

FINAL SUBMITTAL
11-06-2023
(ZBA23-0154)

A NEW SINGLE FAMILY RESIDENCE FOR
1630 WEST 21st STREET
MIAMI BEACH, FLORIDA 33140
FOLIO # 02-3227-010-0430



Rendering shown above is for reference only.
Refer to elevation sheets for proposed elevations.

ARCHITECT OF RECORD:



DEVELOPER:



DESIGN ARCHITECT:

SAOTA

THOMAS F. WEBER
ARCHITECT
AR04372

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD., SUITE 414
KEY BISCAYNE, FLORIDA 33149
www.weberstudiomiami.com
305.361.9935 / 305.361.9986

BOA SETBACK VARIANCE REQUEST FOR:
1630 WEST 21st STREET
MIAMI BEACH, FLORIDA 33140
FOLIO # 02-3227-010-0430

COVER SHEET

DATE: 11.03.2023

A0

INDEX OF DRAWINGS:

A0	FRONT COVER SHEET	A9	ROOF PLAN
A1	DRAWING INDEX / PROJECT DATA	A10	BUILDING ELEVATIONS
A2	SURVEY	A11	BUILDING ELEVATIONS
A3	LOCATION MAP	A12	BUILDING ELEVATIONS
A4	LOT COVERAGE DIAGRAM	A13	BUILDING RENDERINGS
A5	PERVIOUS AREA DIAGRAM	A14	INTERIOR RENDERINGS
A6	SETBACK DIAGRAM	A15	BUILDING SECTIONS
A7	FIRST FLOOR PLAN	A16	BUILDING SECTIONS
A8	SECOND FLOOR PLAN	A17	BUILDING SECTIONS
		A18	ENLARGED SECTION

FOLIO

02-3227-010-0430

LEGAL DESCRIPTION

THAT PART OF LOTS 16 AND 17 OF BLOCK 5 OF SUNSET LAKE EXTENSION, A SUBDIVISION ACCORDING TO PLAT THEREOF, RECORDED IN PLAT BOOK 40, PAGE 23, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CODE SUMMARY:

APPLICABLE CODES:
FLORIDA BUILDING CODE, – 2020
FLORIDA BUILDING CODE, RESIDENTIAL – 2020
FLORIDA FIRE PREVENTION CODE – 7TH EDITION
CITY OF MIAMI BEACH – ZONING CODE
MIAMI-DADE COUNTY CODES & ORDINANCES

APPLICABLE CODES: ALL REQUIREMENTS OF LOCAL, STATE & NATIONAL ORDINANCES, REGULATIONS & CODES PERTAINING TO BUILDING & TO THE PRESERVATION OF PUBLIC HEALTH & SAFETY SHALL BE STRICTLY OBSERVED BY THE GENERAL CONTRACTORS & ALL SUB-CONTRACTORS. THE FLORIDA BUILDING CODE (FBC) LATEST EDITION & ALL APPLICABLE LOCAL, NATIONAL AND/OR STATE CODES SHALL BECOME PART OF THESE PLANS AS IF BOUND HEREIN.

SCOPE OF WORK:

NEW 2-STORY SINGLE FAMILY RESIDENCE

THE FOLLOWING ITEMS SHALL REQUIRE A SEPARATE PERMIT:

- ALL WORK IN THE CITY RIGHT OF WAY
 - EXTERIOR DOORS & WINDOWS
 - ROOFING/WATERPROOFING
 - POOL/WATER FEATURE
- FENCES
 - PREFABRICATED STAIRS
 - RAILINGS
 - ELEVATOR

OCCUPANCY TYPE: (PER FBC-B CHAPTER 3)

R-3 – RESIDENTIAL DWELLING (EXISTING / NO CHANGE)

FLOOD INFORMATION:

ZONE "AE", BASE FLOOD ELEVATION = 8.00’ NGVD

PROPOSED 1st FLOOR TOP OF SLAB = 13.00’ NGVD

ZONING DATA SHEET:

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

10/18/2023

ITEM #	Zoning Information			
1	Address:	1630 West 21st Street, Miami Beach, FL 33140		
2	Folio number(s):	02-3227-010-0430		
3	Board and file numbers :			
4	Year built:	N/A	Zoning District:	RS-3
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	4.14' NGVD
6	Adjusted grade (Flood+Grade/2):	6.07' NGVD	Free board:	9.0' NGVD
7	Lot Area:	14,183 sf		
8	Lot width:	90'-9"	Lot Depth:	155'-0"
9	Max Lot Coverage SF and %:	4,255 sf (30%)	Proposed Lot Coverage SF and %:	3,616 sf (25.5%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	(482 sf)
11	Front Yard Open Space SF and %:	974 sf (50.0%)	Rear Yard Open Space SF and %:	2,004 sf (70.6%)
12	Max Unit Size SF and %:	7,092 sf (50%)	Proposed Unit Size SF and %:	6,892 sf (48.6%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	3,616 sf (25.5%)
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A
15			Proposed Second Floor Unit Size SF and % :	3,276 sf (23.1%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	3,424 sf enclosed 2nd floor area 851 sf (24.9%)

		Required	Existing	Proposed	Deficiencies
17	Height:	2 stories, 24' max	N/A	2 stories, 24'-0"	
18	Setbacks:				
19	Front First level:	20'-0"	N/A	34'-9"	N/A
20	Front Second level:	30'-0"	N/A	51'-4 3/4"	N/A
21	Side 1:	Sum of side yards 25%	N/A	10'-1"	N/A
22	Side 2 or (facing street):	10' min	N/A	13'-7"	N/A
23	Rear:	15%, 23'-3"	N/A	23'- 3"	N/A
	Accessory Structure Side 1:	N/A	N/A	N/A	N/A
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	N/A
25	Accessory Structure Rear:	N/A	N/A	N/A	N/A
26	Sum of Side yard :	22'-8"	N/A	23'-8"	N/A
27	Located within a Local Historic District?	NO			
28	Designated as an individual Historic Single Family Residence Site?	NO			
29	Determined to be Architecturally Significant?	NO			

Notes:

If not applicable write N/A

All other data information should be presented like the above format

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INDEX &
PROJECT
INFO

DATE: 11.03.2023

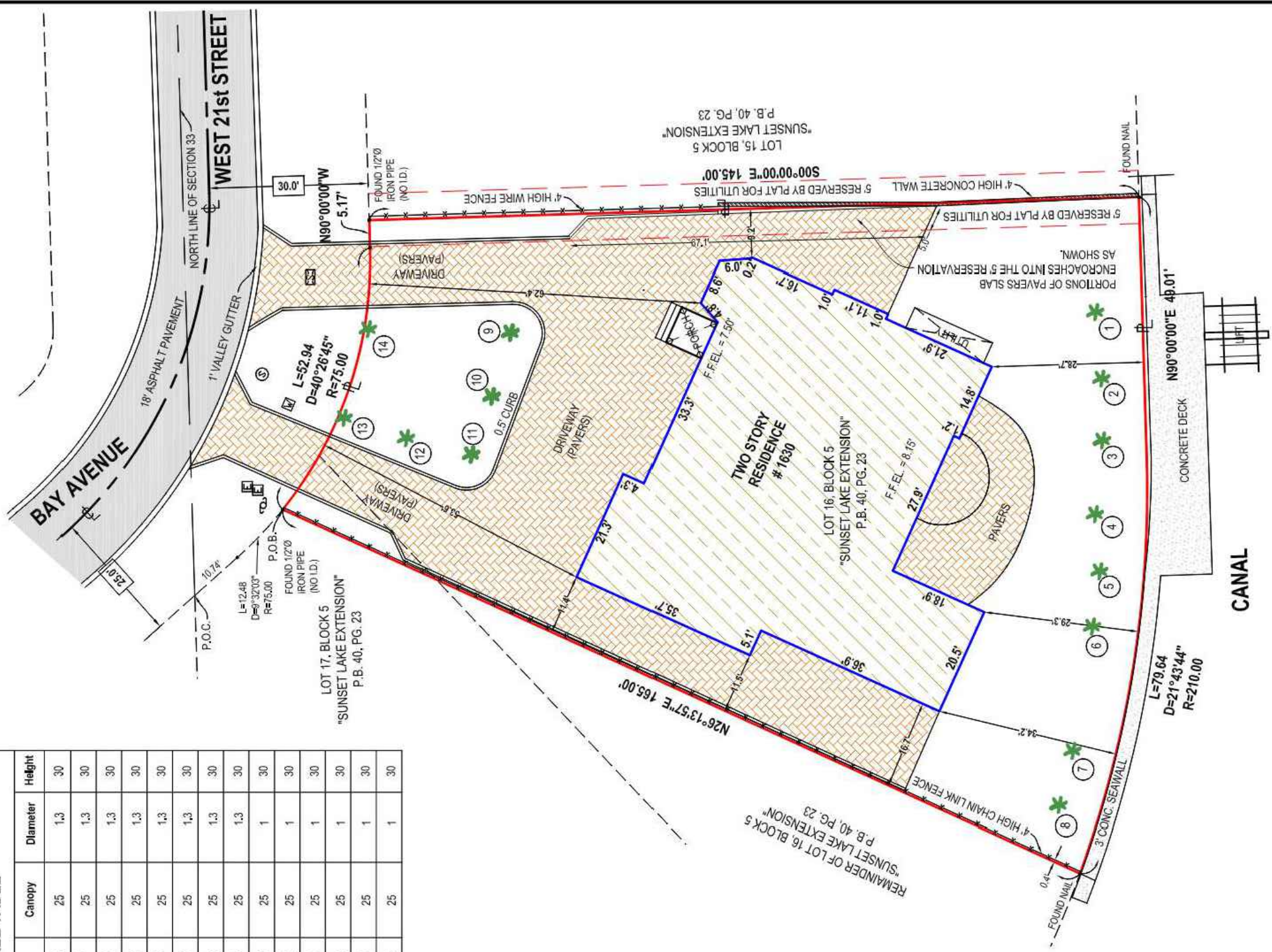
A1

MAP OF SURVEY

360° SURVEYING AND MAPPING, LLC
Land Surveyors - Land Planners
2000 S.W. 33rd Court MIAMI, FLORIDA 33155
PHONE: (305) 265-1002



TREE TABLE			
Tree #	Name	Canopy	Height
1	ROYAL PALM	25	30
2	ROYAL PALM	25	30
3	ROYAL PALM	25	30
4	ROYAL PALM	25	30
5	ROYAL PALM	25	30
6	ROYAL PALM	25	30
7	ROYAL PALM	25	30
8	ROYAL PALM	25	30
9	ROYAL PALM	25	30
10	ROYAL PALM	25	30
11	ROYAL PALM	25	30
12	ROYAL PALM	25	30
13	ROYAL PALM	25	30
14	ROYAL PALM	25	30



REVISIONS AND/OR UPDATES
09-28-2020 REVISED LEGAL AND ADD 5' RESERVATION
11-02-2020 ADD TREES

ORIGINAL FIELD DATE 08-25-2020
JOB NO. 2008-0074A

LEGEND OF SURVEY ABBREVIATIONS

ARC LENGTH A/C	CONC. LIGHT POLE CLP	MAN HOLE MH	PROPERTY LINE PL	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
ARC CORNER B/C	CONC. SERVICE BOX C/SB	MEASURED M	RECORDED (R)	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
BLDG B	ELECTRIC METER (CH) EM	NAT. MONUMENT LINE N.M.L.	RECORD R	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
C.B. C	FOUND DRILL HOLE F.D.H.	NAT. GEODETIC VERTICAL DATUM N.G.V.D.	RES. EASEMENT R.E.	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
C.B.S. C.B.S.	FOUND DRILL HOLE F.D.H.	NAT. GEODETIC VERTICAL DATUM N.G.V.D.	RES. EASEMENT R.E.	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
CH. C	FOUND DRILL HOLE F.D.H.	NAT. GEODETIC VERTICAL DATUM N.G.V.D.	RES. EASEMENT R.E.	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
CL C	FOUND DRILL HOLE F.D.H.	NAT. GEODETIC VERTICAL DATUM N.G.V.D.	RES. EASEMENT R.E.	SEWER MANHOLE S	UTILITY POLE UP	WATER WELL WM	WATER METER WM	WALL W
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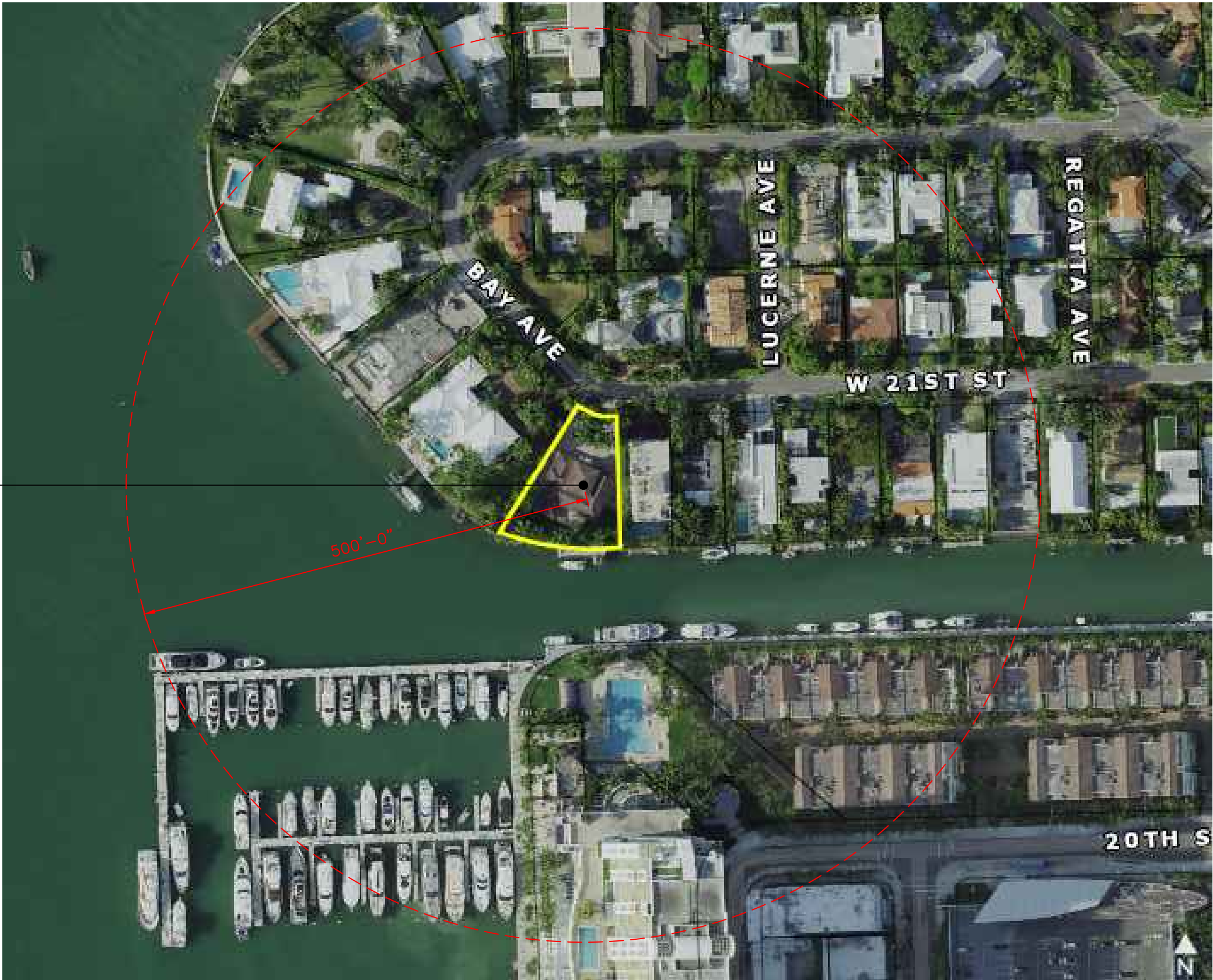
DATE: 11.03.2023

SURVEY

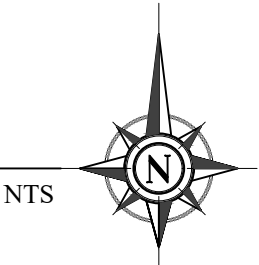
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SITE:
1630 W 21st STREET



LOCATION MAP
MIAMI BEACH, FLORIDA



NTS

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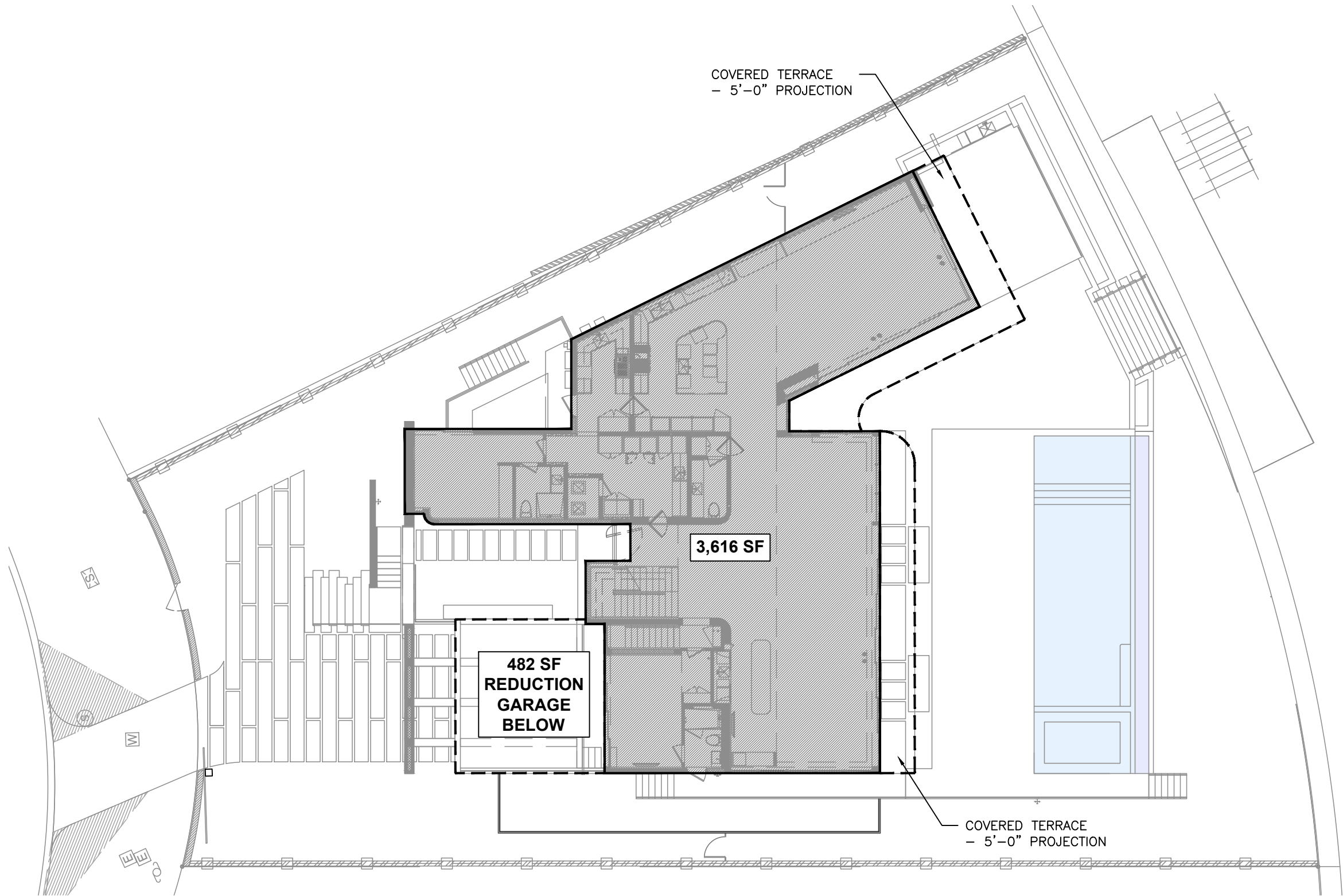
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LOCATION
MAP

DATE: 11.03.2023

A3



LOT COVERAGE DIAGRAM

1/16" = 1'-0"

LOT COVERAGE CALCULATIONS

CRITERIA	REQUIRED/ALLOWABLE	PROPOSED
LOT COVERAGE (LOT SIZE: 14,183 SF PER MIAMI-DADE RECORDS)	4,255 SF (30%)	3,616 SF (25.5%)
	COMPLIES	

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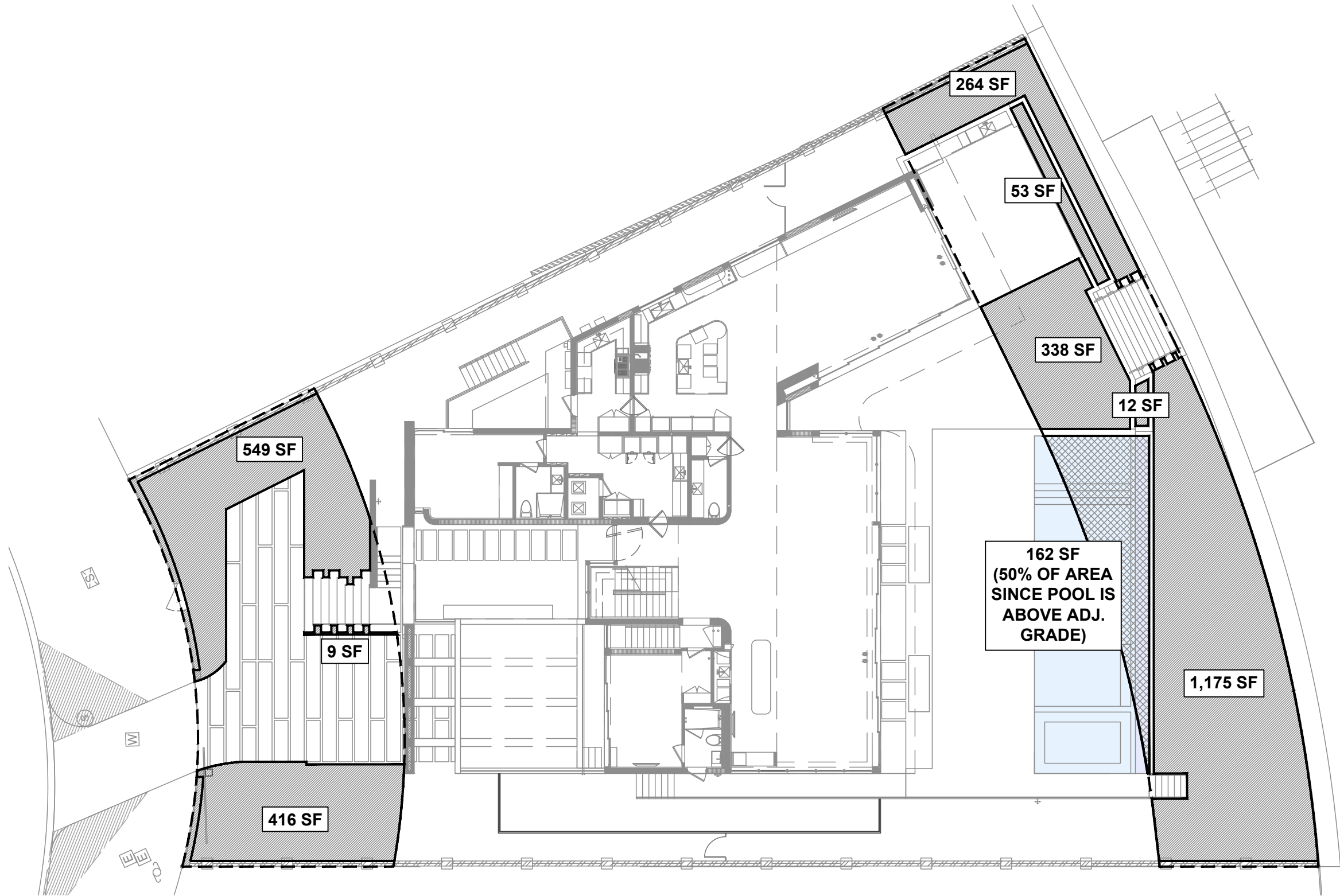
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LOT
COVERAGE
DIAGRAM

DATE: 11.03.2023

A4



PERVIOUS OPEN SPACE DIAGRAM
1/16" = 1'-0"

PERVIOUS OPEN SPACE CALCULATIONS		
CRITERIA	REQUIRED/ALLOWABLE	PROPOSED
FRONT YARD AREA = 1,948 SF	974 SF (50%)	974 SF (50.5%)
REAR YARD AREA = 2,838 SF	1,987 SF (70%)	2,004 SF (70.6%)
	COMPLIES	

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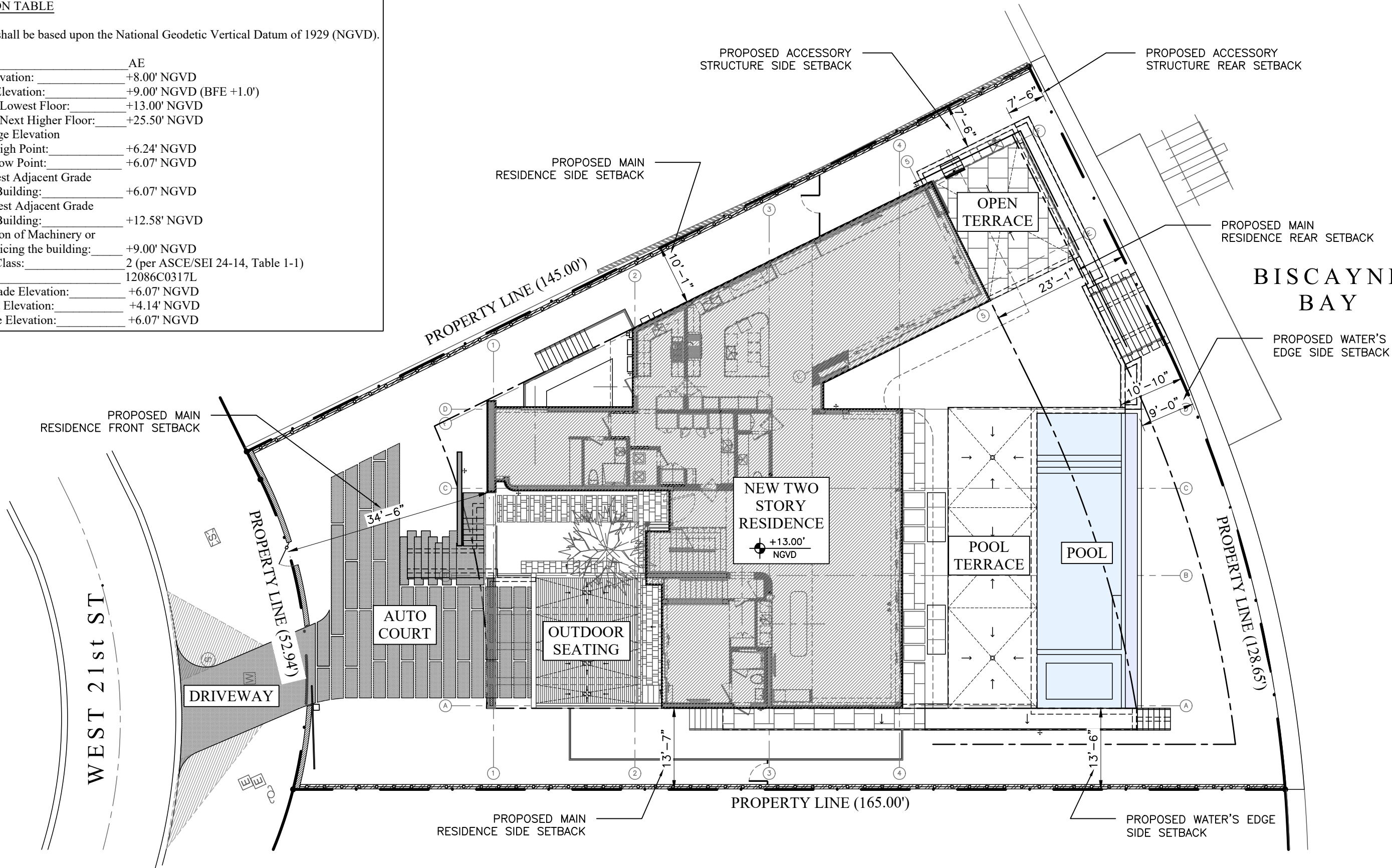
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LOT
COVERAGE
DIAGRAM

DATE: 11.03.2023

A5

FLOODPLAIN MANAGEMENT INFORMATION TABLE	
All elevations shall be based upon the National Geodetic Vertical Datum of 1929 (NGVD).	
Flood Zone:	AE
Base Flood Elevation:	+8.00' NGVD
Design Flood Elevation:	+9.00' NGVD (BFE +1.0')
Proposed TOS Lowest Floor:	+13.00' NGVD
Proposed TOS Next Higher Floor:	+25.50' NGVD
Proposed Garage Elevation	
High Point:	+6.24' NGVD
Low Point:	+6.07' NGVD
Proposed Lowest Adjacent Grade next to Building:	+6.07' NGVD
Proposed Highest Adjacent Grade next to Building:	+12.58' NGVD
Lowest Elevation of Machinery or equipment servicing the building:	+9.00' NGVD
Flood Design Class:	2 (per ASCE/SEI 24-14, Table 1-1)
FIRM Map:	12086C0317L
Crawlspace Grade Elevation:	+6.07' NGVD
Crown of Road Elevation:	+4.14' NGVD
Adjusted Grade Elevation:	+6.07' NGVD



S I T E P L A N

1/16" = 1'-0"



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SITE PLAN

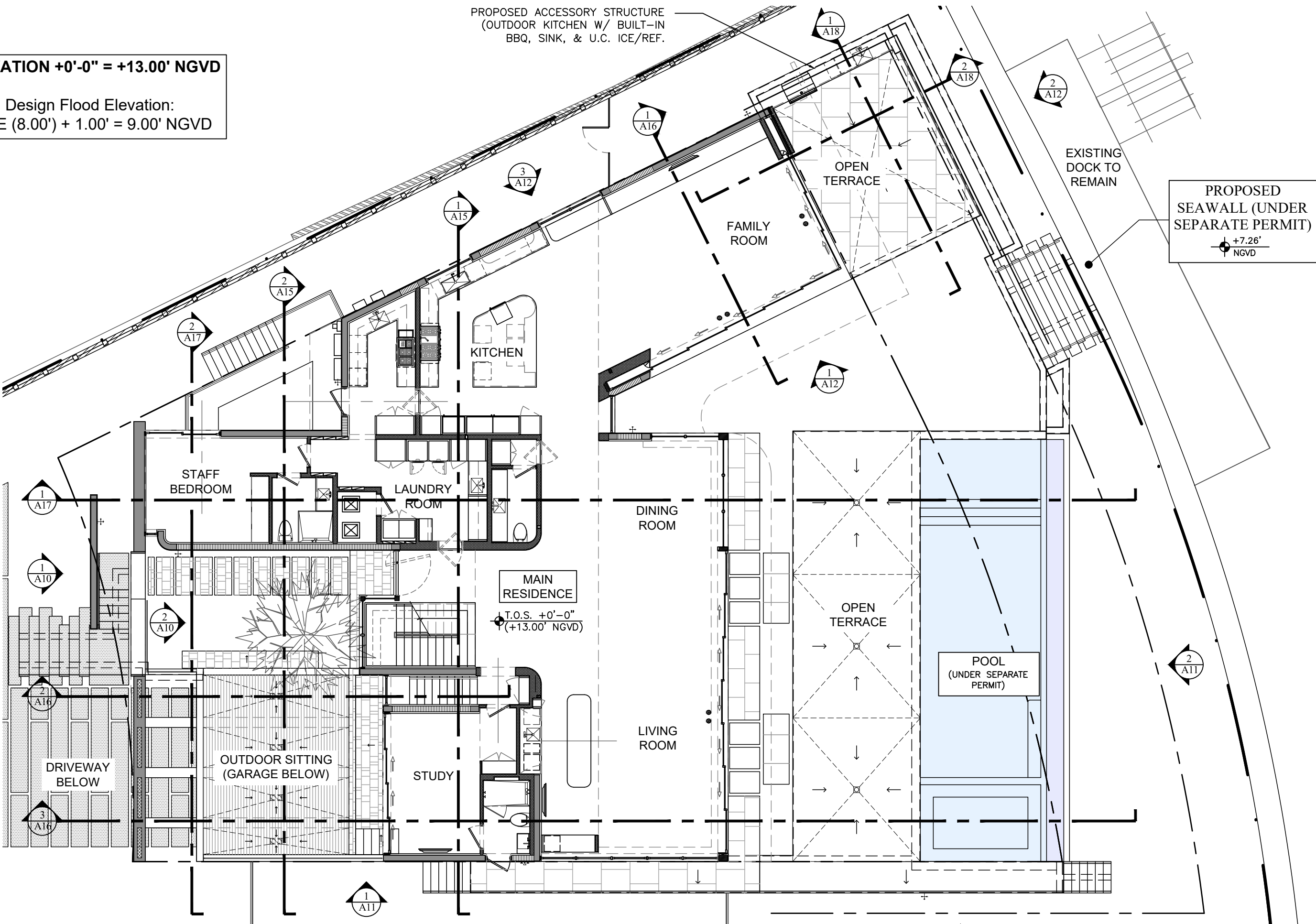
DATE: 11.03.2023

A6

ELEVATION +0'-0" = +13.00' NGVD

Design Flood Elevation:
B.F.E (8.00') + 1.00' = 9.00' NGVD

PROPOSED ACCESSORY STRUCTURE
(OUTDOOR KITCHEN W/ BUILT-IN
BBQ, SINK, & U.C. ICE/REF.)



PROPOSED
SEAWALL (UNDER
SEPARATE PERMIT)
+7.26'
NGVD

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FIRST FLOOR
PLAN

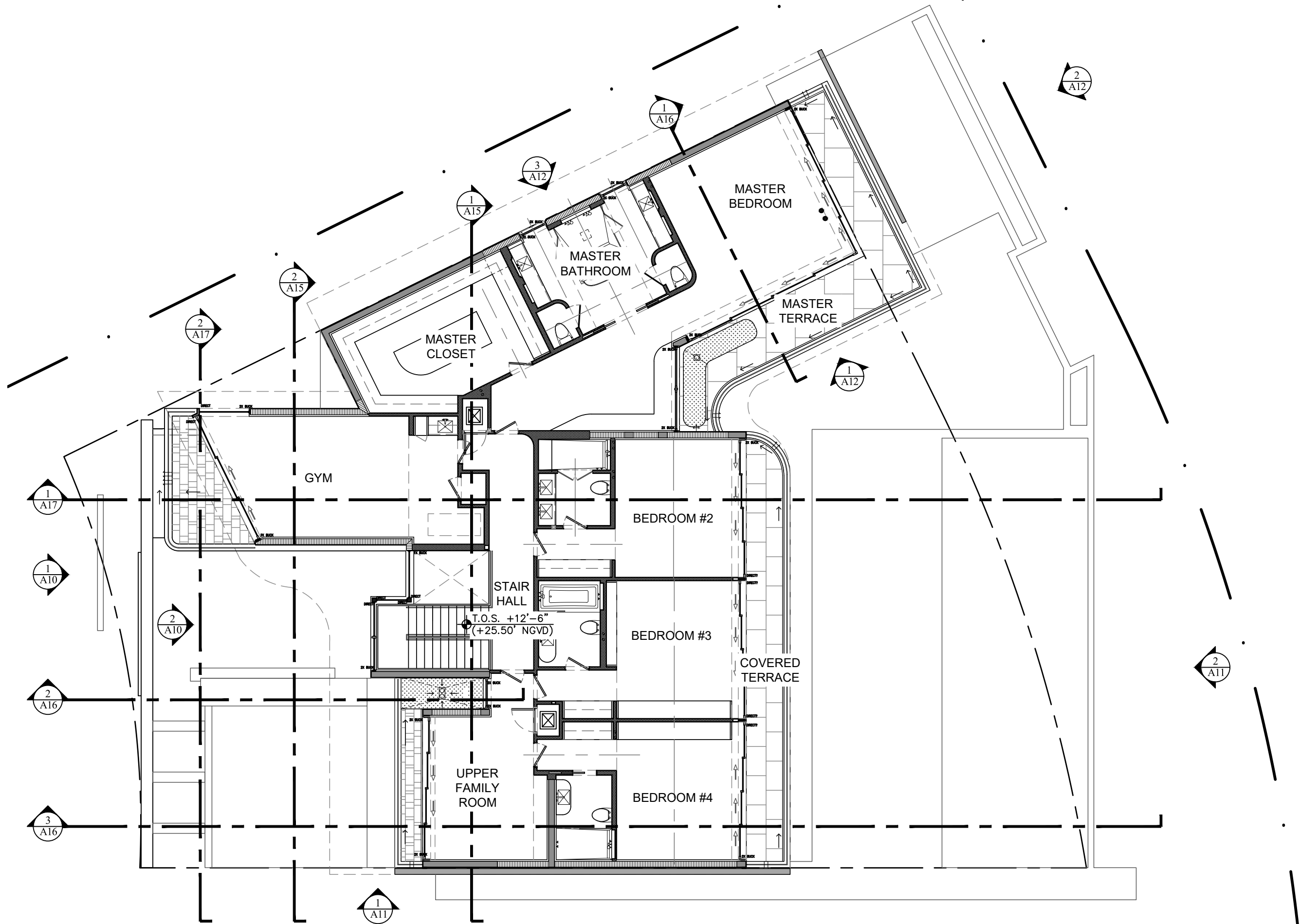
DATE: 11.03.2023

A7

FIRST FLOOR PLAN

3/32" = 1'-0"





SECOND FLOOR PLAN

$\frac{3}{32}'' = 1'-0''$



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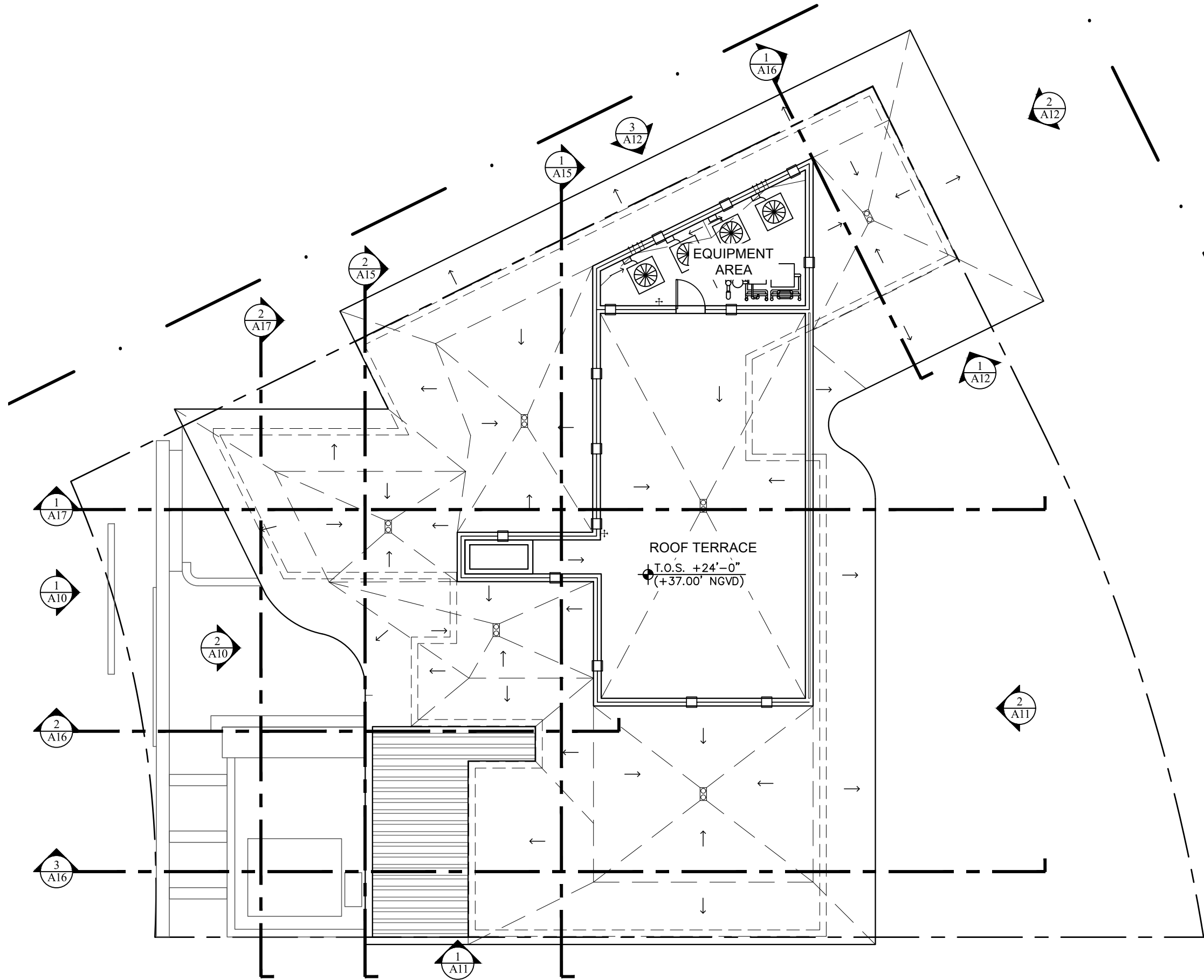
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SECOND
FLOOR PLAN

DATE: 11.03.2023

A8



R O O F P L A N

$\frac{3}{32}" = 1'-0"$



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ROOF PLAN

DATE: 11.03.2023

A9

BUILDING ELEVATIONS KEY LEGEND

- EXTERIOR FINISH KEYS
- (STCW)

SMOOTH STUCCO WALL FINISH
- (BFCH)

BOARD FORMED CONCRETE – HORIZONTAL
- (BFCV)

BOARD FORMED CONCRETE – VERTICAL
- (MT)

MOSAIC TILE
- (RLGG)

36" HIGH GLASS RAILING (REQUIRES SEPARATE PERMIT)
- (RLGA)

36" HIGH ALUM. RAILING (REQUIRES SEPARATE PERMIT)
- (TRL)

TRELLIS – MATERIAL & DESIGN TO BE DETERMINED
- (WS)

WALL SCONCE
- (EOS)

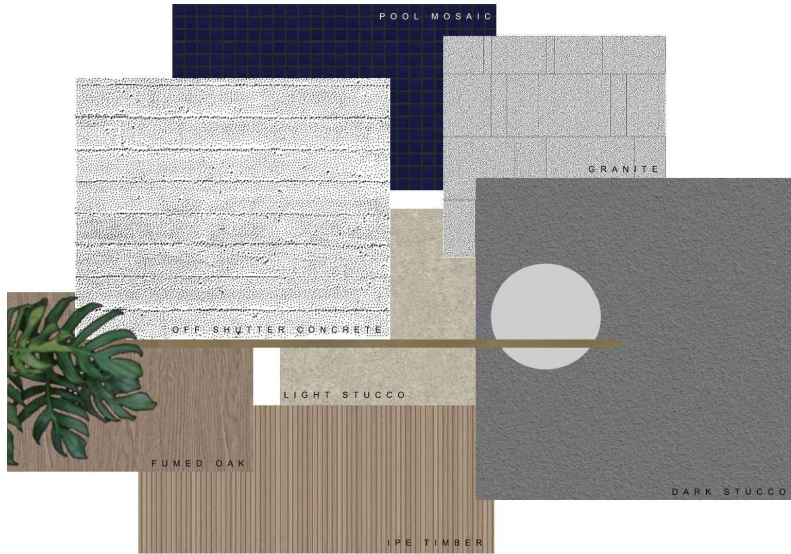
EMERGENCY OVERFLOW SCUPPER
- (FV)

FLOOD VENT
- (SB)

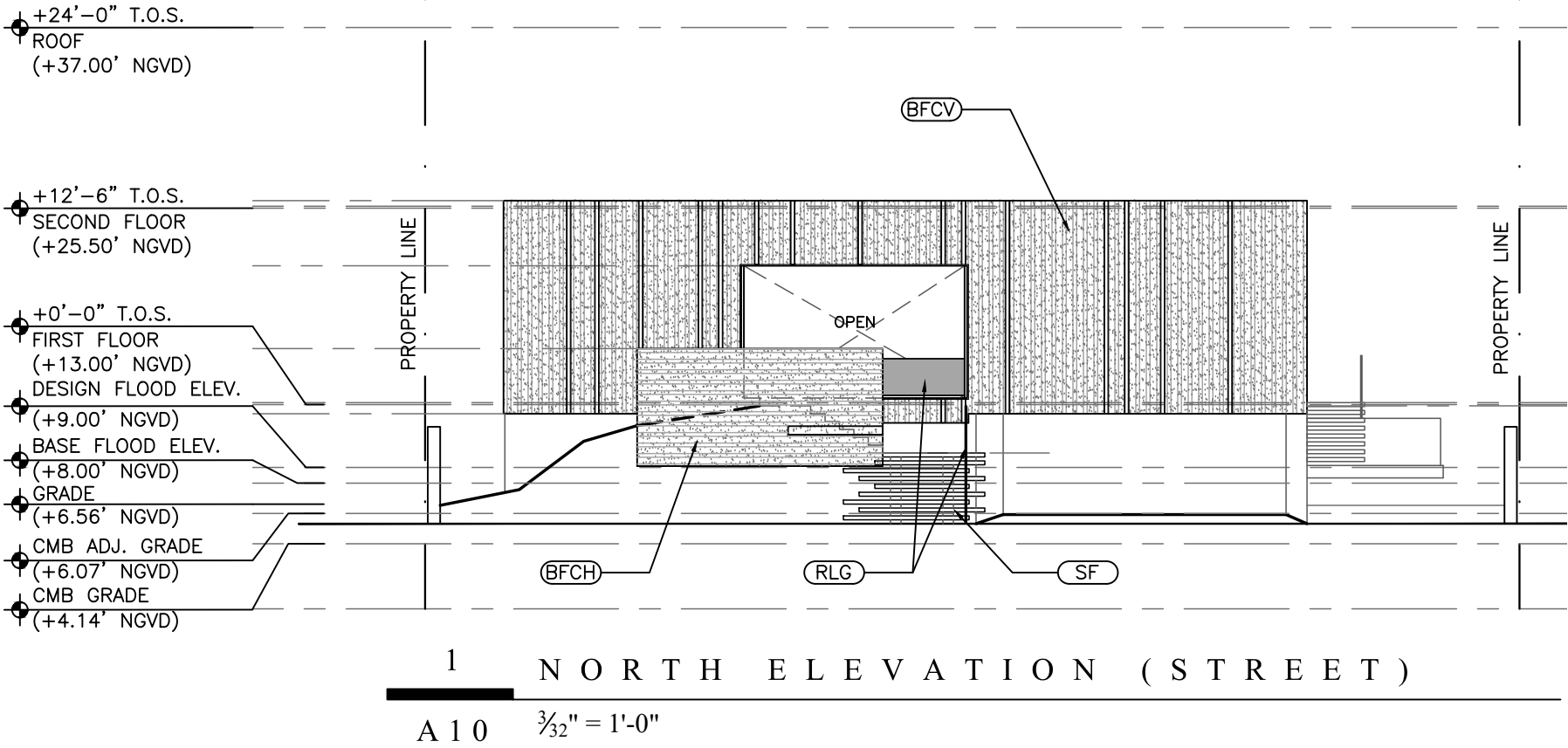
STEEL BEAM
- (MS)

METAL STAIRS
- (SF)

STONE FINISH



MATERIAL PALETTE



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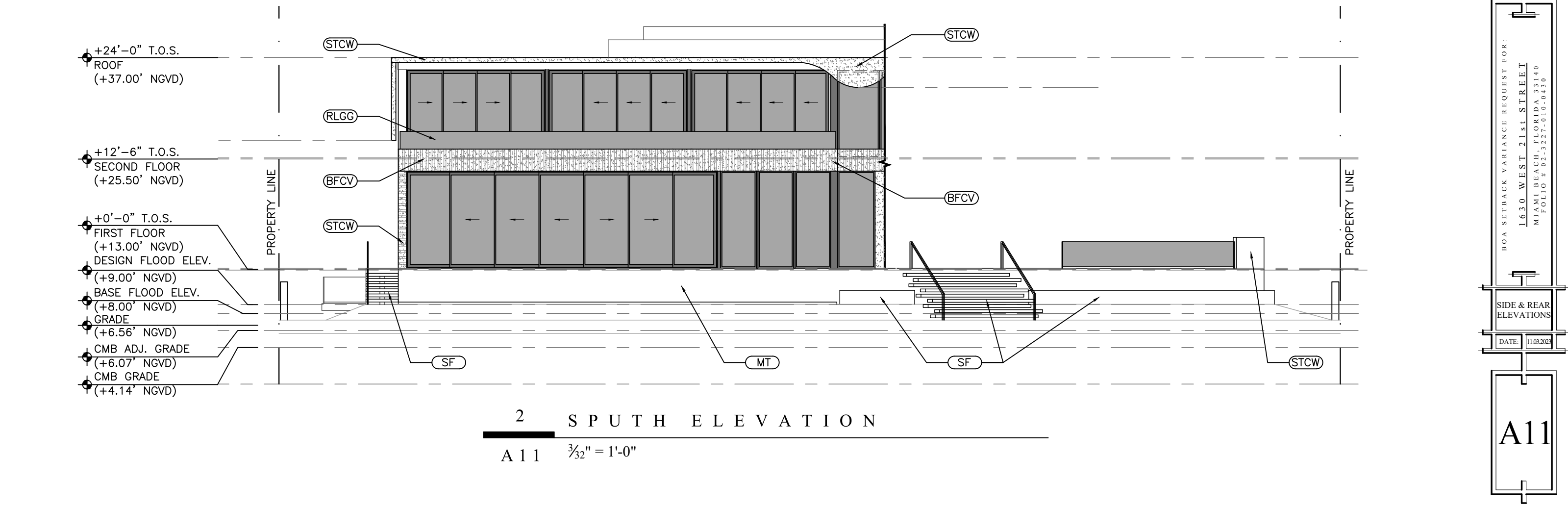
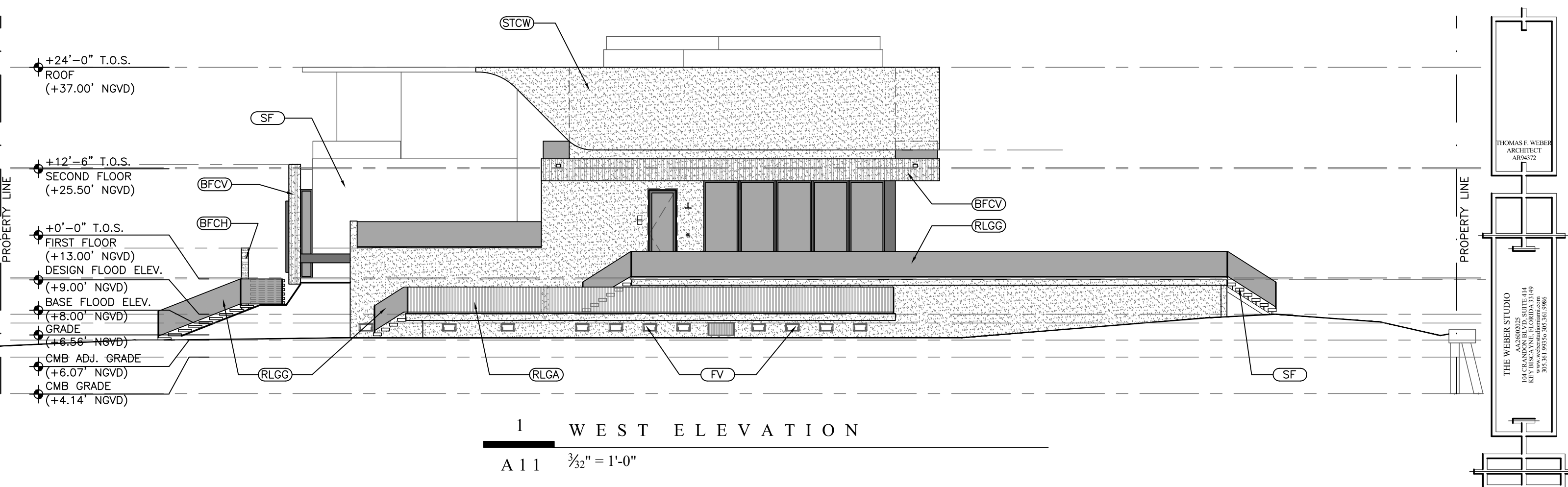
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FRONT ELEVATIONS

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A10



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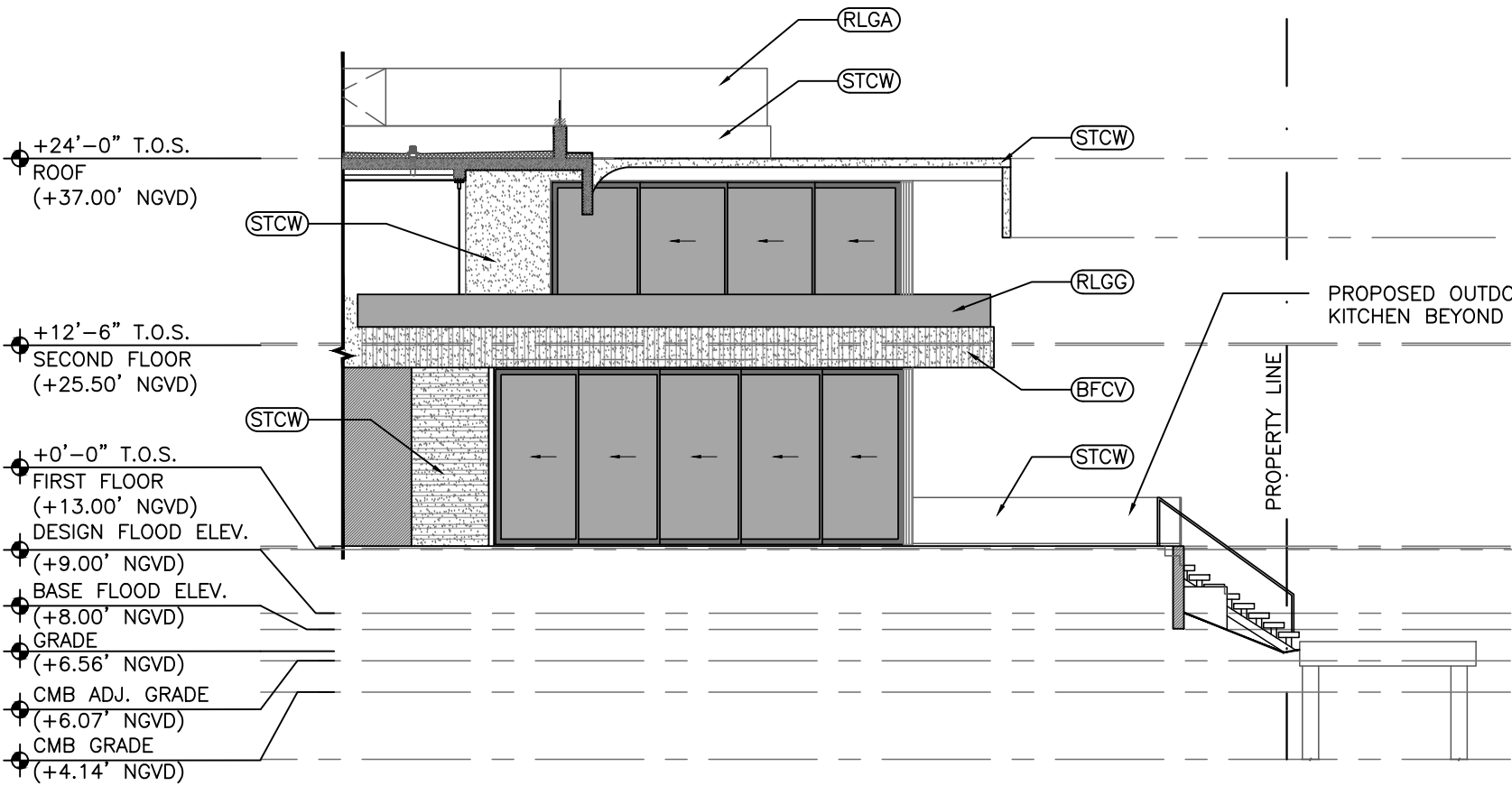
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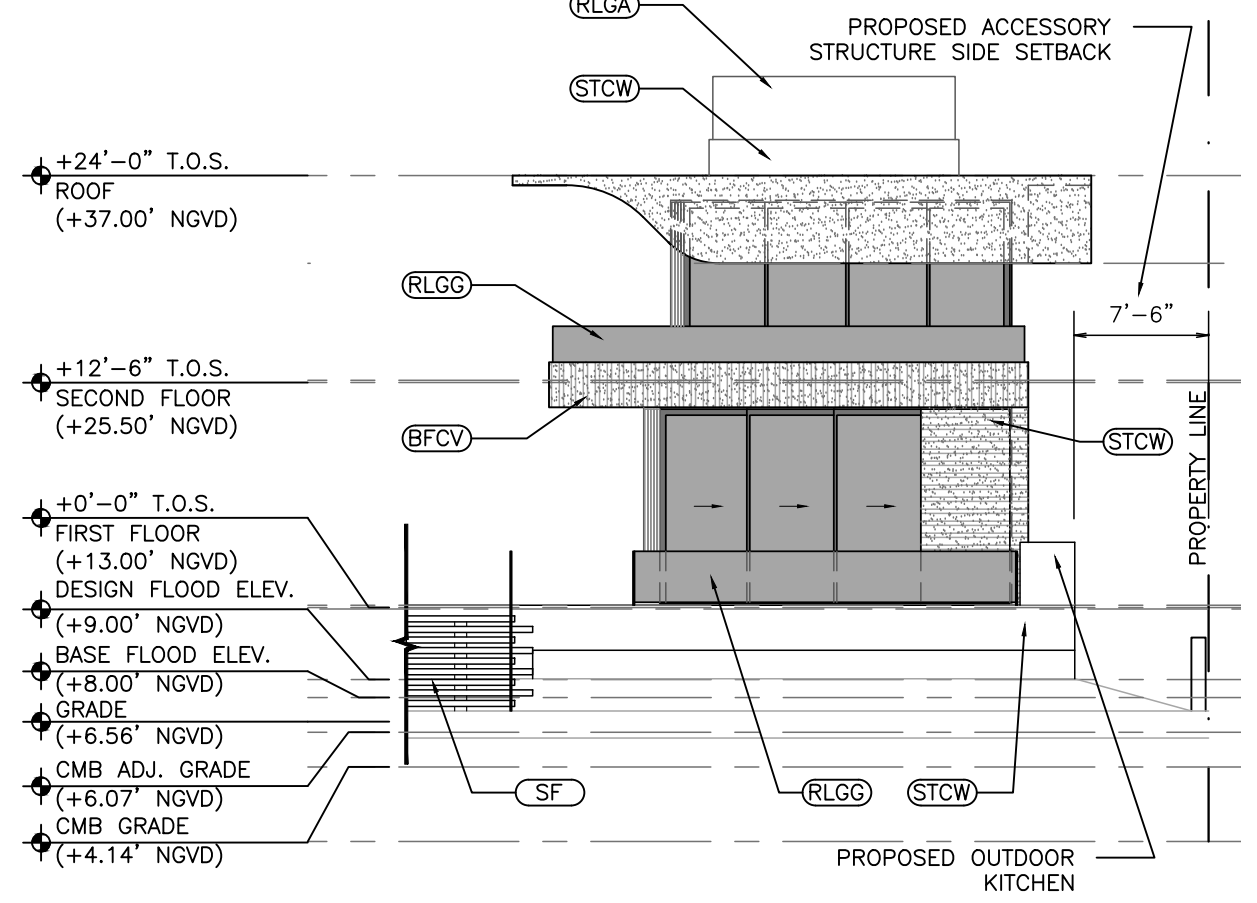
SIDE & REAR
ELEVATIONS

DATE: 11.03.2023

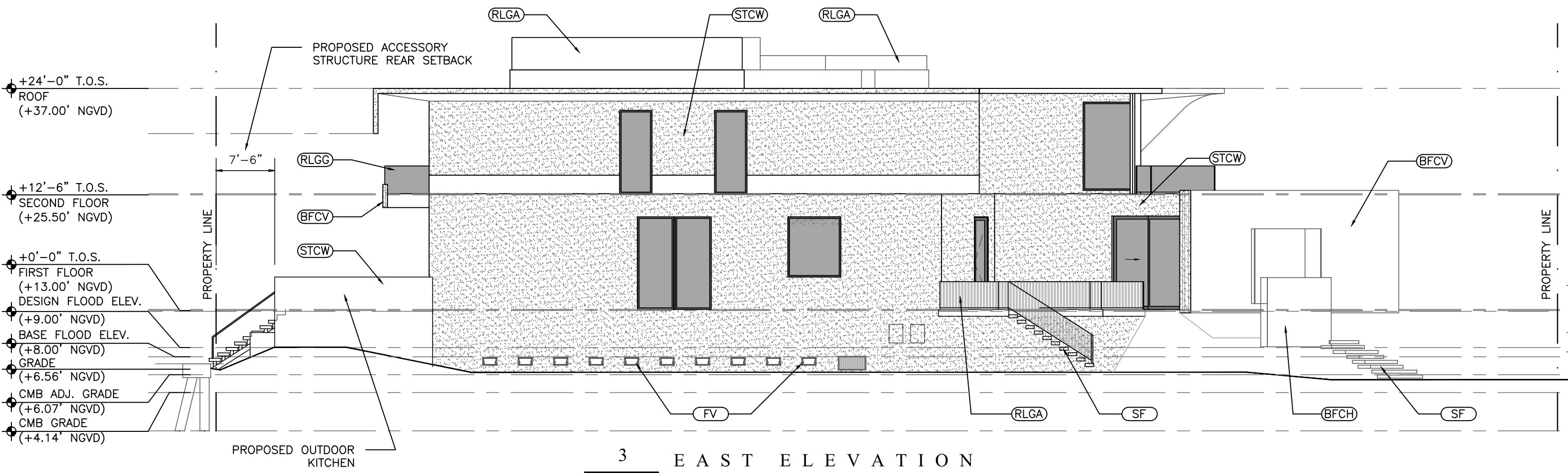
A11



1 WEST ELEVATION (TERRACE)
A 1 2 $\frac{3}{32}'' = 1'-0''$



2 SOUTH ELEVATION (PARTIAL)
A 1 2 $\frac{3}{32}'' = 1'-0''$



3 EAST ELEVATION
A 1 2 $\frac{3}{32}'' = 1'-0''$

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SIDE & REAR
ELEVATIONS

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A12



FRONT RENDERING



COURTYARD RENDERING



REAR RENDERING



REAR RENDERING

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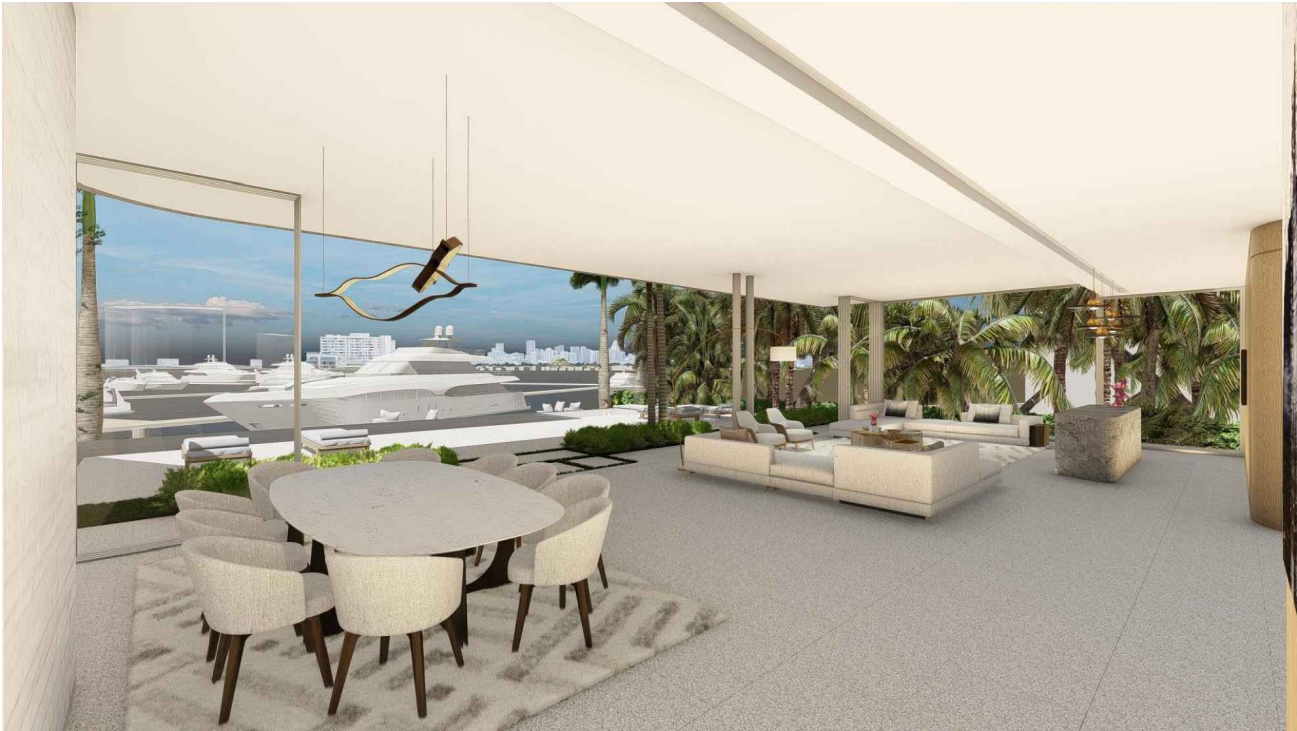
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BUILDING
RENDERINGS

DATE: 11.03.2023

A13



G R E A T R O O M R E N D E R I N G



G R E A T R O O M R E N D E R I N G



P O O L T E R R A C E R E N D E R I N G



F A M I L Y R O O M R E N D E R I N G

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RENDERINGS

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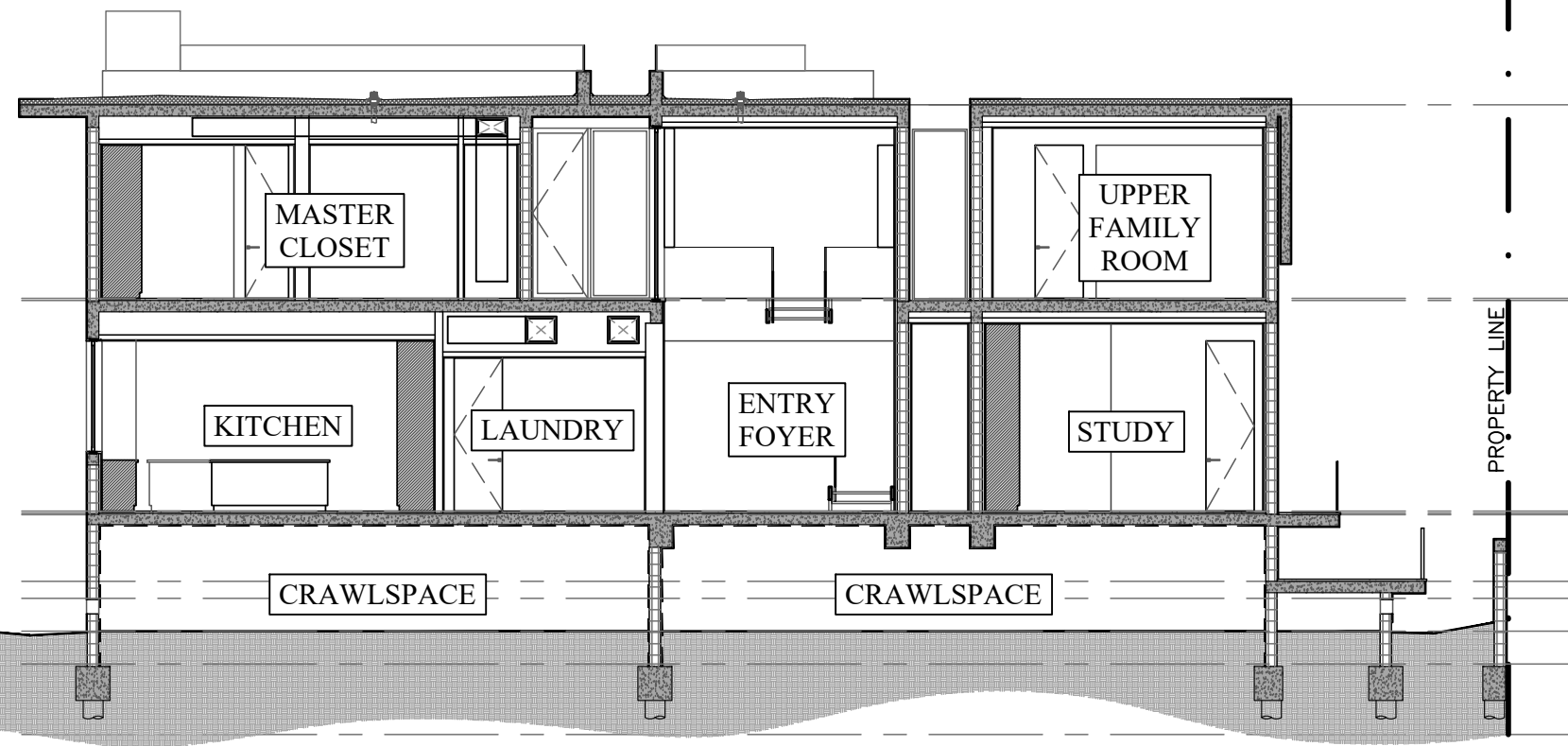
A14

+24'-0" T.O.S.
ROOF
(+37.00' NGVD)

+12'-6" T.O.S.
SECOND FLOOR
(+25.50' NGVD)

+0'-0" T.O.S.
FIRST FLOOR
(+13.00' NGVD)
DESIGN FLOOD ELEV.
(+9.00' NGVD)
BASE FLOOD ELEV.
(+8.00' NGVD)
GRADE
(+6.56' NGVD)
CMB ADJ. GRADE
(+6.07' NGVD)
CMB GRADE
(+4.14' NGVD)

PROPERTY LINE



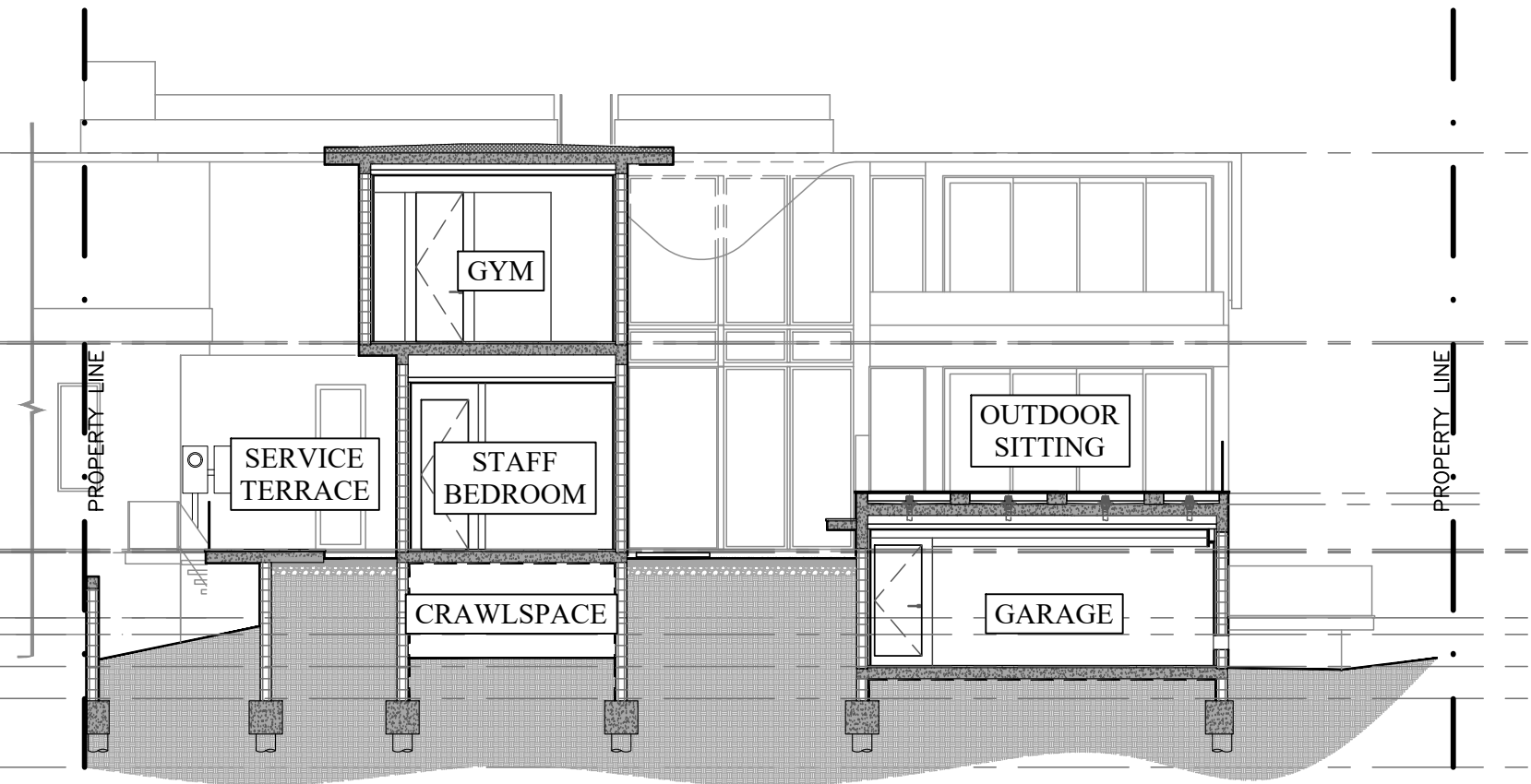
1 SECTION # 1
A 1 5 $\frac{3}{32}" = 1'-0"$

+24'-0" T.O.S.
ROOF
(+37.00' NGVD)

+12'-6" T.O.S.
SECOND FLOOR
(+25.50' NGVD)

+0'-0" T.O.S.
FIRST FLOOR
(+13.00' NGVD)
DESIGN FLOOD ELEV.
(+9.00' NGVD)
BASE FLOOD ELEV.
(+8.00' NGVD)
GRADE
(+6.56' NGVD)
CMB ADJ. GRADE
(+6.07' NGVD)
CMB GRADE
(+4.14' NGVD)

PROPERTY LINE



PROPERTY LINE

2 SECTION # 2
A 1 5 $\frac{3}{32}" = 1'-0"$

THOMAS F. WEBER
ARCHITECT
AR94372

THE WEBER STUDIO
AA2602025
104 CRANDON BLVD., SUITE 414
KEY BISCAYNE, FLORIDA 33149
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BOA SETBACK VARIANCE REQUEST FOR:
1630 WEST 21st STREET
MIAMI BEACH, FLORIDA 33140
FOLIO # 02-3227-010-0430

BUILDING
SECTIONS

DATE: 11.03.2023

A15

PROPOSED ACCESSORY
STRUCTURE SIDE SETBACK

+24'-0" T.O.S.
ROOF
(+37.00' NGVD)

+12'-6" T.O.S.
SECOND FLOOR
(+25.50' NGVD)

+0'-0" T.O.S.
FIRST FLOOR
(+13.00' NGVD)
DESIGN FLOOD ELEV.

(+9.00' NGVD)

BASE FLOOD ELEV.

(+8.00' NGVD)

GRADE

(+6.56' NGVD)

CMB ADJ. GRADE

(+6.07' NGVD)

CMB GRADE

(+4.14' NGVD)

PROPOSED OUTDOOR
KITCHEN BEYOND

PROPERTY LINE

7'-6"

1 SECTION # 3

A 1 6 $\frac{3}{32}" = 1'-0"$

+24'-0" T.O.S.
ROOF
(+37.00' NGVD)

+12'-6" T.O.S.
SECOND FLOOR
(+25.50' NGVD)

+0'-0" T.O.S.
FIRST FLOOR
(+13.00' NGVD)
DESIGN FLOOD ELEV.

(+9.00' NGVD)

BASE FLOOD ELEV.

(+8.00' NGVD)

GRADE

(+6.56' NGVD)

CMB ADJ. GRADE

(+6.07' NGVD)

CMB GRADE

(+4.14' NGVD)

2 SECTION # 4

A 1 6 $\frac{3}{32}" = 1'-0"$

+24'-0" T.O.S.
ROOF
(+37.00' NGVD)

+12'-6" T.O.S.
SECOND FLOOR
(+25.50' NGVD)

+0'-0" T.O.S.
FIRST FLOOR
(+13.00' NGVD)
DESIGN FLOOD ELEV.

(+9.00' NGVD)

BASE FLOOD ELEV.

(+8.00' NGVD)

GRADE

(+6.56' NGVD)

CMB ADJ. GRADE

(+6.07' NGVD)

CMB GRADE

OUTDOOR
SITTING

UPPER
FAMILY
ROOM

BEDROOM
#4

STUDY

LIVING
ROOM

POOL
TERRACE

GARAGE

CRAWLSPACE

POOL

PROPERTY LINE

3 SECTION # 5

A 1 6 $\frac{3}{32}" = 1'-0"$

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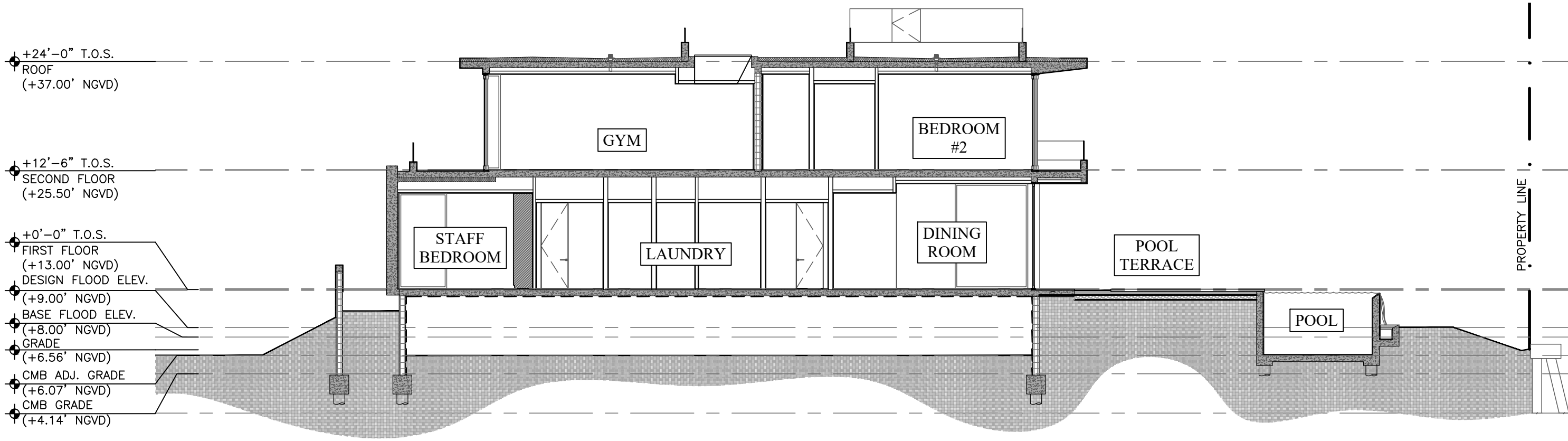
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BOA SETBACK VARIANCE REQUEST FOR:
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FOLIO # 02-3227-010-0430

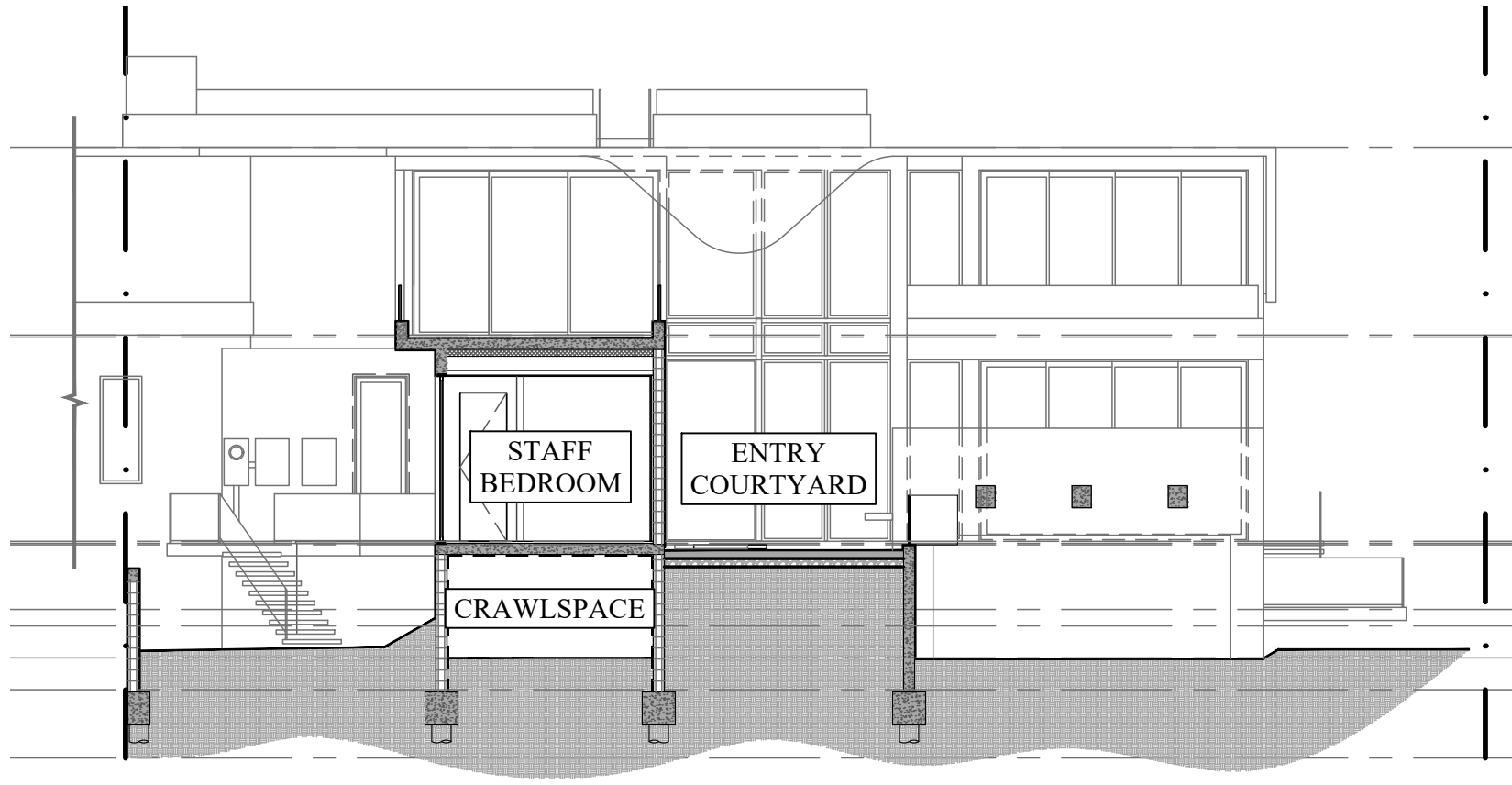
BUILDING
SECTIONS

DATE: 11.03.2023

A16



1 SECTION # 6
A 1 7 $\frac{3}{32}" = 1'-0"$



1 SECTION # 7
A 1 7 $\frac{3}{32}" = 1'-0"$

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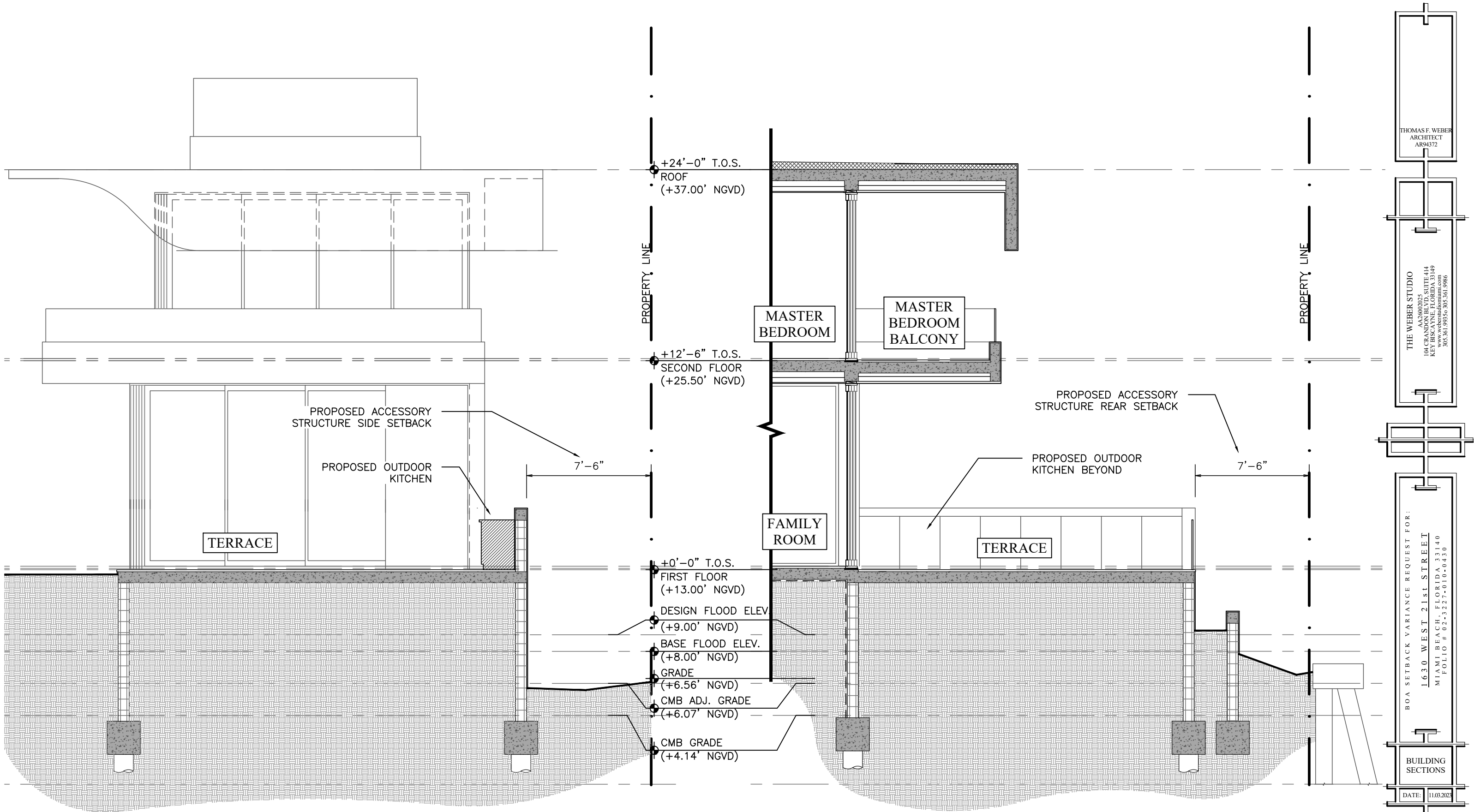
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BUILDING SECTIONS

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A17



1 ENLARGED SECTION
A 1 8 $\frac{3}{16}" = 1'-0"$

2 ENLARGED SECTION
A 1 8 $\frac{3}{16}" = 1'-0"$