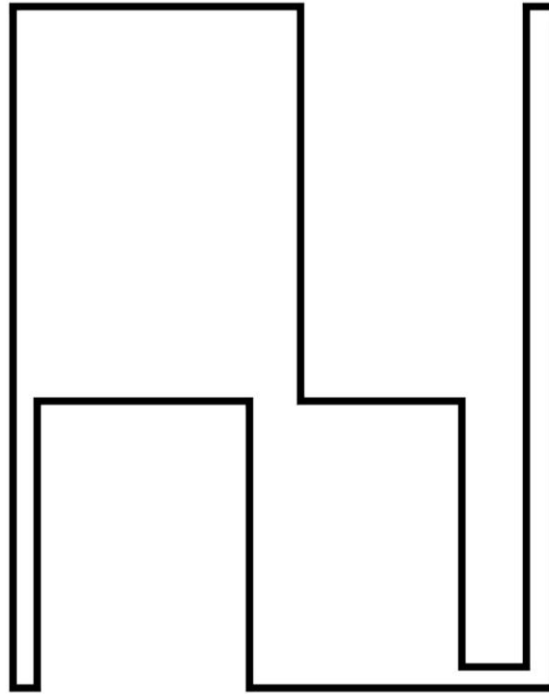
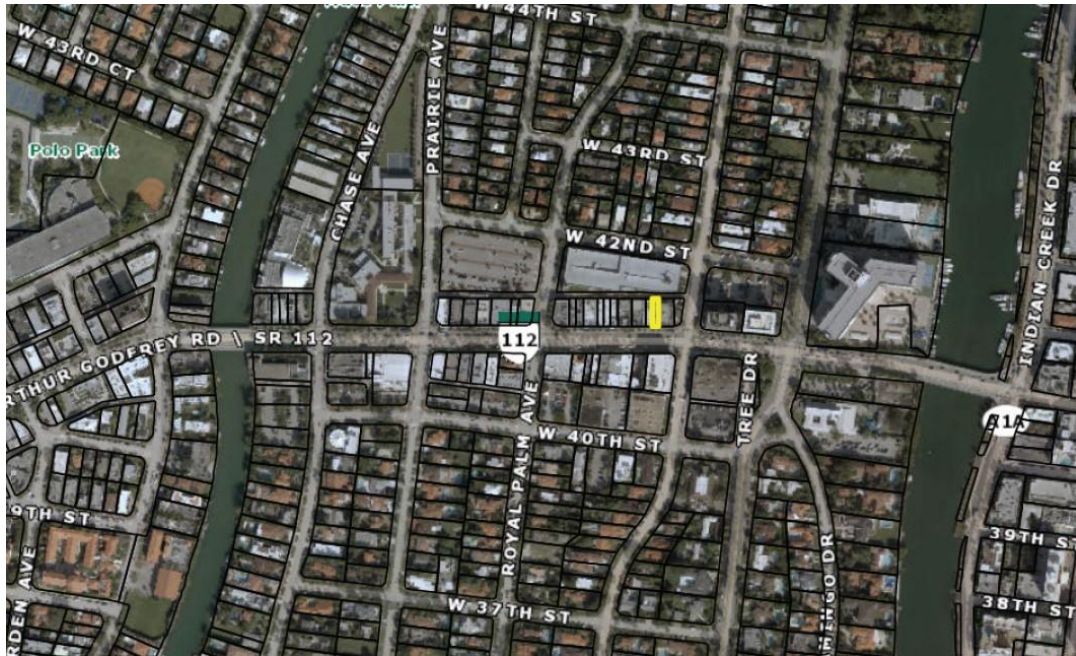


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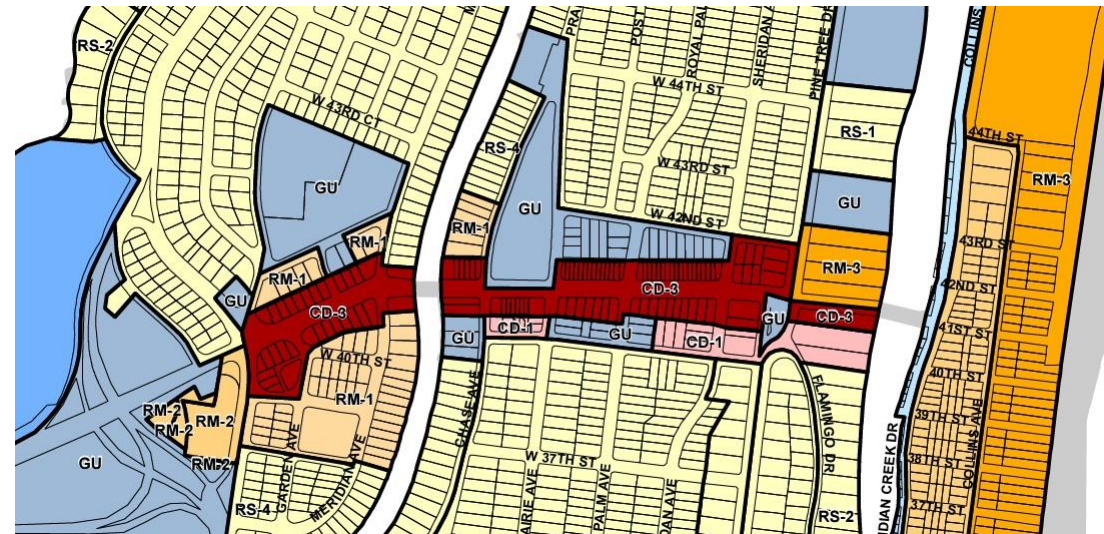


415 ARTHUR GODFREY RD.
BUILDING RENOVATION
DRB #230913

415 ARTHUR GODFREY RD. (1935)



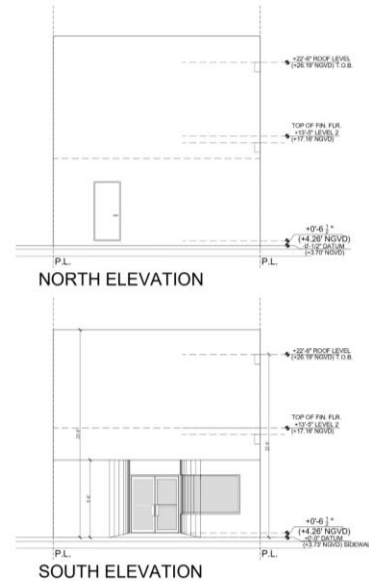
LOCATION



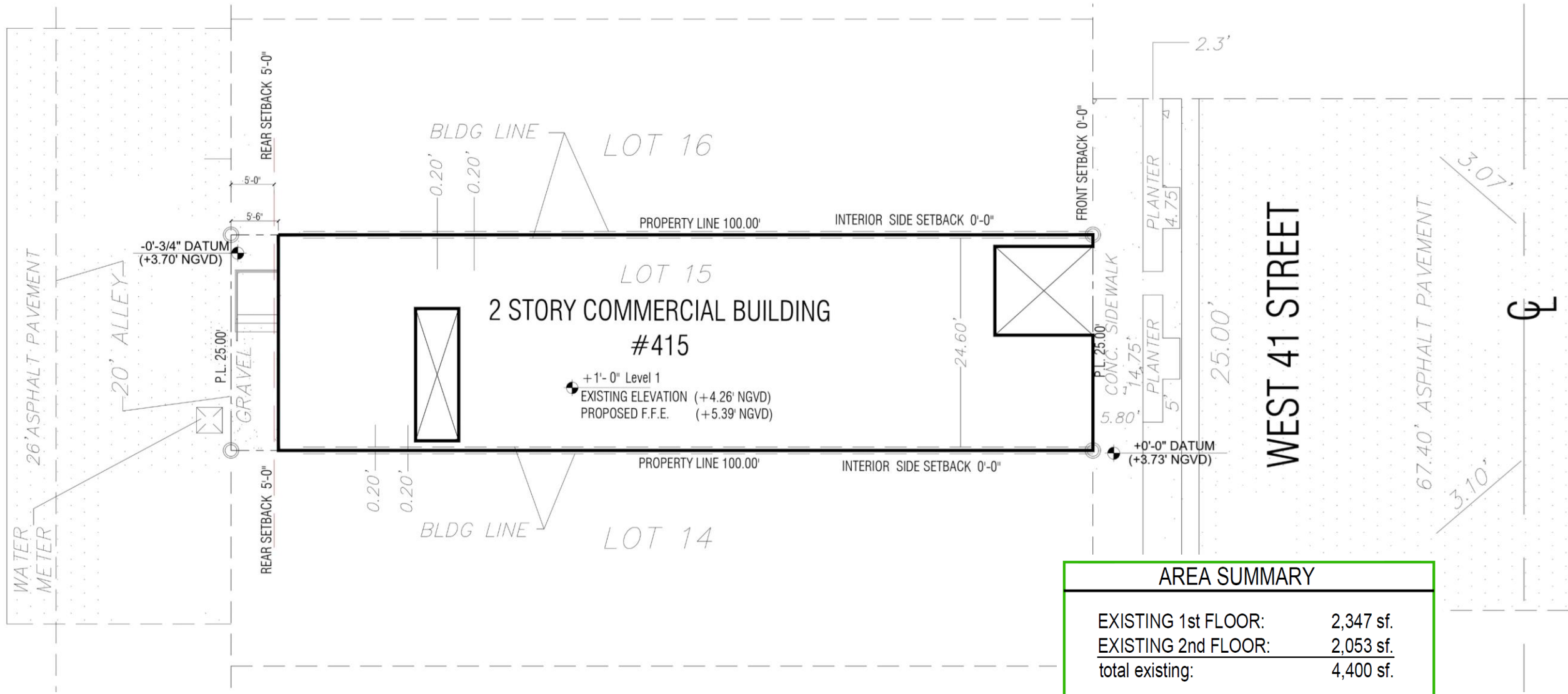
EXISTING BUILDING FACADE

TIMELINE

- 06-4-22 Roof Collapse during rainstorm
- 06-9-22 Received 1st violation from code enforcement unsafe structure Case No. US202204055
- 06-15-22 Install Roof tarp covering
- 06-24-22 Meet with Envista Engineer Steve Sheffield on site
- 07-18-22 Start Demo phase 1
- 07-19-22 Install new roof tarp covering
- 07-21-22 Code enforcement shut down job to provide shore plan permit/drawings
- 07-22-22 gave email update to Alberto Martinez with code enforcement
- 07-27-22 Install new roof tarp covering
- 08-23-22 Install new roof tarp covering
- 08-25-22 Shoring permit signed (process no. BC2219925)
- 11-16-22 Received 2nd violation from code enforcement (Ibrahim Alvarez) US202204055
- 01-19-23 Submit Architectural design to Design Review Board







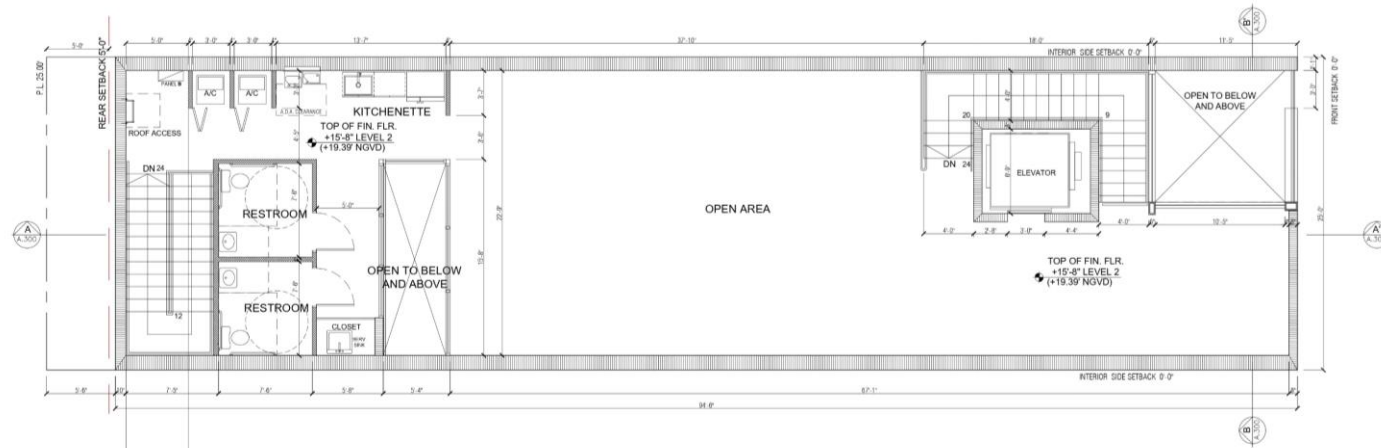
PROPOSED SITE PLAN

AREA SUMMARY	
EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED 1st FLOOR:	2,060 sf.
PROPOSED 2nd FLOOR:	2,222 sf.
total proposed:	4,282 sf.

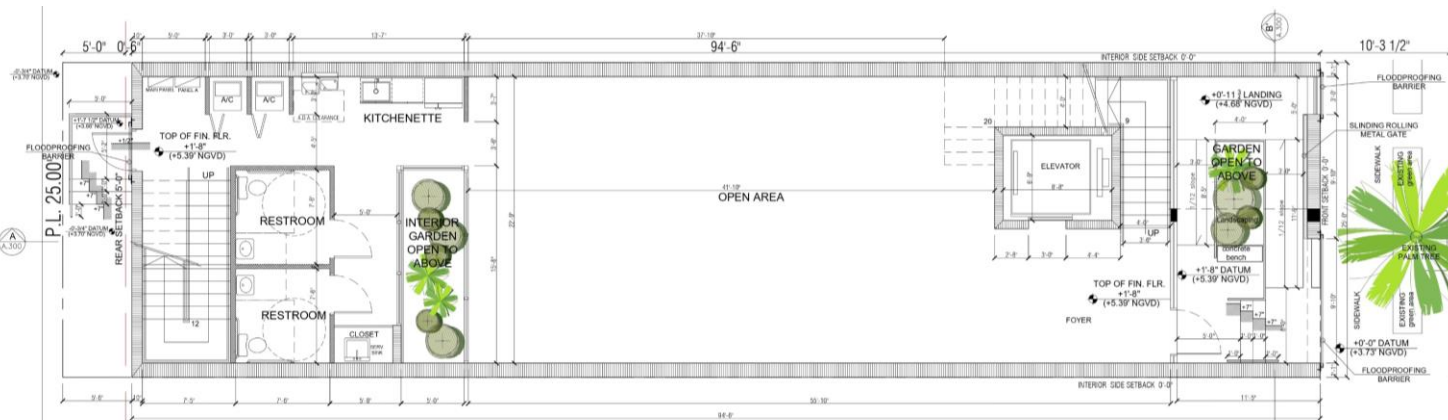
ROYAL PALM AVE.

SHERIDAN AVE.

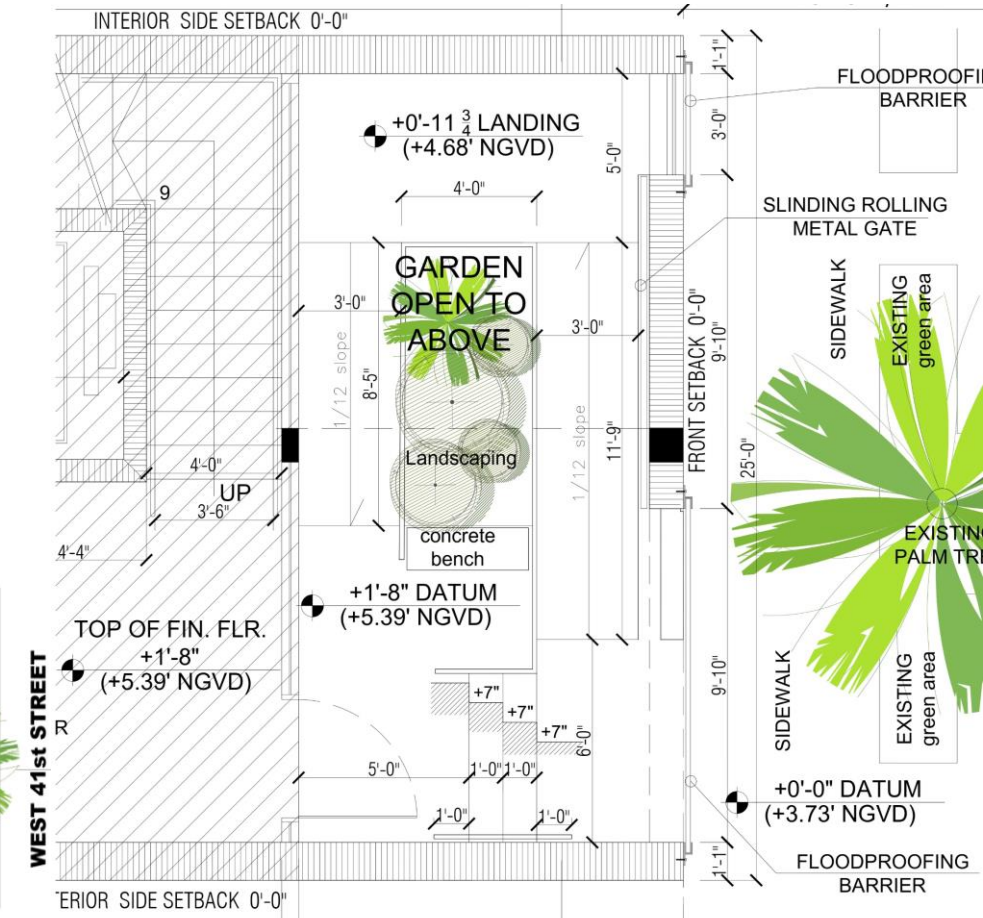
1998 1940 1934 1936 1937 1937 1937 1937 1935 1935 1997 1935 1974 1982 1950 1972



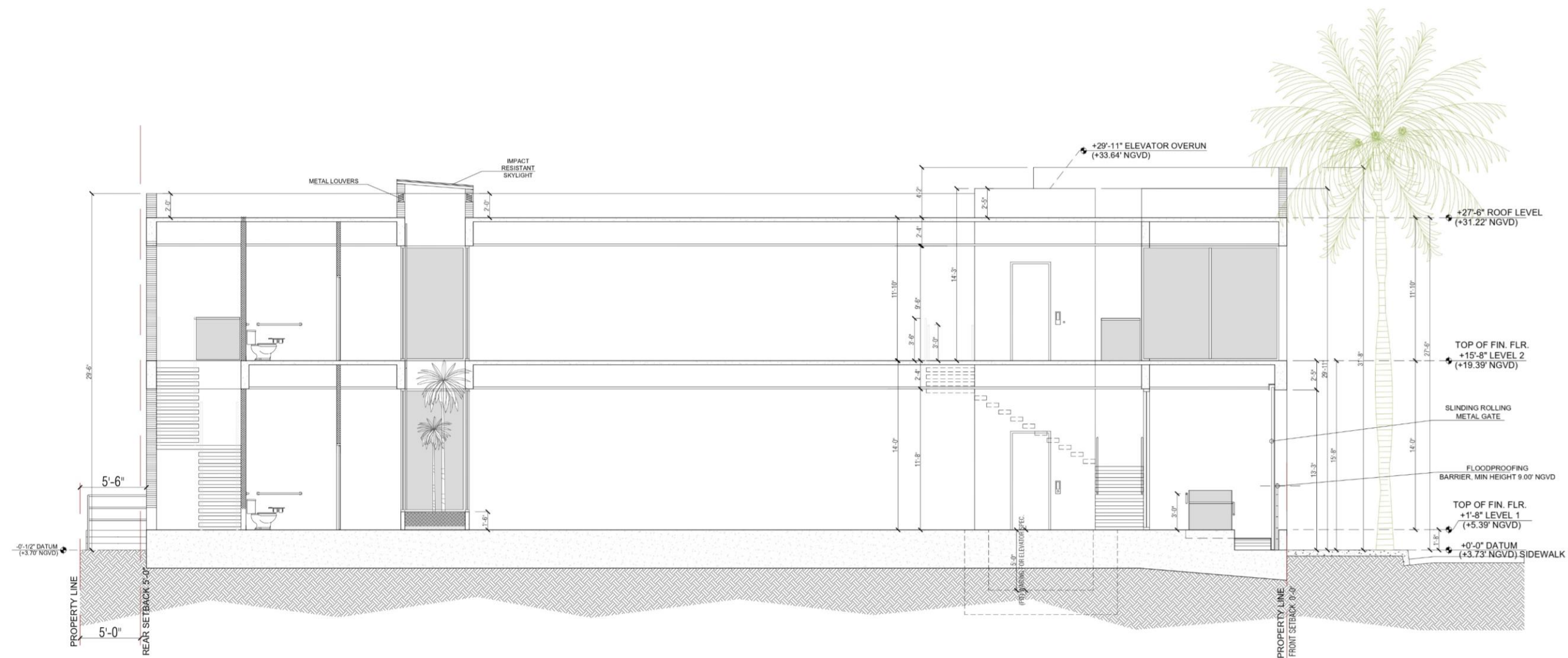
2nd LEVEL FLOOR PLAN

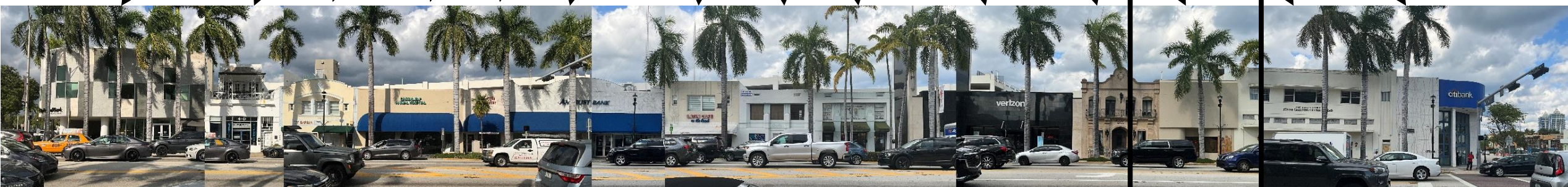
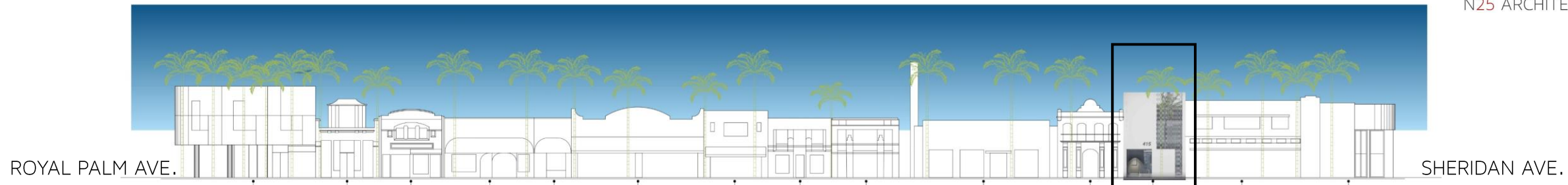


GROUND FLOOR PLAN



ENTRY / RAMP DETAIL floor plan



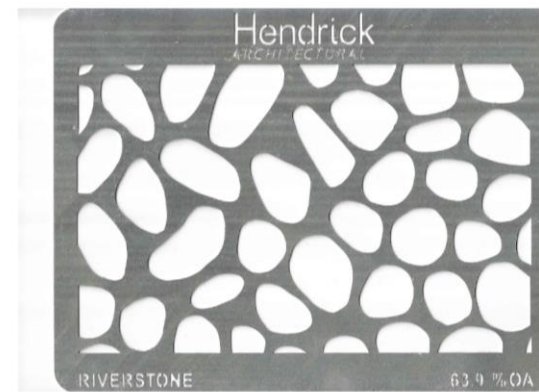
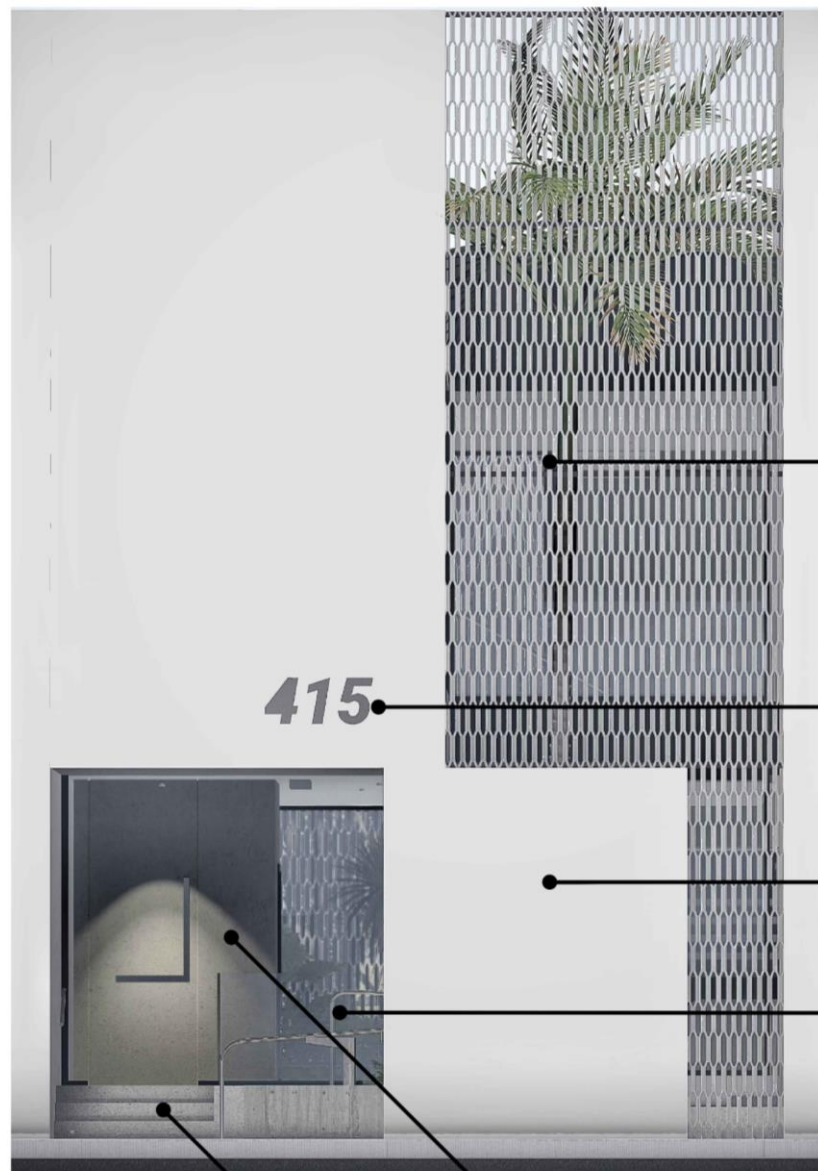


FRONT FACADE TO ARTHUR GODFREY RD.



ACCESS DETAIL VIEW





PERFORATED METAL PANELS

415

BUILT IN ADDRESS NUMBERS

WHITE SMOOTH STUCCO

METAL HANDRAIL AND GLASS RAILING

STORE FRONT
CLEAR GLASS / ALUMINUM FRAMES

CONCRETE
ACCESS STAIRS AND ACCESSIBLE RAMP

FRONT VIEW RENDER

SCALE: N.T.S.

DRY FLOODPROOFING SYSTEM



Open Gate

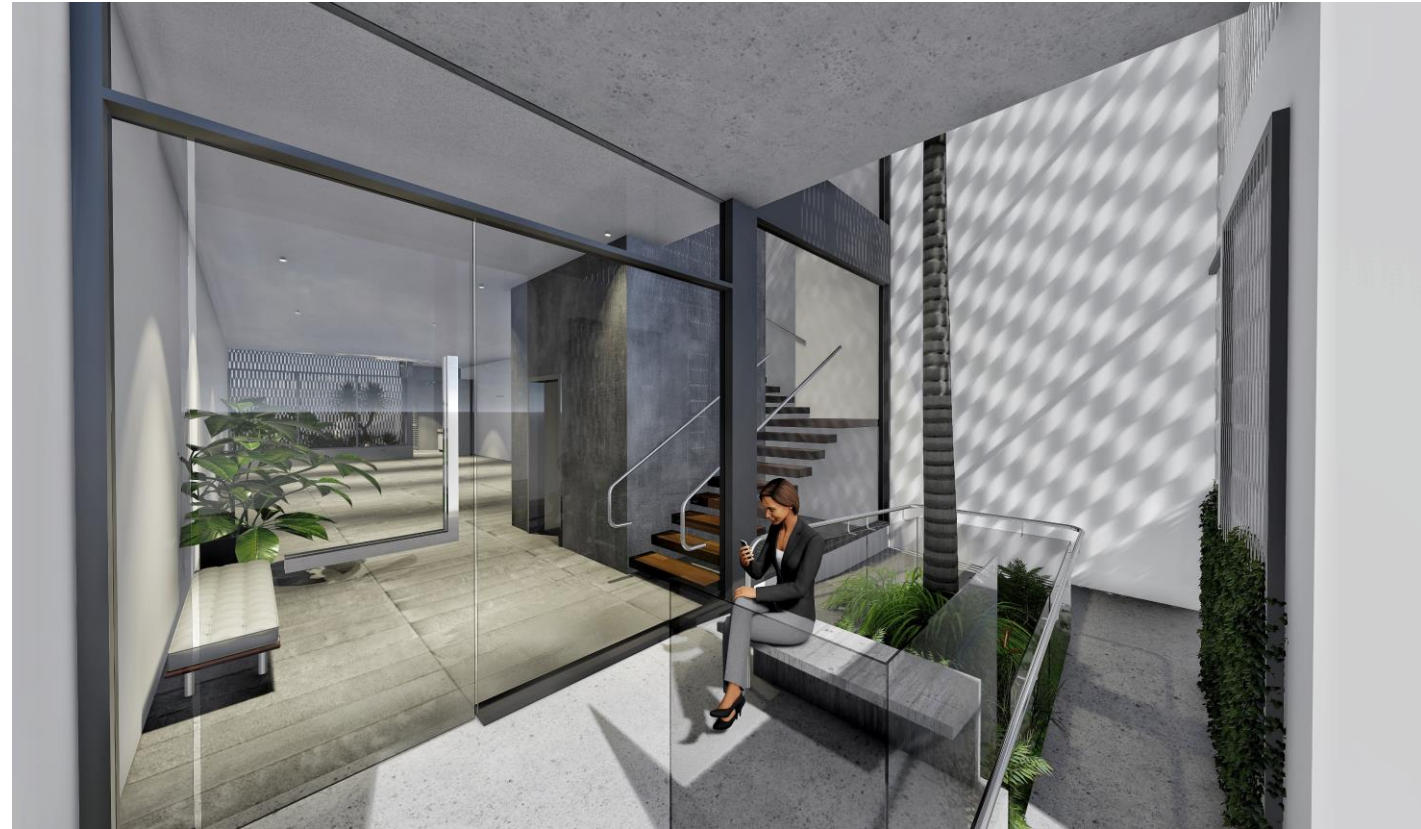


Closed Gate



Closed Gate + DRY FLOODPROOFING Panel

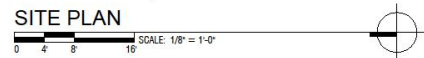
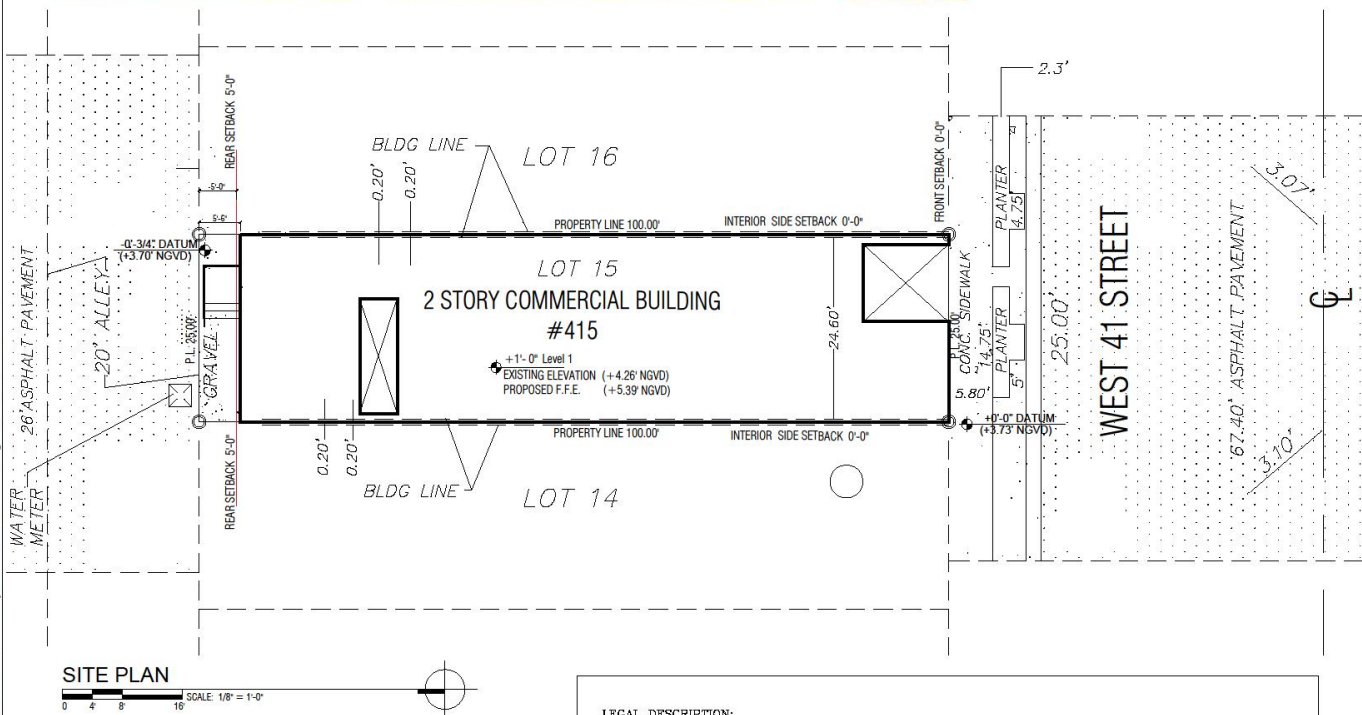
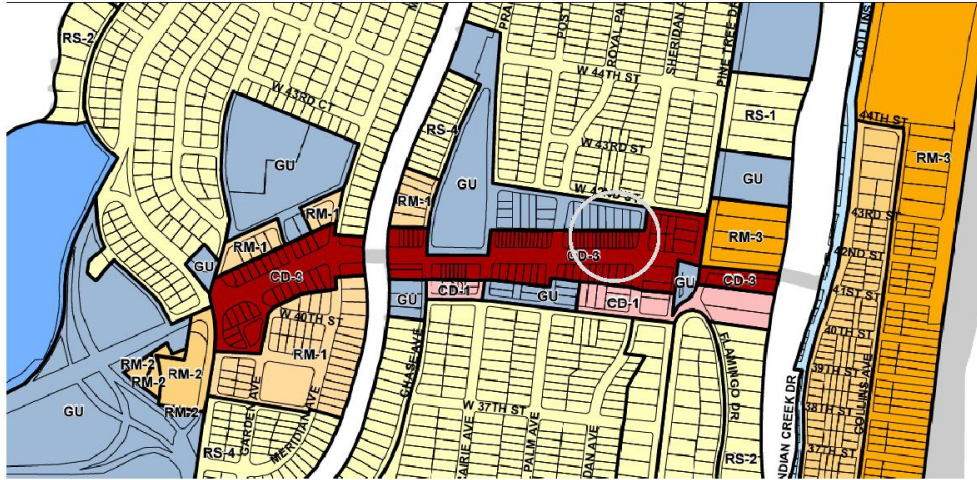
FRONT VIEW (NIGHT)



ACCESS / ACCESSIBLE RAMP VIEW



ARCHITECTURAL DRAWINGS



LEGAL DESCRIPTION: LOT 15, SUBDIVISION ORCHARD SUBDIVISION NO. 4, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FINAL SUBMITTAL (10/25/23)

Scope of Work:

Alteration Level 2 as per FBC 2017

Scope of Work:

- REQUEST FOR DRB APPROVAL OF Demolish a Unsafe existing 2 stories building structure to Re-Build 2 story building for same Occupancy

AREA SUMMARY

EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	1,996 sf.
PROPOSED AC 2nd FLOOR:	2,148 sf.
total proposed:	4,144 sf.

CODE RESEARCH AND TABULATION

Florida Building Code 7th Edition 2020.
FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION.
FLORIDA BUILDING CODE (FBC) 7TH EDITION.
NFPA 1, 2018 EDITION, "FIRE CODE".
NFPA 301, 2018 EDITION, "FIRE SAFETY CODE".
NFPA 72, 2016 EDITION, "NATIONAL FIRE ALARM CODE".
NFPA 70, 2017 EDITION, "NATIONAL ELECTRICAL CODE".

FLOOD INFORMATION

FLOOD ZONE:	AE
BASE FLOOD ELEVATION (BFE):	8.00' NGVD
DESIGN FLOOD ELEVATION (DFE):	5.39' NGVD
LOWEST TOS ELEVATION OF HABITABLE SPACE:	5.39' NGVD
NEXT HIGHER FLOOR ELEVATION:	17.64' NGVD (LEVEL 2)
HIGHEST GRADE ELEVATION TO THE BUILD:	3.70' NGVD
CROWN OF THE ROAD:	3.10' NGVD

PANEL NUMBER: 12086C0309L
DATE OF FIRM: 09-11-2009

ELECTRICAL, SYSTEMS, EQUIPMENT AND COMPONENTS HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT (POOL, EQUIPMENT, WATER HEATERS, CONDENSERS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION AND HIGHEST GRADE TO THE BUILD TO THE NEXT HIGHER FLOOR.

CONTRACTOR SHALL SUBMIT AN UNDERCONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. UPON THE CONTRACTOR SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE, PRIOR TO BUILDING FINAL INSPECTION.

NOTE:

THIS BUILDING REQUIRES DRY FLOODPROOFING

INDEX OF DRAWINGS

G0.00	COVER / PROJECT INFORMATION
G0.01	LOCATION AERIAL PLAN
G0.02	ZONING TABLE
G0.03	F.A.R. DIAGRAM
A1.10	EXISTING BUILDING
A1.20	PROPOSED BUILDING
A2.00	PROPOSED ELEVATIONS / SECTION / RENDER
A2.10	RENDERS
A2.20	FINISHES
A4.00	NEIGHBORHOOD PHOTOS

Balogh Renovation

Two Story Building
415 W 41 Street
Miami Beach, FL

N25
ARCHITECTURE CO.

6262 SW 40 Street
Suite 2G
Miami, Florida 33155
Phone 305.665.5151
Florida License AR 0016380

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Sheet Title:

COVER PAGE
PROJECT INF

Issue Date: Project No.

AGO 18, 2023

Drawing No.:

G0.00

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Registration No. AR-0016380



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MIAMI BEACH

Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

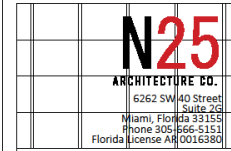
COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 415 WEST 41st STREET, MIAMI BEACH, FL. 33140	Folio number(s): 02-3222-001-0530	Year built:	1935	
2	Board file number(s), Determination of Architectural Significance:		Lot Area:	2,500	
3	Located within a Local Historic District (Yes or No): No	Zoning District: CD-3	Lot width:	25'-0"	
4	Individual Historic Site (Yes or No):	No	Lot Depth:	100'-0"	
5	Base Flood Elevation:	N/A	Grade value in NGVD:	8.00'	
6	Adjusted grade (BFE+Grade / 2):	N/A	Free board:	5.39' NGVD	
7	Proposed Use:	BUSINESS			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25 MAX. (5,625 SF.)	4,400 SF.	4,144 SF.	N/A
14	Building Height	75' MAX	22'-0" TOB	24'-6" TOB	N/A
15	At grade parking lot on the same lot	N/A	N/A	N/A	N/A
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	N/A
b	Side interior setback	0'	0'	0'	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	5'-0"	5'-6"	5'-6"	N/A
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
20	Required Open-space ratio (RPS, CPS)	N/A	N/A	N/A	N/A
21	Parking	N/A	N/A	N/A	N/A
22	Loading	N/A	N/A	N/A	N/A

Notes: Indicate N/A if not applicable.

Balogh
Renovation
Two Story Building
415 W 41 Street
Miami Beach, FL



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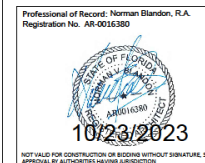
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**ZONING
TABLE**

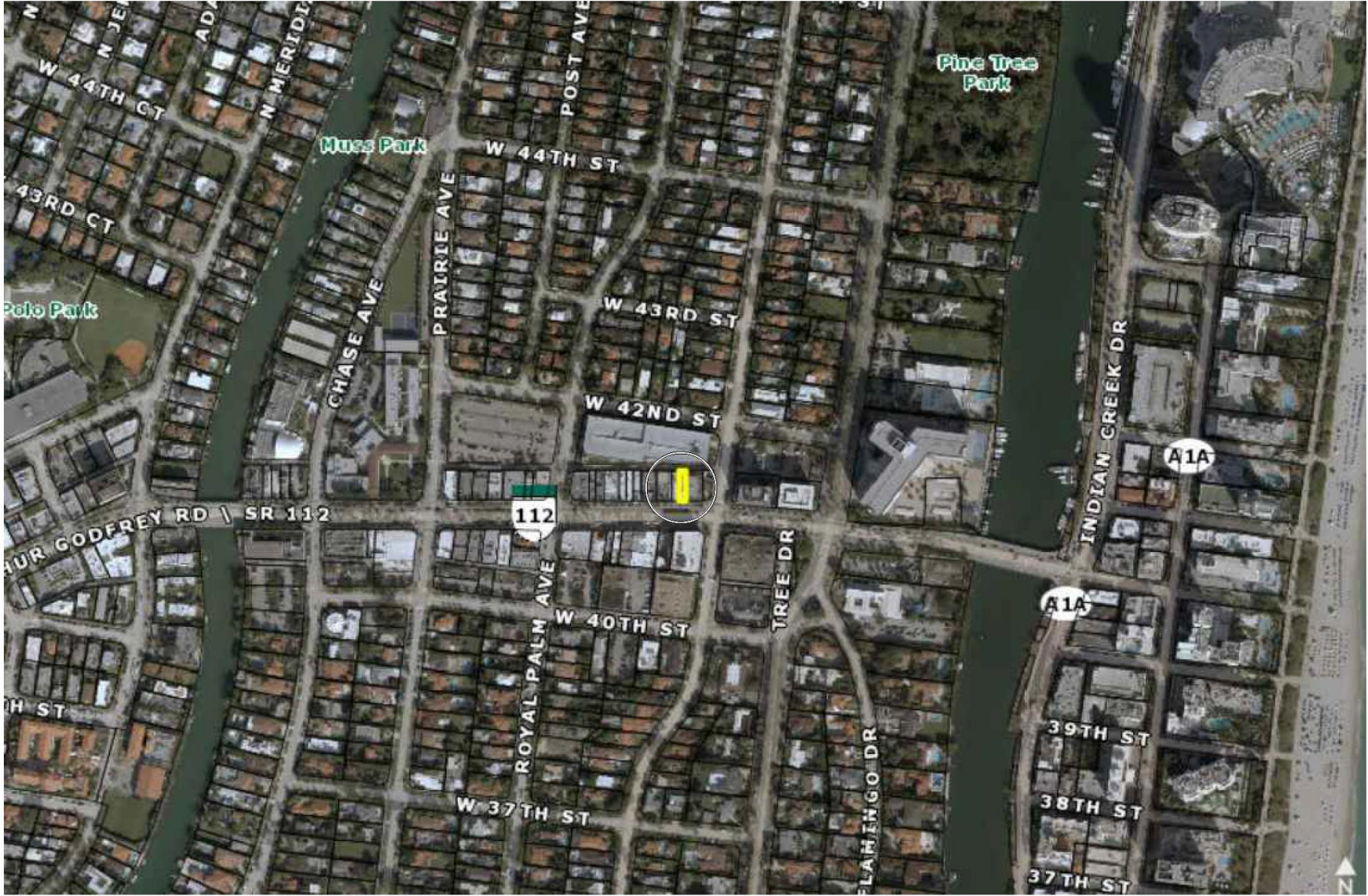
Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023 /A

Drawing No.:

G0.02





LOCATION

SCALE: N.T.S.



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Two Story Building
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Miami Beach, FL

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Phone 305-666-5151
Florida License AR0016380

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Sheet Title:
**LOCATION
AERIAL PLAN**

Issue Date: Project No.

AGO 18, 2023

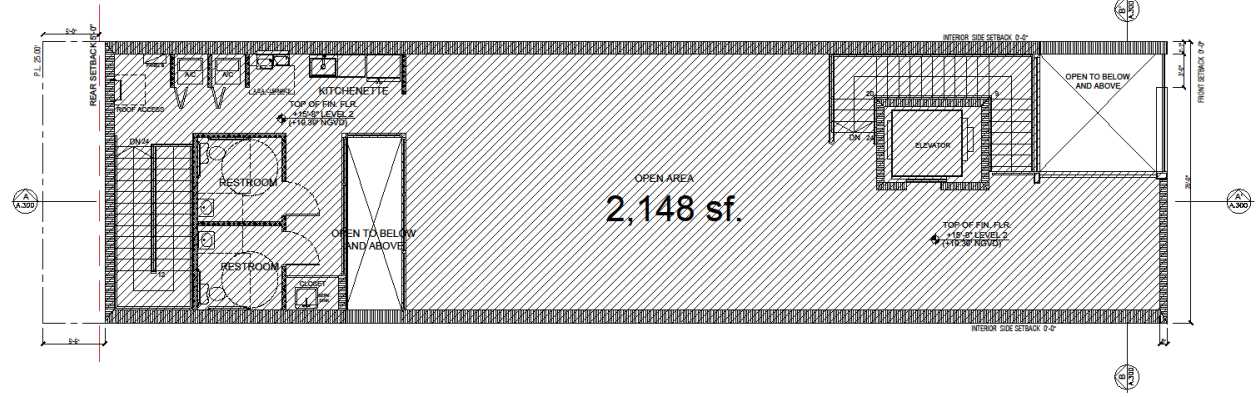
Drawing No.:
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Registration No. AR-0016380

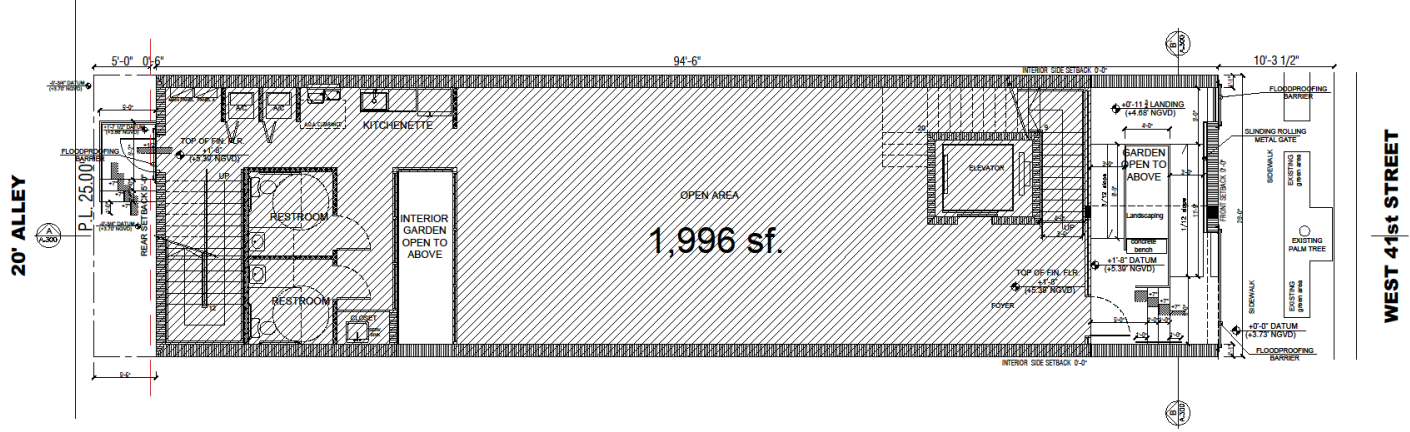


10/23/2023

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F.A.R. LEVEL 2 DIAGRAM
SCALE: 3/16" = 1'-0"



F.A.R. LEVEL 1 DIAGRAM
SCALE: 3/16" = 1'-0"

F.A.R. CALCULATION:

LOT SIZE, 2,500 sf.
 $5,500 \times 2.25 = 5,625$ sf.
 MAXIMUM ALLOWED

 LEVEL 1 = 1,996 sf.
 LEVEL 2 = 2,148 sf.

 PROPOSED = 4,144sf.

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Sheet Title:
F.A.R. DIAGRAM

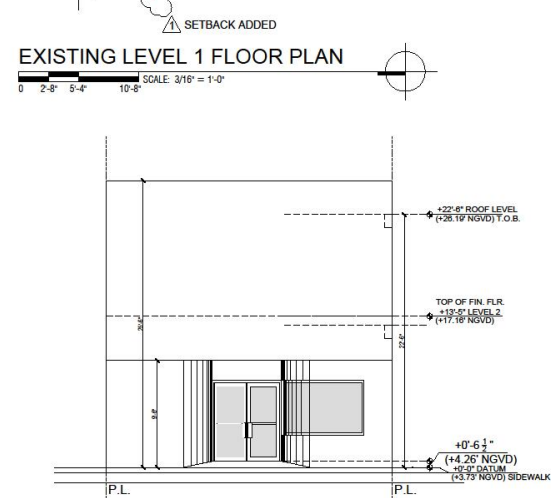
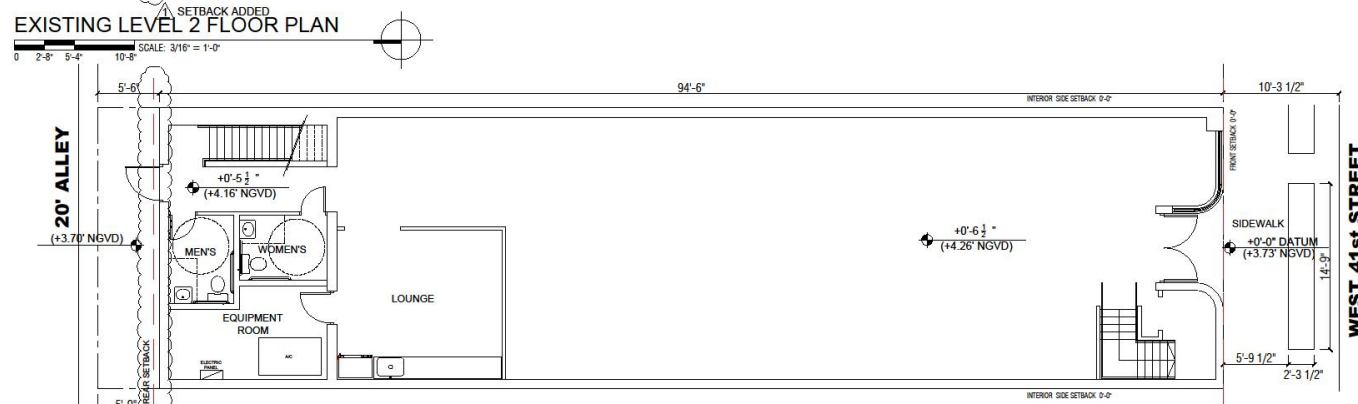
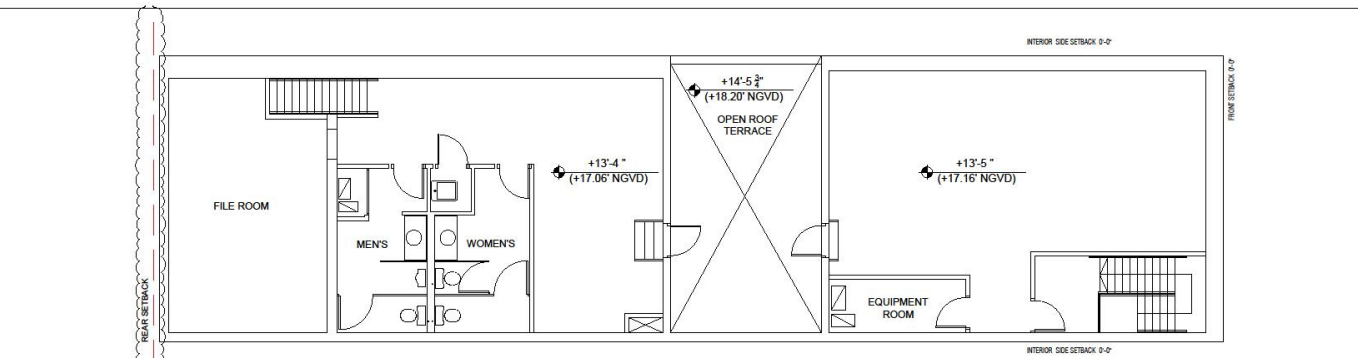
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AGO 18, 2023
OCT 23, 2023

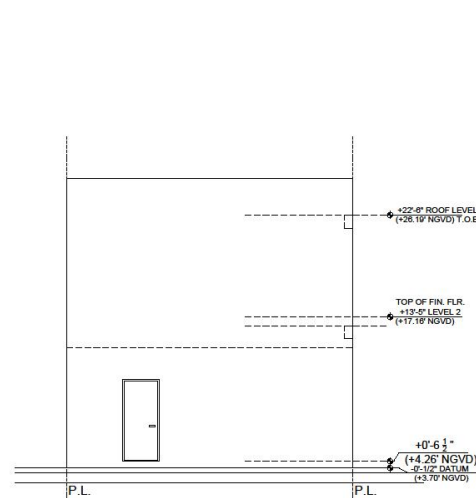
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EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



ACTUAL BUILDING PHOTO

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Two Story Building
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Miami Beach, FL

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Miami, Florida 33155
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Sheet Title:
**EXISTING
BUILDING**

Issue Date: Project No.

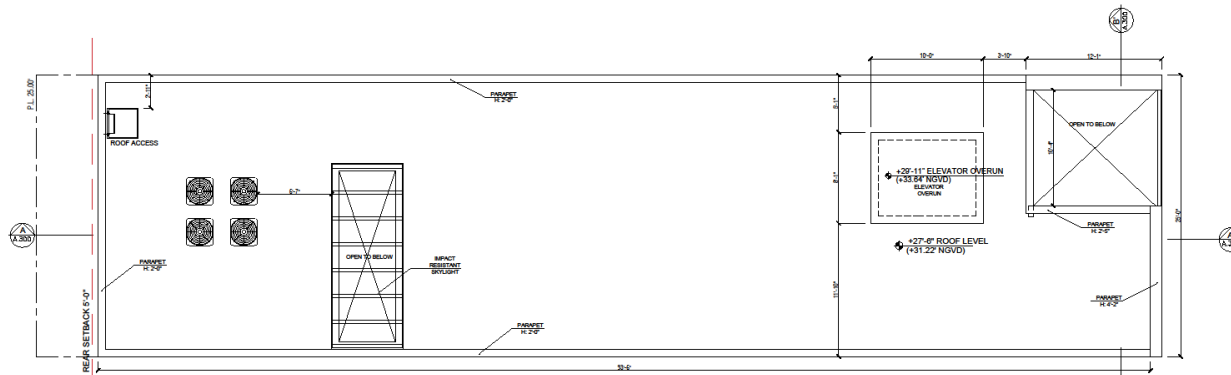
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OCT 23, 2023

Drawing No.:
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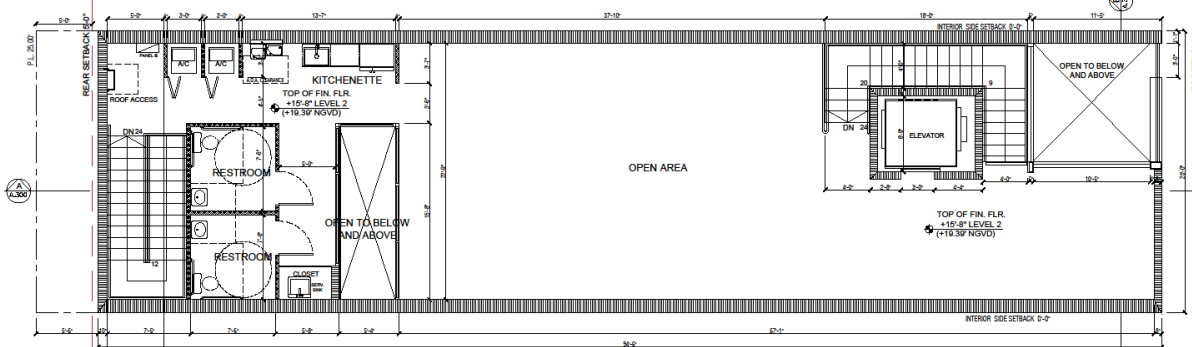
Professional Seal of Norman Blandon, R.A., AR-0016380, dated 10/23/2023.

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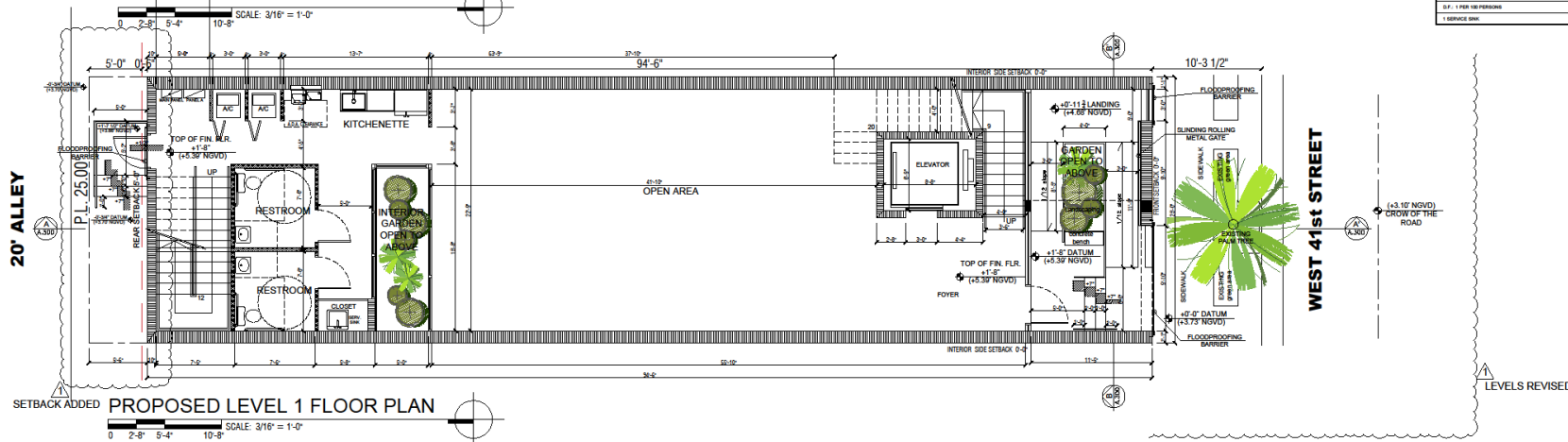
PROPOSED ROOF LEVEL

SCALE: 3/16" = 1'-0"



PROPOSED LEVEL 2 FLOOR PLAN

SCALE: 3/16" = 1'-0"



PROPOSED LEVEL 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

AREA SUMMARY	
EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	1,996 sf.
PROPOSED AC 2nd FLOOR:	2,148 sf.
total proposed:	4,144 sf.

OCCUPANT LOAD CALCULATION	
BASED ON IRC 2020 TABLE 1004.5	
BUSINESS (GROUND LEVEL):	2,095 SF / 100 = 14 OCCUPANT LOAD
BUSINESS (2nd LEVEL):	2,223 SF / 100 = 18 OCCUPANT LOAD
TOTAL:	+ 32 OCCUPANT LOAD

MINIMUM PLUMBING FIXTURE REQUIREMENTS	
OCCUPANCY TYPE	AREA (SF)
BUSINESS	4,200
TOTAL REQUIRED FIXTURES	2
TOTAL PROVIDED FIXTURES	2

B-BUSINESS PLUMBING FIXTURE REQUIREMENTS	
W.C. - 1 PER 20 PERSONS (SEE TABLE 1004.5 FOR MAXIMUM PER PERSON EXCEEDING 100)	
W.C. - 1 PER 40 PERSONS (SEE TABLE 1004.5 FOR MAXIMUM PER PERSON EXCEEDING 100)	
W.C. - 1 PER 10 PERSONS (SEE TABLE 1004.5 FOR MAXIMUM PER PERSON EXCEEDING 100)	
W.C. - 1 PER 20 PERSONS (SEE TABLE 1004.5 FOR MAXIMUM PER PERSON EXCEEDING 100)	

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Sheet Title:
**PROPOSED
FLOOR PLANS**

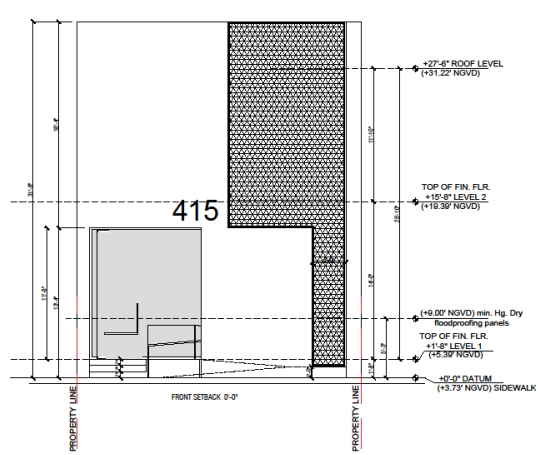
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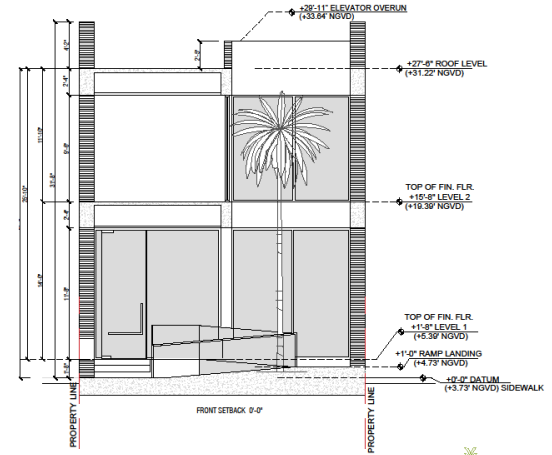
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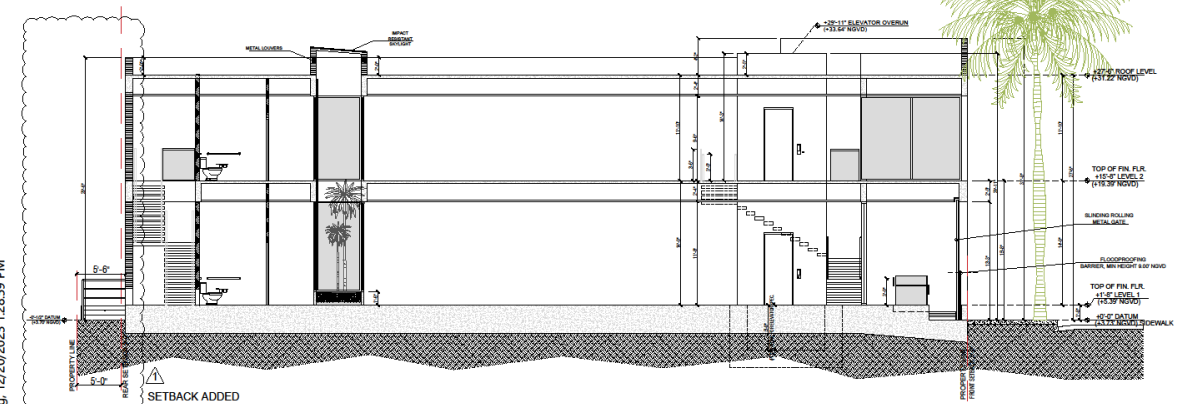
S:\Shared Folders\415 Arthur Godfrey\DWG\415_2023 9.dwg, 12/20/2023 1:28:25 PM



PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"
0 2'-0" 5'-4" 10'-8"



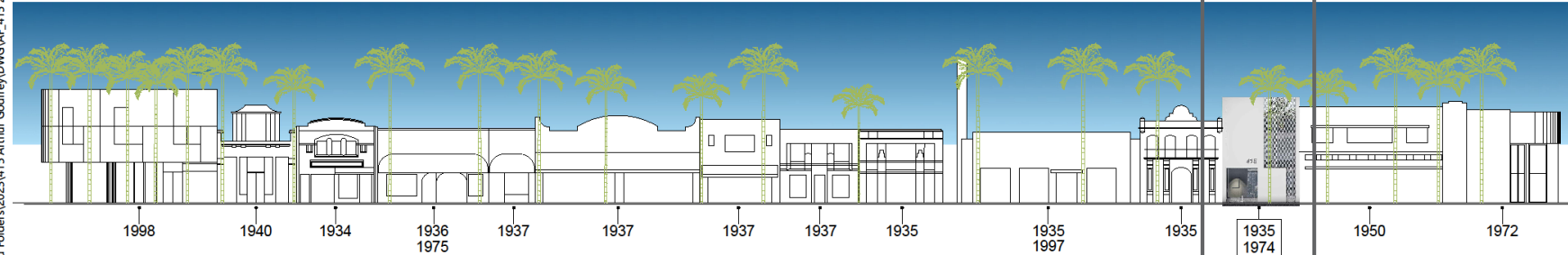
SECTION A-A'
SCALE: 3/16" = 1'-0"
0 2'-0" 5'-4" 10'-8"



SECTION B-B'
SCALE: 3/16" = 1'-0"
0 2'-0" 5'-4" 10'-8"



FRONT VIEW RENDER
SCALE: N.T.S.



PROPOSED ELEVATION + EXISTING BLOCK BUILDING FACADES + CONSTRUCTION YEAR
SCALE: N.T.S.

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Sheet Title:
PROPOSED
ELEVATION
SECTION

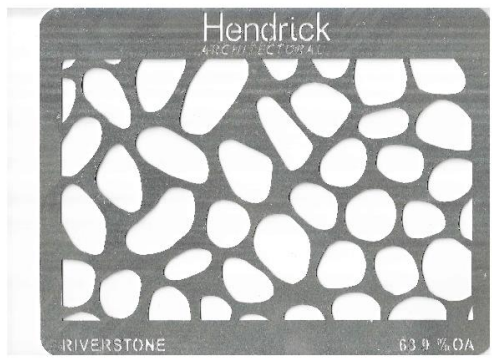
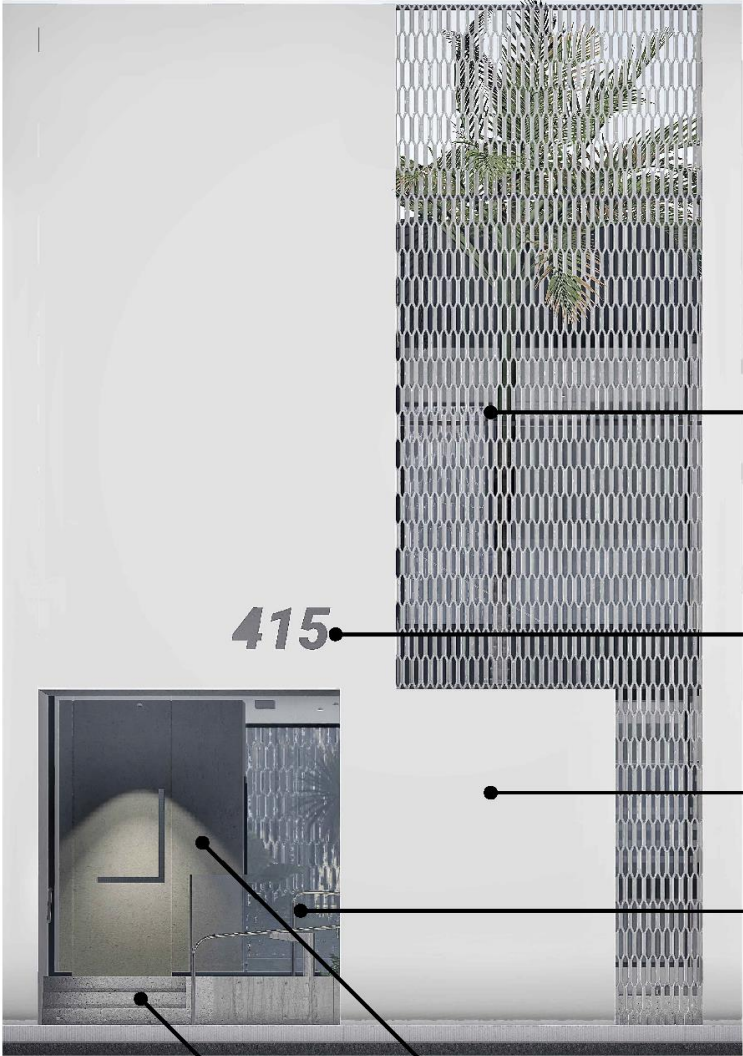
Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023

Drawing No.:
A2.00

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Registration No. AR-0016380

10/23/2023



PERFORATED METAL PANELS

MATERIAL UPDATED

415

BUILT IN ADDRESS NUMBERS

WHITE SMOOTH STUCCO

METAL HANDRAIL AND GLASS RAILING

STORE FRONT
CLEAR GLASS / ALUMINUM FRAMES

CONCRETE
ACCESS STAIRS AND ACCESSIBLE RAMP

FRONT VIEW RENDER

SCALE: N.T.S.

Balogh
Renovation
Two Story Building
415 W 41 Street
Miami Beach, FL

N25

ARCHITECTURE CO.
6262 SW 40 Street
Suite 2G
Miami, Florida 33155
Phone 305-666-5151
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Sheet Title:
EXTERIOR
FINISHES

Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023

Drawing No.:
A2.20

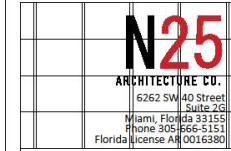
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Balogh
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Sheet Title:
**NEIGHBORHOOD
PHOTOS**

Issue Date: Project No.

AGO 18, 2023

Drawing No.:
A4.00

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