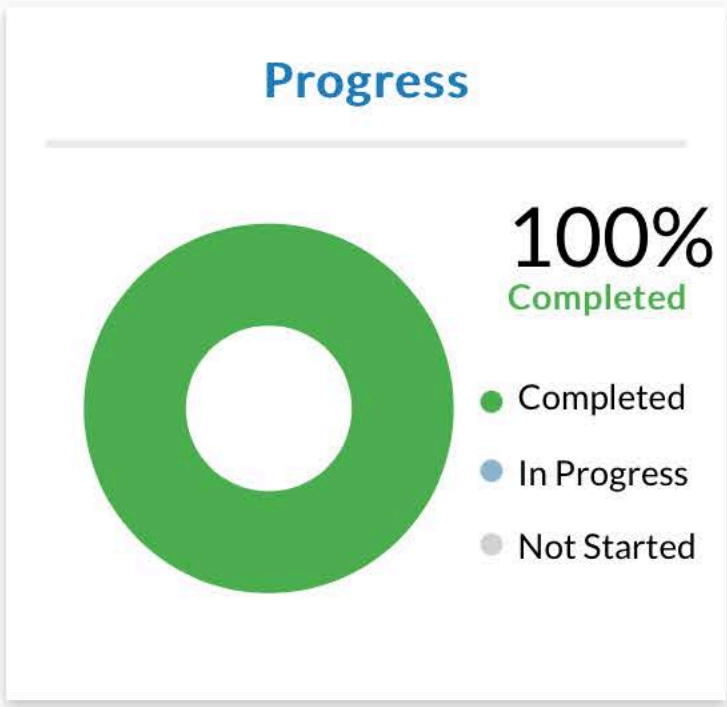


Permit Number: BR0516-0014

[Permit Details](#) | [Tab Elements](#) | [Main Menu](#)

Type:	Building - Residential - Awning / Carport / Sign	Status:	Finaled	Project Name:	
Applied Date:	05/05/2016	Issue Date:	05/26/2016		
District:	RS-3	Expire Date:	01/03/2017		
Square Feet:	354.00	Valuation:	\$12,500.00	Finalized Date:	07/07/2016
Description:	carport canopy frame and cover				

- Summary
- Locations
- Fees
- Reviews
- Inspections
- Attachments
- Contacts
- Sub-Records
- Holds





PROPOSED DRIVEWAY RECONFIGURATION FOR:  
THE OAKES RESIDENCE

2835 LUCERNE AVENUE  
MIAMI BEACH, FL 33140

INDEX OF DRAWINGS:

No.	TITLE / DESCRIPTION
ID1	PROJECT DATA, EXISTING CONDITIONS / DEMOLITION PLAN
ID2	PROPOSED NEW CONSTRUCTION FLOOR PLAN, REFLECTED CEILING PLAN AND WINDOW & DOOR SCHEDULES
S-1	STRUCTURAL PLANS AND DETAILS

SCOPE OF WORK

- THIS PROJECT CONSISTS OF A RECONFIGURED DRIVEWAY AND AUTO-COURT, INCLUDING A NEW COVERED PARKING AREA

PROJECT NOTES:

- These documents, as instruments of service, are the property of Architect and may not be used or reproduced in any manner without expressed written consent.
- No deviations from these plans are to be made, in any way, without the expressed WRITTEN permission of the Architect. Alternate equipment may only be substituted with written approval of the Architect.
- The General Contractor (G.C.) is to provide, locate and build into the work all supplementary materials (inserts, anchors, angles, plates, openings, sleeves, hangers, slob depressions, pitches, etc.) as required to properly install, support, brace, and shore all building components within the scope of the project.
- It is not the intent of these documents to show every minor construction detail. The G.C. is expected to furnish and install all items required to complete all building systems and provide all necessary appurtenances for equipment to be placed in proper working order with quality craftsmanship without increasing the contract sum or contract completion date.
- The G.C. is to obtain all required permits for the construction, finishing and occupancy of the project.
- All work shall be performed in accordance with the latest edition of the Florida Building Code, City Ordinances, and County amendments (F.B.C.), latest edition, 2010.
- All work described in these documents must be performed by construction professionals licensed & insured in the state of Florida (F.B.C. required). All work shall be performed in accordance with the National Electric Code and F.B.C., latest edition, 2010
- It is the intent of the Architect that this work conform with all requirements of the building authorities having jurisdiction over this type of construction and occupancy. The G.C. shall notify the Architect/Engineers of Record immediately if any discrepancies are encountered between the drawings and these requirements. Any discrepancies shall be resolved by the Architect, Inc./Engineer of Record prior to proceeding with the work.
- Structural Drawings shall be worked together with Architectural, Plumbing, Mechanical, and Electrical drawings to locate depressed slabs, slopes, drains, outlets, recesses, openings, regulates, bolt settings, sleeves, dimensions, etc.. Discrepancies shall be brought to the attention of the architect before proceeding with any and all work.
- These drawings are not to be scaled, use dimensions and information shown. All dimensions are frame to frame, to structure, or to structure, unless otherwise noted. The general contractor shall verify all dimensions in field and report any discrepancies to architect for action.
- The G.C. shall verify all dimensions and conditions at the job site before starting any work. Bring all discrepancies to the attention of the architect before beginning any work.
- The G.C. shall promptly notify the Architect in writing of the existing of any observed variations between the contract documents and the applicable codes or ordinances.
- All work done under the supervision of the G.C. shall be in a neat and workmanlike manner in accordance with federal, state and local governing agencies having jurisdiction.
- The G.C. shall repair all damage to the existing building during construction resulting from lack of care and due diligence and may not claim monetary damages or time delays against the contract sum or contract completion date for that work.
- The G.C. shall coordinate and schedule the work of all trades to insure that the project is completed by the contract completion date.
- Prior to commencing work, the G.C. shall verify the location of all equipment to be removed/relocated. Removals shall be coordinated with the owner.
- The G.C. shall provide an on-site dumpster in a location coordinated with the owner for the disposal of removed material/construction debris. The dumpster shall be emptied periodically to prevent overflow and unsightly conditions.
- The G.C. shall provide the Architect with redline as-built drawings for all field changes/additions to the work included in the drawings.
- The G.C. shall provide an itemized cost breakdown of all items and phases of construction at the time of bidding.
- The Architect is not responsible for construction means, methods, sequences, procedures, precautions or programs related to this project's construction.
- All work is to be plumb, aligned, square, and adequately supported. Fill all voids between components. All items that do not meet the Architect's satisfaction as to good trade practices and quality craftsmanship shall be removed and redone at the G.C.'s expense.
- The G.C. is to maintain a safe site, clear of debris at all times.
- The G.C. and all subcontractors are to guarantee the quality of their work for a minimum period of one year in writing, to be submitted with the bid.
- All details and sections shown on these drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere in the work except where a different detail is shown. It is the G.C.'s responsibility to foresee additional conditions prior to commencing the work and notify the Architect immediately for instruction.
- All assemblies referred to as fire-rated shall be a minimum of one hour unless otherwise indicated. All penetrations through any rated assembly shall be provided w/ approved penetration rated devices.
- The General Contractor shall review and approve the submitted shop drawing with the Contract Documents prior to submission to the Architect. Rejected shop drawing will be returned to the subcontractor for revision and re-submission. The Architect shall then review and approve the submitted shop drawing for design intent only. Rejected shop drawings will be returned to the subcontractor for revision and re-submission. Once approved by the Architect and contractor, the subcontractor shall submit the shop drawings to the City of Key Biscayne Building Department for review and approval prior to any fabrication and installation. All shop drawings shall be submitted on 24" x 36" PAPER ONLY. Submit 4 (four) copies for approval. Truss drawings shall be at the same scale as that of the floor plan, and all shop drawings shall be sealed and signed by a registered Engineer, in order to be approved.
- The G.C. shall provide a telephone and telephone and fax line at the job site. Cell phones are acceptable. The G.C. is responsible for its use.
- Contractor shall verify the location of any and all underground and overhead utility lines in the area of proposed work.
- Contractor is responsible for the general safety of the job site. Take all necessary precautions according to the FBC, latest Edition, 2010.



SITE LOCATION SKETCH  
(NOT TO SCALE)

LEGAL DESCRIPTION:

LOT 3, IN BLOCK 1C, OF THE SUNSET ISLAND NUMBER ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT-BOOK 40, AT PAGE 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

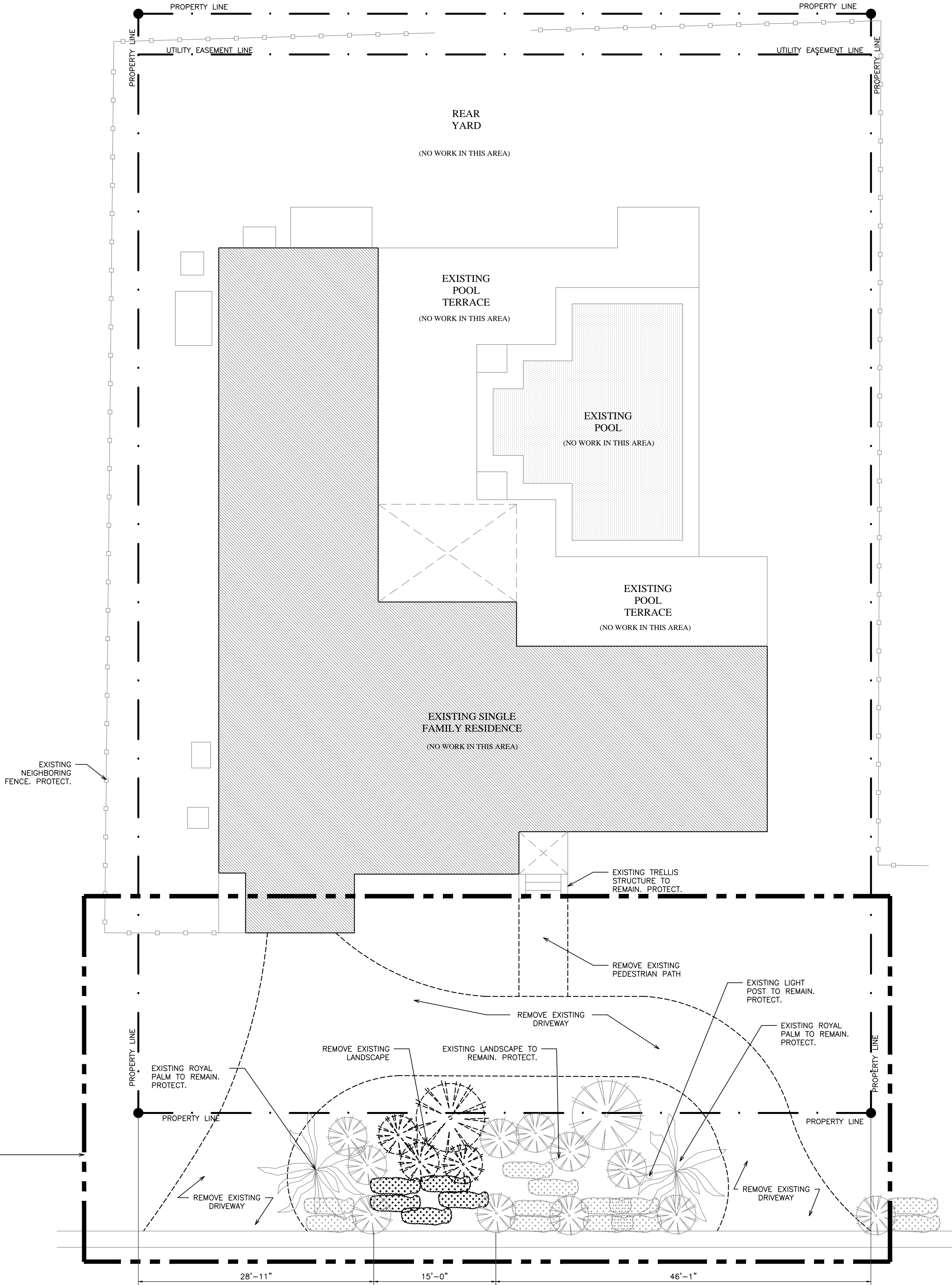
DEMOLITION NOTES

- REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACHIEVE DESIRED RESULTS. TAKE CARE IN REMOVING ANY EXISTING STRUCTURAL AND/OR UTILITARIAN CONCEALED CONSTRUCTION. REPAIR OF DAMAGES TO THE EXISTING BUILDING DURING DEMOLITION RESULTING FROM LACK OF CARE AND DUE DILIGENCE IS THE COMPLETE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MAY NOT BE CLAIMED AS MONETARY DAMAGES NOR AS TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT TIME TO PERFORM THE WORK.
- ALL SALVAGEABLE MATERIAL & EQUIPMENT SHALL REMAIN THE PROPERTY OF THE OWNER. THE OWNER WILL PROVIDE A LOCATION FOR STORAGE OF SALVAGED ITEMS. OWNER TO PROVIDE A CONTAINER TO STORE AND ORGANIZE ALL EXISTING EQUIPMENT AND FIXTURES FOR REUSE. NON-SALVAGEABLE MATERIAL AND EQUIPMENT, I.E. CONSTRUCTION DEBRIS, SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND SAFE MANNER, BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- PROTECT EXISTING ADJACENT FINISH MATERIALS, FIXTURES, EQUIPMENT AND LANDSCAPING FROM DAMAGE DURING DEMOLITION WORK. ALL DAMAGE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING IN ORDER TO ACCESS EXISTING PLUMBING, ELECTRICAL, MECHANICAL, AND STRUCTURAL CONDITIONS WITHIN CONCEALED SPACES. REPAIR ALL WORK THAT IS VISIBLE IN SUCH A MANNER SO AS TO LEAVE IT IN THE SAME OR BETTER CONDITION THAN BEFORE WORK COMMENCED.
- THE GENERAL CONTRACTOR SHALL SHUT DOWN ALL SERVICES SUCH AS ELECTRICAL, MECHANICAL AND PLUMBING PRIOR TO THE COMMENCEMENT OF WORK AS MAY BE REQUIRED THROUGHOUT DEMOLITION / CONSTRUCTION. THE GENERAL CONTRACTOR IS TO NOTIFY THE OWNERS IN ADVANCE OF ALL SERVICE INTERRUPTIONS.
- THE GENERAL CONTRACTOR SHALL HAVE ALL STRUCTURAL SHORING IN PLACE AND INSPECTED BY A FLORIDA LICENSED ENGINEER PRIOR TO THE REMOVAL OF ANY STRUCTURAL SYSTEMS/ELEMENTS.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING ROOF BEARING PRIOR TO COMMENCEMENT OF ANY DEMOLITION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR GENERAL SAFETY OF THE JOBSITE. PROVIDE ALL NECESSARY PRECAUTIONS ACCORDING TO CODES AND STANDARD PRACTICE.
- THE GENERAL CONTRACTOR SHALL PROPERLY TERMINATE ALL PLUMBING, ELECTRICAL, MECHANICAL AND RELATED EQUIPMENT/SYSTEMS WHICH MAY BE ABANDONED DURING THE COURSE OF THIS WORK AND TERMINATED AS PER FLORIDA BUILDING CODE REQUIREMENTS.

DEMOLITION LEGEND

- EXISTING DRIVEWAY TO BE REMOVED
- EXISTING GROUNDCOVER TO BE REMOVED

AREA OF WORK



LUCERNE AVENUE

SITE PLAN/DEMOLITION PLAN

1/8" = 1'-0"

P E R M I T S E T 3 . 2 6 . 2 0 1 5

TABIO ENGINEERING CORPORATION

THE OAKES RESIDENCE  
2835 LUCERNE AVENUE  
MIAMI BEACH, FL 33140  
TEL: 305-772-2586 FAX: 305-772-2599

DEMOLITION PLAN

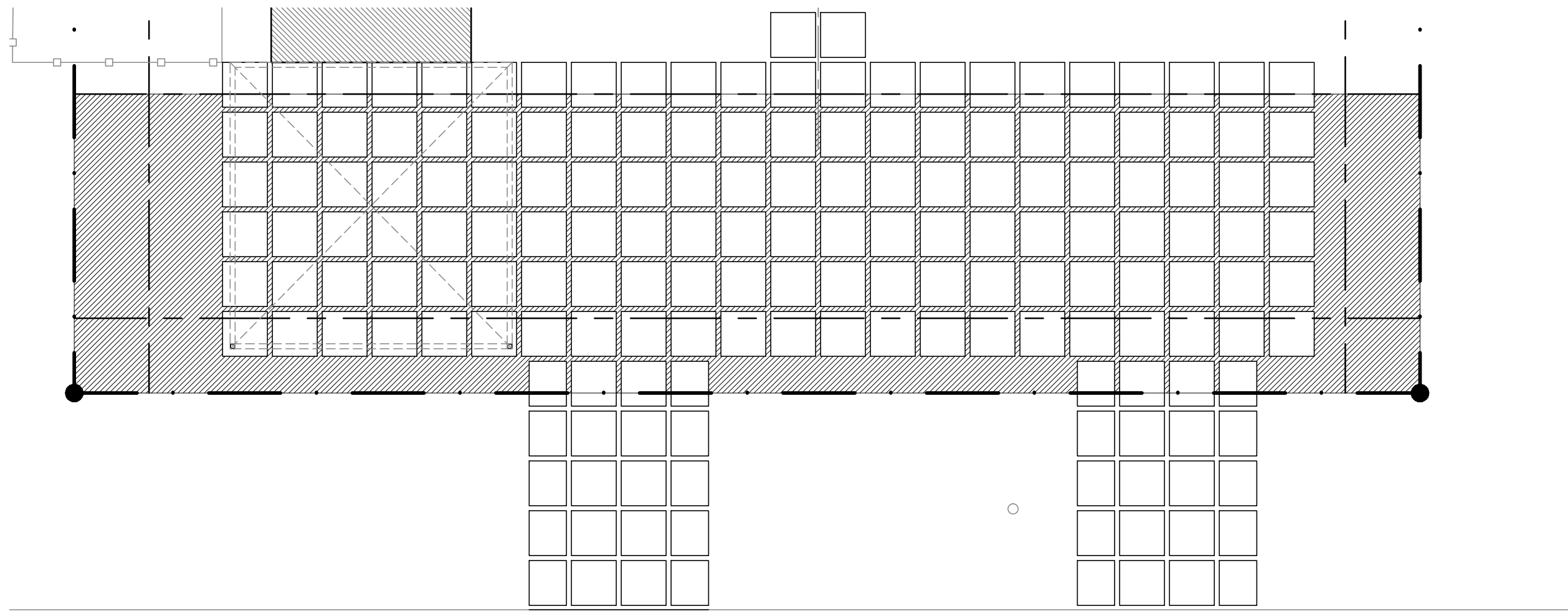
DATE:	3.26.2015
DRAWN BY:	MS
REVISION:	DATE:

MAURICIO SALAZAR, P.E.  
FLA. LICENSE #00757  
140 BUTTWOOD DRIVE  
KEY BISCAYNE, FL 33149  
PHONE: 305-772-7599

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ID1





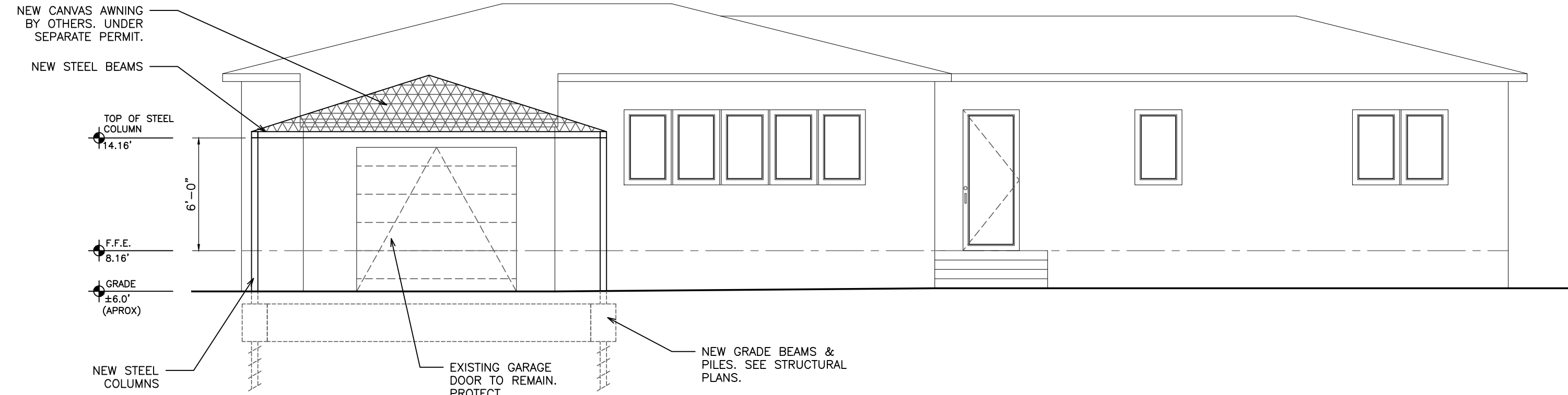
PERVIOUS AREA DIAGRAM

1/8" = 1'-0"



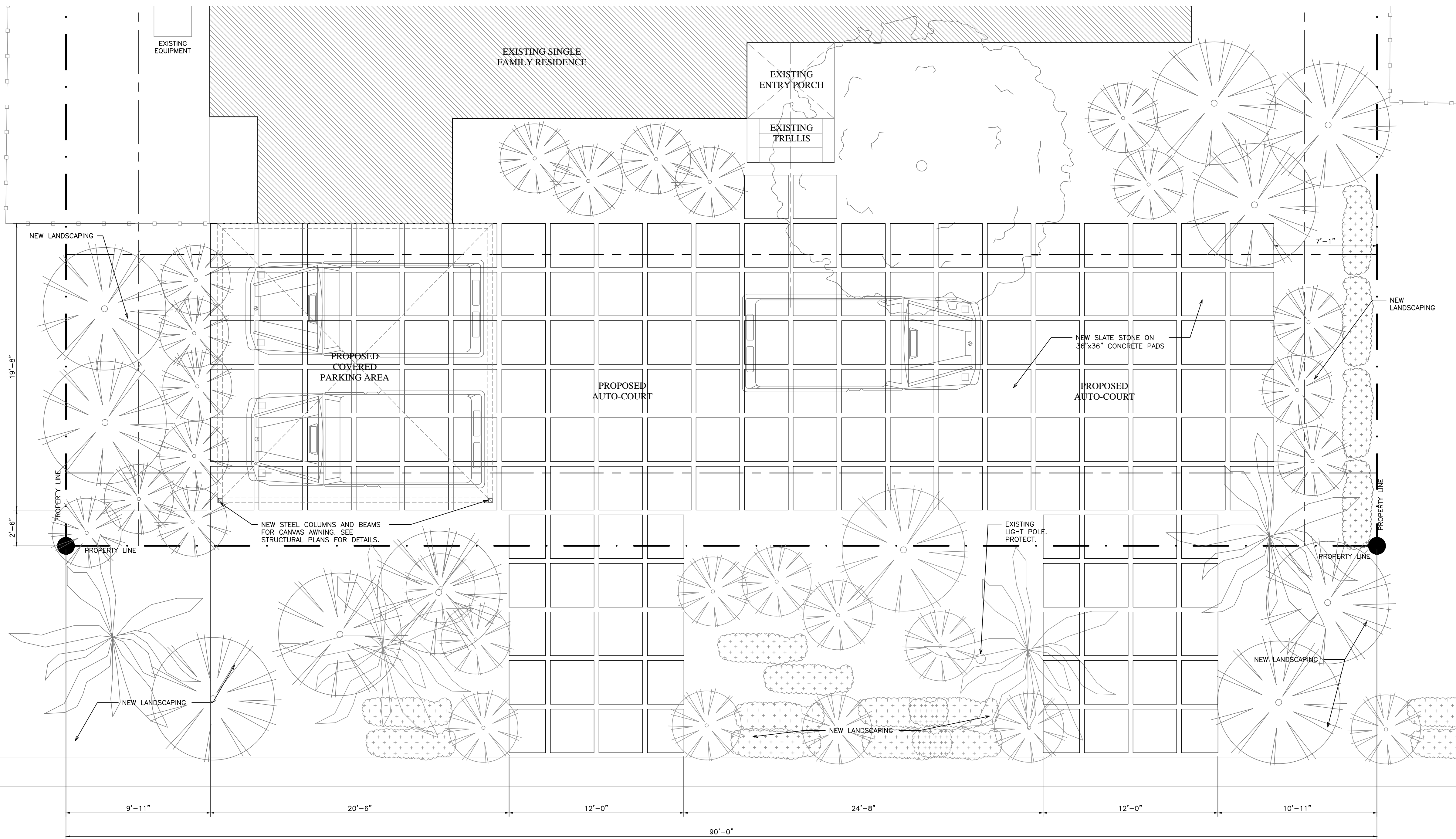
HATCH DENOTES PERVIOUS AREA PROVIDED

FRONT YARD AREA 90'-0" x 20'-0" = 1,800 sq. ft.  
REQUIRED FRONT YARD PERVIOUS AREA 55% (1,800 x 0.55) 990 sq. ft.  
PROPOSED FRONT YARD PERVIOUS AREA 99.2% = 795 sq. ft.



ELEVATION

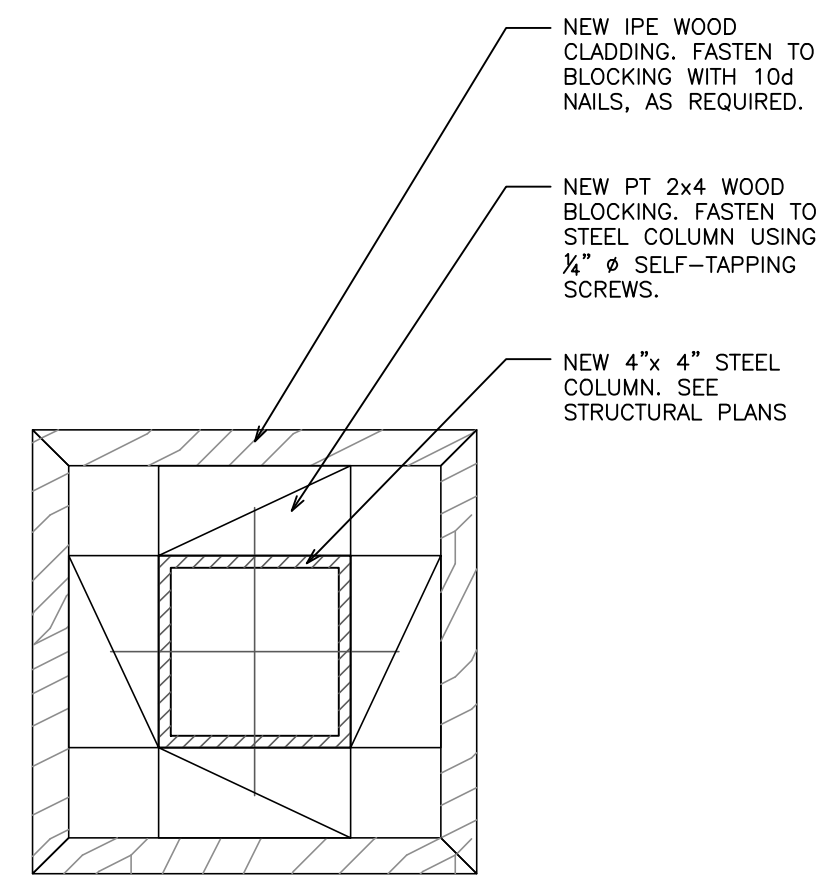
3/16" = 1'-0"



LUCERNE AVENUE

SITE PLAN

1/4" = 1'-0"



COLUMN DETAIL

1/4" = 1'-0"

P E R M I T S E T 3 . 2 6 . 2 0 1 5

TABIO ENGINEERING CORPORATION

140 BUTTWOOD DRIVE  
KEY BISCAYNE, FLORIDA 33149  
305.772.5599

THE OAKES RESIDENCE

2835 LUCERNE AVENUE  
MIAMI BEACH, FLORIDA 33140  
FOLIO 02-2286-001300

PLAN, ELEVATION & DETAILS

DATE: 3.26.2015  
DRAWN BY: MS  
REVISION: DATE:

ID2