LANDSCAPE PLANTING

PLAN GROUND LEVEL

SHEET NUMBER

L-200

William Dale Bryant

Digitally signed by William Dale Bryant
DN: cn=William Dale Bryant, o=Green Earth Landscape Architecture LLC, ou=LA6666943, email=rdale.bryant@greenearthllc.com, c=US

Date: 2023.09.11 10:29:05 -0400

APPENDIX



Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

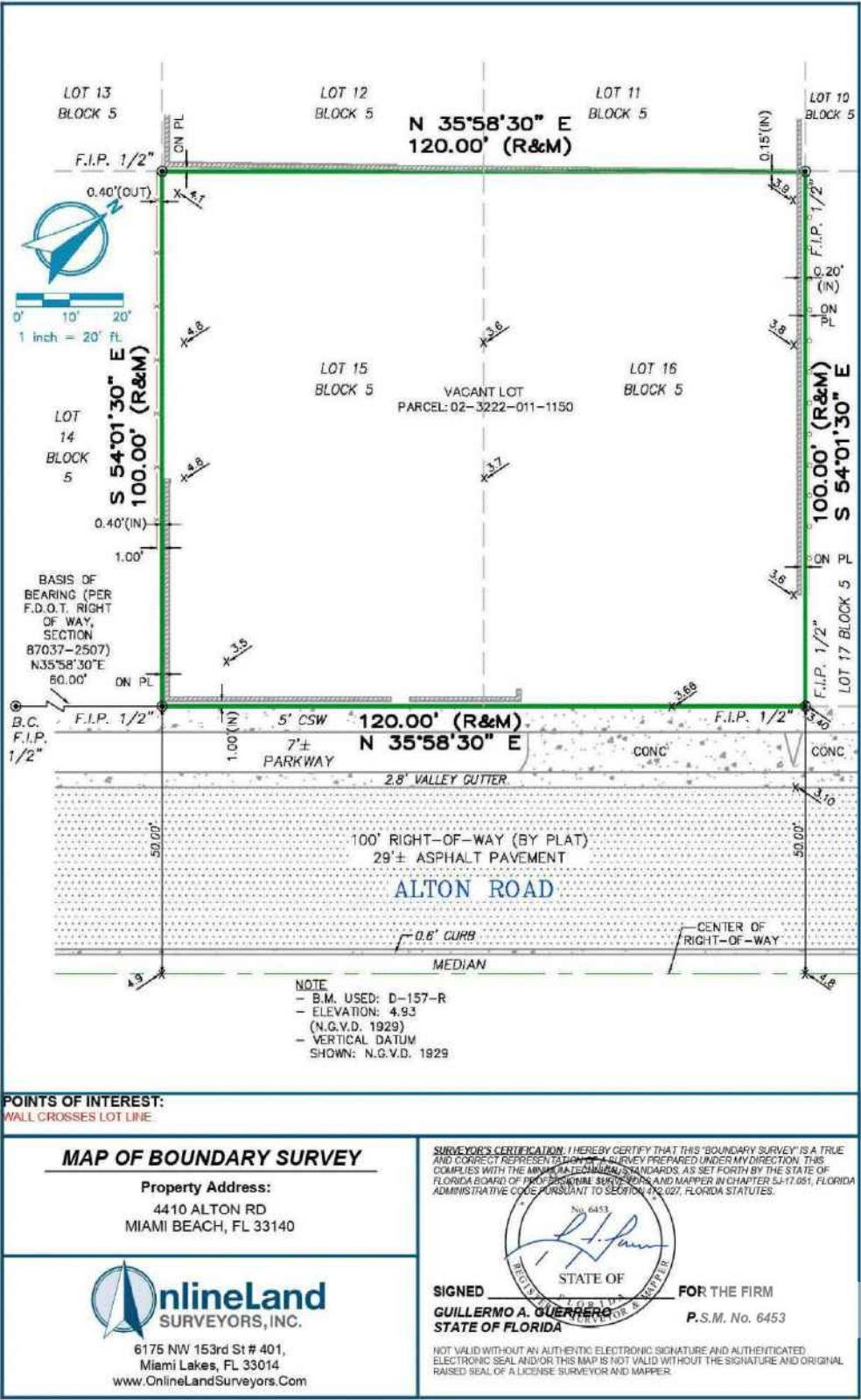
ITEM #	Project Information				
1	Address:	4410 Alton Rd. Miami Beach, FL 33140			
2	Folio number(s):	02-3222-011-1150			
3	Board and file number(s) :	DRB23-0941			
4	Year built:N/A	Zoning District:		RS-4	
5	Located within a Local Historic District (Yes or No):	No			
6	Individual Historic Single Family Residence Site (Yes or No):	No			
7	Home determined Architecturally Significant by CMB (Yes or No):	No			
8	Base Flood Elevation:	8.0	Grade value in NGVD:		4.93
9	Adjusted grade (Flood+Grade/2):	N/A	Free board:		5'
10	30" above grade:	N/A	Lot Area:		12,000 sf
11	Lot width:	120'	Lot Depth:		100'
12	Max Lot Coverage SF and %:	3,600sf (30%)	Proposed Lot Coverage SF and %:		3,600sf (30%)
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)		N/A
14	Front Yard Open Space SF and %:	2,393sf (66.45%)	Rear Yard Open Space SF and %:		1,833sf (76%)
15	Max Unit Size SF and %:	6,000sf (50%)	Proposed Unit Size SF and %:		6,000sf (50%)
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:		3,253sf
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	630sf (24.9%)			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	Yes	
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	34'		27'2"	
	Front Setbacks:	30'		30'	
20	Front First level:	-		-	
	Front second level:	-		-	
	Front second level if lot coverage is 25% or greater:	-		-	
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35'		35'	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A		N/A	
22	Sum of side yard :	30'		32'	
23	Side 1:	15'		16'	
24	Side 2 or (facing street):	15'		16'	
25	Rear:	20'		25'	
26	Accessory Structure Side 1:	N/A		N/A	
27	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
28	Accessory Structure Rear:	N/A		N/A	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

HOUSE OF KIRSCHNER

CHECKLIST

SURVEY



LOT
13
BLOCK
5

LOT
12
BLOCK
5

LOT
11
BLOCK
5

LOT
10
BLOCK
5

NORTH

HOUSE OF KIRSCHNER

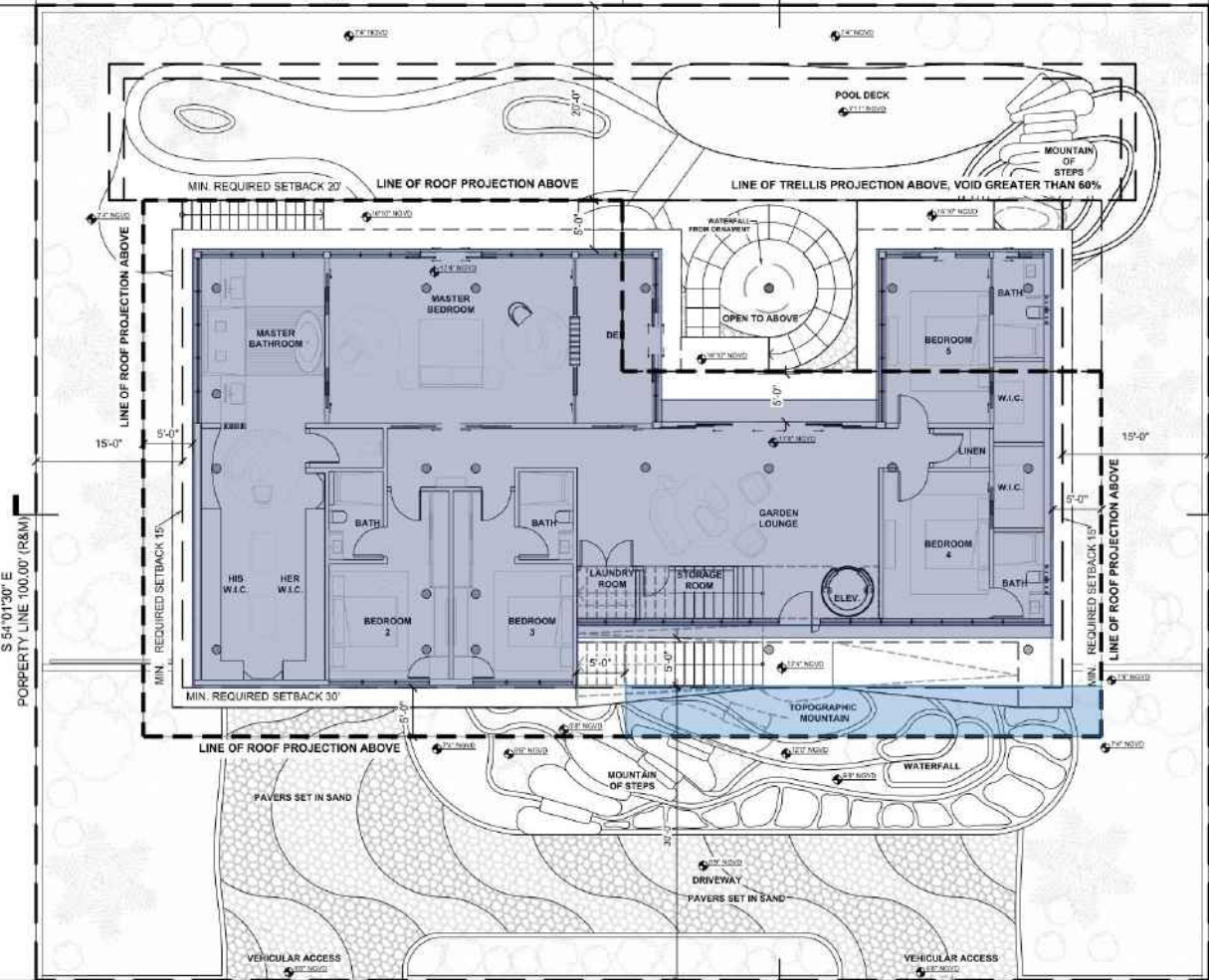
AREA DIAGRAMS
LOT COVERAGE

ZONING DATA:

	REQUIRED	PROVIDED
LOT AREA (MIN.)	6,000 SF	12,000 SF
LOT COVERAGE (MAX.)	3,600 SF	3,600 SF
SETBACKS (MIN.)		
FRONT	30'-0"	30'-0"
SIDE	15'-0"	16'-0"
REAR	20'-0"	25'-0"

LOT COVERAGE:

RESIDENCE	3,368 SF
OVERHANGS	232 SF
TOTAL PROVIDED	3,600 SF (30%)
REQUIRED	3,600 SF (30%)



100' RIGHT-OF-WAY (BY PLAT)
29± ASPHALT PAVEMENT
ALTON RD

1
A011 LOT COVERAGE - LEVEL 1
1/16" = 1'-0"

CENTER OF RIGHT-OF-WAY



NORTH

NMD | NOMADAS™

AREA DIAGRAMS
OPEN SPACES

OPEN SPACES (SODDED OR
LANDSCAPING PERVIOUS):

FRONT YARD REQUIRED (MIN.) 1,800 SF
(50%)

FRONT YARD PROVIDED:

PERVIOUS AREA (100%) 1,740 SF
DRIVEWAY (50%) 653 SF

TOTAL LANDSCAPE AREA 2,393 SF
IN FRONT YARD: (66.45%)

TOTAL IMPERVIOUS AREA 1,207 SF
IN FRONT YARD: (33.55%)

REAR YARD REQUIRED (MIN.) 1,680 SF
(70%)

REAR YARD PROVIDED:

PERVIOUS AREA (100%) 1,660 SF
POOL DECK (50%) 173 SF

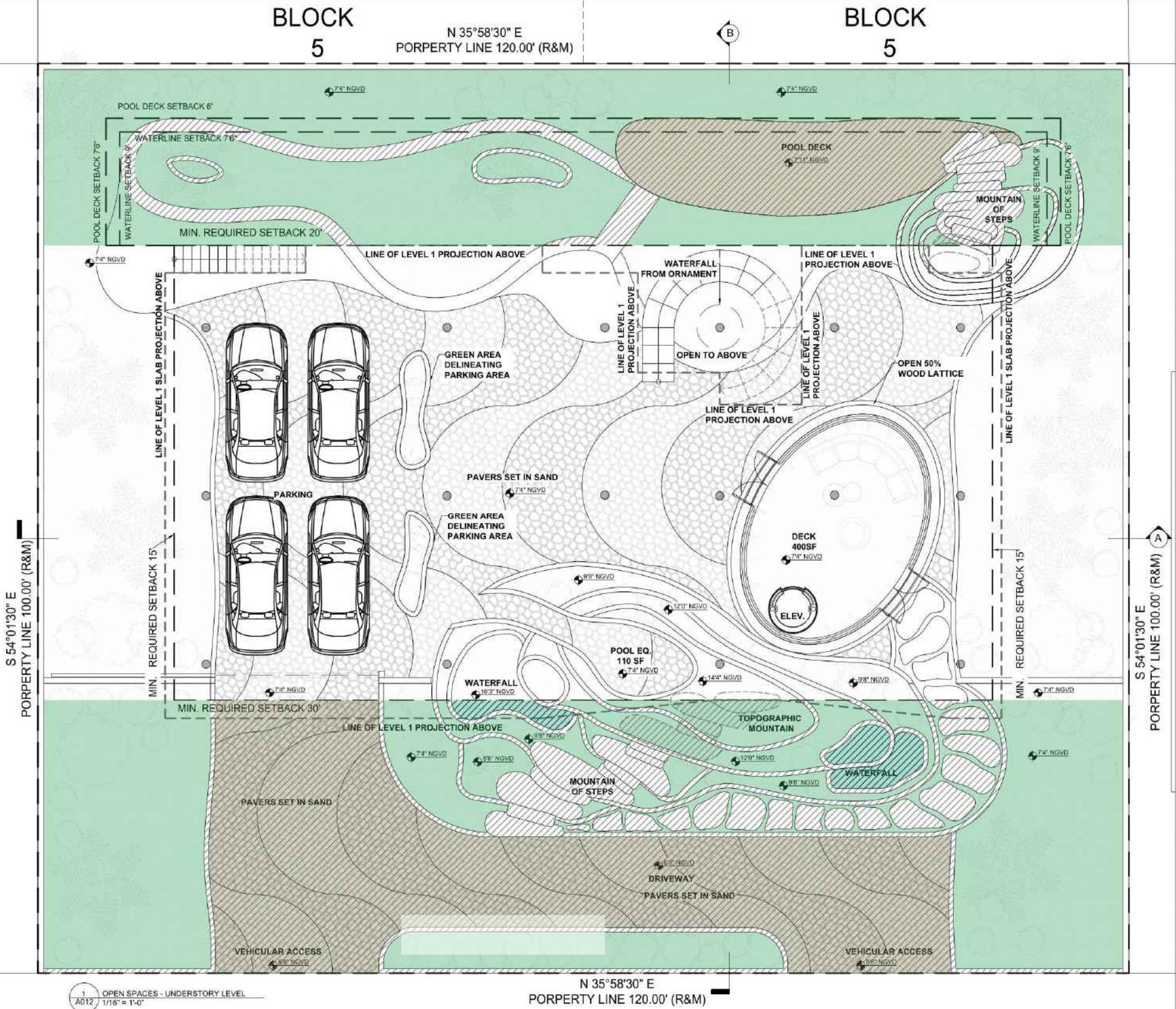
TOTAL LANDSCAPE AREA 1,833 SF
IN REAR YARD: (76%)

TOTAL IMPERVIOUS AREA 567
IN REAR YARD: (24%)

WATER FEATURE IN FRONT
YARD REQUIRED (MAX.) 900 SF
(25%)

WATER FEATURE IN FRONT
YARD PROVIDED:

WATERFALL 74 SF
(2%)



1 A012 OPEN SPACES - UNDERSTORY LEVEL
1/16" = 1'-0"



AREA DIAGRAMS
OPEN SPACES

OPEN SPACES (SODDED OR
LANDSCAPING PERVIOUS):

SIDE YARD REQUIRED (MIN.) 750 SF
(50%)

NORTH SIDE YARD
PROVIDED:

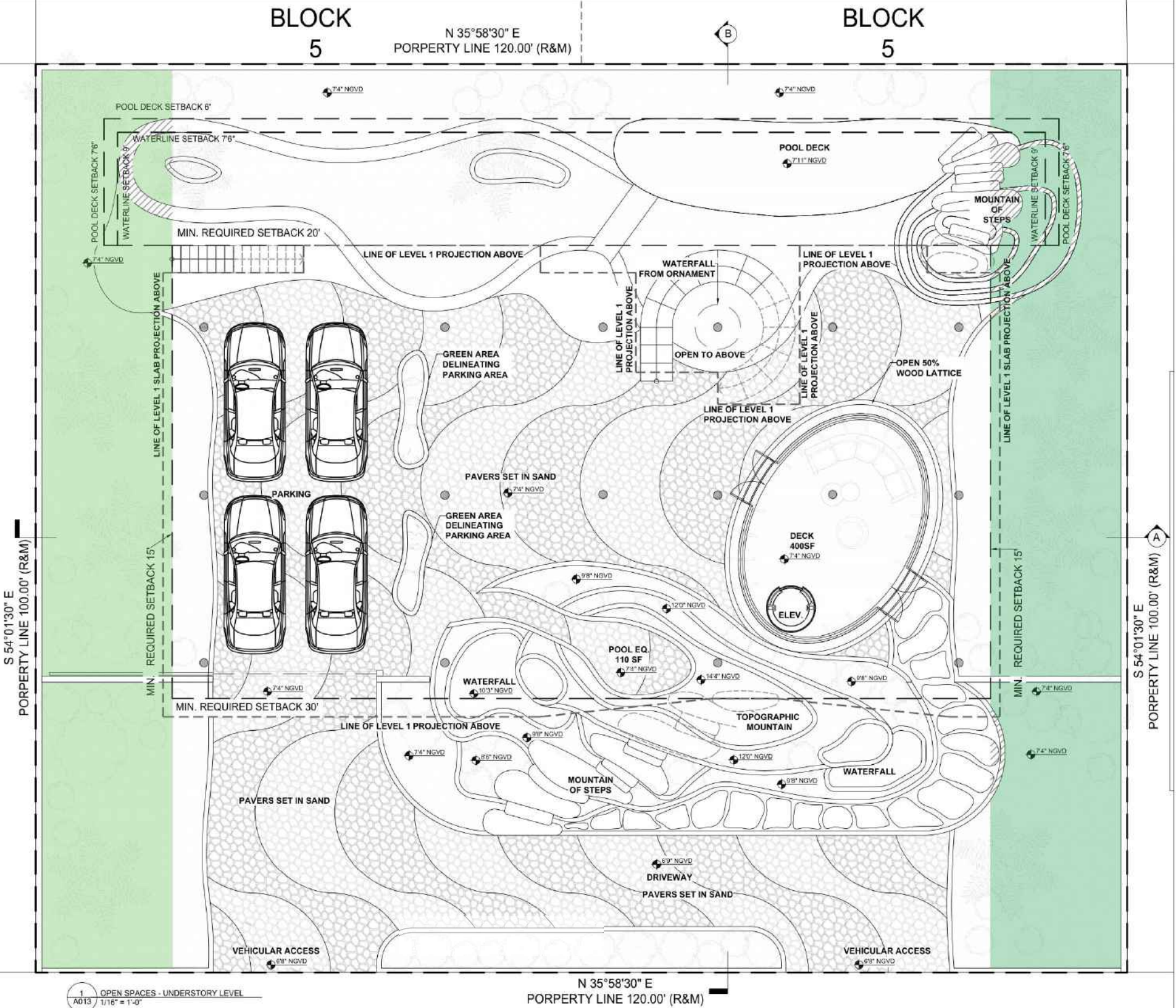
PERVIOUS AREA (100%) 1,339 SF
(89%)

TOTAL IMPERVIOUS
AREA IN NORTH SIDE YARD: 161 SF
(11%)

SOUTH SIDE YARD
PROVIDED:

PERVIOUS AREA (100%) 1,381 SF
(92%)

TOTAL IMPERVIOUS
AREA IN SOUTH SIDE YARD: 119 SF
(8%)



HOUSE OF KIRSCHNER

AREA DIAGRAMS
UNIT SIZE

ZONING DATA:

REQUIRED:

UNIT SIZE (MIN.)	1,800 SF
UNIT SIZE (MAX.)	6,000 SF

UNDERSTORY AREA ENCLOSED AIRCONDITIONED BUILDING ACCESS 5% OF LOT AREA (MAX.)	600 SF
--	--------

ROOF DECK 25% SQFT ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW (MAX.)	632 SF
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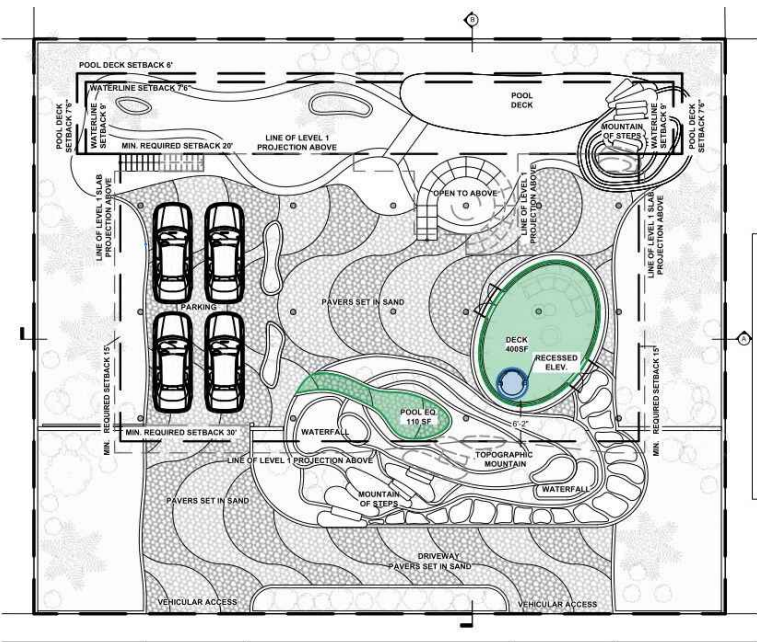
PROVIDED:

ENCLOSED AREA	
UNDERSTORY	23 SF
LEVEL 1	3,253 SF
LEVEL 2	2,527 SF
ROOF DECK	94 SF

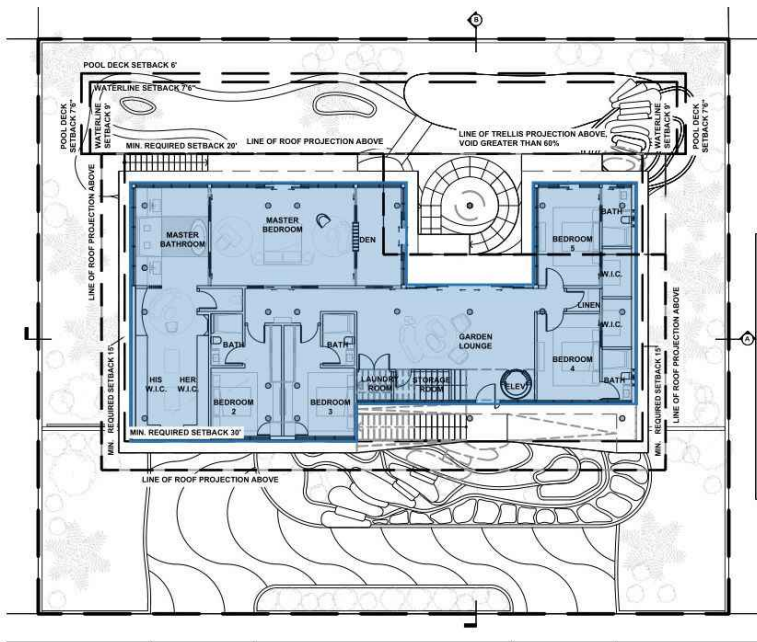
TOTAL UNIT SIZE	5,897 SF
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UNDERSTORY AREA	510 SF
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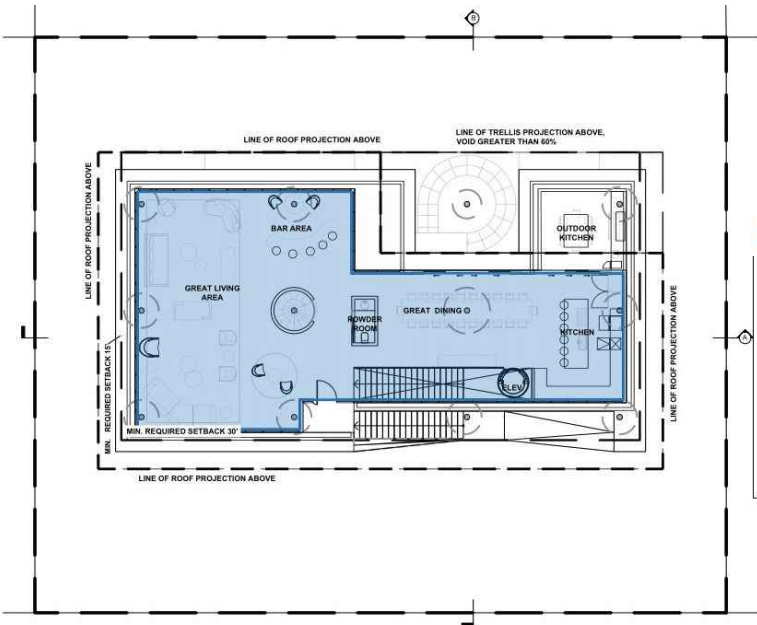
ROOF DECK	630 SF
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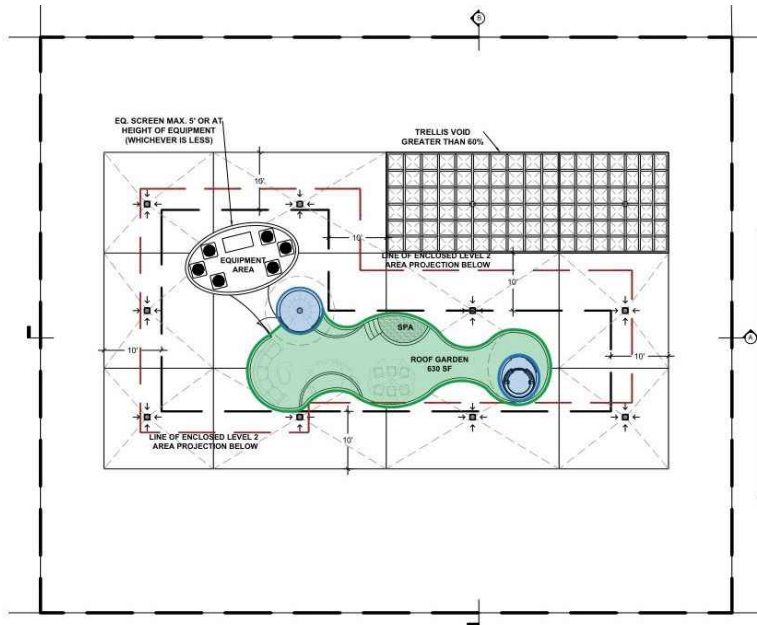
1
A014 UNIT SIZE - UNDERSTORY LEVEL
1/32" = 1'-0"



2
A014 UNIT SIZE - LEVEL 1
1/32" = 1'-0"



3
A014 UNIT SIZE - LEVEL 2
1/32" = 1'-0"

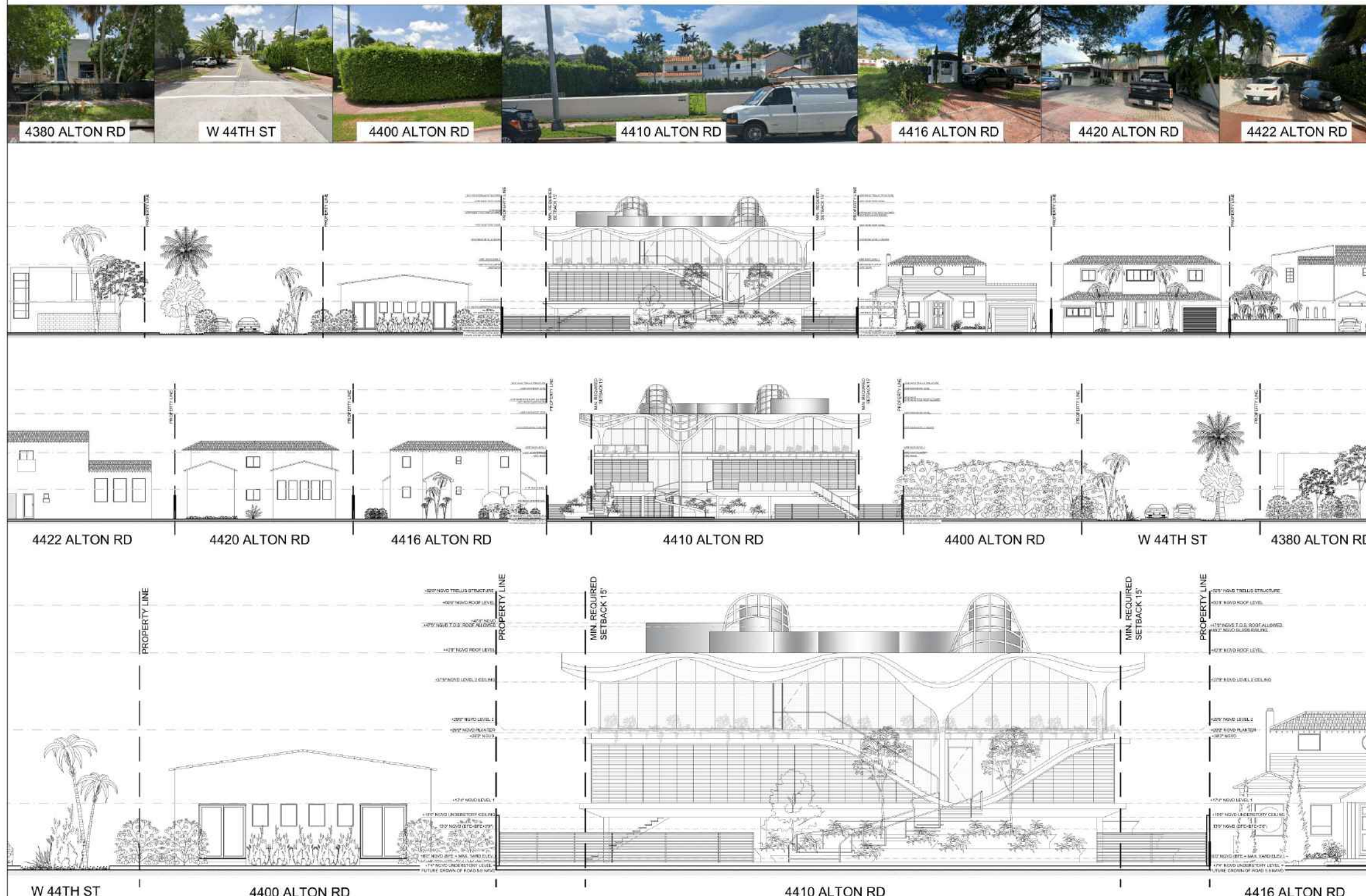


4
A014 UNIT SIZE - ROOF LEVEL
1/32" = 1'-0"



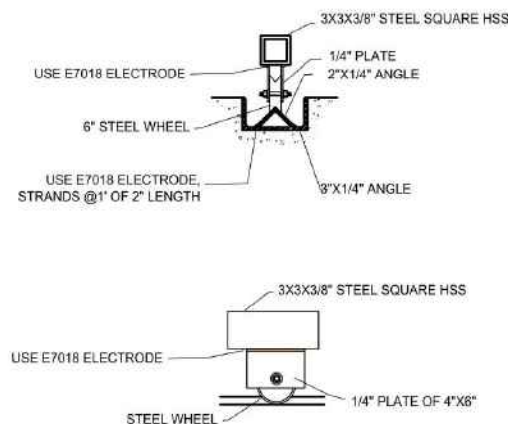
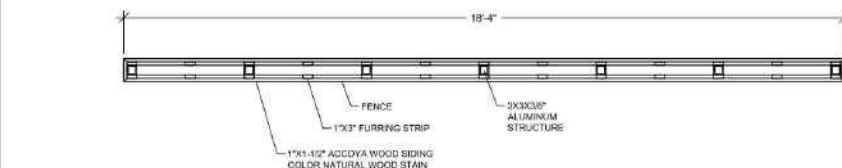
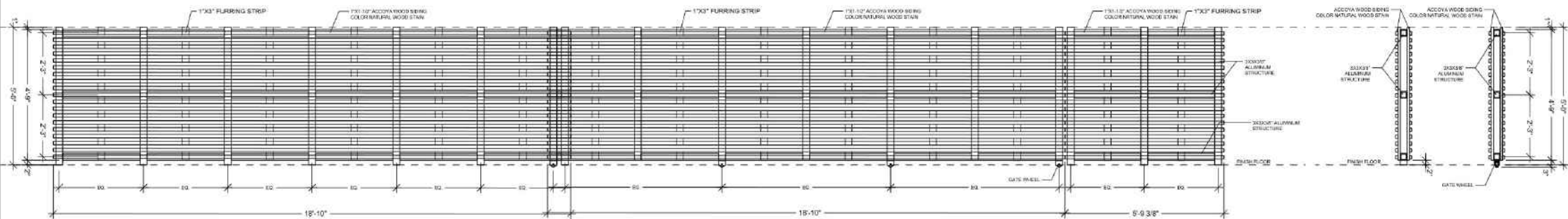
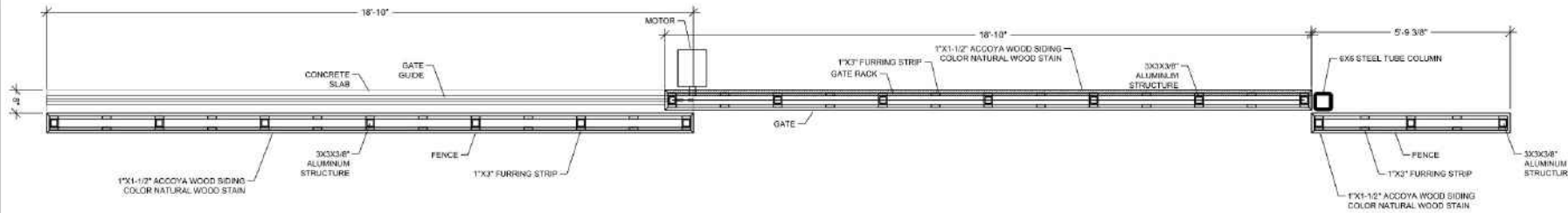
NORTH

EXTERIOR ELEVATIONS
LINE DRAWINGS

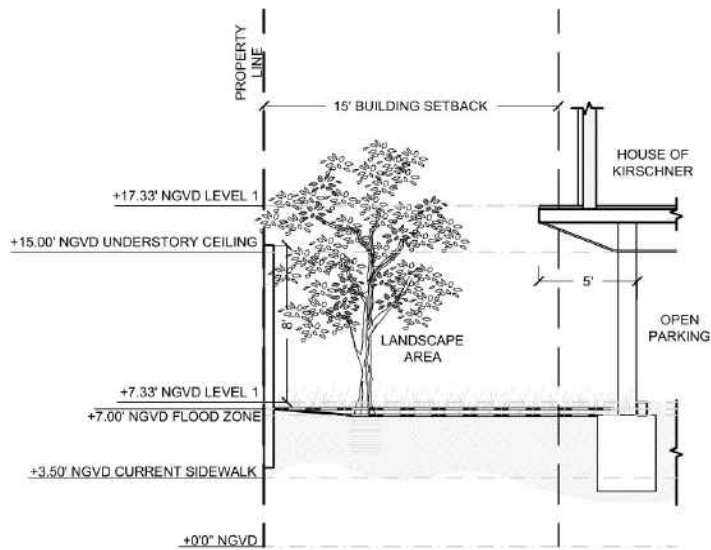


HOUSE OF KIRSCHNER

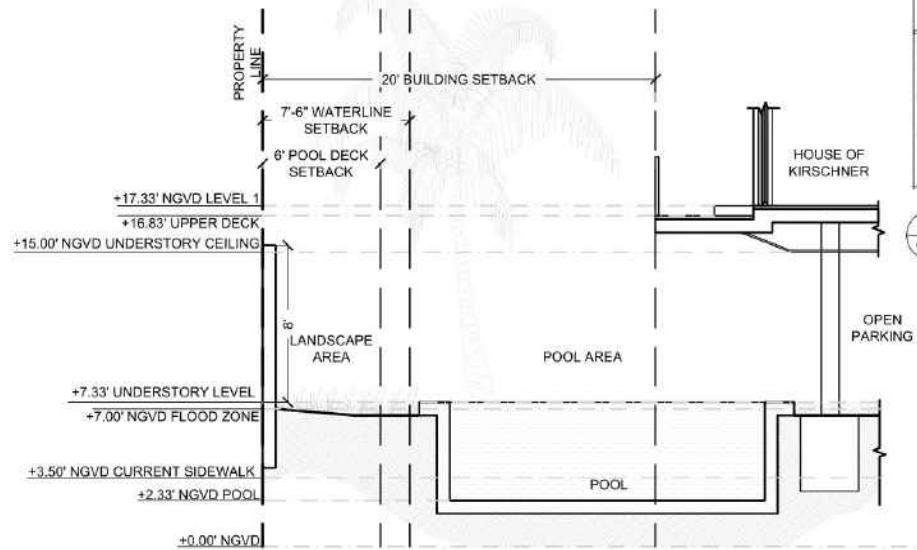
DETAILS



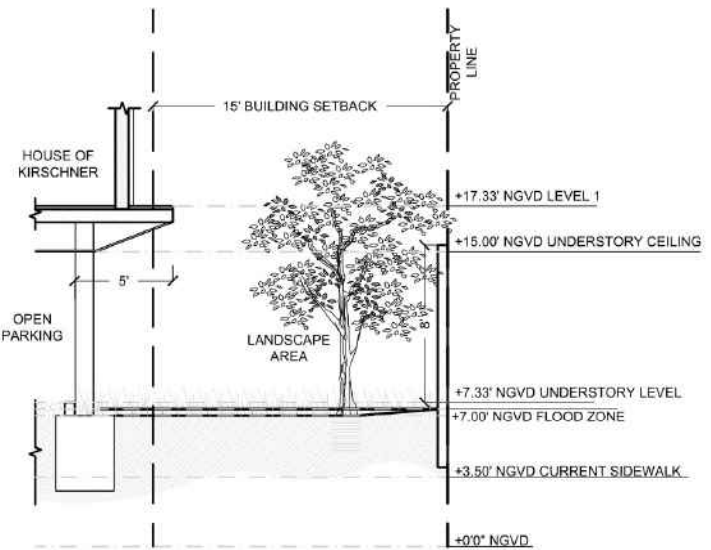
YARD SECTIONS



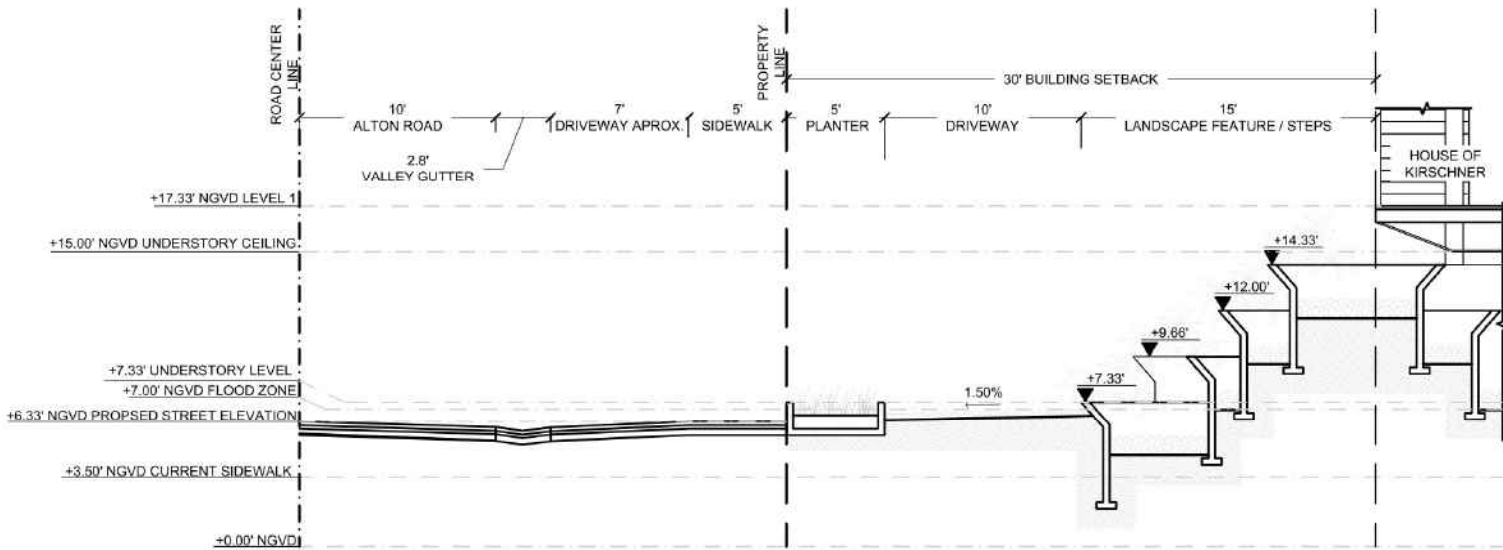
1 YARD SECTION A
A500 1/8" = 1'-0"



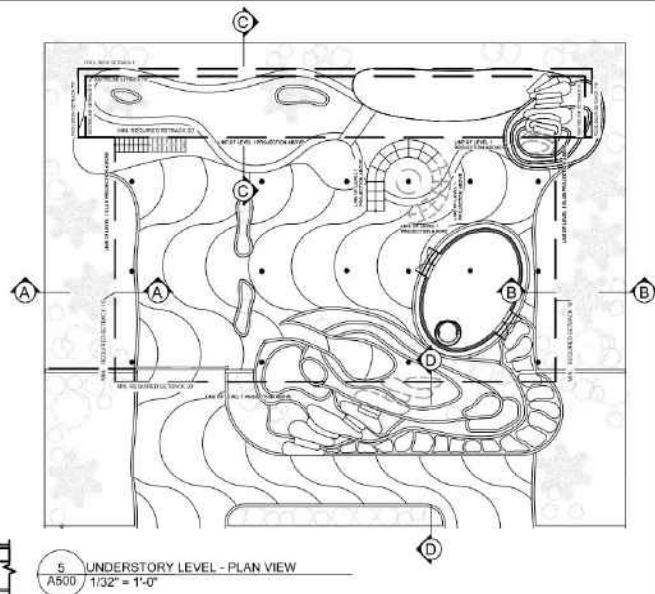
3 YARD SECTION C
A500 1/8" = 1'-0"



2 YARD SECTION B
A500 1/8" = 1'-0"



4 YARD SECTION D
A500 1/8" = 1'-0"



SITE DATA

1. **PARCEL ID NUMBER:** 02-3222-011-1150
2. **EXISTING/PROPOSED SITE AREA:** 0.28 AC (12,000 SF)
3. **LAND USE:**
EXISTING: VACANT RESIDENTIAL LOT
PROPOSED: SINGLE FAMILY RESIDENTIAL
4. **ZONING:**
PROPOSED: RS-4
5. **BUILDING HEIGHT:**
MAXIMUM ALLOWED: FLAT ROOF - 24 FT ; SLOPED ROOF - 27 FT
HEIGHT PROPOSED: 2 STORIES - FT
6. **PROPOSED BLDG:** SINGLE FAMILY RESIDENTIAL
7. **BUILDING SETBACKS:**

	REQUIRED	PROVIDED
• FRONT (ALTON ROAD)	30'	30'
• SIDE (WEST)	15'	15'
• SIDE (EAST)	15'	15'
• REAR (NORTH)	20'	20'
8. **LOT COVERAGE:**
MAXIMUM LOT COVERAGE 30% OF SITE: (0.30 * 12,000) = 3,600 SF
PROPOSED LOT COVERAGE 30% OF SITE: 3,600 SF - 500 SF (EXEMPTION)= 3,100 SF
9. **OPEN SPACE:**
PROPOSED OPEN SPACE 8,900 SF

KEYNOTE LEGEND

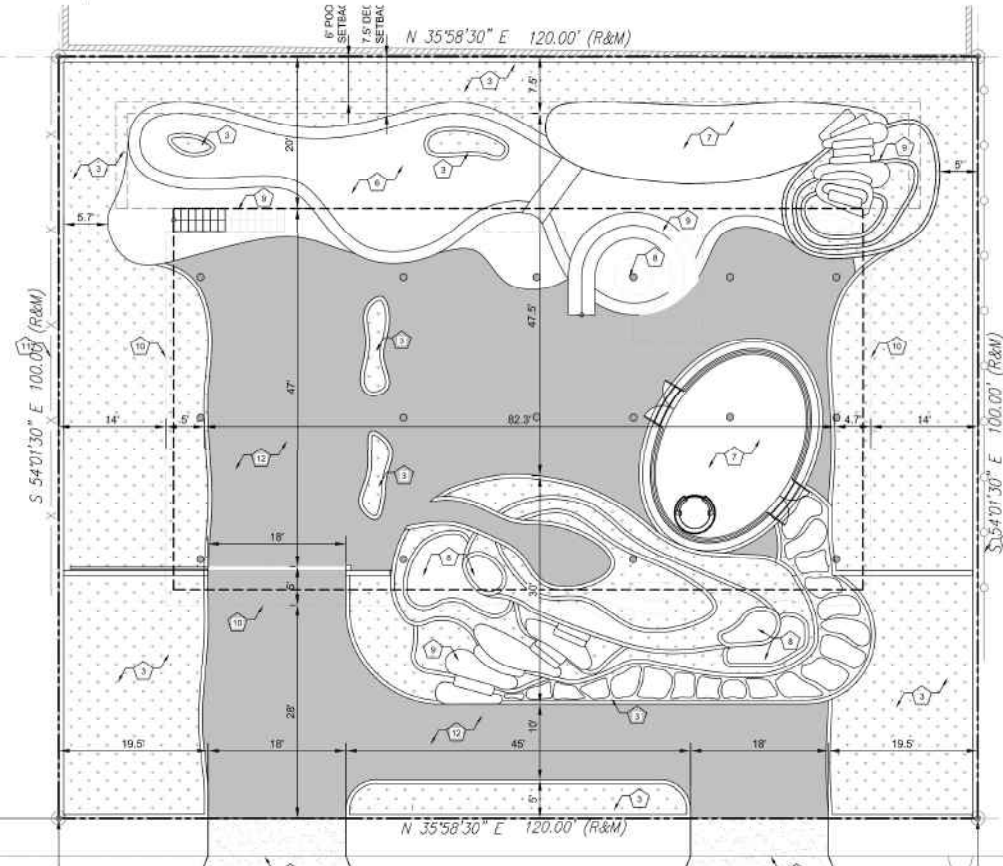
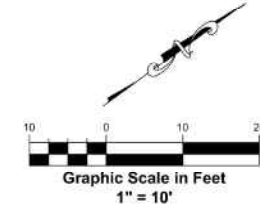
1. PROP. ENTRANCE / EXIT DOOR (REF. TO ARCH. PLANS)
2. PROP. 4" THICK CONCRETE SIDEWALK
3. PROP. LANDSCAPE (REF. TO LANDSCAPE PLANS)
4. PROP. FLARED DRIVEWAY
5. MATCH EXISTING EDGE OF PAVEMENT LINE AND GRADE
6. PROP. POOL (REF. TO ARCH. PLANS)
7. PROP. POOL DECK/DECK (REF. TO ARCH. PLANS)
8. PROP. WATER FEATURE (REF. TO ARCH. PLANS)
9. PROP. STEPS (REF. TO ARCH. PLANS)
10. LEVEL 1 SLAB PROJECTION ABOVE
11. EXIST. FENCE TO REMAIN
12. PROP. DRIVEWAY PAVERS (REF. TO ARCH. PLANS FOR FINISH)

HATCH LEGEND

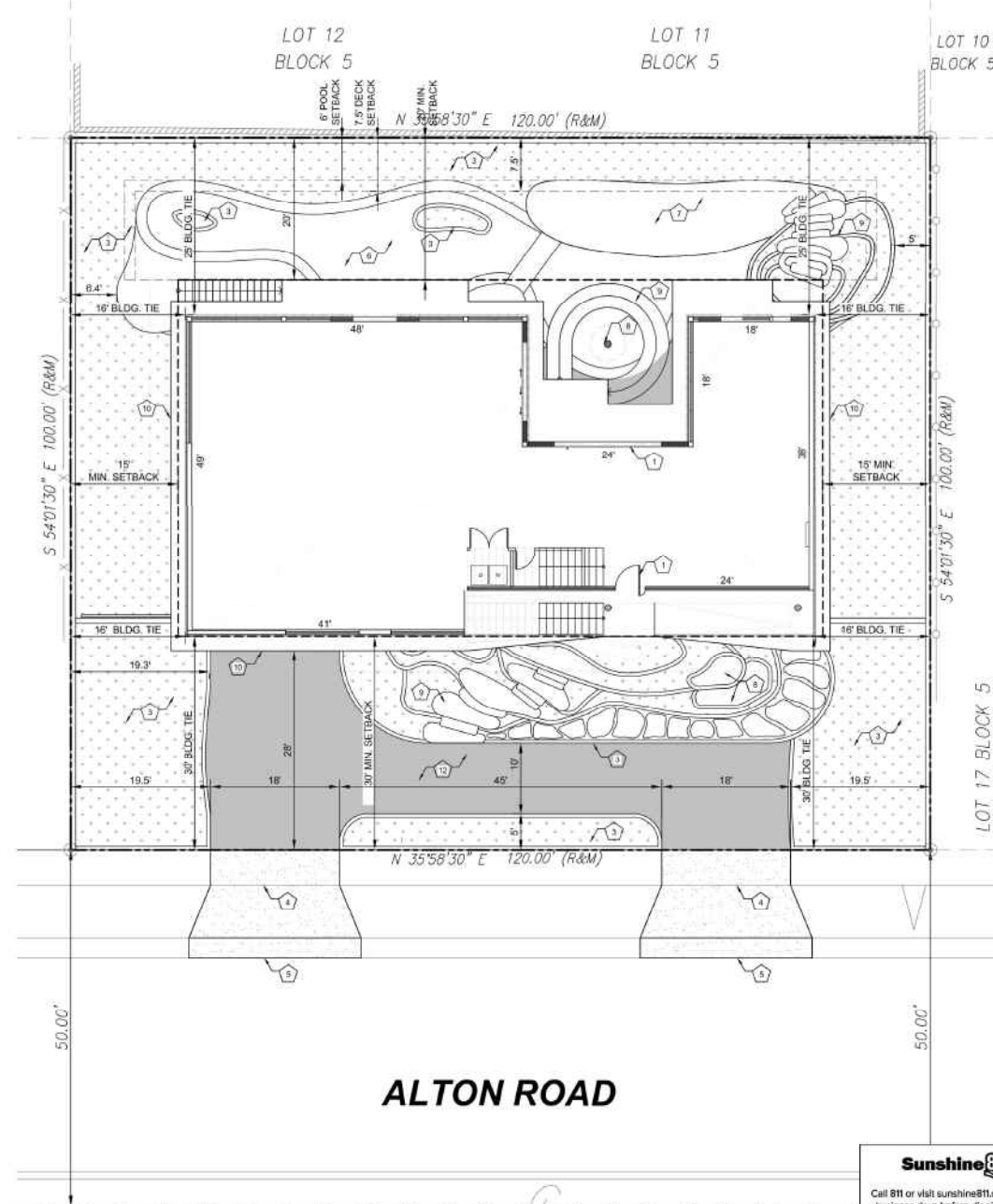
- | | |
|--|--|
| | PROPOSED CONCRETE DRIVEWAY |
| | PROPOSED LANDSCAPE (SEE LANDSCAPE PLAN) |
| | PROPOSED PAVER/HARDSCAPE DRIVEWAY (SEE LANDSCAPE PLAN) |

GENERAL SITE NOTES

1. FOR LEGAL DESCRIPTION, BOUNDARY INFO., AND BENCHMARK INFO. SEE SITE SURVEY SHEETS.
2. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL CENTERLINE GEOMETRY TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
4. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
6. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS, CODES, AND O.S.H.A. STANDARDS.
7. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



UNDERSTORY LEVEL
SCALE: 1" = 10'



ALTON ROAD



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

DESIGN

666 N.E. 125th STREET,
SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221

9/5/2023

This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Christoph
er Collins

Digitally signed
by Christopher
Collins
Date: 2023.09.11
10:27:31 -04'00'

Revision	Date	Comment

Designed by:	C.P.C.
Drawn by:	S.G.C.
Checked by:	C.P.C.
Approved by:	C.P.C.
Scale:	N.T.S.
Date:	07/09/2023
Job No.:	M006

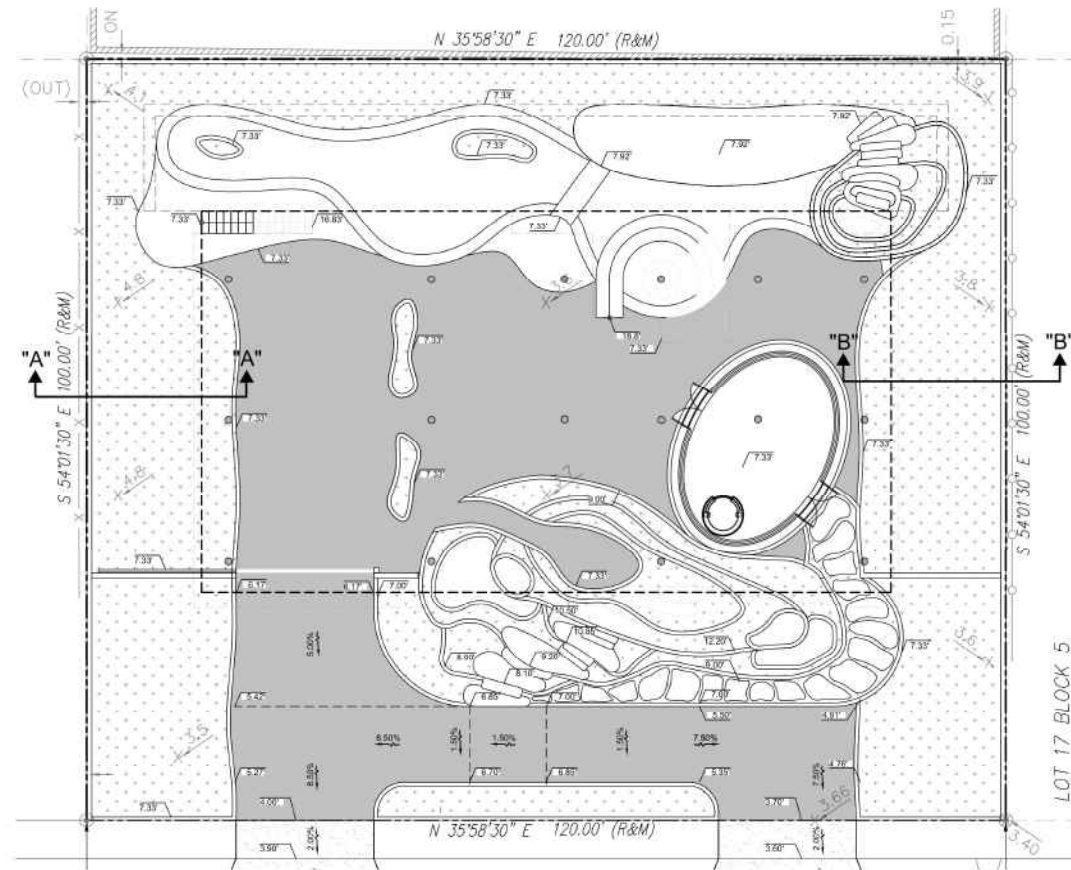
Plans for

HOUSE OF KIRSCHNER
4410 ALTON ROAD
MIAMI BEACH, FLORIDA

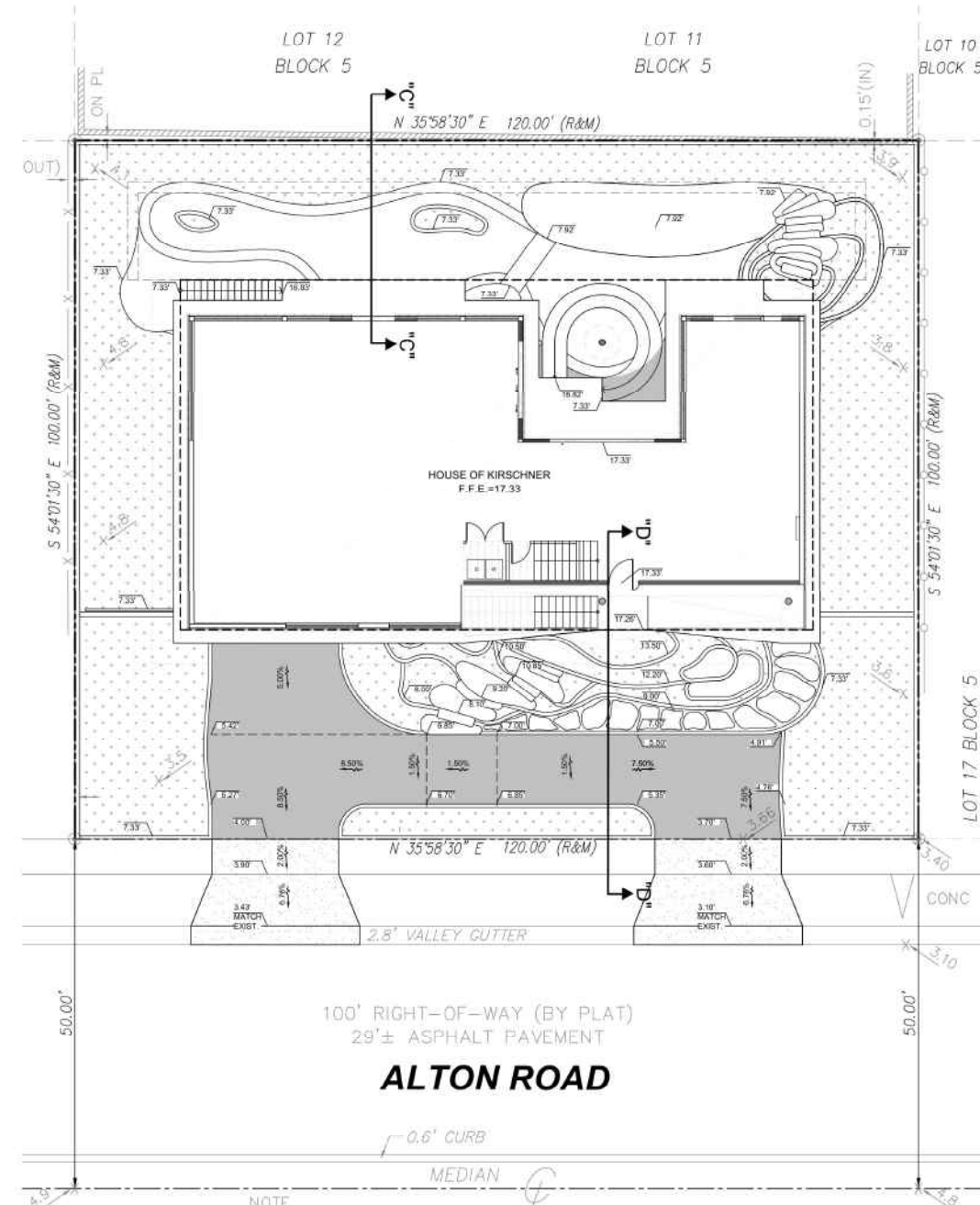
SITE PLAN

Sheet No.

C-4.0



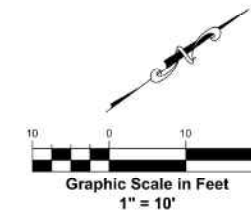
UNDERSTORY LEVEL
SCALE: 1" = 10'



100' RIGHT-OF-WAY (BY PLAT)
29'± ASPHALT PAVEMENT
ALTON ROAD

NOTE
- B.M. USED: D-157-R
- ELEVATION: 4.93
(N.G.V.D. 1929)
- VERTICAL DATUM
SHOWN: N.G.V.D. 1929

Sunshine811
Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.
Check positive response codes before you dig!



DESIGN

666 N.E. 125th STREET,
SUITE 247
NORTH MIAMI, FL 33161
Phone: 305.720.2079
C.O.A. 33221

9/6/2023

This item has been digitally signed and
sealed by Christopher P. Collins, P.E.
on the date adjacent to the seal.

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considered signed and sealed and the
signature must be verified on any
electronic copies.

IMAGES\hudson.png

**Christoph
er Collins**

Digitally signed
by Christopher
Collins
Date: 2023.09.11
10:26:53 -04'00'

Revision	Date
Comment	
Revision	Date
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Revision	Date
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Revision	Date
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Revision	Date
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Designed by:	C.P.C.
Drawn by:	S.G.C.
Checked by:	C.P.C.
Approved by:	C.P.C.
Scale:	N.T.S.
Date:	07/09/2023
Job No.:	M006

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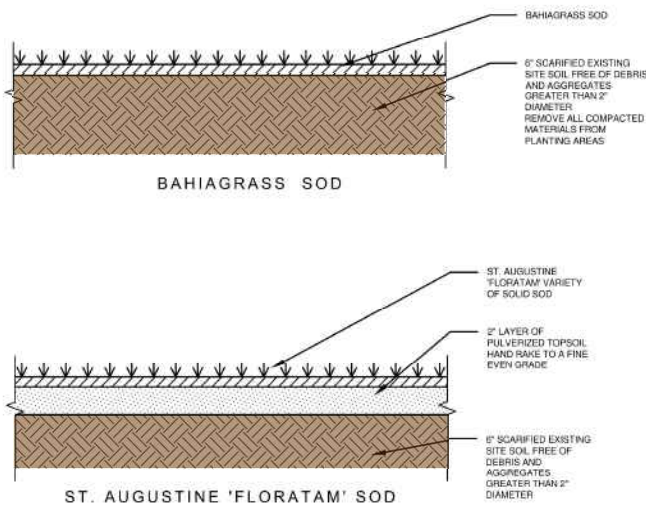
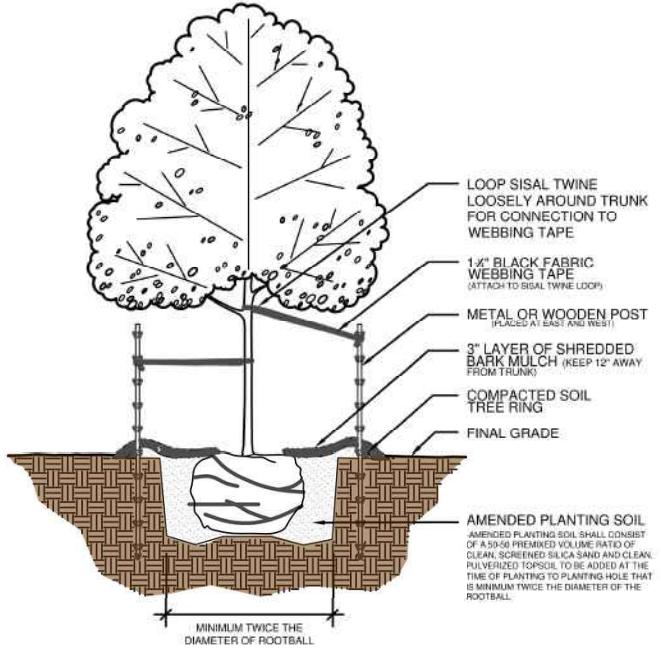
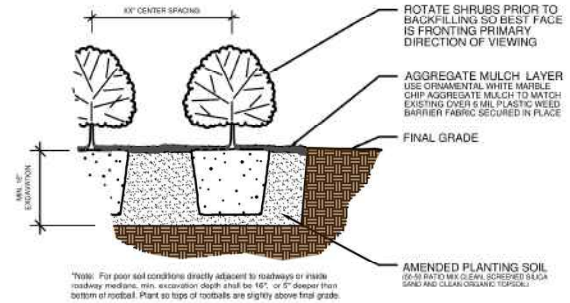
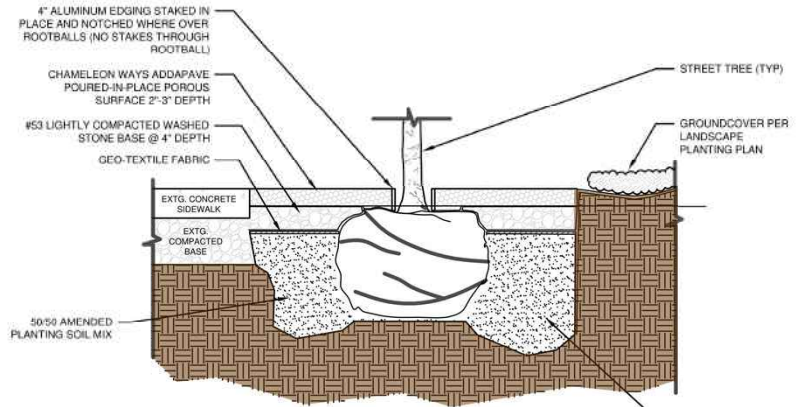
Plans for

**HOUSE OF
KIRSCHNER**
4410 ALTON ROAD
MIAMI BEACH, FLORIDA

**GRADING AND
DRAINAGE PLAN**

Sheet No.

C-5.0



5 SOD PLANTING DETAIL
SECTION _____ N.T.S.

We understand that **change** is the essence of our era.

We aim to **transform** the ways we see and do.

We believe in **building a better quality of human life**, bringing improvement to urban life, and in responsibly and consciously increasing economic profitability.

We believe in **ethics** as a platform for thought and action.

NMD | NOMADAS™

MIAMI • BOSTON • HOUSTON

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