

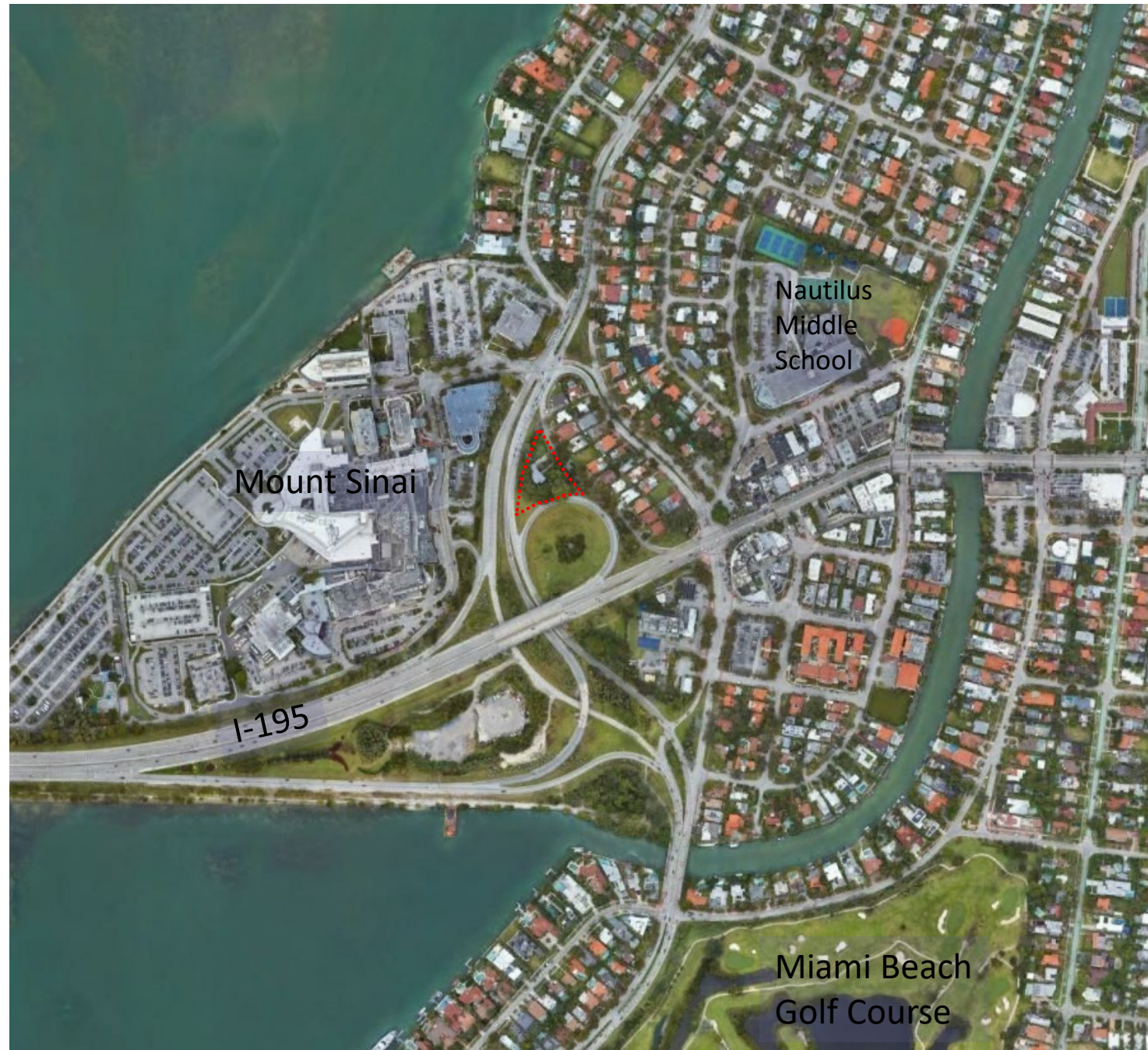
DRB23-0952

4230 North Bay Road (LOT 1)

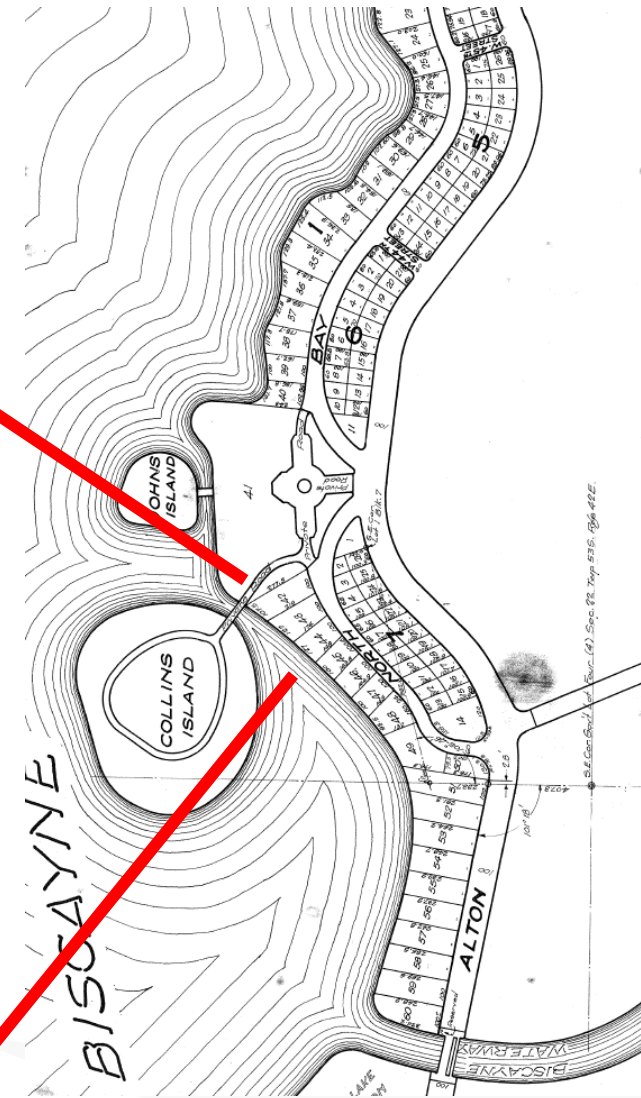
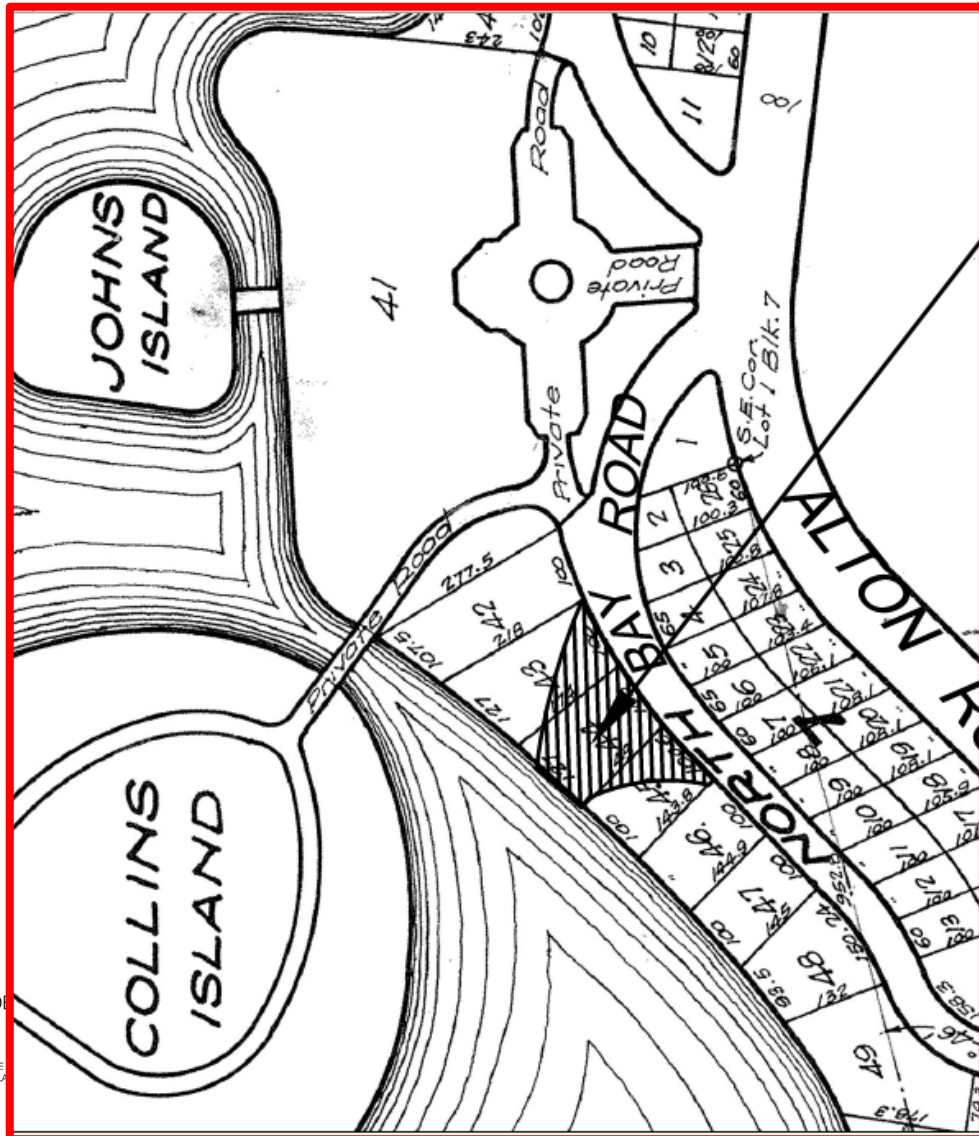
Design Review Board
November 13, 2023



Property



1923 Original Plat



~ PLAT ~
OF
NAUTILUS SUBDIVISION
OF
THE MIAMI BEACH BAY SHORE CO.
MIAMI BEACH, FLA.
- Scale 1" = 200' March, 1, 1923

1925 Aerial



Mount Sinai 1950s



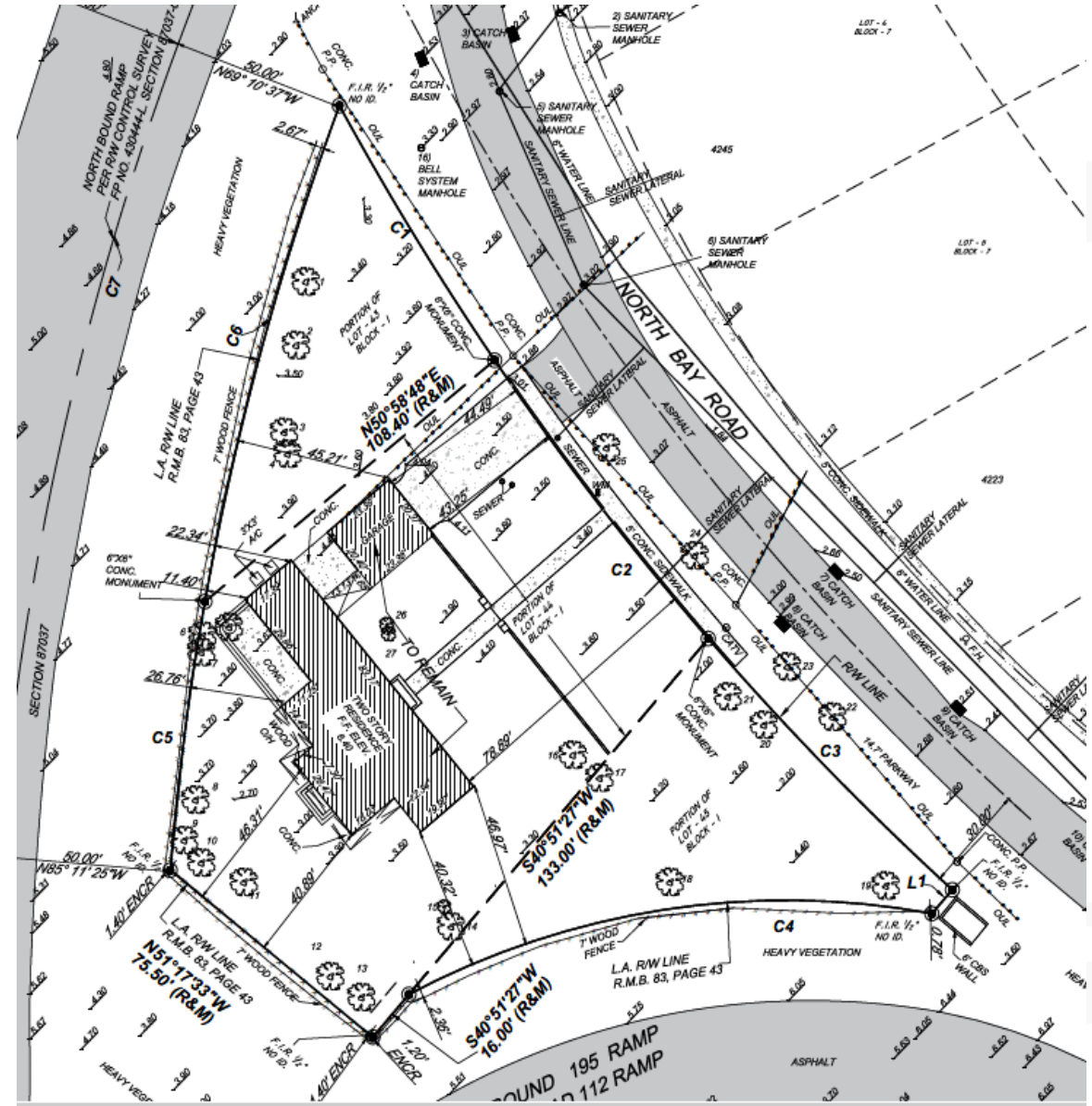
New Mt. Sinai Hospital on Miami Beach, Florida

1963 Aerial



Current Lot

- 27,146 square feet
- Built in 1934



Summary of Lot Split



RS-4
Minimum Required Lot Size: 6,000 SF
Minimum Required Lot Width: 50 Feet

Proposed Lot Sizes: Lot 1: 7,769 SF
Lot 2: 13,311 SF
Lot 3: 6,066 SF

Proposed Lot Widths: Lot 1: 102.10 FT
Lot 2: 87.86 FT
Lot 3: 95.76 FT

PROPOSED LOT 1 "NORTH BAY ROAD VILLAS"

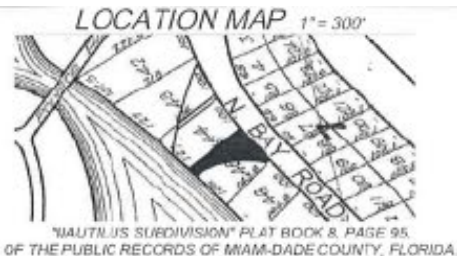
BEING A REPLAT OF A PORTION OF LOTS 43, 44, IN BLOCK 1 OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND SITUATED IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 53 SOUTH, RANGE 42 EAST, AND THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST, LYING AND BEING IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

LEGAL DESCRIPTION:

A PORTION OF LOT 44 IN BLOCK 1 OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ALSO THAT PART OF LOT 45 IN BLOCK 1 OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 45 AND RUNS WEST 9 FEET ALONG THE SOUTH LINE THEREOF TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 239 FEET; RUN THENCE NORTHWESTERLY 156.43 FEET ALONG SAID CURVE TO THE NORTHERLY LINE OF SAID LOT 45 AT A POINT OF 16 FEET EASTERLY FROM THE NORTHWEST CORNER THEREOF; RUN THENCE EASTERLY 133 FEET ALONG THE NORTHERLY LINE OF SAID LOT 45 TO THE NORTHEAST CORNER THEREOF; RUN THENCE SOUTHERLY 100 FEET TO THE EASTERN LINE OF SAID LOT 45 TO THE POINT OF BEGINNING.

ALSO THAT PART OF LOT 43, IN BLOCK 1 OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 43 RUN THENCE WESTERLY 108 FEET ALONG THE SOUTHERLY LINE OF SAID LOT 43 TO THE BEGINNING OF A CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 78 FEET; RUN THENCE NORTHEASTERLY 144 FEET ALONG SAID CURVE TO THE EASTERLY LINE OF SAID LOT 43; RUN THENCE SOUTHERLY 85 FEET ALONG SAID LINE OF THE POINT OF BEGINNING.



PROPERTY ADDRESS
4230 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140

MIAMI-DADE FLOOD CRITERIA MAP
ELEVATION = +7.50' N.G.V.D. 1928, PLAT BOOK 120, PAGE 13 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

OWNER / FOLIO: OWNER'S CONTACT INFORMATION
NAME: ERNESTO AND ASHLEY ARGUELLO
ADDRESS: 4230 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140
PHONE NUMBER: (305) 496-0827, EMAIL: ErnestoArguello@gmail.com

DEVELOPMENT INFORMATION
OWNER: ERNESTO AND ASHLEY ARGUELLO
4230 NORTH BAY ROAD, MIAMI BEACH, FL 33140
FOUO NUMBER: 02-3222-011-0290
DEVELOPMENT INFORMATION:
PROPOSED LOT 1 CONTAINING 7,769 SQUARE FEET +/- OR 0.18 ACRES +/-
PROPOSED 3,655 SQ. FT. SINGLE FAMILY RESIDENCE
ZONING NOTE: RS-4 - SINGLE-FAMILY RESIDENTIAL

SURVEYOR'S REFERENCE
"NAUTILUS SUBDIVISION" PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

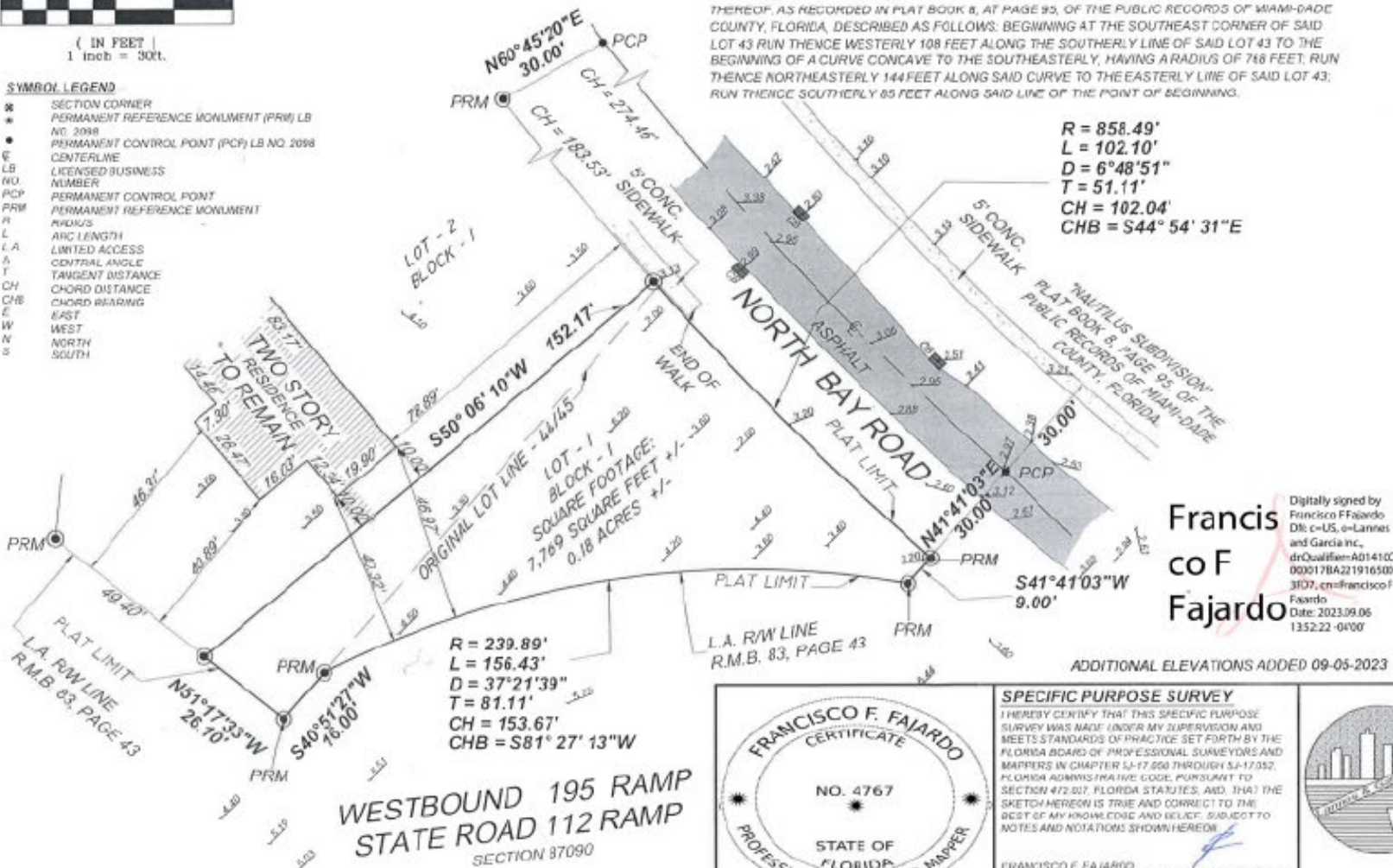
SURVEYOR'S NOTE
1. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.
2. THE BASIS OF BEARING IS GEODETIC NORTH, BASED ON A STATIC OP OBSERVATION WITH A REFERENCE LINE OF WESTERLY LINE OF SUBJECT PROPERTY = (N51°17'33"W)
3. THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN THIS SURVEY. FOUNDATIONS AND/OR BUILDING FOOTERS WERE NOT LOCATED.
4. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION.
5. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY.
6. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) AND REFERENCED TO THE FOLLOWING BENCHMARK: MIAMI-DADE COUNTY B.M. # D-106 ELEV = 3.20 AND B.M. # D-157-R ELEV = 4.33
7. ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, UNLESS OTHERWISE NOTED.
8. TITLE COMMITMENT OR ABSTRACT OF TITLE HAS NOT BEEN REVIEWED BY CERTIFYING SURVEYOR, THEREFORE CANNOT AND HAS NOT BASED ANY INFORMATION ON THIS PLAT UPON SUCH DOCUMENTATION.



(IN FEET)
1 inch = 30ft.

SYMBOL LEGEND

- * SECTION CORNER
- PERMANENT REFERENCE MONUMENT (PRM) LB NO. 2098
- PERMANENT CONTROL POINT (PCP) LB NO. 2098
- CENTERLINE
- LB LICENSED BUSINESS NUMBER
- PCP PERMANENT CONTROL POINT
- PRM PERMANENT REFERENCE MONUMENT
- R RADIUS
- L ARC LENGTH
- LA LIMITED ACCESS
- TA TANGENT ANGLE
- CH TANGENT DISTANCE
- CHB CHORD BEARING
- E EAST
- W WEST
- N NORTH
- S SOUTH

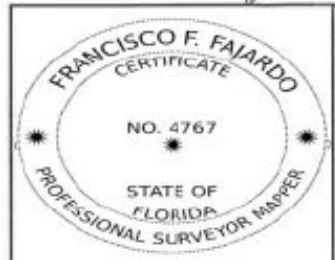


R = 858.49'
L = 102.10'
D = 6°48'51"
T = 51.11'
CH = 102.04'
CHB = S44° 54' 31"E

R = 239.89'
L = 156.43'
D = 37°21'39"
T = 81.11'
CH = 153.67'
CHB = S81° 27' 13"W

Francisco Fajardo

Digitally signed by Francisco Fajardo
DN: c=US, o=Lannes and Garcia Inc., dnQualifier=A01410C000017BA221916500003F07, cn=Francisco Fajardo
Date: 2023.09.06 13:52:22 -0400



SPECIFIC PURPOSE SURVEY
I HEREBY CERTIFY THAT THIS SPECIFIC PURPOSE SURVEY WAS MADE UNDER MY SUPERVISION AND MEETS STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17.000 THROUGH SJ-17.052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007, FLORIDA STATUTES, AND THAT THE SKETCH HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

FRANCISCO F. FAJARDO
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATOR NO. 4767



PROFESSIONAL SURVEYING AND MAPPING
LANNES AND GARCIA, INC.
LB # 2098
FRANCISCO F. FAJARDO PSM # 4767 (QUALIFIER)
4967 SW 75th AVENUE,
MIAMI, FLORIDA 33155
PH (305) 666-7909 FAX (305) 442-2530

Project Requests

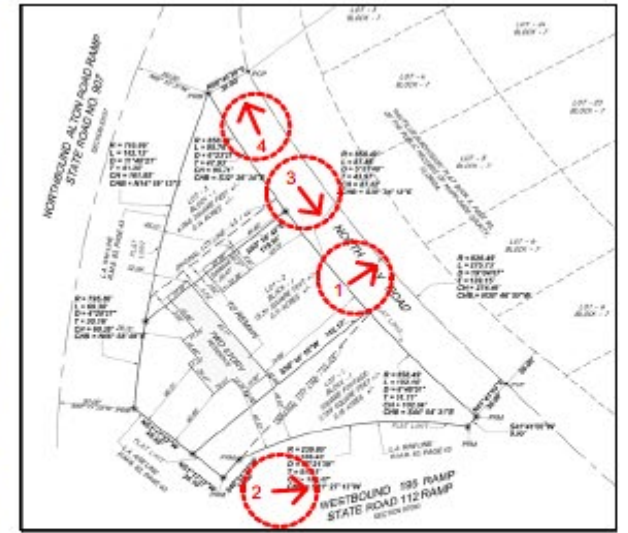
1. Design review for an understory
2. Waiver of the two-story side elevations and additional required open space
3. Variance:
 - i. To exceed by 10% (777 SF) the maximum unit size allowed of 40% (3,108 SF) for a lot resulting from a lot split
 - ii. To reduce by 10'-0" the minimum required 40'-0" front setback for the second story to construct a new two-story structure at 30'-0"
 - iii. To reduce by 2'-1 3/4" the minimum required sum of the side yard of 22'-1 3/4" in order to provide a sum of 20'-0"



1



2



KEY MAP
N.T.S.



3



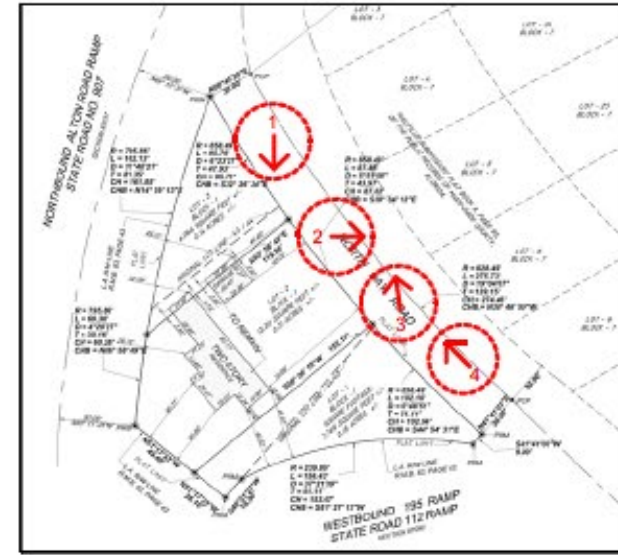
4



1



2



3



4



NORTHBOUND ALTON ROAD RAMP

WESTBOUND 195 RAMP

PLAT LOT-1

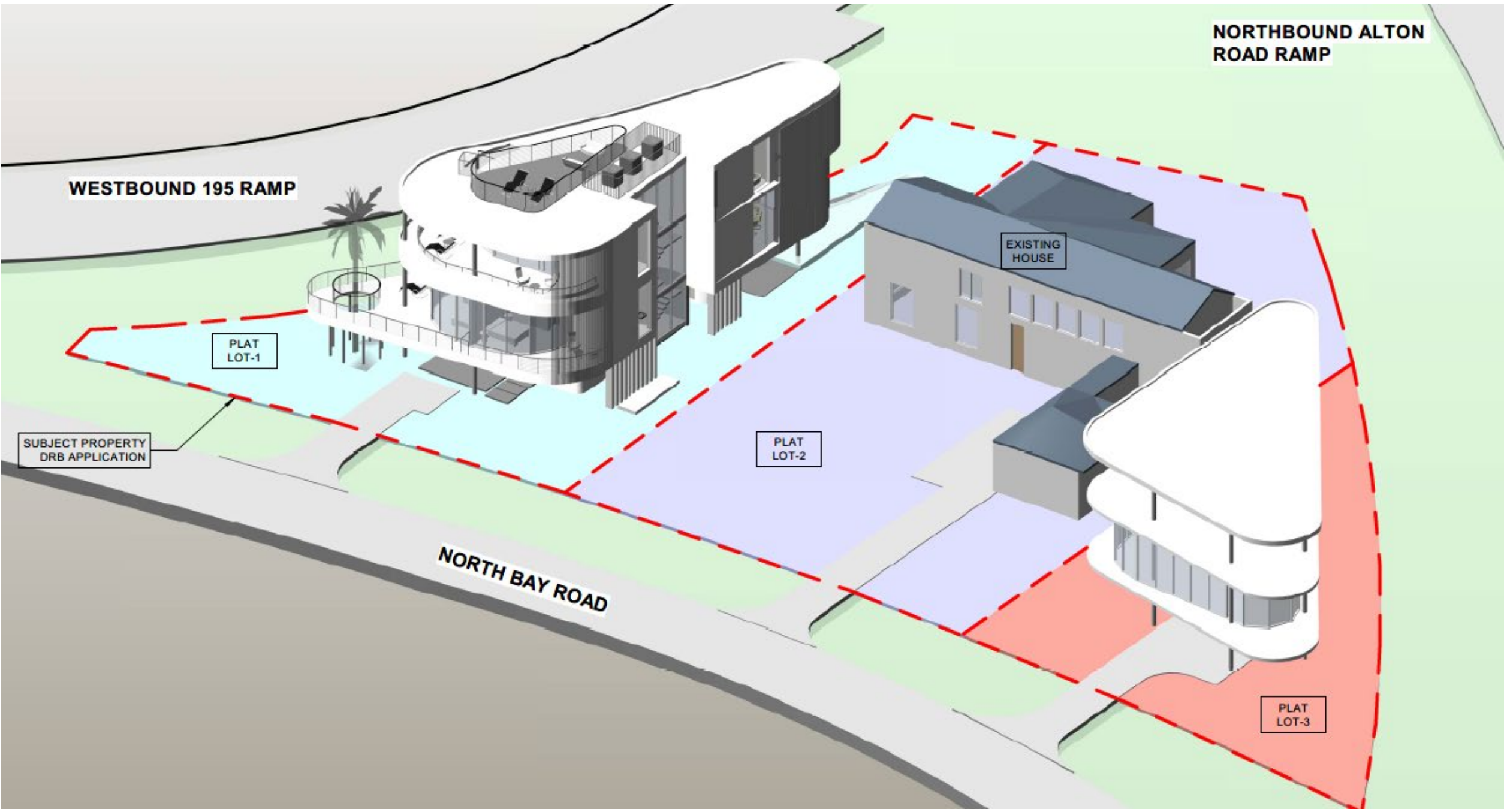
SUBJECT PROPERTY DRB APPLICATION

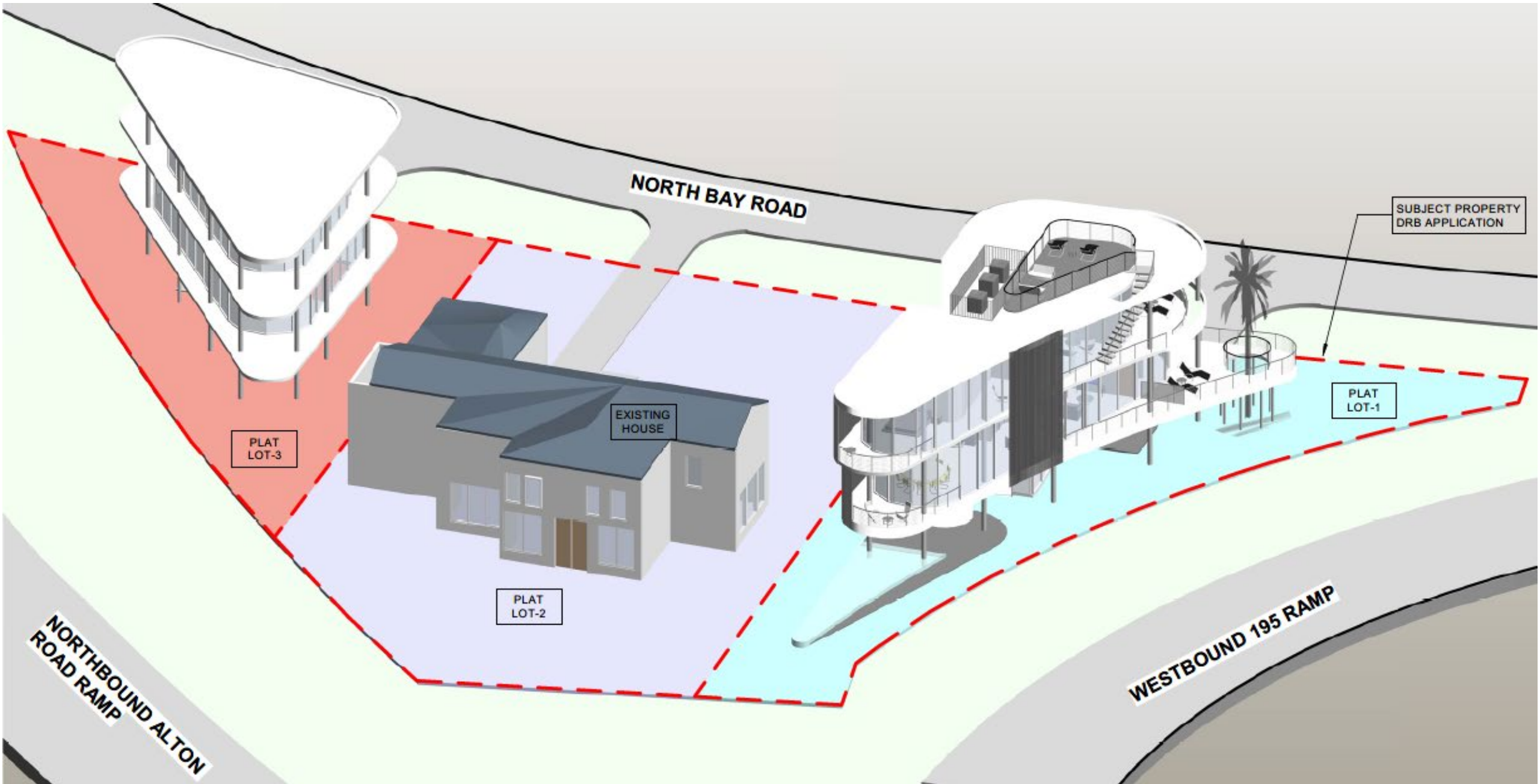
NORTH BAY ROAD

EXISTING HOUSE

PLAT LOT-2

PLAT LOT-3





NORTH BAY ROAD

SUBJECT PROPERTY
DRB APPLICATION

PLAT
LOT-1

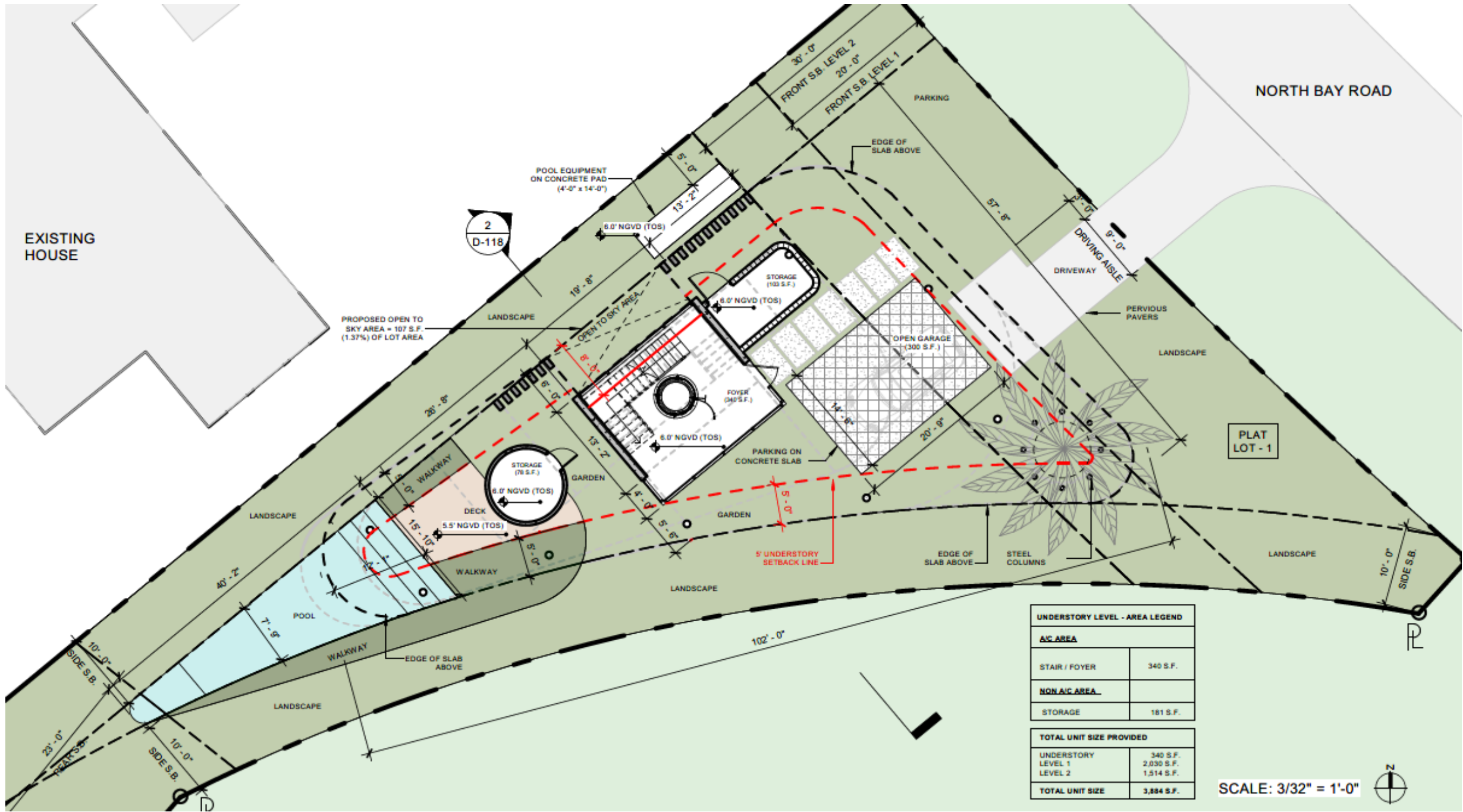
EXISTING
HOUSE

PLAT
LOT-3

PLAT
LOT-2

WESTBOUND 195 RAMP

NORTHBOUND ALTON
ROAD RAMP



EXISTING HOUSE

NORTH BAY ROAD

2
D-118

PROPOSED OPEN TO SKY AREA = 107 S.F.
(1.37% OF LOT AREA)

PLAT LOT - 1

UNDERSTORY LEVEL - AREA LEGEND

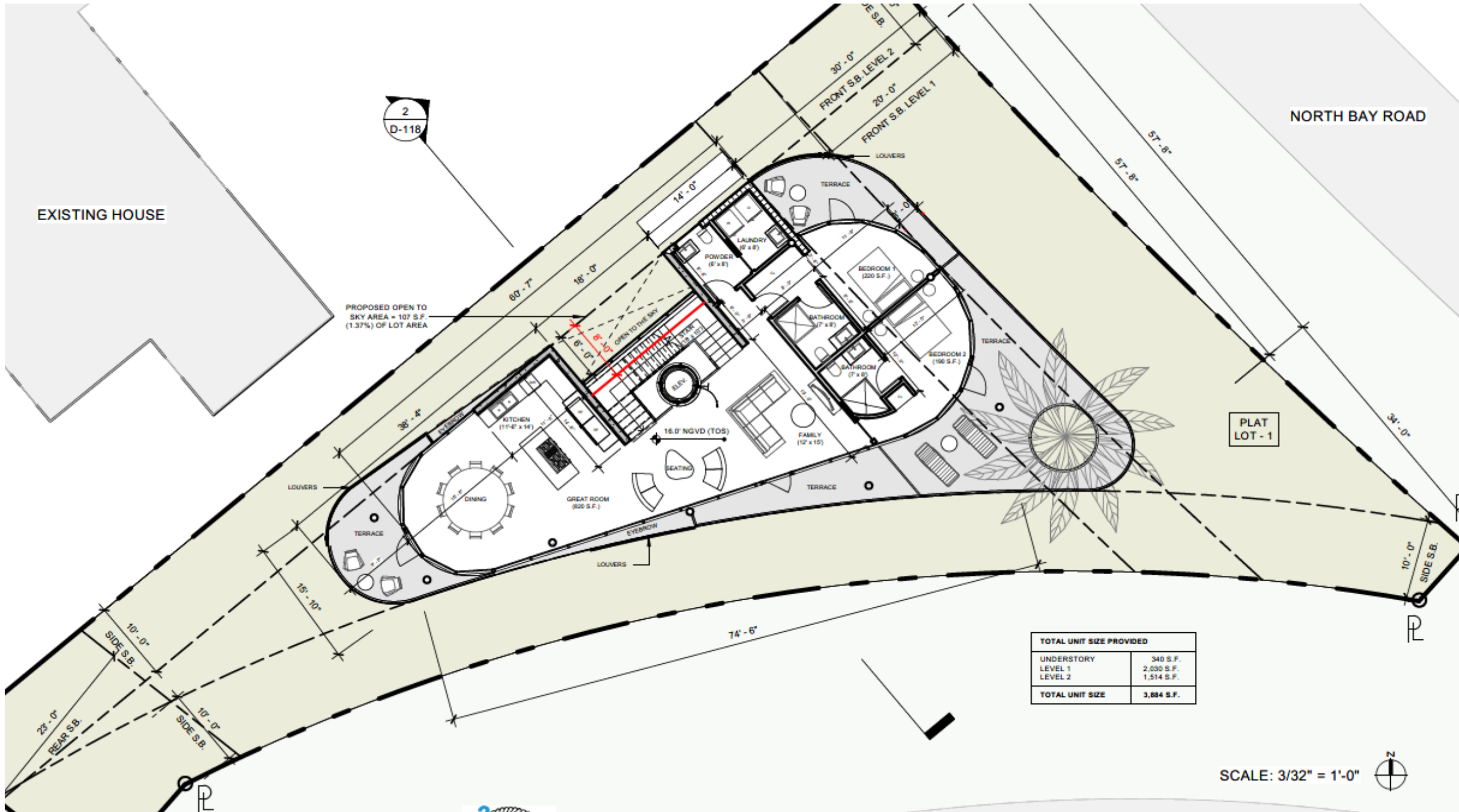
A/C AREA	
STAIR / FOYER	340 S.F.

NON A/C AREA	
STORAGE	181 S.F.

TOTAL UNIT SIZE PROVIDED	
UNDERSTORY LEVEL 1	340 S.F.
LEVEL 2	2,030 S.F. 1,514 S.F.
TOTAL UNIT SIZE	3,884 S.F.

SCALE: 3/32" = 1'-0"





2
D-118

EXISTING HOUSE

NORTH BAY ROAD

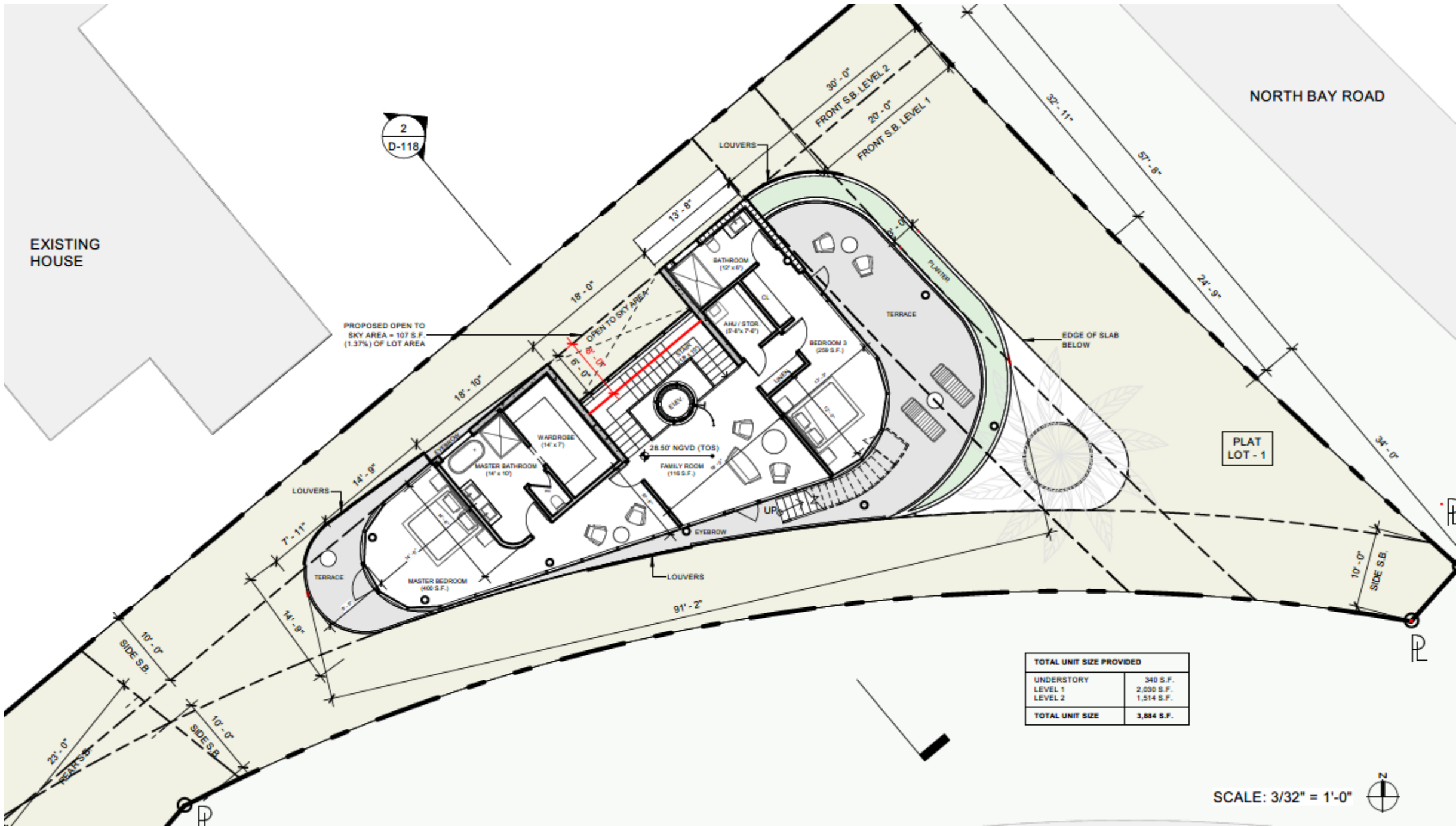
PROPOSED OPEN TO SKY AREA = 107 S.F.
(1.37% OF LOT AREA)

PLAT LOT - 1

TOTAL UNIT SIZE PROVIDED	
UNDERSTORY	340 S.F.
LEVEL 1	2,030 S.F.
LEVEL 2	1,514 S.F.
TOTAL UNIT SIZE	3,884 S.F.

SCALE: 3/32" = 1'-0"





2
D-118

EXISTING HOUSE

PROPOSED OPEN TO SKY AREA = 107 S.F.
(1.37% OF LOT AREA)

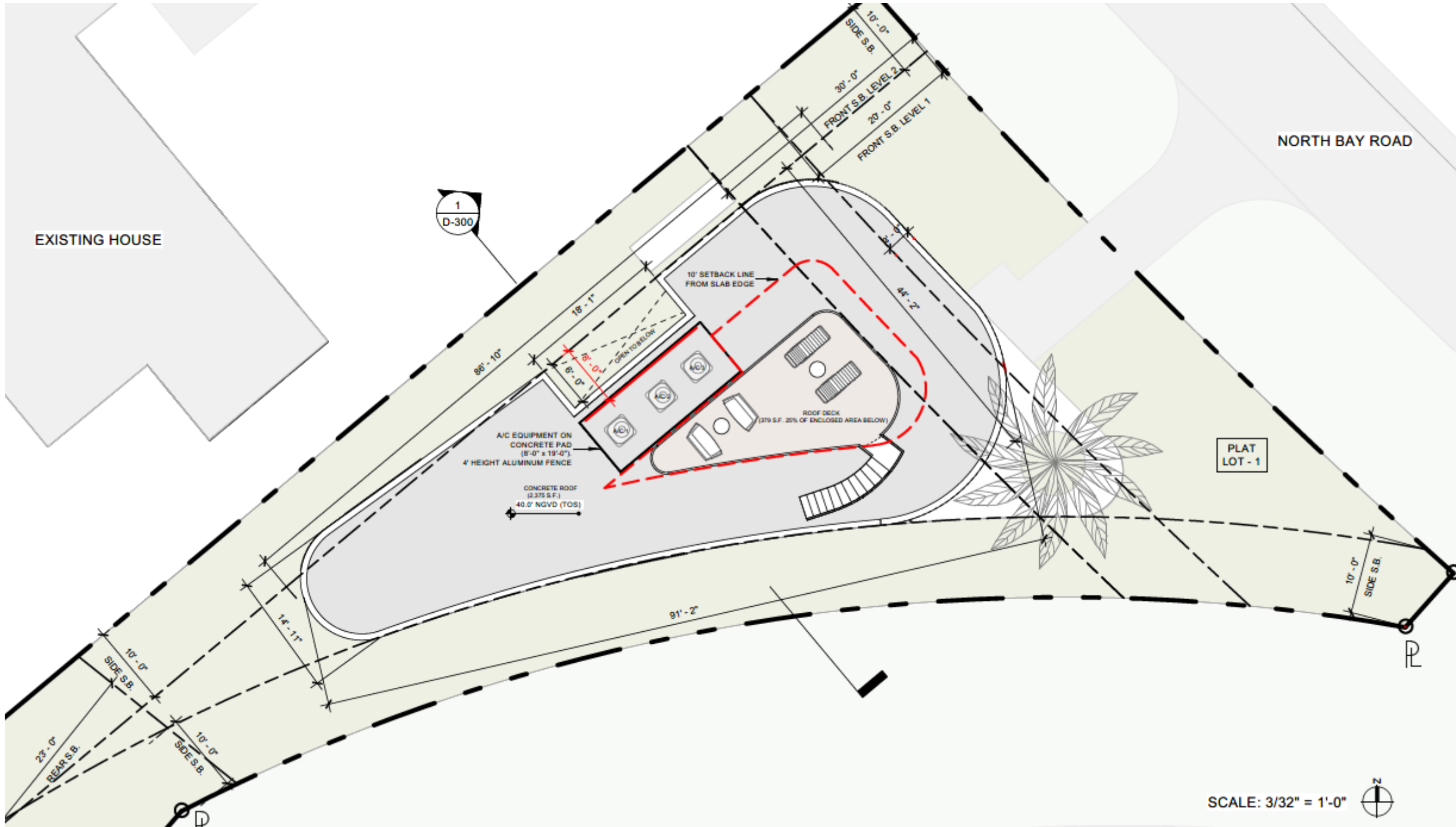
NORTH BAY ROAD

PLAT LOT - 1

TOTAL UNIT SIZE PROVIDED	
UNDERSTORY	340 S.F.
LEVEL 1	2,030 S.F.
LEVEL 2	1,514 S.F.
TOTAL UNIT SIZE	3,884 S.F.

SCALE: 3/32" = 1'-0"









*FOR GRAPHIC RE







MATERIAL LEGEND

1.	3/4" SMOOTH STUCCO FINISH OVER CONCRETE / CMU WALLS AND GAF HYDROSTOP/PREMIUM COAT SYSTEM NOA#16-0308.2. COLOR BENJAMIN MOORE WHITE HERON OC-57
2.	IMPACT RESISTANT ALUMINUM WINDOWS AND DOORS. CLEAR GLASS LOW-E COATING
3.	1.5" X 1.5" ALUMINUM SCREEN BY SPECIALTY ENGINEER. COLOR TO IMITATE IPE WOOD
4.	EXTERIOR ALUMINUM RAILING (42" HEIGHT A.F.F.) BY SPECIALTY ENGINEER. COLOR TO MATCH FENESTRATION



3



4

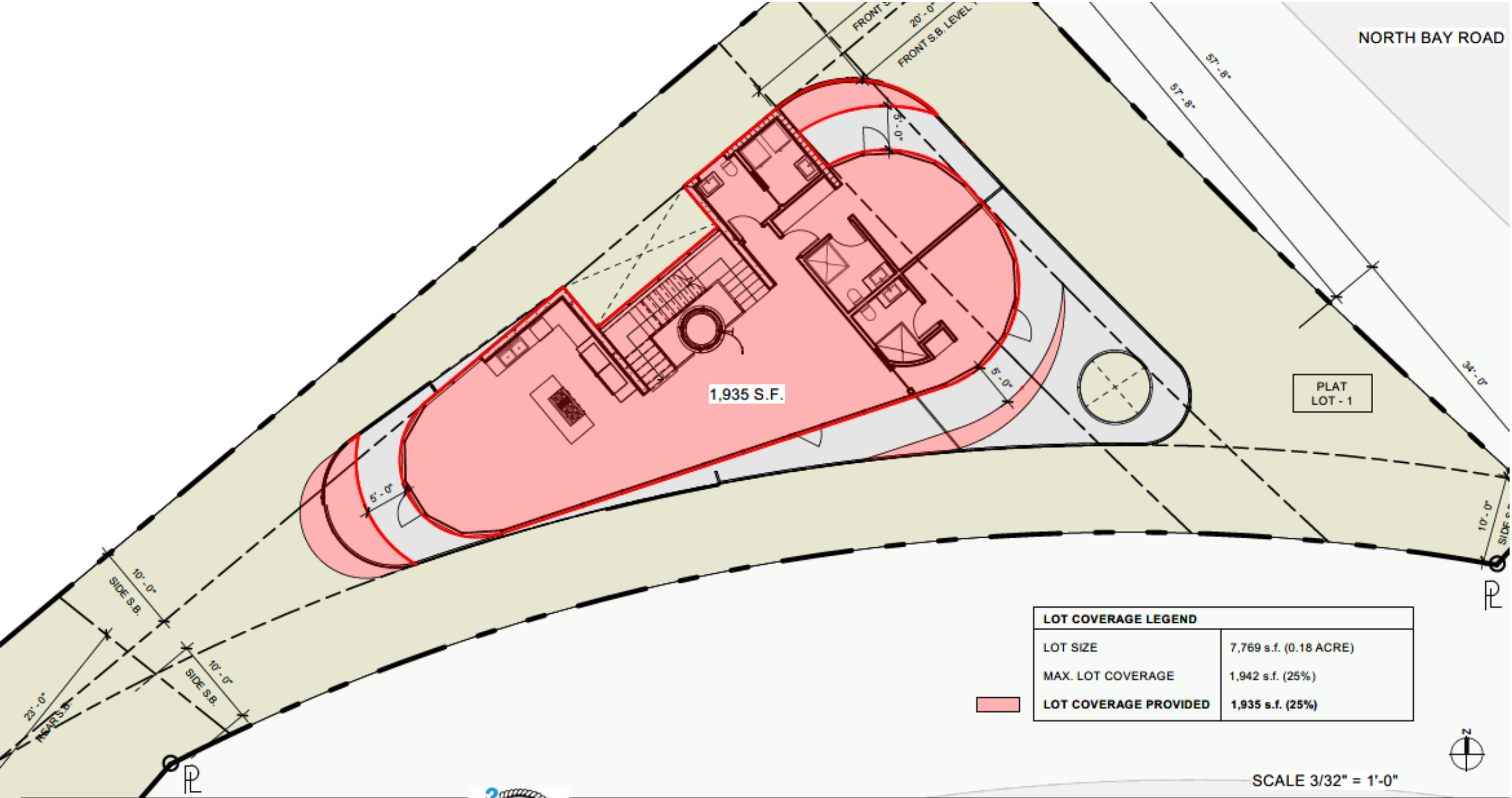


2

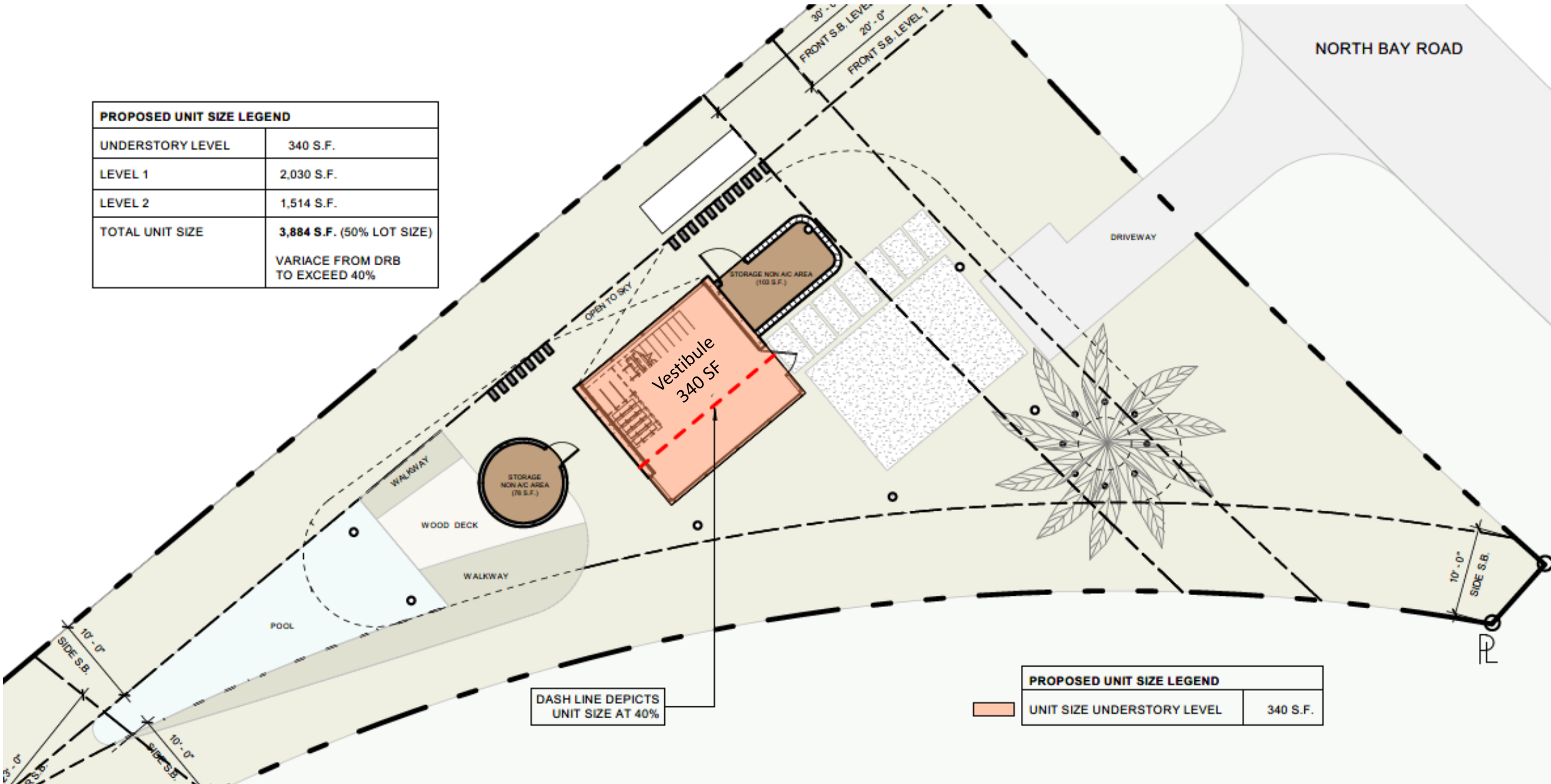


2

NORTH BAY ROAD



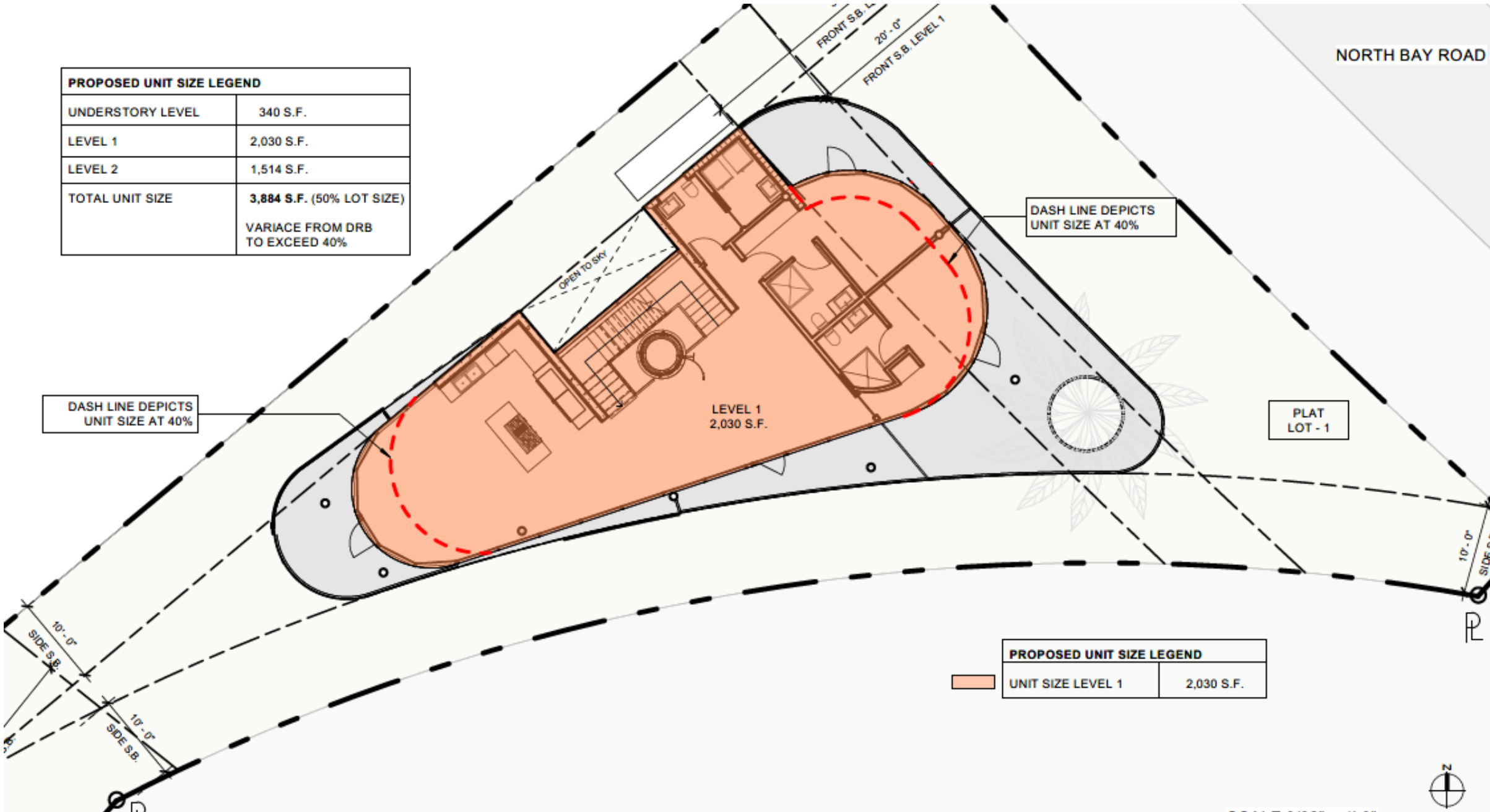
PROPOSED UNIT SIZE LEGEND	
UNDERSTORY LEVEL	340 S.F.
LEVEL 1	2,030 S.F.
LEVEL 2	1,514 S.F.
TOTAL UNIT SIZE	3,884 S.F. (50% LOT SIZE)
	VARIACE FROM DRB TO EXCEED 40%



DASH LINE DEPICTS
UNIT SIZE AT 40%

PROPOSED UNIT SIZE LEGEND	
	UNIT SIZE UNDERSTORY LEVEL 340 S.F.

PROPOSED UNIT SIZE LEGEND	
UNDERSTORY LEVEL	340 S.F.
LEVEL 1	2,030 S.F.
LEVEL 2	1,514 S.F.
TOTAL UNIT SIZE	3,884 S.F. (50% LOT SIZE)
	VARIACE FROM DRB TO EXCEED 40%



DASH LINE DEPICTS
UNIT SIZE AT 40%

DASH LINE DEPICTS
UNIT SIZE AT 40%

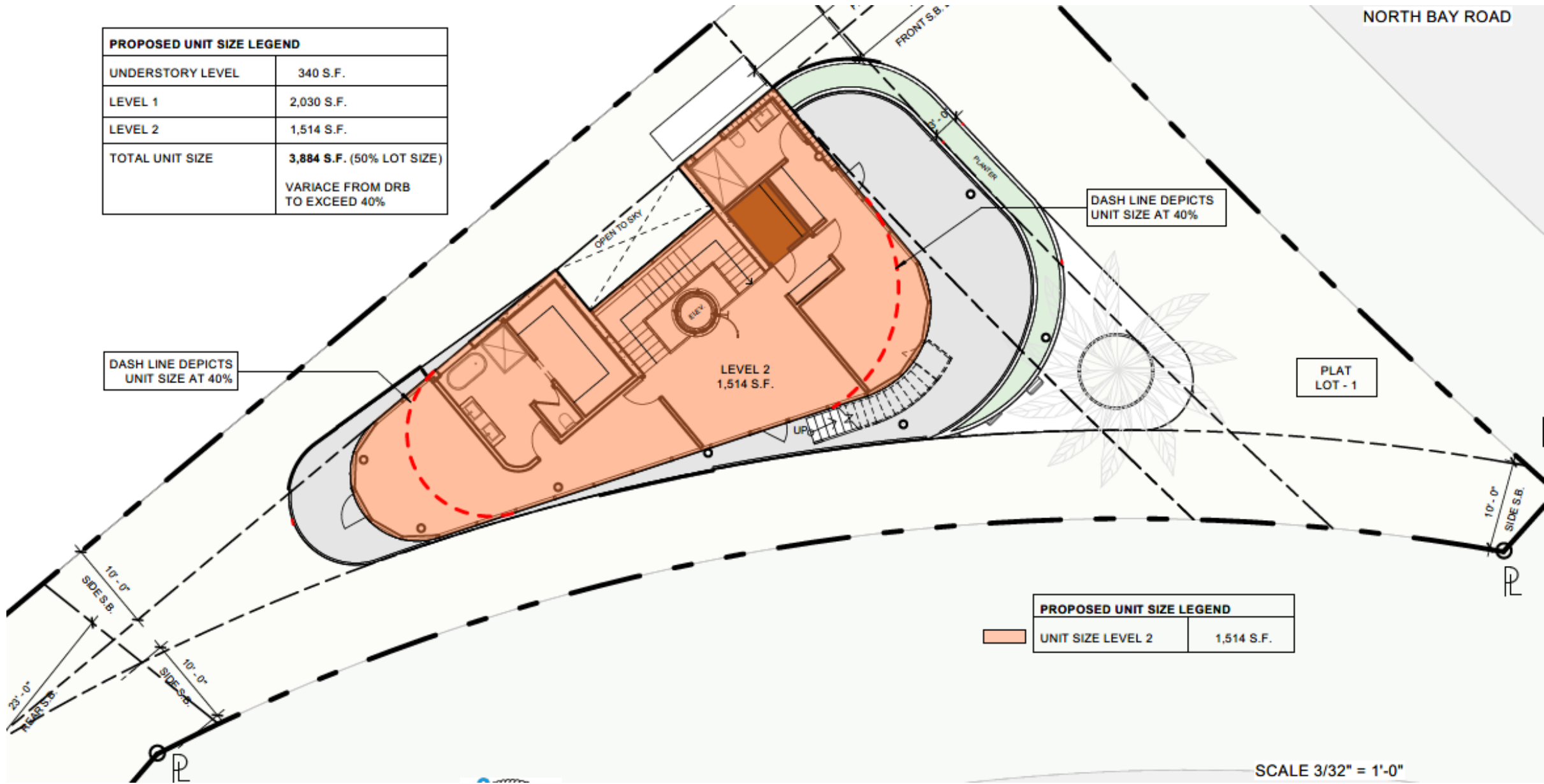
LEVEL 1
2,030 S.F.

PLAT
LOT - 1

PROPOSED UNIT SIZE LEGEND	
UNIT SIZE LEVEL 1	2,030 S.F.



PROPOSED UNIT SIZE LEGEND	
UNDERSTORY LEVEL	340 S.F.
LEVEL 1	2,030 S.F.
LEVEL 2	1,514 S.F.
TOTAL UNIT SIZE	3,884 S.F. (50% LOT SIZE)
	VARIACE FROM DRB TO EXCEED 40%



PROPOSED UNIT SIZE LEGEND	
UNIT SIZE LEVEL 2	1,514 S.F.

SCALE 3/32" = 1'-0"



NORTH BAY ROAD

PLAT LOT - 1

VARIANCE ENCROECHMENTS LEGEND	
FRONT SETBACK LEVEL 1	220 S.F.
SIDE STREET SETBACK LEVEL 1	146 S.F.

SCALE: 3/32" = 1'-0"

R

R

R



17'-0"
SIDE S.B.
30'-0"
FRONT S.B. LEVEL 2
20'-0"
FRONT S.B. LEVEL 1

57'-8"
57'-8"

34'-0"

220 S.F.

146 S.F.

PLAT LOT - 1

8'-0"

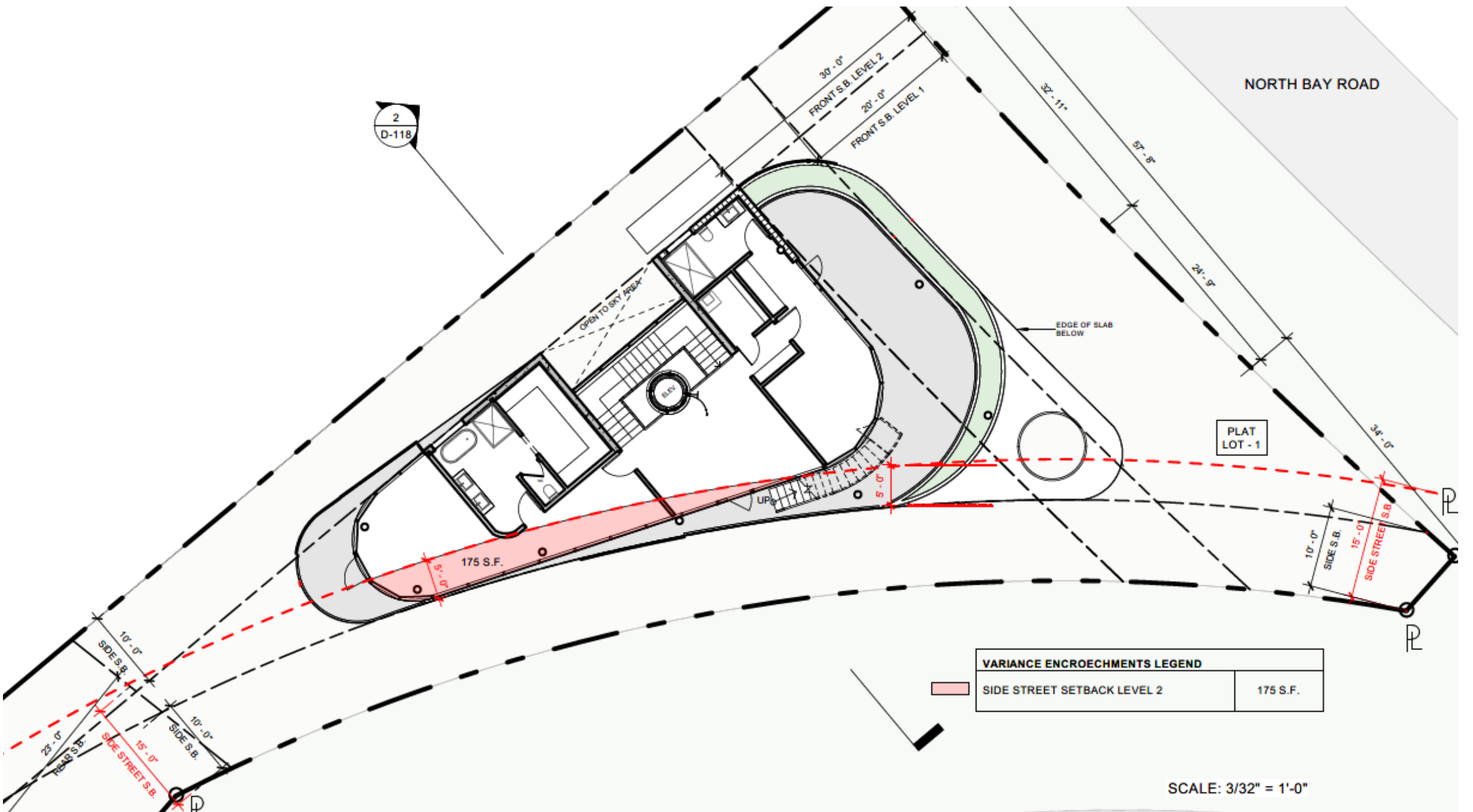
15'-0"
SIDE STREET S.B.
10'-0"
SIDE S.B.

10'-0"
SIDE S.B.

10'-0"
SIDE S.B.
15'-0"
SIDE STREET S.B.

23'-0"
FRONT S.B.

OPEN TO SKY



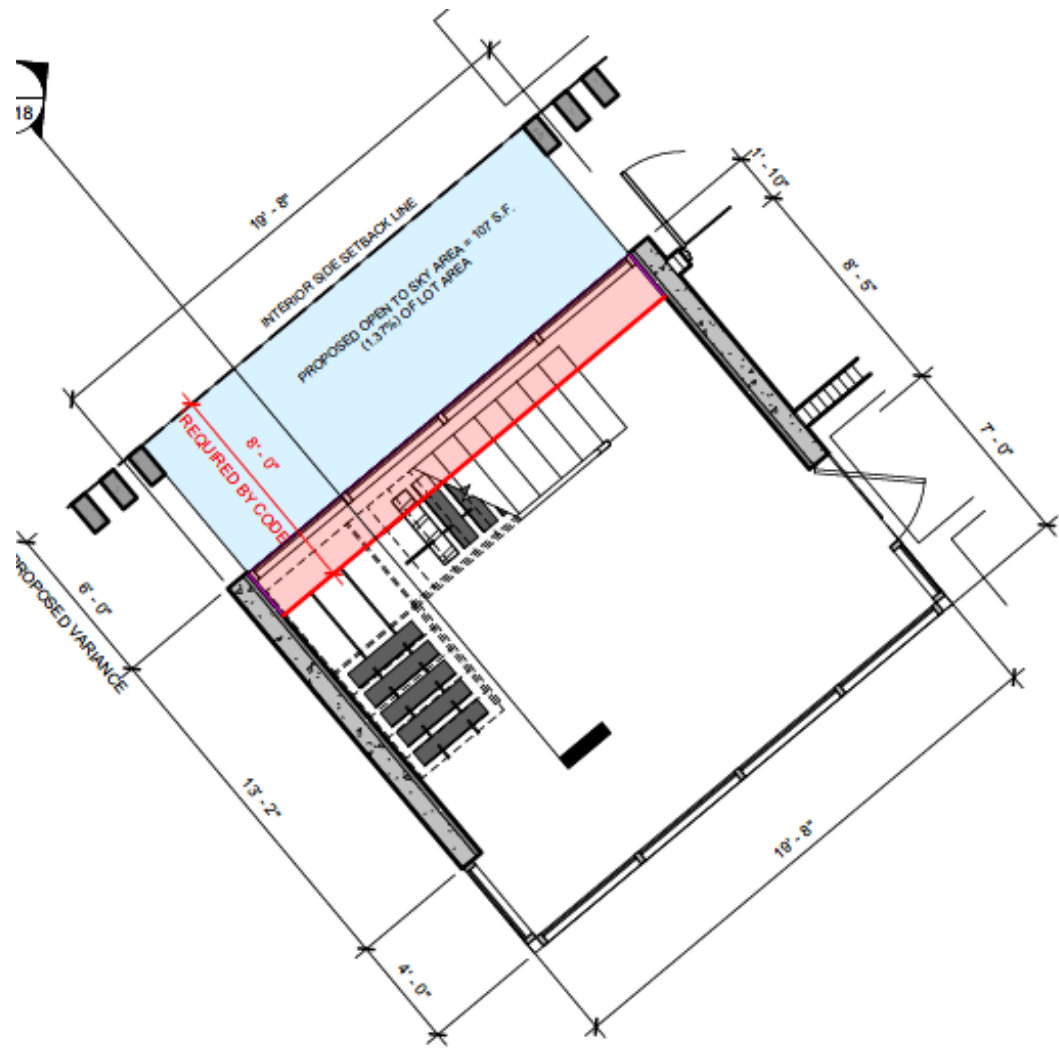
2
D-118

NORTH BAY ROAD

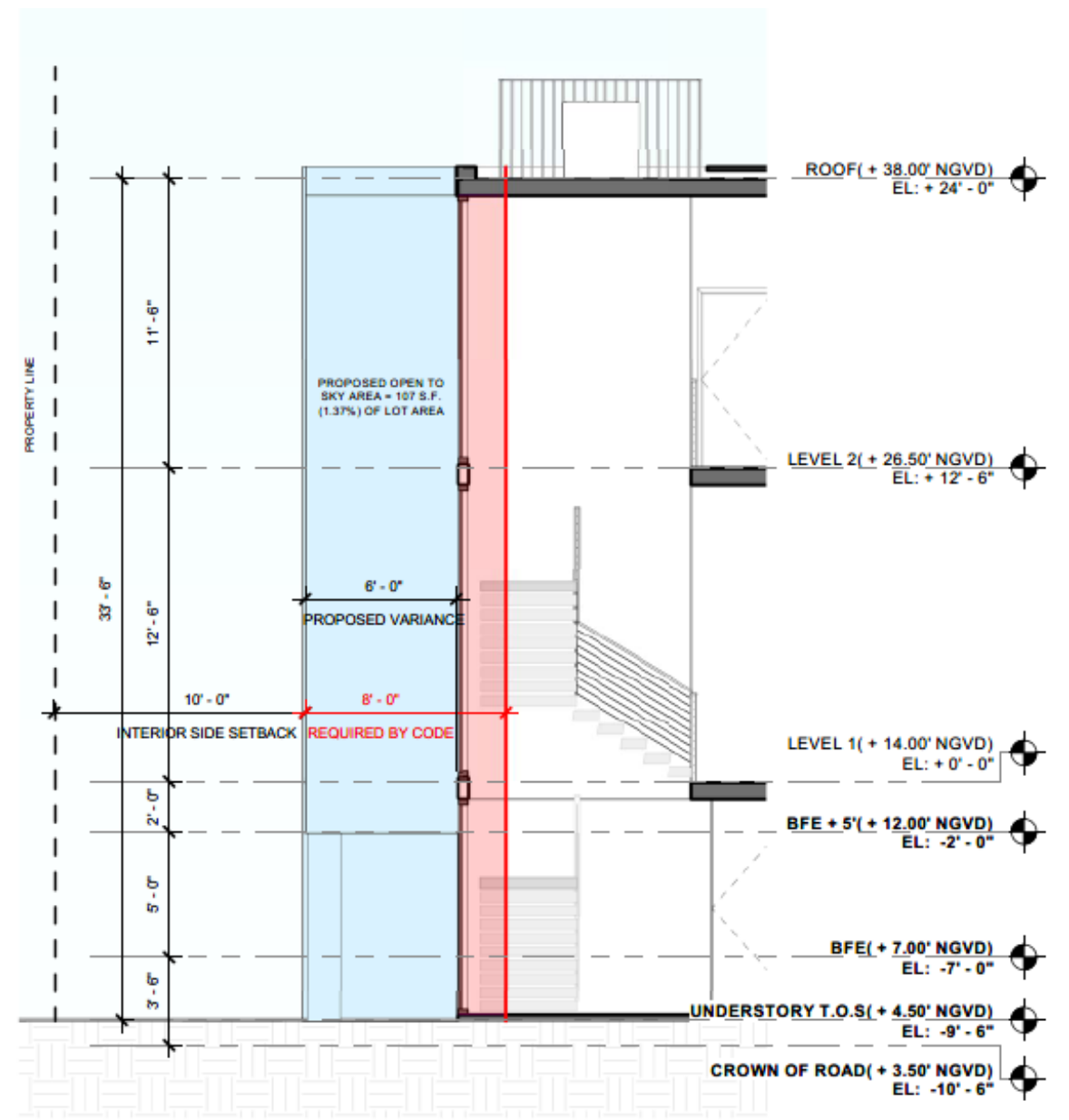
PLAT LOT - 1

VARIANCE ENCROECHMENTS LEGEND	
	SIDE STREET SETBACK LEVEL 2
	175 S.F.

SCALE: 3/32" = 1'-0"



1 OPEN AREA DIAGRAM - PLAT LOT 1
3/16" = 1'-0"



2 SECTION OPEN AREA DIAGRAM - PLAT LOT - 1
3/16" = 1'-0"

Thank You

200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

305.374.5300 office
305.377.6222 fax
Info@brzoninglaw.com

ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	4230 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140-2864 – LOT 1			
2	Folio number(s):				
3	Board and file numbers:	DRB23-0952			
4	Year built:	N/A	Zoning District:	RS-4	
5	Based Flood Elevation:	7.0' NGVD (7.0'+5' FB)	Grade value in NGVD:	3.20' NGVD	
6	Adjusted grade (Flood+Grade/2):	7.0'+1' FB+3.20' Grade /2 = 5.6' NGVD	Free board:	5.0' NGVD	
7	Lot Area:	7,769 sf (0.18 ac)			
8	Lot width:	88'-7"	Lot Depth:	152.17 ft.	
9	Max Lot Coverage SF and %:	1,942 sf (25%) Allowed	Proposed Lot Coverage SF and %:	1,935 sf (25%)	
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	N/A	
11	Front Yard Open Space SF and %:	1,742 sf (78%)	Rear Yard Open Space SF and %:	557 sf (93%)	
12	Max Unit Size SF and %:	3,108 sf (40%)	Proposed Unit Size SF and %:	3,884 sf (50%)	Variance from DRB
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	2,030 sf	340 sf (understory)
14	Existing Second Floor Unit Size	N/A			
15			Proposed Second Floor Unit Size SF and %:	1,514 sf	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	379 sf (25%) (1,514 x 0.25)	
		Required	Existing	Proposed	Deficiencies
17	Height:	31 ft (UNDERSTORY)	N/A	31 ft. / 2 stories	
18	Setbacks:				
19	Front First level:	20 ft.	N/A	20 ft.	
20	Front Second level:	40 ft.	N/A	30 ft.	Variance from DRB
21	Side 1:	10 ft.	N/A	10 ft.	
22	Side 2 or (facing street):	15 ft.	N/A	10 ft.	Variance from DRB
23	Rear:	23 ft.	N/A	51.5 ft.	
	Accessory Structure Side 1:		N/A	N/A	
24	Accessory Structure Side 2 or (facing street):		N/A	N/A	
25	Accessory Structure Rear:		N/A	N/A	
26	Sum of Side yard:	25 ft.	N/A	20 ft.	Variance from DRB
27	Located within a Local Historic District?			No	
28	Designated as an individual Historic Single Family Residence Site?			No	
29	Determined to be Architecturally Significant?			No	

NORTHBOUND ALTON ROAD RAMP

EXISTING HOUSE

REPLATE LOT-3

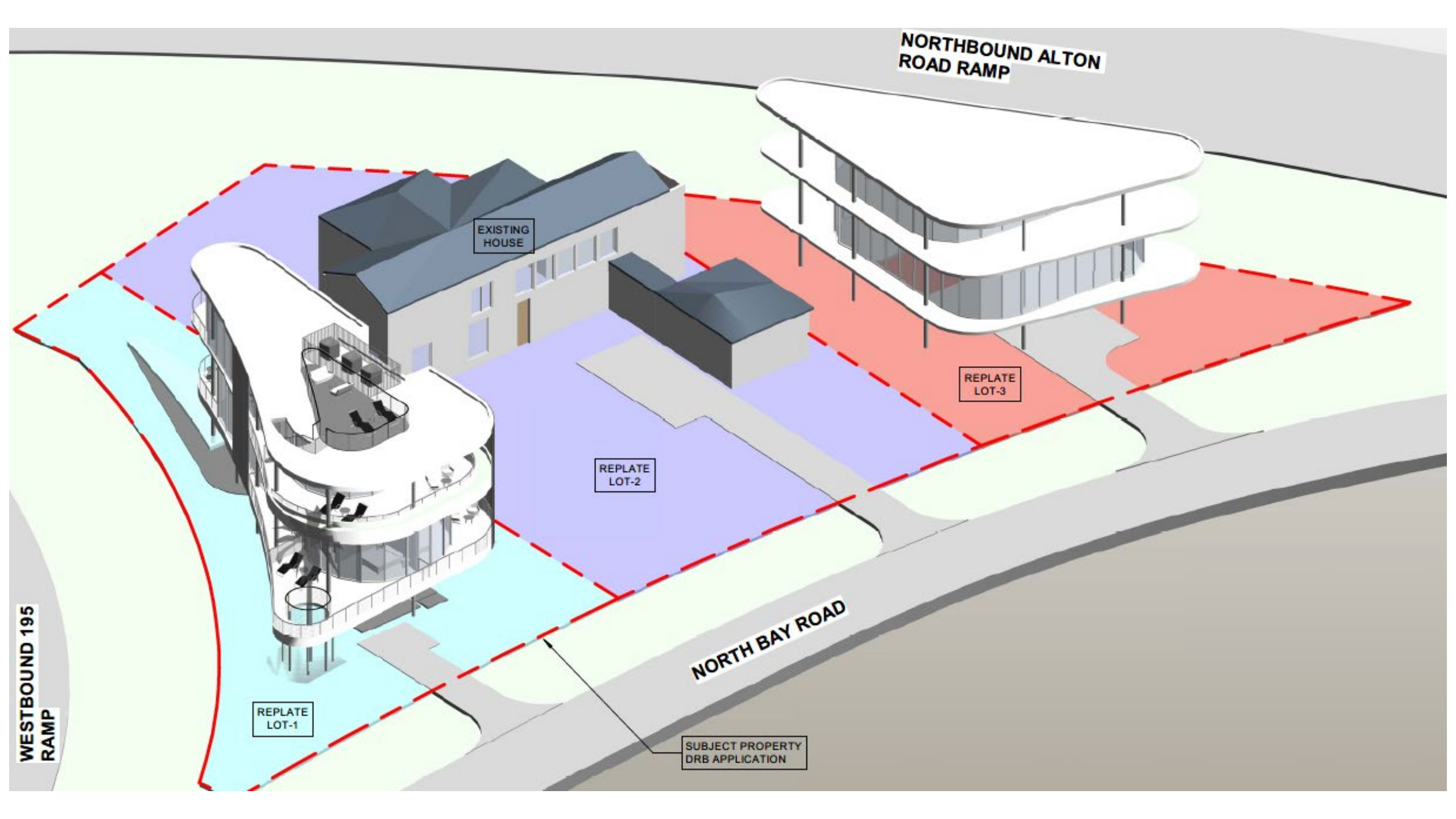
REPLATE LOT-2

REPLATE LOT-1

NORTH BAY ROAD

SUBJECT PROPERTY DRB APPLICATION

WESTBOUND 195 RAMP



Planning & Public Works Plat Confirmation

MIAMIBEACH

City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, www.miamibeachfl.gov

PLANNING DEPARTMENT
Tel: 305-673-7550 Fax: 305-673-7559

February 21, 2023

**CERTIFIED MAIL
RETURN RECEIPT REQUESTED**

Jorge Ubieta, Jr., P.S.M., Supervisor, Platting Section
Department of Regulatory and Economic Resources
Development Services Division
111 NW 1st Street 11th Floor
Miami, FL 33128-1970

Re: Tentative Plat Review for the "North Bay Road Villas" plat
4230 North Bay Road, Miami Beach
(Folio 02-3222-011-0390)

Dear Mr. Ubieta:

This letter serves as the City of Miami Beach's authorization for the Miami-Dade County review of a tentative plat application for the above-referenced plat located at 4230 North Bay Road.

The three residential lots delineated within the "North Bay Road Villas" tentative plat would all meet the size, orientation, and dimension requirements of the RS-4 single family residential zoning district.

Any tentative plat approval must be conditioned as follows:

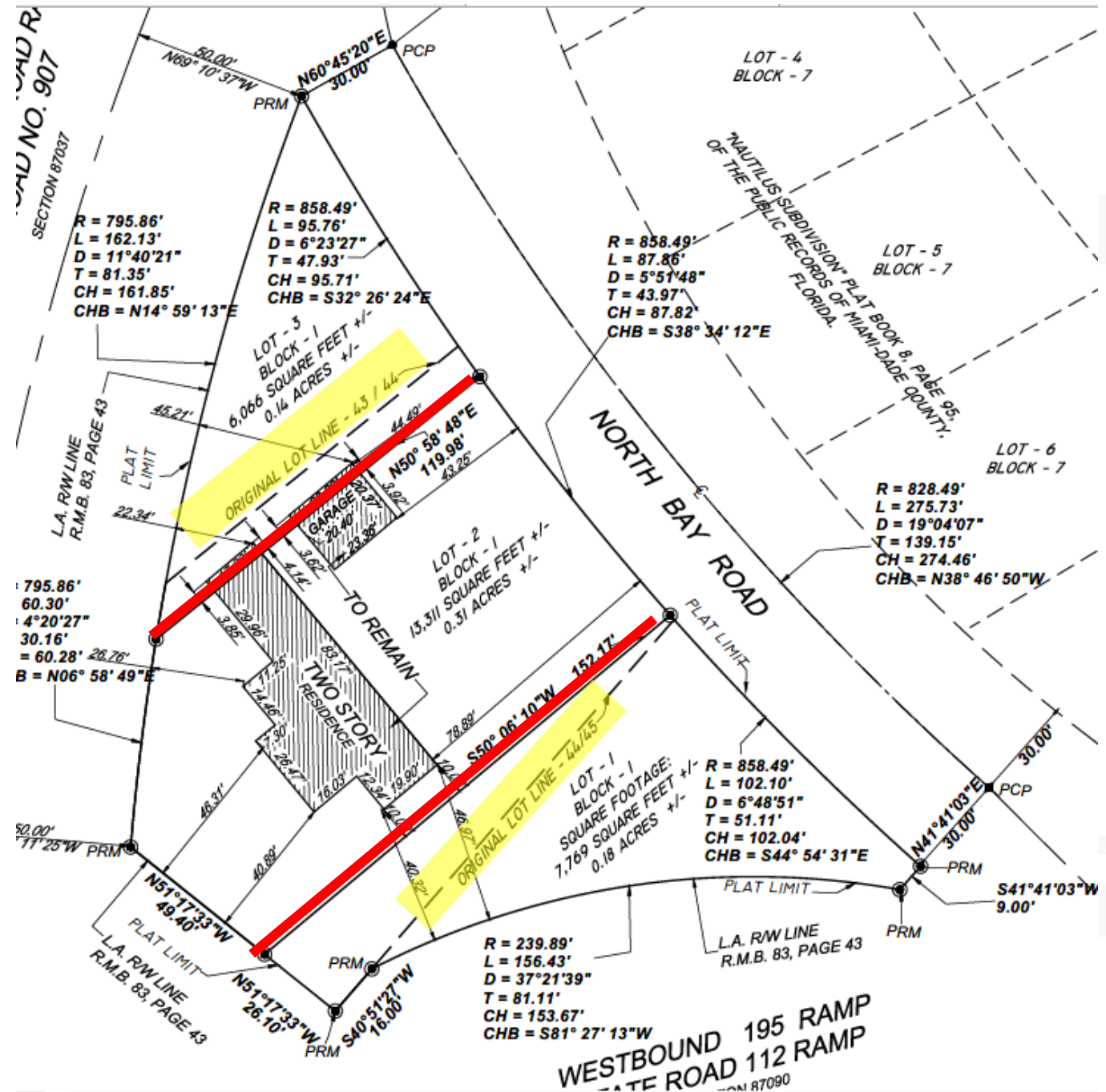
Prior to approval of a final plat by the City of Miami Beach, the property owner shall obtain approval of a division of land and lot split from the City of Miami Beach Planning Board, pursuant to Section 118-321 of the Land Development Regulations of the City Code for the City of Miami Beach.

For additional information or clarification regarding this letter, please contact Rogelio A. Madan, AICP, Development and Resiliency Officer, at 305-673-7000 x6131 or rogelioadan@miamibeachfl.gov.

Sincerely,



Thomas R. Mooney, AICP
Planning Director



Area Analysis

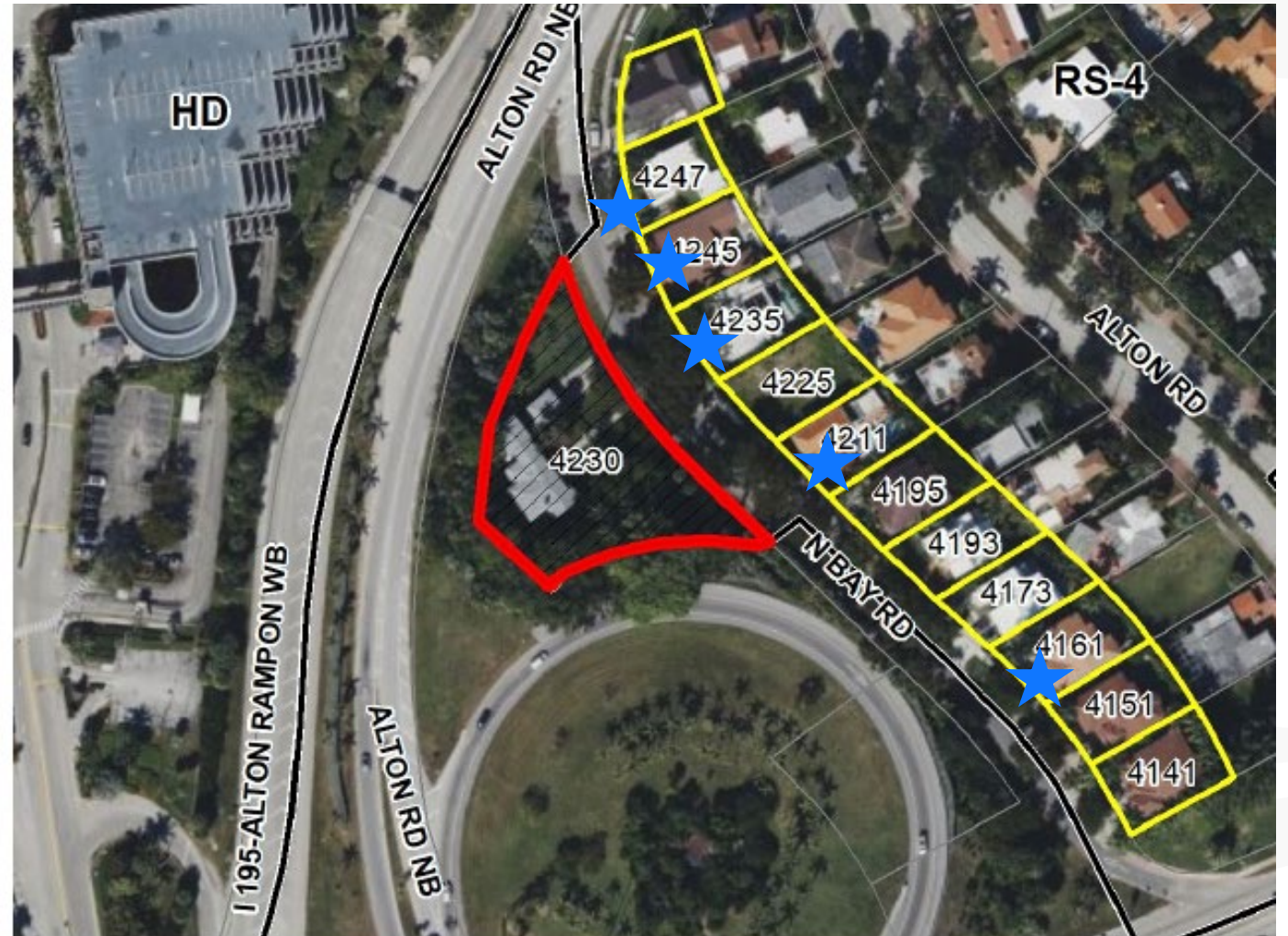


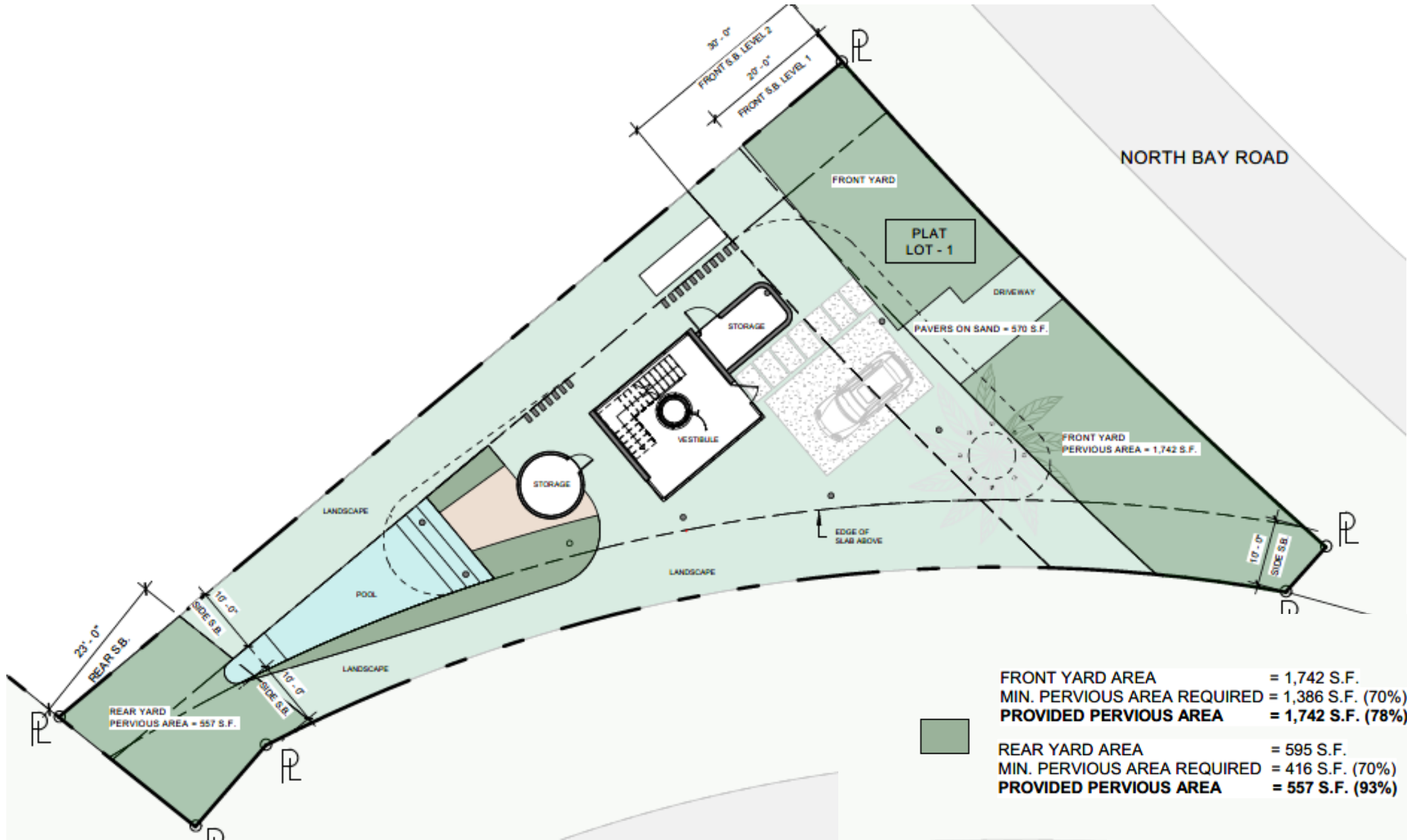
Surrounding Sites Summary:

Statistic	Lot Size	Year Built	Unit Size	Unit Size %	Unit Size +20% Allowance (SF)*	Unit Size +20% Allowance %	Floors
Average	5,953	1972	3,234	55%	3,363	57%	2
Median	6,000	1978	3,178	59%	3,242	59%	2
Max	6,500	2019	4,663	78%	4,663	78%	2
Min	4,636	1923	1,903	29%	2,284	35%	1
First Quartile	6,000	1932	2,660	45%	2,878	50%	2
Third Quartile	6,000	2007	3,652	62%	3,652	62%	2
Mode	6,000	1925	N/A	N/A	N/A	N/A	2

Neighbor Support

Address	Owner
4247 N. Bay Road	Elvira DeGaetani
4245 N. Bay Road	Dudik Duniarov
4211 N. Bay Road	Eduardo Arguello
4164 N. Bay Road	Howard Wolfson
4235 N. Bay Road	Carlos Gonzalez





FRONT YARD AREA	= 1,742 S.F.
MIN. PERVIOUS AREA REQUIRED	= 1,386 S.F. (70%)
PROVIDED PERVIOUS AREA	= 1,742 S.F. (78%)
REAR YARD AREA	= 595 S.F.
MIN. PERVIOUS AREA REQUIRED	= 416 S.F. (70%)
PROVIDED PERVIOUS AREA	= 557 S.F. (93%)

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District RS Lot Area 7,770 SF Acres 0.18

SINGLE FAMILY
RESIDENTIAL

OPEN SPACE

A. Square feet of required Open Space as indicated on site plan:

Lot Area = 7,770 s.f. x 25 % = 1,942 s.f.

B. Square feet of parking lot open space required as indicated on site plan:

Number of parking spaces N/A x 10 s.f. parking space =

C. Total square feet of landscaped open space required: A+B=

LAWN AREA CALCULATION

A. Square feet of landscaped open space required

B. Maximum lawn area (sod) permitted= 50 % x 4,100 s.f.

TREES

A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=

5+2 trees x N/A net lot acres - number of existing trees=

B. % Natives required: Number of trees provided x 30% = 4.2

C. % Low maintenance / drought and salt tolerant required:

Number of trees provided x 50%= 7

D. Street Trees (maximum average spacing of 20' o.c.)

N/A linear feet along street divided by 20'=

E. Street tree species allowed directly beneath power lines:

(maximum average spacing of 20' o.c.):

102.08 linear feet along street divided by 20'= 5.10

SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12=

B. % Native shrubs required: Number of shrubs provided x 50%=

LARGE SHRUBS OR SMALL TREES

A. Number of large shrubs or small trees required: Number of required shrubs x 10%=

B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%= 12.5

REQUIRED/
ALLOWED PROVIDED

1,942 SF 4,100 SF

N/A N/A

1,942 SF 4,100 SF

1,942 SF 4,100 SF

2,050 SF 975 SF

7 14

5 12

7 14

N/A N/A

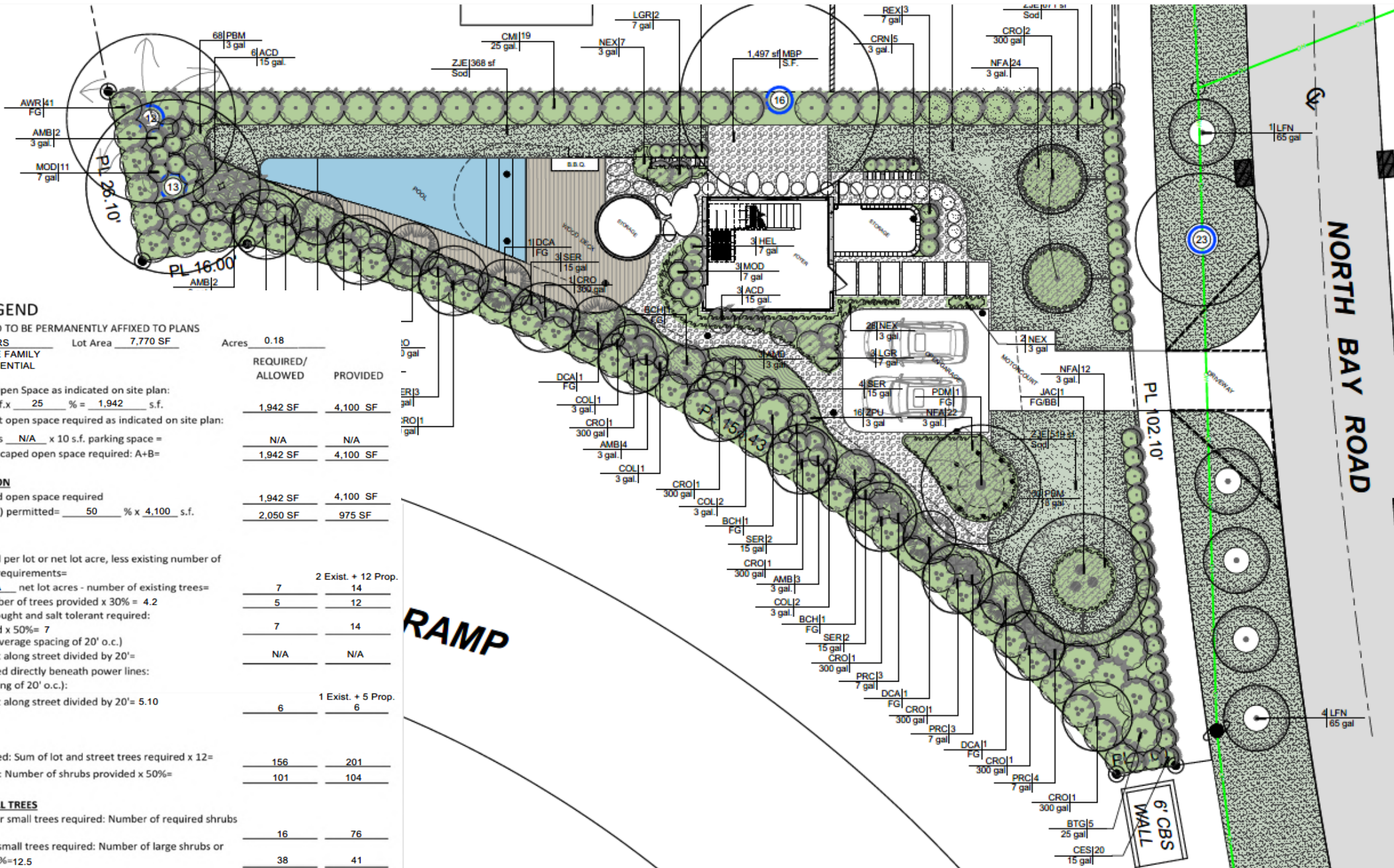
6 6

156 201

101 104

16 76

38 41



RAMP

NORTH BAY ROAD

6' CBS WALL

PLANT SCHEDULE