



LARRY ANTHONY & MARY SHARON RESIDENCE
APPLICATION FOR SIDE-YARD SETBACK VARIANCES
5768 PINE TREE DRIVE * ZBA23-0159 * PART 2 OF 4

ZBA23-0159

APPLICATION FOR SIDE-YARD SETBACK VARIANCES

for residence of

LARRY ANTHONY SHARON & MARY SHARON

5768 PINE TREE DRIVE

MIAMI BEACH, FLORIDA 33140

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MIAMIBEACH

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

LAND USE BOARD HEARING APPLICATION

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

Application Information			
FILE NUMBER ZBA23-0169		Is the property the primary residence & homestead of the applicant/property owner? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (if "Yes," provide office of the property appraiser summary report)	
Board of Adjustment <input checked="" type="checkbox"/> Variance from a provision of the Land Development Regulations <input type="checkbox"/> Appeal of an administrative decision <input type="checkbox"/> Modification of existing Board Order		Design Review Board <input type="checkbox"/> Design review approval <input type="checkbox"/> Variance <input type="checkbox"/> Modification of existing Board Order	
Planning Board <input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Lot Split <input type="checkbox"/> Amendment to the Land Development Regulations or Zoning Map <input type="checkbox"/> Amendment to the Comprehensive Plan or Future Land Use Map <input type="checkbox"/> Modification of existing Board Order		Historic Preservation Board <input type="checkbox"/> Certificate of Appropriateness for design <input type="checkbox"/> Certificate of Appropriateness for demolition <input type="checkbox"/> Historic District/Site Designation <input type="checkbox"/> Variance <input type="checkbox"/> Modification of existing Board Order	
<input type="checkbox"/> Other:			
Property Information - Please attach Legal Description as "Exhibit A"			
ADDRESS OF PROPERTY 5768 Pine Tree Drive			
FOLIO NUMBER(S) 02-3214-003-0500			
Property Owner Information			
PROPERTY OWNER NAME Larry Anthony Sharon and Mary Sharon			
ADDRESS 5768 Pine Tree Drive		CITY Miami Beach	STATE Florida
BUSINESS PHONE 917.385.1044		CELL PHONE 	
EMAIL ADDRESS larry@coneyislandcapital.com			
Applicant Information (if different than owner)			
APPLICANT NAME Owner			
ADDRESS 		CITY 	STATE
BUSINESS PHONE 		CELL PHONE 	
EMAIL ADDRESS 			
Summary of Request			
PROVIDE A BRIEF SCOPE OF REQUEST Request variance(s) as necessary to allow a swimming pool with side yard setbacks of 3'-11" to the raised wall and 5 feet to the water's edge as opposed to a side yard setback of 7-1/2 feet to the raised wall as otherwise required by Section 142-106(b)(16) b.1. of the Land Development Regulations and a side yard setback of 9 feet to the water's edge as otherwise required by Section 142-106(b)(16)b.2. of the Land Development Regulations of the City of Miami Beach.			

Project Information			
Is there an existing building(s) on the site?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If previous answer is "Yes", is the building architecturally significant per sec. 142-108?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Does the project include interior or exterior demolition?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Provide the total floor area of the new construction. Not Applicable		SQ. FT.	
Provide the gross floor area of the new construction (including required parking and all usable area). Not Applicable		SQ. FT.	
Party responsible for project design			
NAME Hector J. Martinez AIA		<input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____	
ADDRESS 15002 SW 145th Street		CITY Miami	STATE Florida
		ZIPCODE 33196	
BUSINESS PHONE 305.904.6116	CELL PHONE 305.975.4626	EMAIL ADDRESS hector@martinezarchitect.com	
Authorized Representative(s) Information (if applicable)			
NAME Robert S. Fine		<input checked="" type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____	
ADDRESS 333 S.E. 2nd Avenue, Suite 4400		CITY Miami	STATE Florida
		ZIPCODE 33131	
BUSINESS PHONE 305.579.0826	CELL PHONE 786.281.0595	EMAIL ADDRESS FineR@gtlaw.com	
NAME Ethan Wasserman		<input checked="" type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____	
ADDRESS 333 S.E. 2nd Avenue, Suite 4400		CITY Miami	STATE Florida
		ZIPCODE 33131	
BUSINESS PHONE 305.579.0784	CELL PHONE 786.512.5583	EMAIL ADDRESS wassermane@gtlaw.com	
NAME		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input type="checkbox"/> Other _____	
ADDRESS		CITY	STATE
			ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	

Please note the following information:

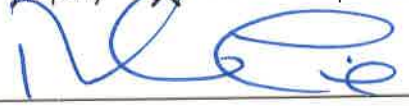
- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- All disclosures must be submitted in CMB Application format and be consistent with CMB Code Sub-part A Section 2-482(c):
 - (c) If the lobbyist represents a corporation, partnership or trust, the chief officer, partner or beneficiary shall also be identified. Without limiting the foregoing, the lobbyist shall also identify all persons holding, directly or indirectly, a five percent or more ownership interest in such corporation, partnership, or trust.
- Public records notice – All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. – Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the foregoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application form said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

☐ Owner of the subject property ☒ Authorized representative


SIGNATURE

Robert S. Fine

PRINT NAME

1/8/2024
DATE SIGNED

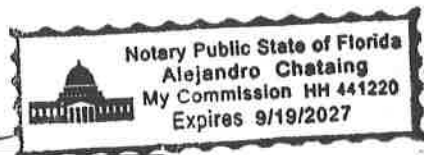
OWNER AFFIDAVIT FOR INDIVIDUAL OWNERSTATE OF FLORIDACOUNTY OF MIAMI-DADE

I, Larry Anthony Sharon, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this 28th day of November, 2023. The foregoing instrument was acknowledged before me by Larry Sharon, who has produced Personally known as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 9/19/27**NOTARY PUBLIC****PRINT NAME****ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY**

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the _____ (print title) of _____ (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

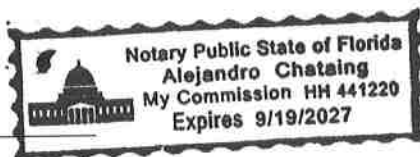
POWER OF ATTORNEY AFFIDAVITSTATE OF FLORIDACOUNTY OF MIAMI-DADE

I, Larry Anthony Sharon, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Robert Fine and Ethan Wasserman to be my representative before the Board of Adjustment Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

Larry Anthony Sharon**PRINT NAME (and Title, if applicable)****SIGNATURE**

Sworn to and subscribed before me this 28th day of November, 20 23. The foregoing instrument was acknowledged before me by Larry Sharon, who has produced Personally known as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 9/19/27**NOTARY PUBLIC****PRINT NAME****CONTRACT FOR PURCHASE**

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contact purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

Not Applicable**NAME****DATE OF CONTRACT**

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application if filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list ALL of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

Not Applicable

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

Not Applicable

TRUST NAME	
NAME AND ADDRESS	% INTEREST

COMPENSATED LOBBYIST

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

NAME	ADDRESS	PHONE
Robert S. Fine	333 SE 2nd Avenue, Suite 4400, Miami, FL 33131	305.579.0826
Ethan Wasserman	333 Se 2nd Avenue, Suite 4400, Miami FL 33131	305.579.0784

Additional names can be placed on a separate page attached to this application.

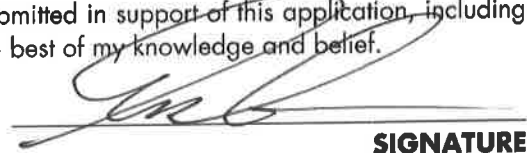
APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

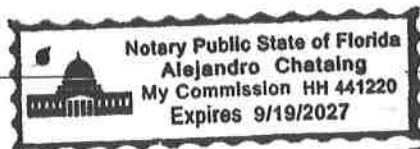
I, Larry Anthony Sharon, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

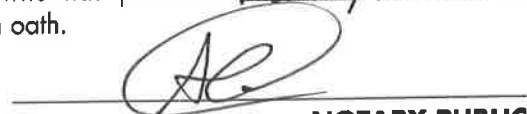

SIGNATURE

Sworn to and subscribed before me this 28th day of November, 2023. The foregoing instrument was acknowledged before me by Larry Sharon, who has produced Personally Known as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 9/19/27




NOTARY PUBLIC
Alejandro Chataing
PRINT NAME

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address: Pool Variance only _____ Board: BOA Date: 12-18-2023

BOARD APPLICATION CHECK LIST

A Pre-Application meeting must be scheduled via CSS to obtain a plan case number and for board staff review of all submittals, and review by the Development Review Committee, as needed.	
Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five(5) business days prior to CSS First submittal.	
Applications requiring a traffic study must meet with Planning, Transportation, and peer reviewer sixty (60) days* prior to First submittal deadline to determine the methodology for the traffic impact study. This meeting is considered the "Pre-Application meeting" and must be scheduled via CSS to obtain a plan case number for review and payment of fees. Thirty (30) days before First submittal, applicant must provide the traffic study via CSS (see Transportation Department's requirements check list). The Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to First submittal. Applicant must address comments and submit revised traffic study/plans for CSS First submittal deadline.	
Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.	

ITEM #	FIRST SUBMITTAL (VIA CSS) **, To be uploaded online (CSS) by the applicant before 5:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CSS system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	X
2	Is the property the primary residence & homestead of the applicant/property owner? (If yes, provide office of the Property Appraiser Summary Report).	x
3	Copy of signed and dated check list issued at Pre-Application meeting or Design Review Committee meeting.	X
4	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	X
5	Signed and dated Letter of Intent. Letter must outline application details and identify hardships if Variances are requested. (see also Items # 44, 45 & 46).	X
6	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	X
7	Copies of all current or previously active Business Tax Receipts if applicable.	
8	Copies of previous recorded final Orders if applicable.	x
9	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
10	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	X
11	Architectural Plans and Exhibits (must be 11"x 17")	X
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.	
b	Copy of the original survey included in plan package. See No. 10 above for survey requirements	X
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	
d	Context Location Plan, Min 8.5"x11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no	x
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	X
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	

* 30 day lead time from first submittal for projects requiring traffic studies is necessary to ensure completion of review and required corrections by Final submittal deadline. Applications cannot be scheduled without evaluated and corrected traffic studies.

Indicate N/A If Not Applicable

Initials: 

Property address: Pool Variance only

h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	x
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	X
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	X
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). <u>Number of seats, furniture layout if applicable</u>	x
m	Demolition Plans (Floor Plans & Elevations with dimensions)	
n	Proposed Sea Wall Plans, including plans and sections, and any existing or proposed dock	
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	
p	Proposed Section Drawings	
q	Color Renderings (elevations and three dimensional perspective drawings).	
12	Landscape Plans and Exhibits (must be 11"x 17")	
a	Tree Survey	
b	Tree Disposition Plan	
c	Landscape Plan- private property and right-of-way areas. Proposed landscaping with landscape legend form, hardscape areas, ground floor equipment, overhead and underground utilities information.	
d	Hardscape Plan, i.e. paving materials, pattern, etc.	
e	Landscape lighting	
13	Copy of original Building Permit Card, & Microfilm, if available.	x
14	Copy of previously approved building permits. (provide building permit number).	
15	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data.	
16	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	
17	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	
18	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
19	Line of Sight studies.	
20	Structural Analysis of existing building including methodology for shoring and bracing.	
21	Proposed exterior and interior lighting plan, including photometric calculations.	
22	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
23	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
24	Required yards open space calculations and shaded diagrams.	x
25	Required yards section drawings.	
26	Variance and/or Waiver Diagram, if applicable	x
27	Schematic signage program	
28	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
29	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
30	Daytime and nighttime renderings for illuminated signs.	
31	Floor Plan Indicating area where alcoholic beverages will be displayed.	
32	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
33	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	

Indicate N/A If Not Applicable

Initials: 

Property address: Generic - Pool Variance Only

34	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
35	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	x
36	Survey with spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the dune within the property. Erosion control line and Bulkhead line shall be indicated if present.	
37	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
38	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
39	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
40	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review. (See Transportation Department check list for requirements.)	
41	Sound Study report (Hard copy) with 1 CD.	
42	Site Plan (Identify streets and alleys)	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____	
c	# of bicycle parking spaces _____	
d	Interior and loading area location & dimensions _____	
e	Street level trash room location and dimensions _____	
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____	
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
43	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____	
c	Occupancy load indoors and outdoors per venue _____ Total when applicable _____	
44	The letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	
45	The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:	
a	Section 118-353 (d) of the City Code for each Variance, if applicable	
46	The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU - NIE and or outdoor Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (5)(a)-(k) & (6)(a)-(g)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see Item # 47	
47	Lot Splits	
a	Conceptual masing study to show the ability to comply with all single family zoning requirements for the maximum size home proposed.	
b	A survey showing the existing lot configuration and individual surveys per each proposed lot.	
c	Conceptual Site Plan for each lot showing compliance with zoning regulations.	
d	Submit opinion of title	

Indicate N/A If Not Applicable

Initials:

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property Address: _____ Pool Variance Only _____


Notes: The applicant is responsible for checking above referenced sections of the Code.

ITEM #	FINAL SUBMITTAL (via CSS & PAPER)	Required
	Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Upload documents online (via CSS) before NOON on final submittal deadline. Staff will review and issue a notice to proceed to Paper Final submittal or to continue submittal to a future meeting if the application is found incomplete.	
48	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CSS).	
	PAPER FINAL SUBMITTAL:	
49	Original application with all signed and notarized applicable affidavits and disclosures.	X
50	Original of all applicable items.	X
51	One (1) signed and sealed 11"x17" bound, collated set of all the required documents.	X
52	10 collated copies of all required documents	X
53	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	X
54	Traffic Study (Hard copy)	
55	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	X

ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS

- A. ** Other information/documentation required for First submittal will be identified during Pre-Application meeting and Development Review Committee Meeting but may be modified based on further analysis.
- B. It is the responsibility of the applicant to confirm that documents submitted via CSS, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.
- C. All PDF files must be named with the submittal deadline date and the type of document in the following format 'MM-DD-YYYY Document Name'.
- D. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- E. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.
- F. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)

Robert S. Fine
Applicant's or designee's Name


Applicant's or designee's signature

December 18, 2023
Date

Indicate N/A If Not Applicable

Initials: 



December 18, 2023

**City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, FL 33139**

RE: Property Owners List within 375 feet of:

LEGAL DESCRIPTION:

Lot 7, Block 2, **BEACH VIEW ADDITION**, according to the Plat thereof, as recorded in Plat Book 9, at Page 158 of the Public Records of Miami-Dade County, Florida.

ADDRESS: 5768 Pine Tree Drive, Miami Beach, FL 33140

FOLIO: 02-3214-003-0500

PREPARED FOR: GREENBERG TRAURIG

ORDER: 231212

Total number of property owners without repetition: 44

This is to certify that the attached ownership list, map and mailing matrix is a complete and accurate representation of the real estate property and property owners within 375 feet of the subject property listed above. This reflects the most current records on the file in Miami-Dade County Tax Assessor's Office.

Sincerely,

THE ZONING SPECIALISTS GROUP, INC.

Omara R. Lopez

For the Firm

OWNERS LIST

THE FOLLOWING ARE PROPERTY OWNERS WITHIN A 375-FOOT RADIUS OF THE FOLLOWING LEGALLY DESCRIBED PROPERTY

LEGAL DESCRIPTION:

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FOLIO: 02-3214-003-0500

PREPARED FOR: GREENBERG TRAUIG

ORDER: 231212

10-11-14 53 42 Beach View Addn PB 16-10 Lot 10 Blk 3
Property address: 5835 Pine Tree Dr
Folio number: 0232110140250

Andrew Schultz Diana Schultz
5835 Pine Tree Dr
Miami Beach, FL 33140-2122

Beach View Addn PB 16-10 Lots 11 & 12 Blk 3
Property address: 5821 Pine Tree Dr
Folio number: 0232110140260

Jason Greenberg Renee Greenberg
5821 Pine Tree Dr
Miami Beach, FL 33140-2122

10-11-14 53 42 Beach View Addn PB 16-10 Lot 13 Blk 3
Property address: 5801 Pine Tree Dr
Folio number: 0232110140270

Tracey Hunter
5801 Pine Tree Dr
Miami Beach, FL 33140-2122

Beach View Addn PB 16-10 Lot 4 Blk 8
Property address: 5835 La Gorce Dr
Folio number: 0232110140830

Atomic Usa Inc
6801 Collins Ave # C1016
Miami Beach, FL 33141-3243

10-11-14 53 42 Beach View Addn PB 16-10 Lot 5 Blk 8
Property address: 5825 La Gorce Dr
Folio number: 0232110140840

The Aa Residence Trust
5825 Lagorce Dr
Miami Beach, FL 33140-2112

Beach View Addn PB 16-10 Lot 6 Blk 8
Property address: 5811 La Gorce Dr
Folio number: 0232110140850

Ag Real Estate Enterprises LLC
6801 Collins Ave # C1016
Miami Beach, FL 33141-3243

Beach View Addn PB 16-10 Lot 7 Blk 8
Property address: 5801 La Gorce Dr
Folio number: 0232110140860

Kerry Newman Elena Newman
5801 Lagorce Dr
Miami Beach, FL 33140-2112

Beach View Addn PB 16-10 Lot 8 Blk 8
Property address: 5800 Pine Tree Dr
Folio number: 0232110140870

Corinna U Keller
5800 Pine Tree Dr
Miami Beach, FL 33140-2123

Beach View Addn PB 16-10 Lot 9 Blk 8
Property address: 5812 Pine Tree Dr
Folio number: 0232110140880

Judy Aragunde
5812 Pine Tree Dr
Miami Beach, FL 33140-2123

Beach View Addn PB 16-10 Lot 10 Blk 8
Property address: 5828 Pine Tree Dr
Folio number: 0232110140890

Simon Cruz Mariana Morgan
5828 Pine Tree Dr
Miami Beach, FL 33140-2123

10-11-14 53 42 Beach View Addn PB 16-10 Lot 11 Blk 8
Property address: 5830 Pine Tree Dr
Folio number: 0232110140900

Neysa M Chea Lopez
5830 Pine Tree Dr
Miami Beach, FL 33140-2123

Beach View Addn PB 16-10 Lot 4 Blk 9
Property address: 5830 La Gorce Dr
Folio number: 0232110140960

Matthew M Macdonald
5830 Lagorce Dr
Miami Beach, FL 33140-2113

10-11-14 53 42 Beach View Addn PB 16-10 Lot 5 Blk 9
Property address: 5818 La Gorce Dr
Folio number: 0232110140970

Catherine Rose Burkett
5818 Lagorce Dr
Miami Beach, FL 33140-2113

Beach View Addn PB 16-10 Lot 6 Blk 9
Property address: 5800 La Gorce Dr
Folio number: 0232110140980

5800 Partners LLC
4045 Sheridan Ave # 240
Miami Beach, FL 33140-3665

53 42 136.8 Ac M/L Parc 1 Less Part Deac In PB 14-43 & Parc 2
Per Db 2509-109 In Secs 10-11-14-15 53 42
Property address: 5685 Alton Rd
Folio number: 0232140000010

La Gorce Country Club Inc
5685 Alton Rd
Miami Beach, FL 33140-2018

53 42 Ends Of Streets At W 52 St Thru W 54 St & W 56 St - W 58 St Thru 60 St
& Adj To W Side Of La Gorce Golf Course & Ends Of Streets At W 58 ST Thru
W 61 St & Adj To E Side Of La Gorce Golf Course All In Secs 14 &15 53 42
Property address:
Folio number: 0232140000020

City Of Miami Beach
1700 Convention Center Dr
Miami Beach, FL 33139-1819

14 53 42 Beach View PB 9-158 Lot 15 Blk 1-A

Property address: 5701 Pine Tree Dr
Folio number: 0232140030370

Ernesto Carlos Morales Trs Ernesto
Carlos Morales Rev Tr Bianca Elizabet
5701 Pine Tree Dr
Miami Beach, FL 33140-2151

14 53 42 Beach View PB 9-158 Lot 16 Blk 1A
Property address: 5711 Pine Tree Dr
Folio number: 0232140030380

Steeve Saieh Nawal Ayoub
5711 Pine Tree Dr
Miami Beach, FL 33140-2151

Beach View PB 9-158 Lot 17 Blk 1A
Property address: 5727 Pine Tree Dr
Folio number: 0232140030390

Maria Carmen Meruelo
5727 Pine Tree Dr
Miami Beach, FL 33140-2151

Beach View PB 9-158 Lot 18 - 19 Blk 1A
Property address: 5745 Pine Tree Dr
Folio number: 0232140030400

Thomas Steven Schwartz
5745 Pine Tree Dr
Miami Beach, FL 33140-2151

Beach View PB 9-158 Lot 20 Blk 1A
Property address: 5763 Pine Tree Dr
Folio number: 0232140030410

Sean Tolkin Jennifer Chaplin Tolkin
5763 Pine Tree Dr
Miami Beach, FL 33140-2151

Beach View PB 9-158 Lot 21 Blk 1A
Property address: 5777 Pine Tree Dr
Folio number: 0232140030420

Marc H Roberts Marci L Roberts
5777 Pine Tree Dr
Miami Beach, FL 33140-2151

Beach View PB 9-158 Lot 22 Blk 1A

Property address: 5785 Pine Tree Dr
Folio number: 0232140030430

Pinetree Holding Corp
C/O Menicucci Villa
2040 Victory Blvd
Staten Island, NY 10314-3525

Beach View PB 9-158 Lot 1 Blk 2
Property address: 5700 Pine Tree Dr
Folio number: 0232140030440

Paul A Sack
5700 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lot 2 Blk 2
Property address: 5720 Pine Tree Dr
Folio number: 0232140030450

Linda Frye
5720 Pine Tree Dr
Miami Beach, FL 33140-2152

14 53 42 Beach View PB 9-158 Lot 3 Blk 2

Property address: 5728 Pine Tree Dr
Folio number: 0232140030460

Alvaro German Alesso
Franziska Alesso Bendisch
5728 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lot 4 Blk 2
Property address: 5736 Pine Tree Dr
Folio number: 0232140030470

Evan Koorse Lena Makurath
5736 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lot 5 Blk 2
Property address: 5748 Pine Tree Dr
Folio number: 0232140030480

Glendon Hall Michelle V Hall
5748 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lot 6 Blk 2
Property address: 5758 Pine Tree Dr
Folio number: 0232140030490

Daniel F Velasquez Jennifer L Velasquez
5758 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lot 7 Blk 2
Property address: 5768 Pine Tree Dr
Folio number: 0232140030500

Larry Anthony Sharon Mary Sharon
5768 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lots 8 & 9 Blk 2
Property address: 5774 Pine Tree Dr
Folio number: 0232140030510

Daniel Kaner Sonia Kashuk
5774 Pine Tree Dr
Miami Beach, FL 33140-2152

Beach View PB 9-158 Lot 10 Blk 2
Property address: 5765 La Gorce Dr
Folio number: 0232140030530

5765 La Gorce Drive LLC
2525 Ponce De Leon Blvd #4FI
Coral Gables, FL 33134-6044

14 53 42 Beach View PB 9-158 Lot 11 Blk 2
Property address: 5757 La Gorce Dr
Folio number: 0232140030540

Beach View PB 9-158 Lot 12 Blk 2
Property address: 5747 La Gorce Dr
Folio number: 0232140030550

Beach View PB 9-158 Lot 13 N1/2 Lot 14 Blk 2
Property address: 5735 La Gorce Dr
Folio number: 0232140030560

Beach View PB 9-158 Lot 15 & S1/2 Lot 14 Blk 2
Property address: 5725 La Gorce Dr
Folio number: 0232140030570

Beach View PB 9-158 Lot 16 Blk 2
Property address: 5709 La Gorce Dr
Folio number: 0232140030580

Beach View PB 9-158 Lots 1 & 2 Blk 15
Property address: 5700 La Gorce Dr
Folio number: 0232140031640

14 53 42 Beach View PB 9-158 Lot 3 Blk 15
Property address: 5720 La Gorce Dr
Folio number: 0232140031650

14 53 42 Beach View PB 9-158 Lot 4 Blk 15
Property address: 5736 La Gorce Dr
Folio number: 0232140031651

14 53 42 Beach View PB 9-158 Lot 5 Blk 15
Property address: 5746 La Gorce Dr
Folio number: 0232140031652

Beach View PB 9-158 Lot 6 Blk 15

Property address: 5750 La Gorce Dr
Folio number: 0232140031660

Beach View PB 9-158 Lot 7 Blk 15
Property address: 5760 La Gorce Dr
Folio number: 0232140031670

14 53 42 Beach View PB 9-158 Lot 8 Blk 15
Property address: 5780 La Gorce Dr
Folio number: 0232140031680

5757 Lagorce Drive LLC
2525 Ponce De Leon Blvd #4Fl
Coral Gables, FL 33134-6037

Brian M Torres Elsa Maria Torres
5747 Lagorce Dr
Miami Beach, FL 33140-2141

Michael R Band & W Marice
5735 Lagorce Dr
Miami Beach, FL 33140-2141

David Gordon
5725 Lagorce Dr
Miami Beach, FL 33140-2141

Jonathan Babicka Melissa Babicka
5709 Lagorce Dr
Miami Beach, FL 33140-2141

Marjan Katz & H Burton
5700 Lagorce Dr
Miami Beach, FL 33140-2142

Jonathan Mayer & W Elise Lipoff
5720 Lagorce Dr
Miami Beach, FL 33140-2142

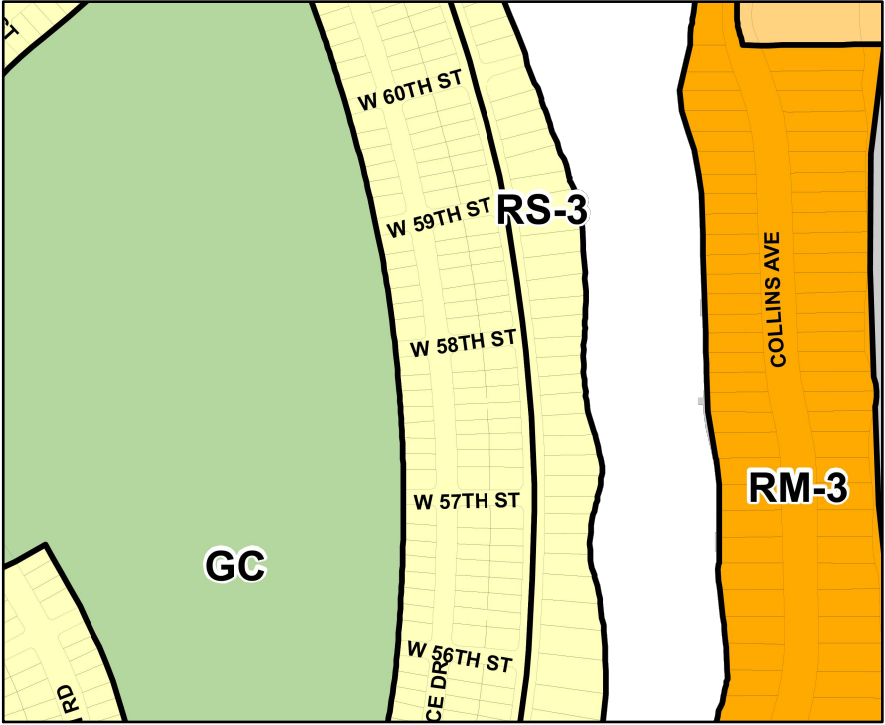
Arnaud Taieb
5736 Lagorce Dr
Miami Beach, FL 33140-2142

Siavosh Sedighim & W Claudia E
5746 Lagorce Dr
Miami Beach, FL 33140-2142

Diana Copelia Dorantes
Alejandro Diaz Bazan
5750 Lagorce Dr
Miami Beach, FL 33140-2142

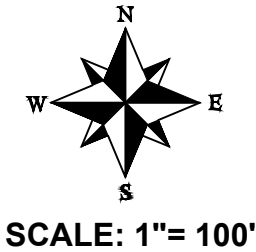
Jorge A Hernando Trs
5760 Lagorce Dr
Miami Beach, FL 33140-2142

Myles Chefetz
5780 Lagorce Dr
Miami Beach, FL 33140-2142

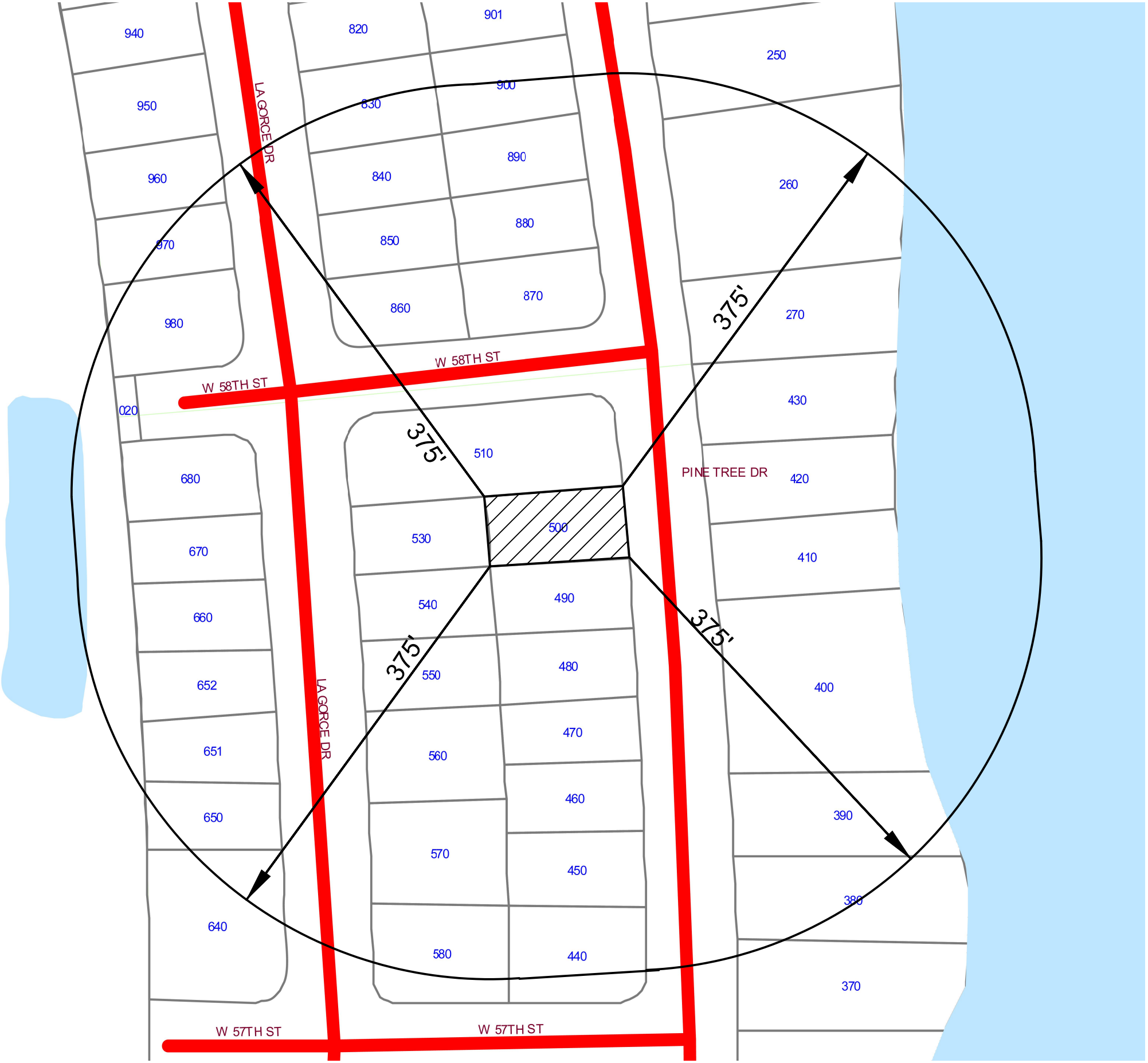


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PREPARED FOR: GREENBERG TRAUIG
ORDER: 231212
DATE: December 18, 2023



 **The Zoning Specialists Group, Inc.**
7729 NW 146th Street
Miami Lakes FL 33016
Ph: (305) 828-1210
www.thezoningspecialistsgroup.com



Andrew Schultz Diana Schultz
5835 Pine Tree Dr
Miami Beach, FL 33140-2122

Jason Greenberg
Renee Greenberg
5821 Pine Tree Dr
Miami Beach, FL 33140-2122

Tracey Hunter
5801 Pine Tree Dr
Miami Beach, FL 33140-2122

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Miami Beach, FL 33141-3243

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5748 Pine Tree Dr
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Jennifer L Velasquez
5758 Pine Tree Dr
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Larry Anthony
Sharon Mary Sharon
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Miami Beach, FL 33140-2152

Daniel Kaner Sonia Kashuk
5774 Pine Tree Dr
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5750 Lagorce Dr
Miami Beach, FL 33140-2142

Jorge A Hernando Trs
5760 Lagorce Dr
Miami Beach, FL 33140-2142

Myles Chefetz
5780 Lagorce Dr
Miami Beach, FL 33140-2142

Order number: 231212
Total non-repetitive labels: 44