



SUBJECT PROPERTY

ALTON RD

5101 751 745 733 725 719 715 701

CORNER TO CORNER

W 51 ST

CORNER TO CORNER

5035 768 754 750 740 736 710

CHEROKEE AVE

W 50 ST

 SURROUNDING BUILDINGS CONTEXT MAP  
SCALE: N.T.S.

DRAWN BY:  
REVISIONS:

AA00035689  
ANTHONY LEON  
0016752

**3 DESIGN**  
ARCHITECTURE  
3260 Northwest 7th Street, Miami, FL 33125  
P: 305-438-8377 | F: 305-438-8379

SEAL

REMODELING PERMIT  
for:  
719 W 51st STREET  
MIAMI BEACH, FL 33140

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**A-5.0**  
CONTEXT MAP  
JCM



5101W 51 ST



751 W 51 ST



745 W 51 ST



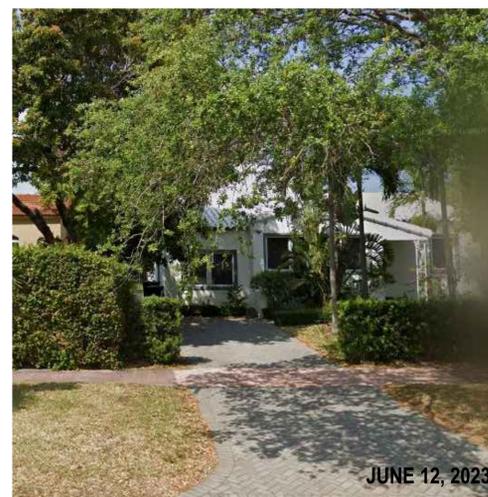
733 W 51 ST



725 W 51 ST



719 W 51 ST



715 W 51 ST

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**A-5.1**  
FRONT FACADES  
CORNER TO  
CORNER  
JCM



710 W 51 ST



736 W 51 ST



746 W 51 ST



750 W 51 ST



754 W 51 ST



768 W 51 ST



5035 W 51 ST

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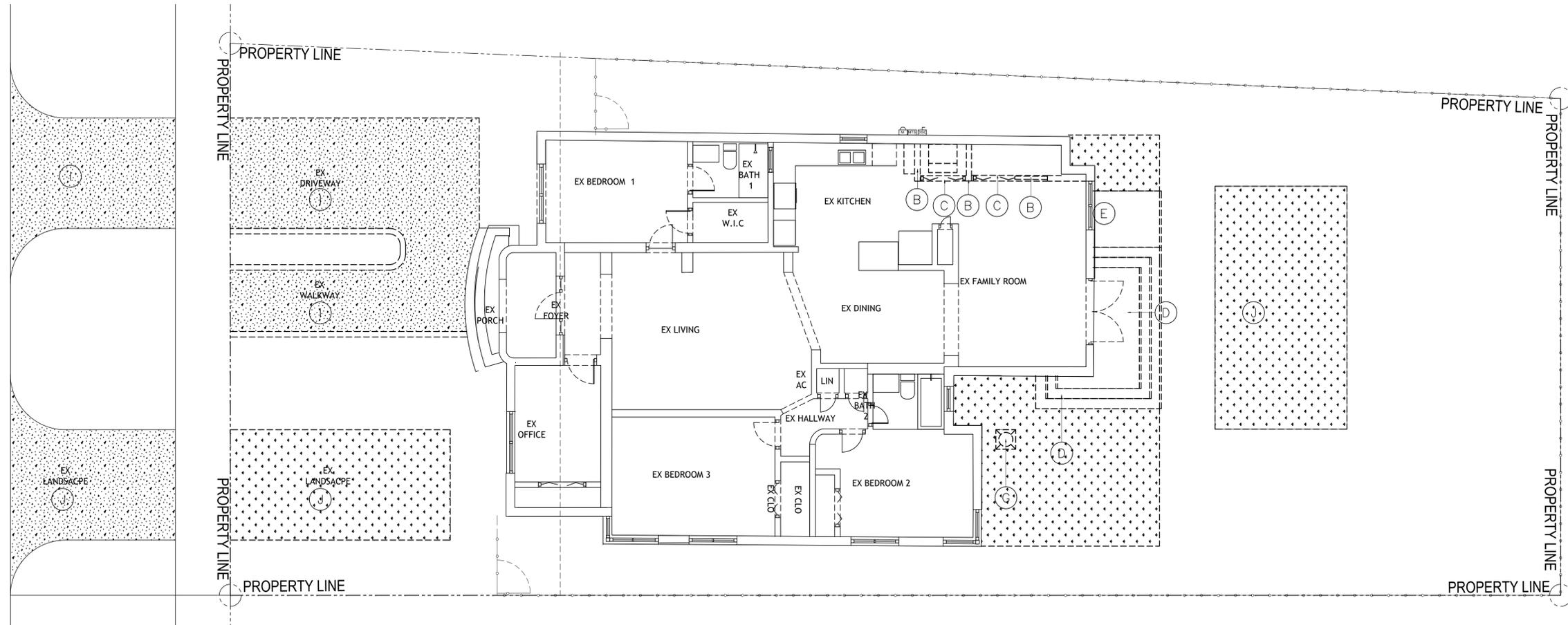
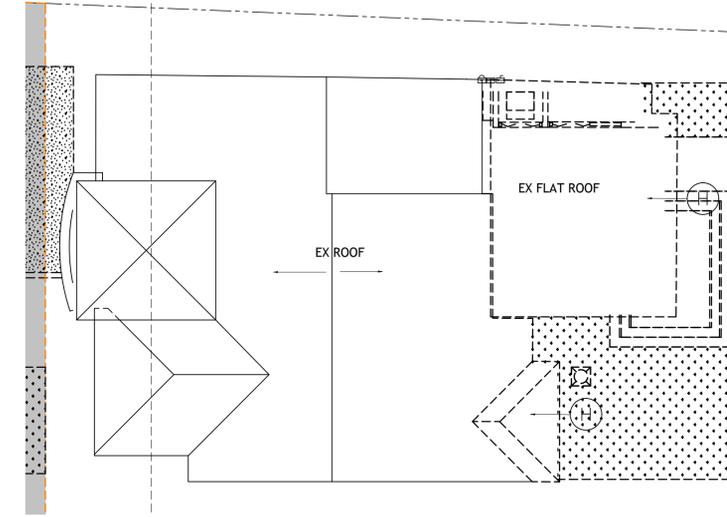
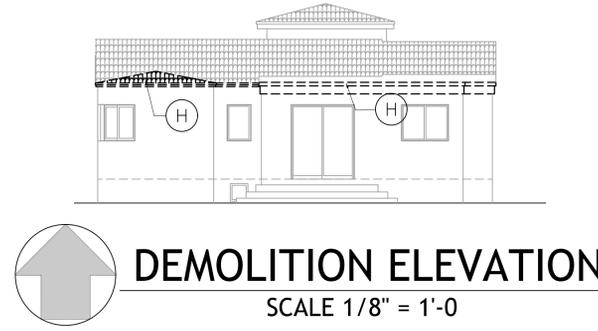
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**A-5.2**  
FRONT FACADES  
CORNER TO  
CORNER  
JCM

DEMOLITION LEGEND	
	DEMOLITION
	EXISTING TO REMAIN
E.T.R. EXISTING TO REMAIN	
SCOPE OF WORK	
DEMOLITION	
1. DEMOLITION	
2. REMOVE PARTIAL EXISTING ROOF AS INDICATED.	
(A)	REMOVE EXTERIOR PARTIAL DOOR
(B)	REMOVE PARTITION WALL
(C)	REMOVE INTERIOR DOOR
(D)	REMOVE EXTERIOR STEPS
(E)	REMOVE CONCRETE SLAB
(F)	REMOVE PARTIAL ROOF
(G)	REMOVE CONDENSER UNIT
(H)	REMOVE ROOF
(I)	REMOVE DRIVEWAY AND WALKWAY
(J)	REMOVE GRASS AND LANDSCAPE

NOTE: OTHER THAN ADDITION, NO STRUCTURAL WALLS THAT WILL REQUIRE SHORING, WILL BE REMOVED.

AREA OF WORK DEMOLITION	
EXISTING TOTAL AREA:	1,834.00 S.F.
INTERIOR FLOORING AREA OF DEMOLITION-----	200.00 SQFT (UNDER A.C) GROUND FLOOR
TOTAL AREA OF DEMOLITION-----	200.00 SQFT



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**A-1.0**  
 DEMOLITION PLAN  
JCM

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 REVISIONS:

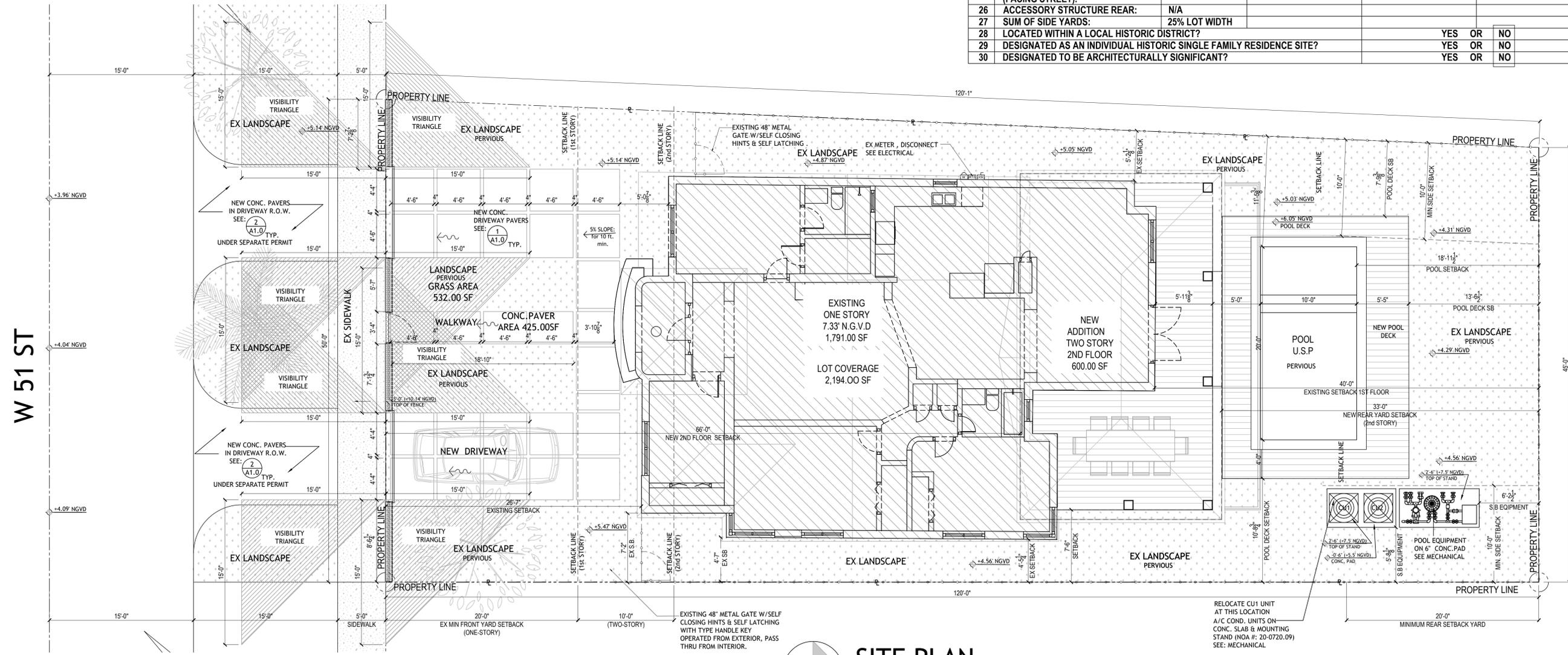
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**3 DESIGN**  
 ARCHITECTURE

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ITEM #	PROJECT INFORMATION			
1	ADDRESS:	719 W 51 STREET, MIAMI BEACH, FL 33140		
2	FOLIO NUMBER:	02-3222-022-0210		
3	BOARD AND FILE NUMBER:			
4	YEAR BUILT:	1941	ZONING DISTRICT:	RS-4
5	BASE FLOOD ELEVATION:	9'	GRADE VALUE IN NGVD:	5.08' NGVD
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7.04' NGVD		
7	LOT AREA:	5,717.00 SQ FT		
8	LOT WIDTH:	50'	LOT DEPTH:	120.1'
9	MAX LOT COVERAGE FT AND %:	1,723.65 SQ FT (30%)	PROPOSED LOT COVERAGE FT AND % (40%) M.B PER Sec. 142-108. (2)(B)(I)	2,194.00 SF (38.2%)
10	EXISTING LOT COVERAGE FT AND %:	1,791.00 SQ FT	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	N/A
11	FRONT YARD OPEN SPACE FT AND 50%:	997 SQ FT	REAR YARD OPEN SPACE FT AND 70%:	980.00 SF (100%)
12	MAX UNIT SIZE FT AND %:	2,858 SQ FT (50%)	PROPOSED UNIT SIZE FT AND %:	2,391.00 SF (41.8%)
13	EXISTING 1st FLOOR UNIT SIZE:	1,791.00 SF (EX)	PROPOSED 1st FLOOR UNIT SIZE:	1,791.00 SF (EX)
	EXISTING 2nd FLOOR UNIT SIZE:	N/A	PROPOSED 2nd VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE 1st FLOOR OF THE MAIN HOME REQUIRES BOARD APPROVAL)	N/A
14				
15			PROPOSED 2nd FLOOR UNIT SIZE SF AND %:	600.00 SF
16			PROPOSED ROOF DECK AREA SIZE SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A

ZONING INFORMATION CALCULATIONS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17 HEIGHT:				
18 SETBACKS:				
19 FRONT 1st LEVEL	20'	26.5'	N/A	
20 FRONT 2nd LEVEL	30'	N/A	66.00'	
21 SIDE 1:	10'	5.16'	5.16'	
22 SIDE 2 OR (FACING STREET):	10'	4.57'	7.5'	
23 REAR:	20'	40.0'	33.0'	
24 ACCESSORY STRUCTURE SIDE 1:	N/A			
25 ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A			
26 ACCESSORY STRUCTURE REAR:	N/A			
27 SUM OF SIDE YARDS:	25% LOT WIDTH			
28 LOCATED WITHIN A LOCAL HISTORIC DISTRICT?				YES OR NO
29 DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?				YES OR NO
30 DESIGNATED TO BE ARCHITECTURALLY SIGNIFICANT?				YES OR NO



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**A-1.1**  
 DEMOLITION PLAN

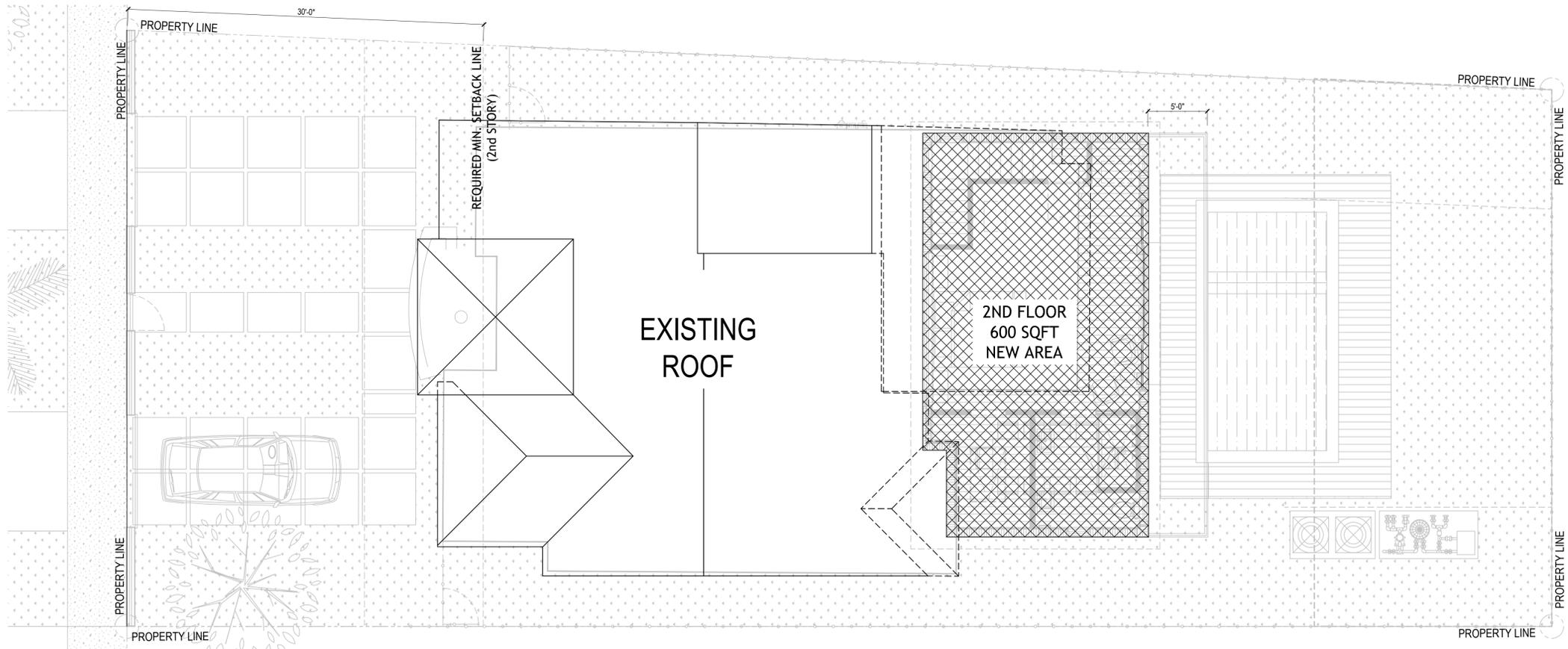
**SITE PLAN**  
 SCALE 3/16" = 1'-0"

**UNIT SIZE DIAGRAM:**

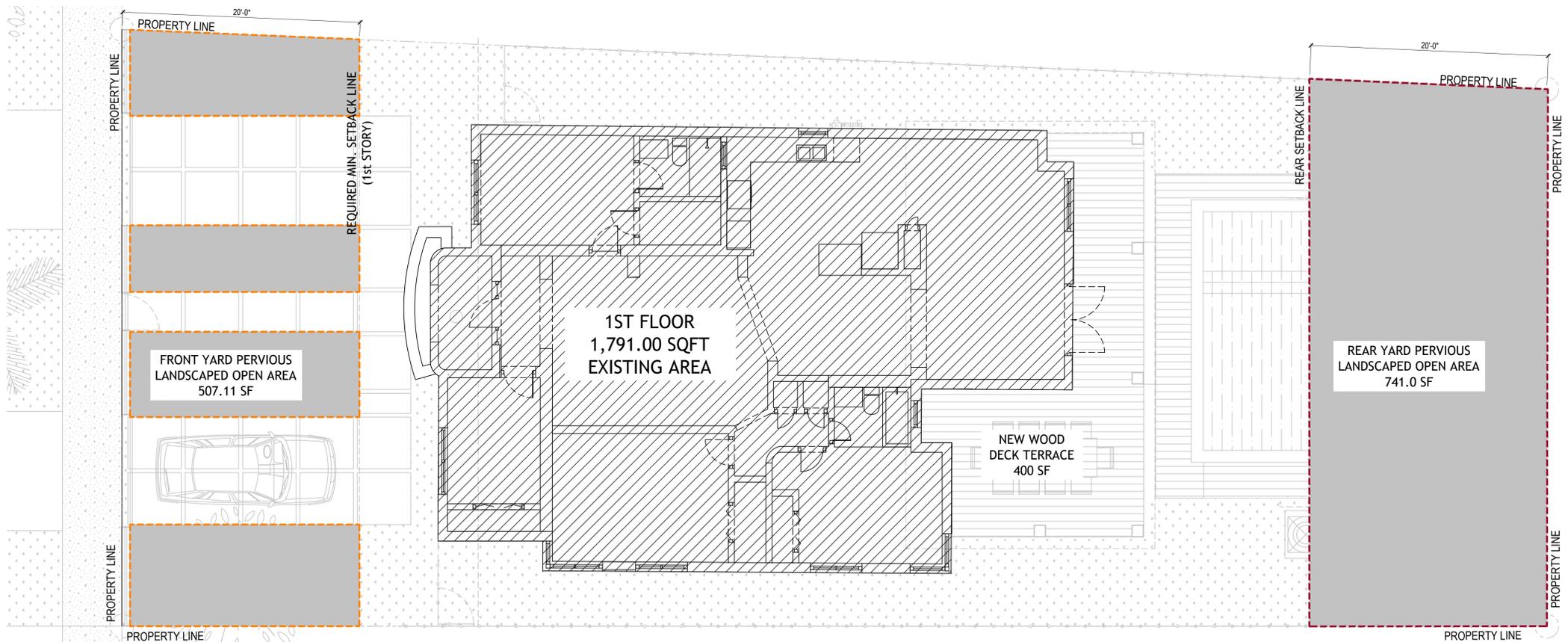
	MAX. ALLOWED	PROPOSED
MAX. 50% of LOT AREA (Lot Area = 5,717.00 Sq. Ft.)	2,858.5 SF	2,391.00 SF
AREA 1st FL(EXISTING)	1,791.00 SF (1st FL.)	1,791.00 SF (1st FL.)
AREA 2nd FL(NEW)	600.00 SF (2nd FL.)	600.00 SF (2nd FL.)
		2,391.00 SF (41.82%)

	MIN. REQ'D.	PROPOSED
50% of FRONT yard (Front Setback Area = 998.00 Sq. Ft.)	499.00 SF	507.11 SF (50.81%)
PERVIOUS LANDSCAPED OPEN AREA:		507.11 SF

	MIN. REQ'D.	PROPOSED
70% of REAR yard (Rear Setback Area = 980.00 Sq. Ft.)	686.00 SF	741.00 SF (75.61%)
PERVIOUS LANDSCAPED OPEN AREA:		741.00 SF



**UNIT SIZE FL 2 DIAGRAM**  
SCALE 3/16" = 1'-0"



**UNIT SIZE FL 1/PERVIOUS AREAS DIAGRAM**  
SCALE 3/16" = 1'-0"

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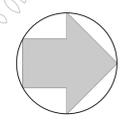
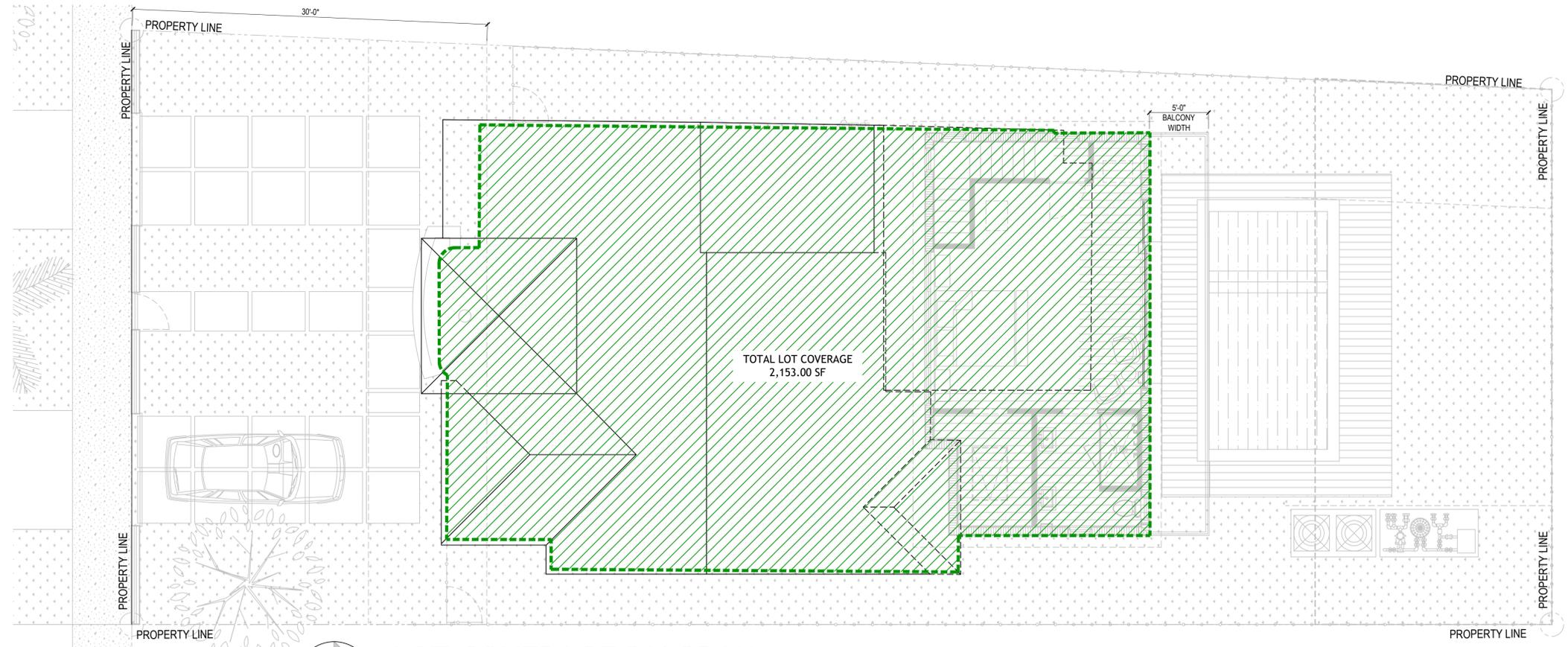
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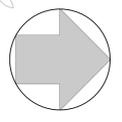
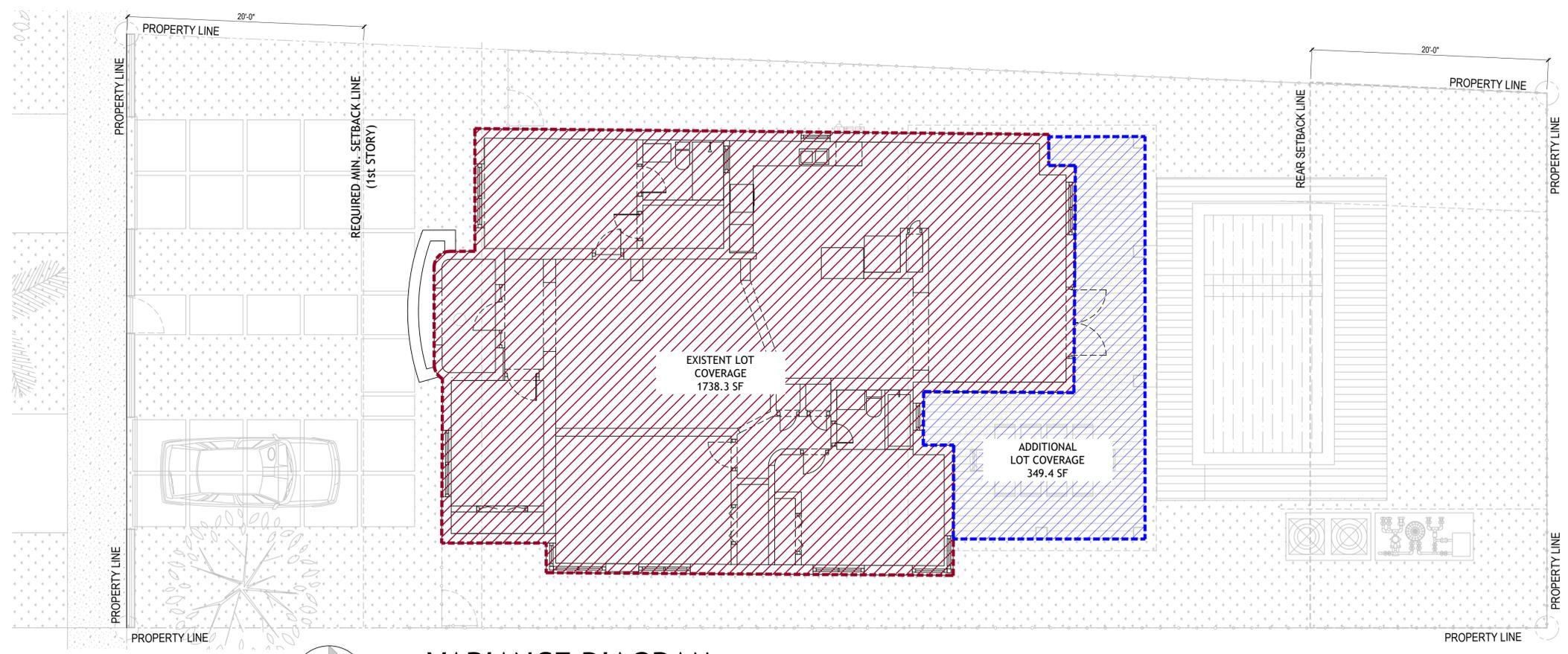
**A-1.3**  
UNIT SIZE AND PERVIOUS AREA DIAGRAMS  
JCM

LOT COVERAGE:	
MAX. 30% of LOT AREA (Lot Area = 5,745.5 Sq. Ft.)	MAX. ALLOWED 1,723.65 SF
 TOTAL LOT COVERAGE AREA: PER Sec. 142-108. (2)(B)(I)	PROPOSED 2,153.00 SF (37.47%)



**LOT COVERAGE DIAGRAM**  
SCALE 3/16" = 1'-0"

LOT COVERAGE:	
MAX. 30% of LOT AREA (Lot Area = 5,745.5 Sq. Ft.)	MAX. ALLOWED 1,723.65 SF
 EXISTENT LOT COVERAGE AREA:	1738.3 SF (30.25%)
 ADDITIONAL PROPOSED LOT COVERAGE AREA:	349.4 SF (6.08%)



**VARIANCE DIAGRAM**  
SCALE 3/16" = 1'-0"

CONSTRUCTION DOCUMENTS SET FINAL SUBMITTAL. NOVEMBER 06, 2023

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**A-1.4**  
LOT COVERAGE/VARIANCE DIAGRAM  
JCM

**MISCELLANEOUS NOTES:**

- 1- ALL CONSTRUCTION MATERIAL BELOW DFE (+10.00' NGVD) MUST BE OF FLOOD RESISTANT MATERIAL (INCLUDING DOORS). e.g. MASONRY, STUCCO, ETC...
- 2- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE DESIGN FLOOD ELEVATION (DFE), +10.00' NGVD.
- 3- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE WITHIN 15" MIN. AND 48" MAX. HIGH. A.F.F.
- 4- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED 1/2" MAXIMUM & BE LEVEL @ E.A. SIDE OF DOOR.
- 5- COORDINATE FLOOR FINISHES WITH OWNER.
- 6- SMOOTH SURFACE, NON-ABSORBENT, SLIP RESISTANT, CERAMIC TILED FLOOR & WALLS FULL HEIGHT. TYPICAL @ ALL SHOWERS & TUBS.
- 7- SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.
- 8- ALL INTERIOR AREAS TO HAVE A 6" WOOD BASEBOARD EXCEPT ALL RESTROOM AREAS TO HAVE A 6" COVE BASE TILE T.B.D. (U.O.N.)
- 9- WALL HUNG CABINETS TO BE ANCHORED TO HORIZONTAL MEMBER (20 GA MIN.) SECURELY FASTENED TO MIN (2) 20 GA STUDS, TYP.
- 10- PAINT COLORS UNDER A SEPARATE PERMIT
- 11- FOR INTERIOR FINISHES, FIXTURES, MILLWORK, RD WARE, APPLIANCES ETC. REFER TO OWNER OR INTERIOR DESIGNER
- 12- SOUNDPROOFING MATERIAL TO BE USED ON ALL FLOORS AT SECOND LEVEL. MIN. STC RATING OF 50.
- 13- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER ASTM E-84
- 14- ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL WOOD USE BELOW DESIGN FLOOD ELEVATION SHALL BE PRESERVATIVE-TREATED OR NATURALLY DECAY-RESISTANT.
- 15- CRAWL SPACE VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH W/ OPENING NOT GREATER THAN 1/8 INCH FBCR 4409.13.3.1. OR BY MATERIALS PROVIDED IN FBCR408.2.
- 16- ALL CLOSET SYSTEMS TO BE SUPPLIED BY OWNER.
- 17- ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATIONS (+10.00' NGVD) SHALL BE SOLELY USED FOR PARKING, BUILDING ACCESS OR STORAGE.

**FIRESTOPPING NOTE:**

FIRESTOPPING SHALL BE INSTALLED (WOOD FRAME CONSTRUCTION):

1. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS (INCLUDING FURRED SPACES @ CEILING & FLOOR LEVELS TO LIMIT MAX. DIMENSION OF ANY CONCEALED SPACE TO 8 FT).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS (AT LEAST ONCE IN THE MIDDLE OF EACH RUN, @ TOP & BOTTOM, & BETWEEN STUDS ALONG & IN LINE W/ ADJACENT RUN OF STAIRS OF THE RUN).
4. AT OPENINGS AROUND VENTS, PIPES, & DUCTS.
5. IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FOR THE FULL DEPTH OF THE JOISTS @ THE ENDS & OVER THE SUPPORT.
6. AROUND TOP, BOTTOM, & SIDES OF DOOR POCKETS.

**SMOKE DEVELOPED INDEX:** (FBC R302.9.2, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

**FLAME SPREAD INDEX:** (FBC R302.9.1, R302.10.1)

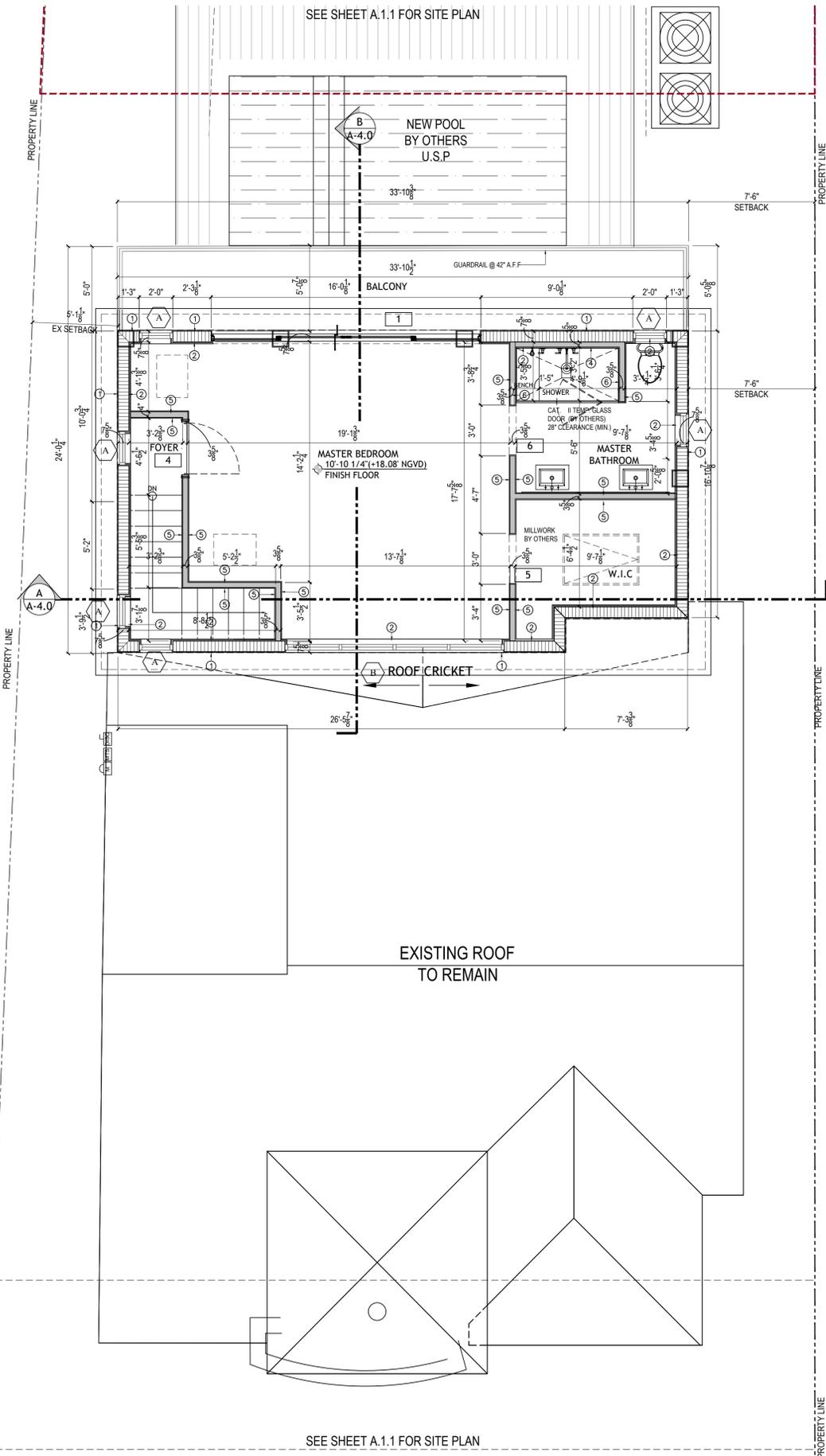
- WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

LEGEND	
	NEW MASONRY WALL
	NEW METAL STUD WALL
	EXISTING MASONRY WALL
	EXISTING PARTITION WALL

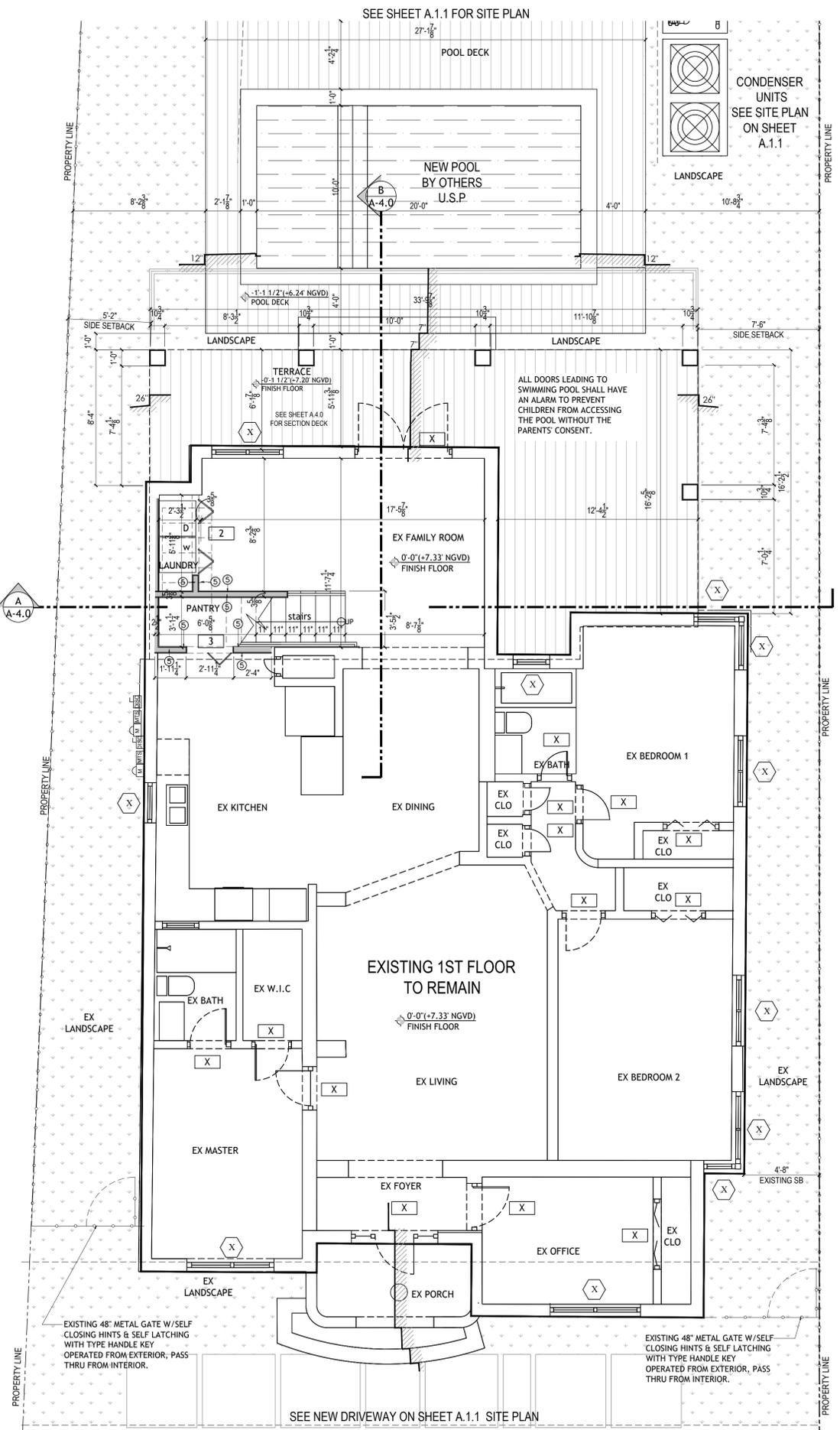
FLOOR PLAN LEGEND:	
	WINDOW TYPE, SEE SHEET A-5.0
	DOOR TYPE, SEE SHEET A-5.0
	WALL TYPE, SEE SHEET A-2.1

WATERPROOFING NOTE:  
ALL SCREWS AND WALL JOINTS IN SHOWER AREA MUST BE WATERPROOFED.

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)



**PROPOSED 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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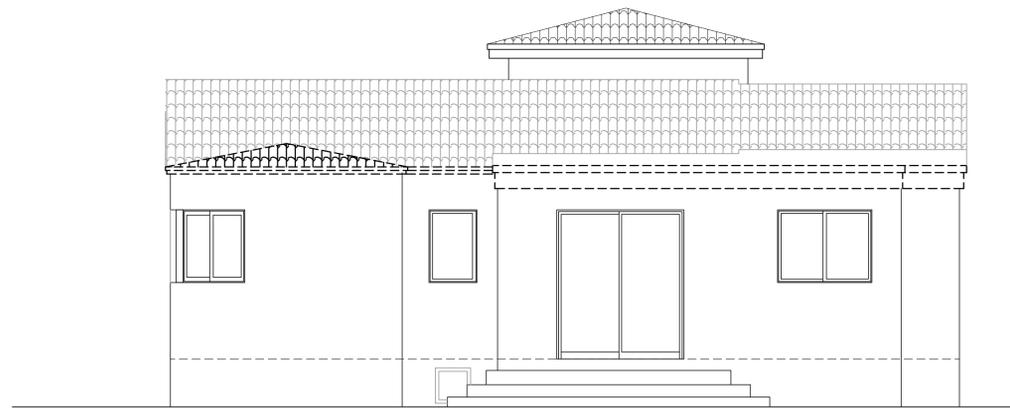
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**A-2.0**  
PROPOSED PLANS



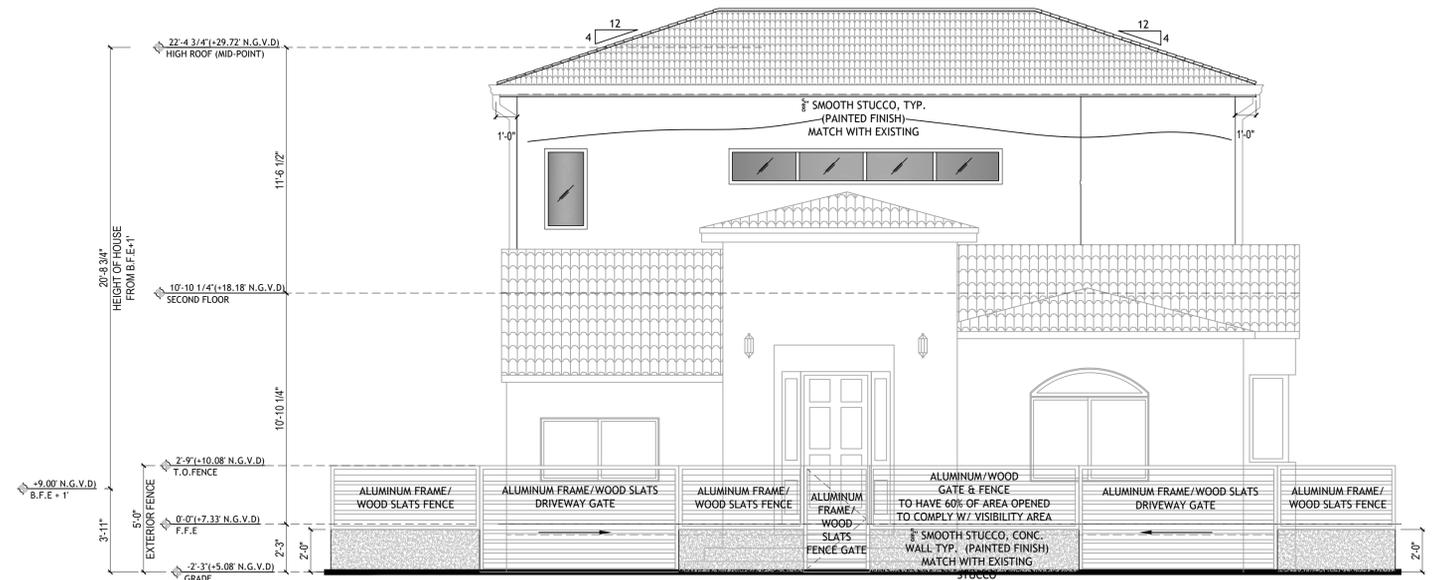
**EX. NORTH ELEVATION**  
SCALE 1/4" = 1'-0



**PROPOSED NORTH ELEVATION**  
SCALE 1/4" = 1'-0



**EX. SOUTH ELEVATION**  
SCALE 1/4" = 1'-0



\*GATE AND FENCE UNDER SEPARATE PERMIT  
**PROPOSED SOUTH ELEVATION**  
SCALE 1/4" = 1'-0

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**A-3.0**  
ELEVATIONS  
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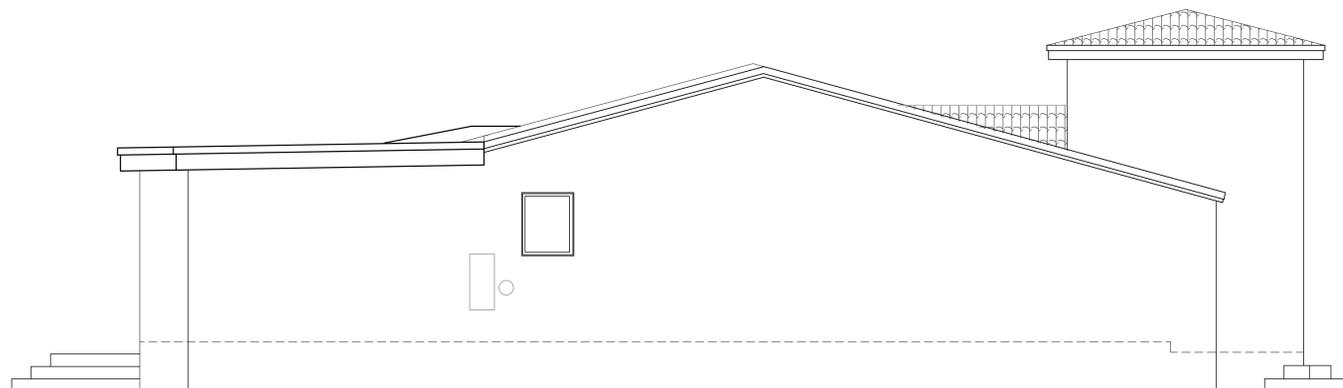
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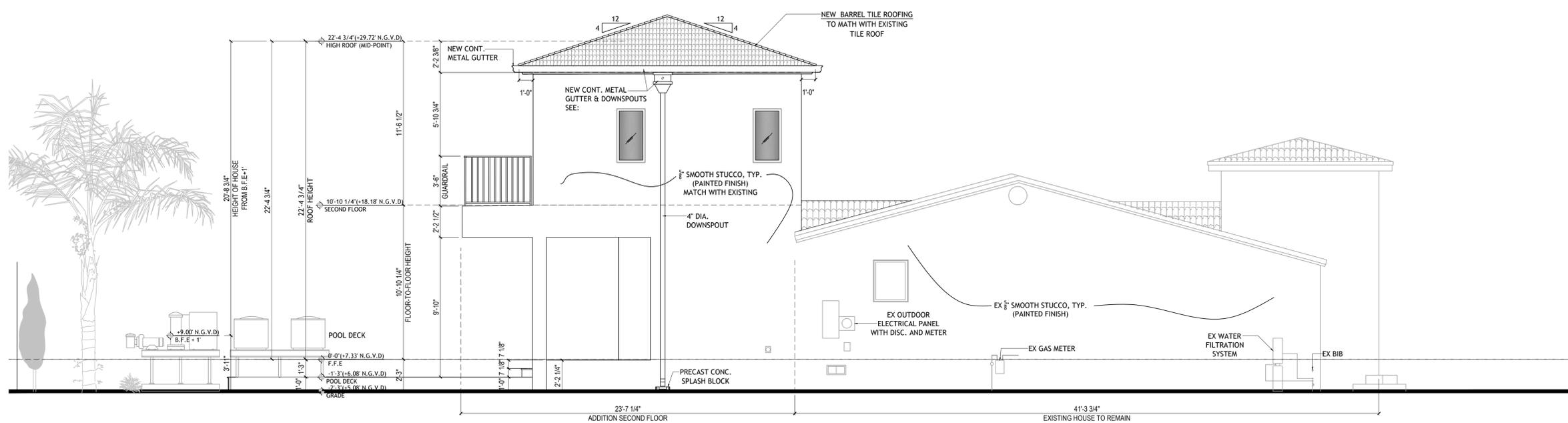
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**A-3.1**  
ELEVATIONS

JCM



**EX. WEST ELEVATION**  
SCALE 1/4" = 1'-0



**PROPOSED WEST ELEVATION**  
SCALE 1/4" = 1'-0

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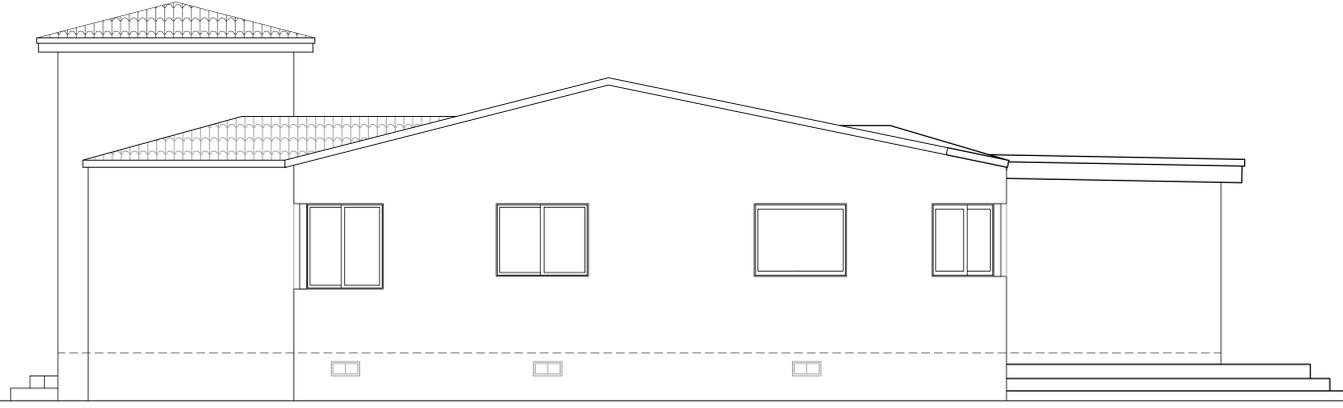
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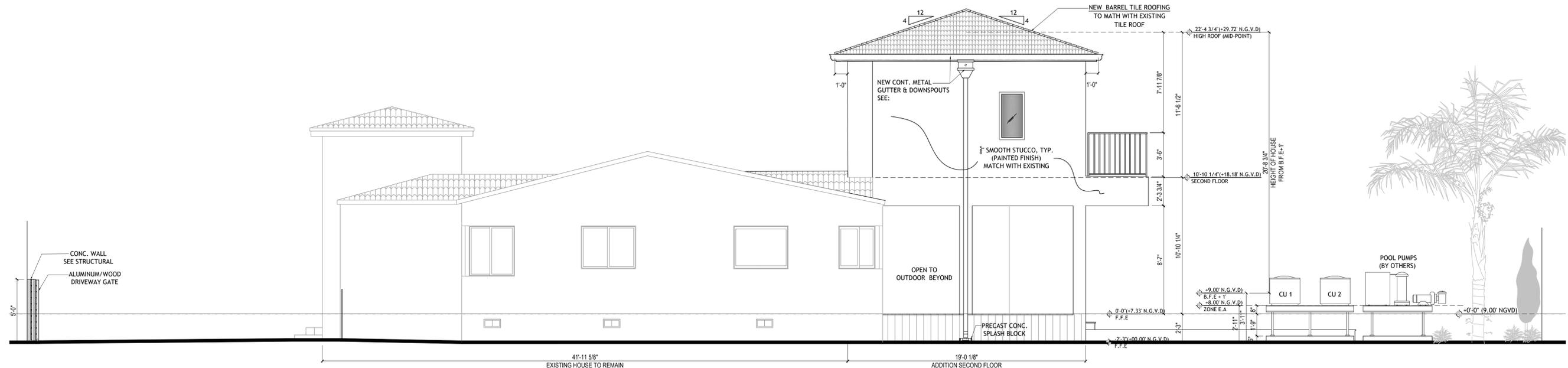
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**A-3.2**  
ELEVATIONS  
JCM



**EX. EAST ELEVATION**  
SCALE 1/4" = 1'-0



**PROPOSED EAST ELEVATION**  
SCALE 1/4" = 1'-0

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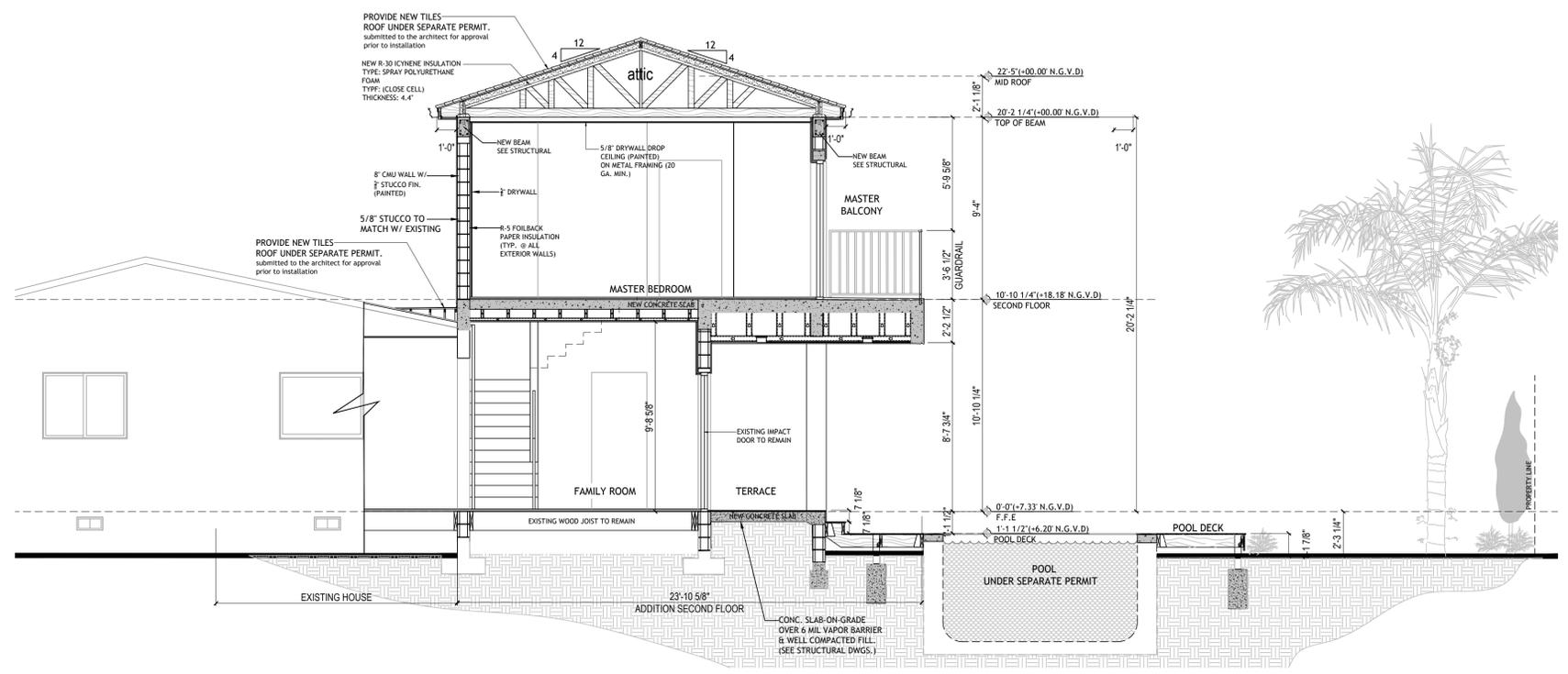
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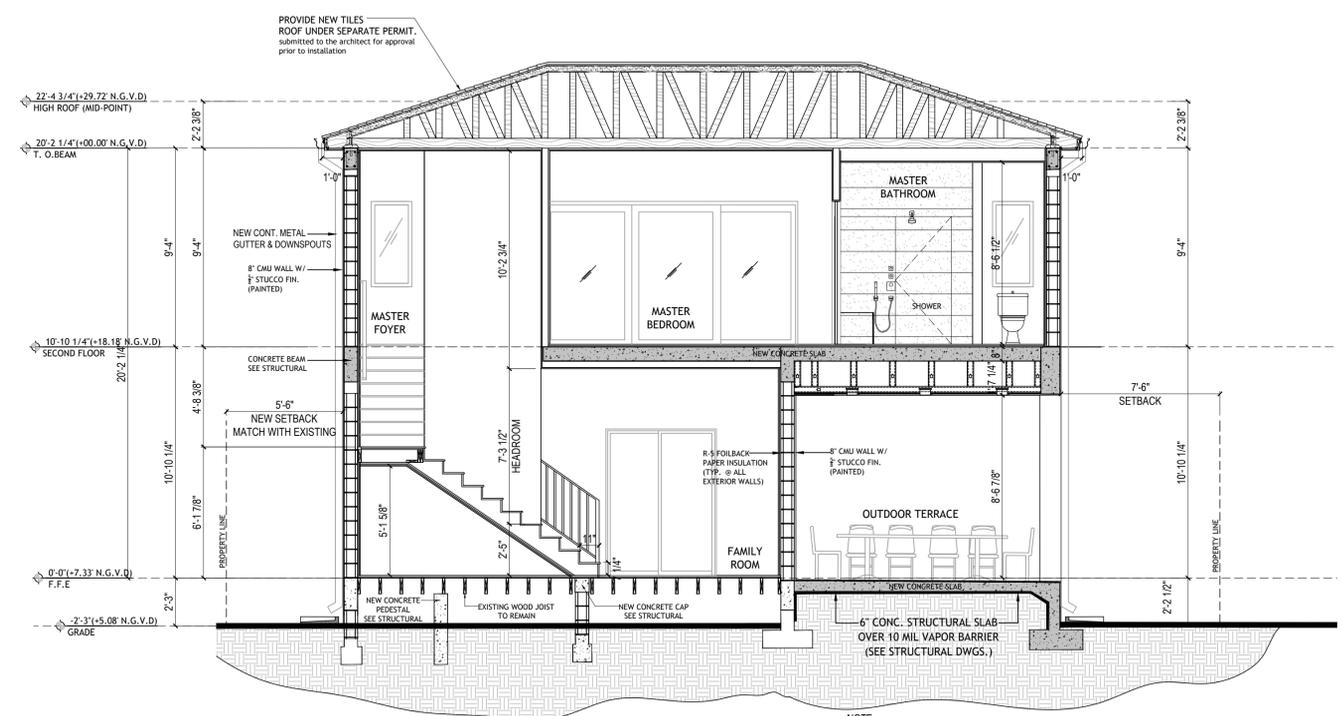
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**A-4.0**  
SECTIONS  
JCM



**SECTION B**  
SCALE 1/4" = 1'-0"



**SECTION A**  
SCALE 1/4" = 1'-0"



**FRONT VIEW EAST SIDE**

SCALE: N.T.S.



**REAR VIEW EAST SIDE**

SCALE: N.T.S.



**FRONT VIEW WEST SIDE**

SCALE: N.T.S.



**REAR VIEW WEST SIDE**

SCALE: N.T.S.

DRAWN BY:  
REVISIONS:

A00003689  
ANTHONY LEON  
0016752  
**3 DESIGN**  
ARCHITECTURE  
3260 Northwest 7th Street, Miami, FL 33125  
P: 305-438-8377 | F: 305-438-8379

SEAL

REMODELING PERMIT  
for:  
719 W 51st STREET  
MIAMI BEACH, FL 33140

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

**A-7.0**  
RENDERINGS  
JCM



**REAR VIEW**  
SCALE: N.T.S.



**SIDE WEST VIEW**  
SCALE: N.T.S.



**FRONT VIEW**  
SCALE: N.T.S.



**SIDE EAST VIEW**  
SCALE: N.T.S.

DRAWN BY:  
REVISIONS:

AA0003689  
ANTHONY LEON  
0016752

**3 DESIGN**  
ARCHITECTURE

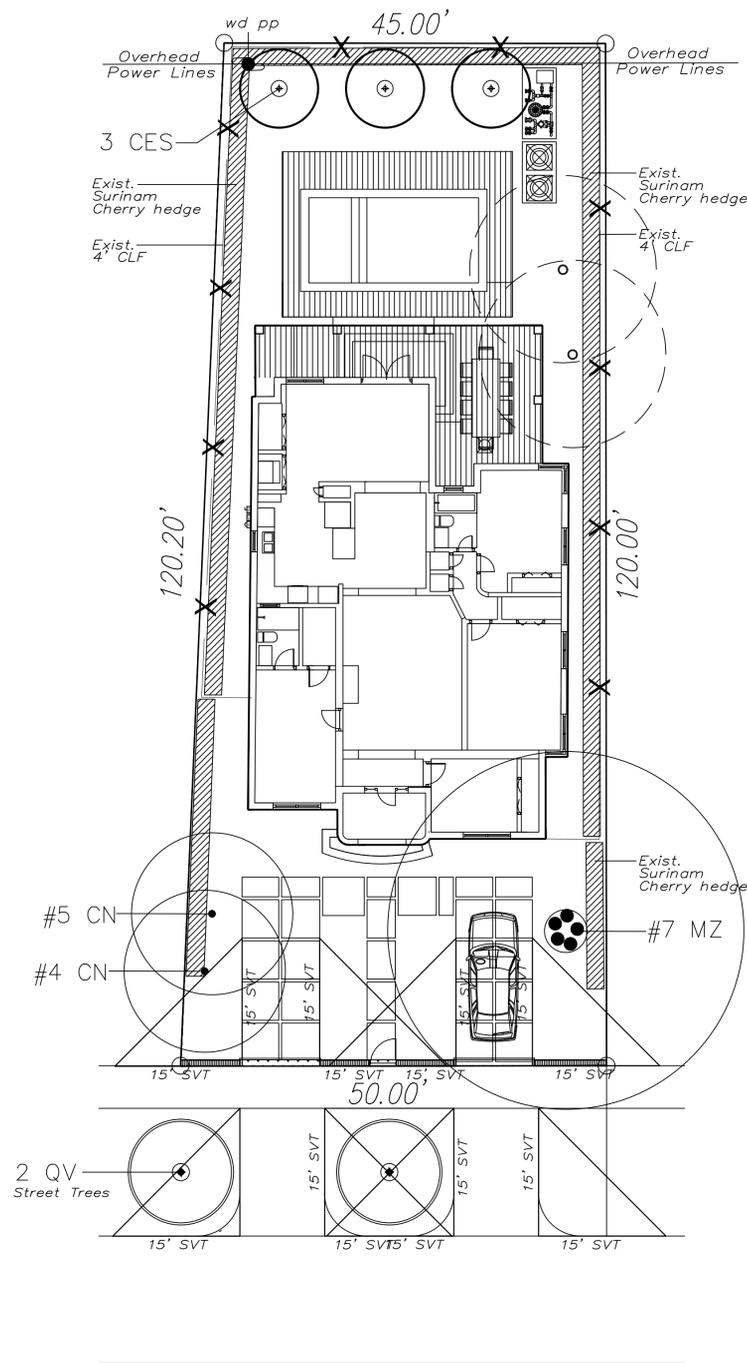
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**A-7.1**  
RENDERINGS



Landscape Plan  
1"=10'-0"

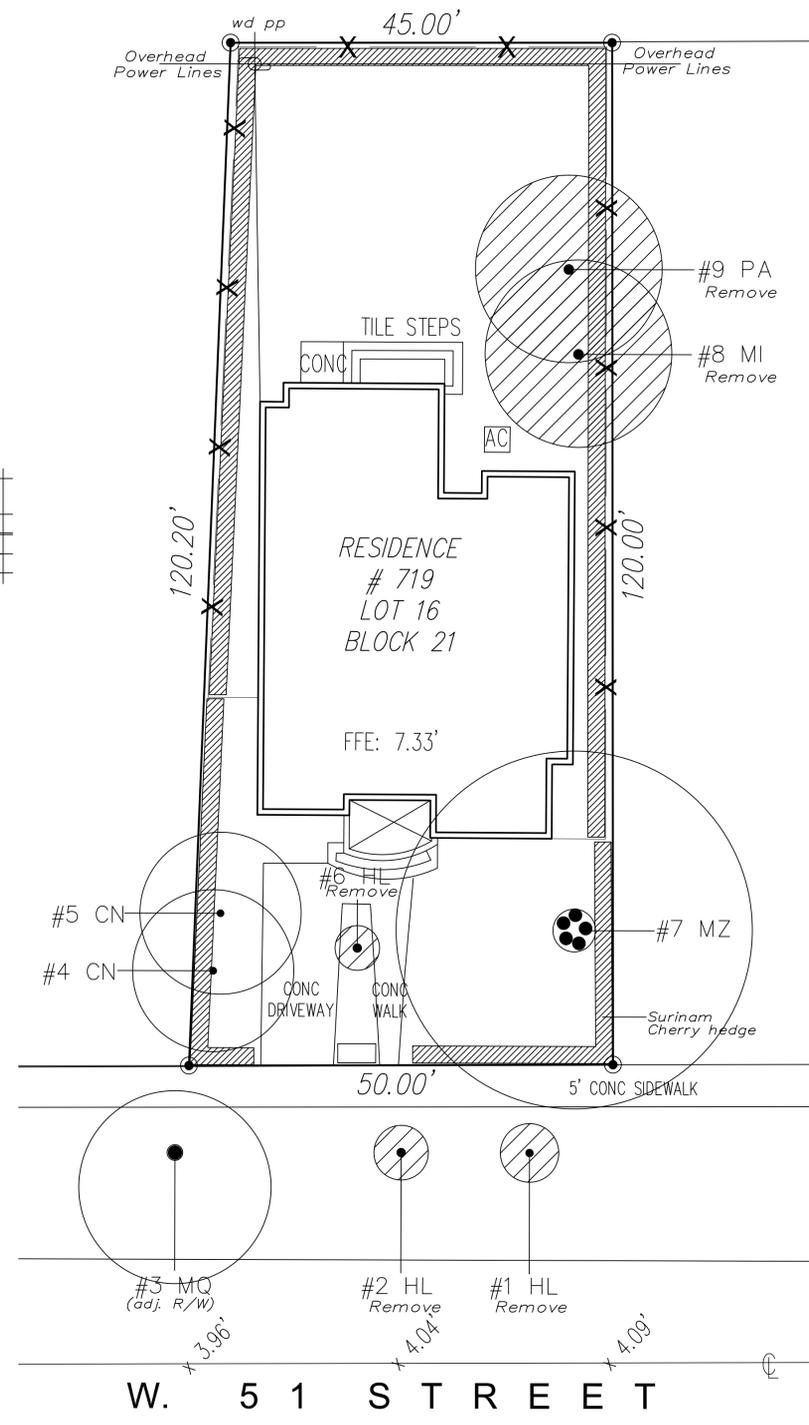


Tree Survey List											
Num	Botanical / Common Name	tr	sp	dbh	Description	Condition	Disposition	DBH	CRZ/FPZ	NOTES	
#1 HL	Hymenocallis latifolia / Bottle Palm	R/W	11'	7"	16"	Good	Remove	N/A	req. size	N/A	In Right of Way
#2 HL	Hymenocallis latifolia / Bottle Palm	R/W	10'	6"	15"	Good	Remove	N/A	req. size	N/A	In Right of Way
#3 MQ	Melaleuca quinquenervia / Melaleuca	R/W	30'	22"	17"	Good	Remove	N/A	req. size	N/A	Adj. Right of Way
#4 CN	Cocos nucifera / Coconut Palm		38'	19"	12"	Good	Remain			6"	
#5 CN	Cocos nucifera / Coconut Palm		34'	19"	9"	Good	Remain			5"	
#6 HL	Hymenocallis latifolia / Bottle Palm		7'	4"	10"	Poor	Remove	N/A	req. size	N/A	
#7 MZ	Mangifera zapota / Sapodilla		38'	42"	60"	Good	Remain			5"	
#8 MI	Mangifera indica / Mango		34'	21"	11"	Good	Remove	11"		N/A	
#9 PA	Persea americana / Avocado		30'	22"	5,10"	Good	Remove	15"		N/A	

Indicates Existing Tree/Palm To Remain  
Indicates Existing Tree/Palm To Be Removed

Total Tree DBH To Be Removed = 26"  
Total Palms To Be Removed = 0

Plant List				
QTY	KEY	Botanical / Common Name	Description / Specification	Native Y/N
2	QV	Quercus virginiana / Live Oak	16' oa ht, 4" dbh, 7' spr.	Yes
3	CES	Conocarpus e. sericeus / Silver Buttonwood	12' oa ht, 2" dbh, 6' spr.	Yes



Tree Survey/Disposition Plan  
1"=10'-0"



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ANTHONY LEON  
0016762

3 DESIGN ARCHITECTURE  
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NEW CONSTRUCTION  
AT:  
719 W. 51 ST  
MIAMI BEACH, FLORIDA

ISSUE DATE:

REVISIONS:

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