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1940 BAY DRIVE

FINAL SUBMITTAL
11/05/2023

DRB File No. 23-0934

REQUESTED DEVIATIONS:

WAIVER FOR LOT COVERAGE
VARIANCE FOR INGRESS/EGRESS DRIVE

A DEVELOPMENT OF:

1940 APARTMENTS , LLC.
16690 COLLINS AVE
SUNNY ISLES, FL 33160

ARCHITECTURE:

REVUELTA ARCHITECTURE INTERNATIONAL, PA.
2950 SW 26TH AVE, SUITE 110
MIAMI, FL 33133
T: 305.590.5000



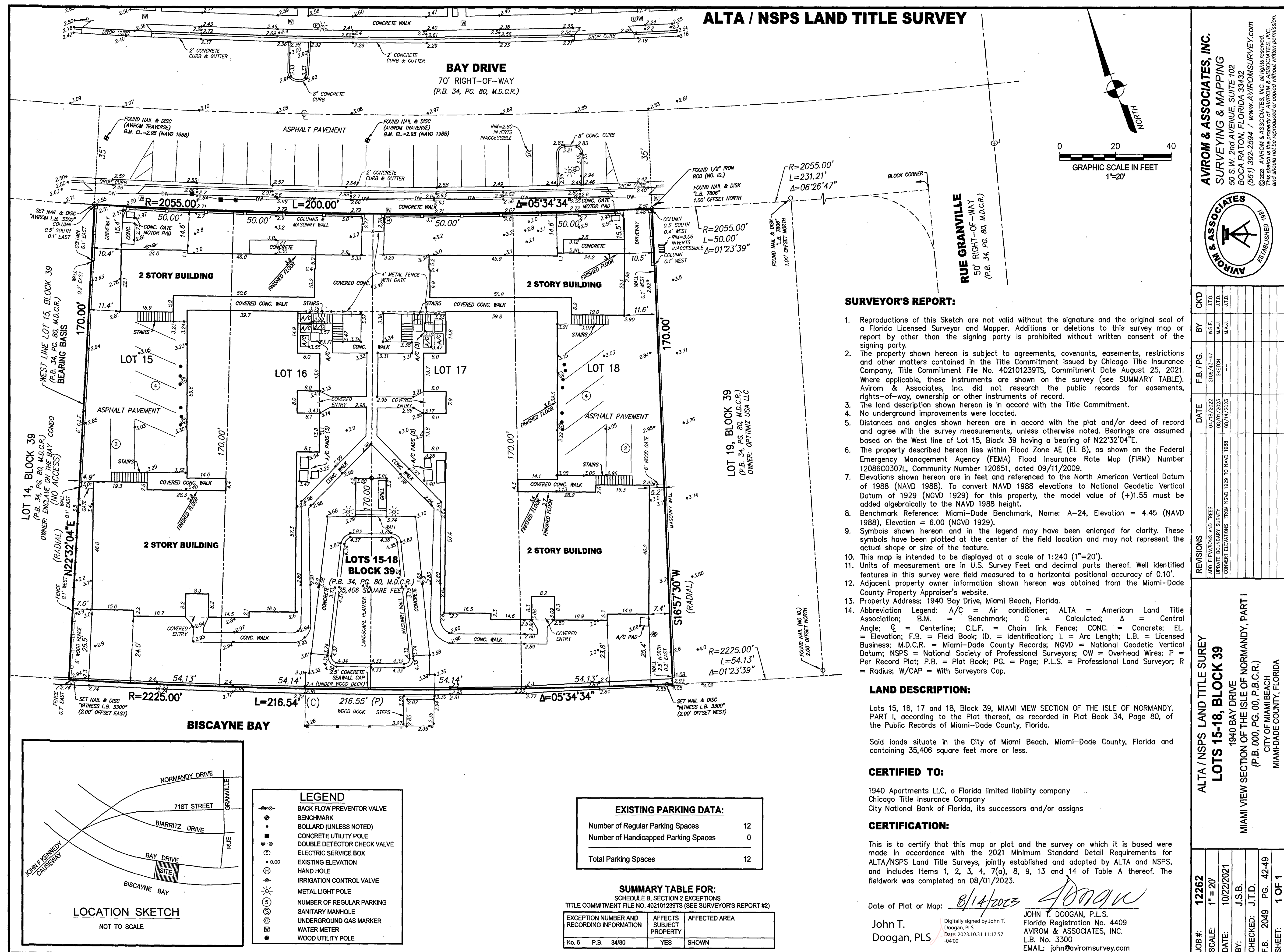
LANDSCAPE ARCHITECT

GARDNER + SEMLER
17670 NW 78TH AVENUE
MIAMI, FL 33015
T: 305.392.1019



Plan Correction Report Matrix
Date: **10.30.2023**
Plan Address: 1940 Bay Dr., Miami Beach, FL 33141-6900
1st App. Date: 05.17.2023 (DRB23-0934)

| DRB Comments | | | Response | Reference Sheet |
|---|----|---|--|------------------------------|
| 1. TRANSPORTATION - LUB REVIEW | | | | 7400 |
| Comments: | | | | |
| 1 | | The City of Miami Beach Transportation & Mobility Department is working with the applicant to resolve pending comments on the current Traffic Review for this project. | 6 additional street parking spaces have been re-introduced for a total of 15 street parking spaces. Existing 18 street parking spaces. Total reduction of street parking spaces = 3 required to provide access to the property. | A-100 |
| 2. DRB PLAN REVIEW - Planning Department - First Submittal Comments | | | | |
| 1 | | APPLICATION COMPLETENESS | | |
| 2 | a. | Provide a copy of all current or previously active Business Tax Receipt. | | |
| 3 | b. | The survey provided shall include the lot area and grade elevation. Grade is defined as the elevation measured from the centerline of the sidewalk. If no sidewalk is present, grade will be taken from the crown of road. Additionally, the survey shall be sealed by the licensed surveyor | See updated survey | A-000 |
| 4 | c. | A copy of the survey shall be included in the architectural plan package. | A-000 SURVEY added. | A-000 |
| 5 | d. | Include current color photographs, dated, minimum 4"x6", of project site and existing structure (No Google images). | A-003.2 PHOTOGRAPHS OF EXISTING ON SITE STRUCTURE ADDED. | A-003.2 |
| 6 | e. | Demolition Plans (Floor Plans & Elevations with dimensions) shall be submitted. | A-003.3 DEMOLITION PLAN ADDED. Proposed full demolition of all structures on site. | A-003.3 |
| 7 | f. | Provide a material board that includes the details and images of the exterior finishes listed in the elevation sheets. | A-015 MATERIAL SAMPLES ADDED | A-015 |
| 8 | g. | A contextual Elevation Line Drawings shall be submitted and include properties from corner to corner, across the street(dated). | A-003.1 STREET ELEVATIONS ADDED | A-003.1 |
| 9 | h. | Provide a section drawing that includes the required yards and all elevations of the encroachments. | A-006 SETBACK SECTION ANALYSIS | A-006 |
| 10 | i. | If applicable, a variance and/or waiver Diagram will be required for the height of the ground level. | None required | |
| 2. ARCHITECTURAL REPRESENTATION | | | | |
| 11 | a. | Include the cost of estimate under a separate cover or in the letter of intent. | | |
| 12 | b. | Add "FINAL SUBMITTAL" and DRB File No. to front cover title for heightened clarity. . | ADDED to Cover Sheet and in Title Block | |
| 13 | c. | Final submittal drawings need to be DATED, SIGNED AND SEALED. | Acknowledged | |
| 3. DESIGN RECOMMENDATION | | | | |
| 4 | | ZONING COMMENTS | | |
| 14 | a. | Parking at the Understory Level (below the First Habitable Level). Parking at the Understory Level shall be lined along a minimum of 50 percent (50%) of the built frontage with non-residential uses, lobbies or stoops that provide access to the First Habitable Level (FHL). Provide the dimensions of the staircase. | Total Built Frontage 163'-10". Required Frontage with non residential uses, lobbies or stoops = 50% = 81'-11" Frontage Provided: (5' entrance + 76'-6" + 5' entrance) = 86'-6". Dimensions added Sheet A-100 First Floor Plan, Staircase Internal dimensions are 9'-0" x 18'-0" | A-100 |
| 15 | b. | For properties not having access to an alley, the required habitable space may accommodate entrance and exit drives. The total width of the entrance and exit drives shall not exceed 22 feet. For habitable space that screen parking and that are also located below DFE, these shall have floodproofing for all facades below DFE extending 36 inches above DFE. | Drive Aisles have been reduced to a minimum of 14'-0" needed to provide the required radius for a Fire Rescue Vehicle maneuvering Clearance to enter the property. Fire truck needs to be a minimum of 50' from main entry door which is only possible at the drop off area. 3'-0" Variance Required for Entry and Exit The proposed design is a Residential Building Only and per FEMA requirements cannot be Dry-Flood Proofed. Only Wet-Floodproofing is allowed and will be provided as needed. All proposed uses including Parking have been proposed above BFE+minimum freeboard. | A-100 |
| 16 | c. | Where parking is not lined with habitable space it should be screened by fenestration, vegetation or other such treatment. | Parking has been screened with a combined solution that includes solid walls to avoid lighting spillage, architectural louvers and vegetation. See also Landscape Planting Plan LA-401 | A-100 A401 to 402 LA - 401 |
| 17 | d. | A minimum height of 12 feet shall be provided, as measured from Base Flood Elevation plus minimum Freeboard to the underside of the first floor slab. The design review board or historic preservation board, as applicable, may waive this height requirement by up to two feet, in accordance with the design review of certificate of appropriateness criteria, as applicable. If applicant is intending to request design waiver for the height of the ground floor, please include this information on the letter of intent. | 12--10" Provided. Dimension added to Section in sheet A-502 | A-502 |
| 18 | e. | All parking and driveways shall substantially consist of permeable materials. | Waiver Requested. Permeable Pavers installation on sand is more suitable for single family residential os townhomes where vehicular circulation is less intense. In multifamily projects pavers on slab is typically installed to avoid pavers displacement due tomore intense vehicular traffic. | |
| 19 | f. | The first habitable level shall have a minimum floor-to-ceiling height of 12 feet in order to allow for the future retrofit and raising of the first habitable level, or if Design Flood Elevation (DFE) is adjusted upward in the future. | First level is porposed with a 12'-10" ceiling. Dimension added to Section in sheet A-502 | A-502 |
| 20 | g. | The minimum yard elevation is future adjusted grade. Future adjusted grade means the midpoint elevation between the future crown of the road and the base flood elevation plus minimum freeboard for a lot or lots. Provide written confirmation from the Public Works Department that identifies the future crown of the road for further review of compliance the minimum yard elevation. | Per Public Works Department the Future Crown of the Road is 4.7 NAVD (6.47 NGVD) . The Future Adjusted Grade and Minimum Yard Elevation based on adjusted grade per Public Works Department is calculated as follows: 6.47 NGVD + 9 NGVD / 2 = 7.74 NGVD. The Maximum Yard elevation based on this would be 7.74 NGVD + 30"= 10'-2" NGVD which per Section 142-155(a)(3)(b) is limited to 9'-0" NGVD. See revised Zoning Data Sheet A-001 | A-001 |
| 21 | h. | The entire staircase shall be included in all floor levels of the F.A.R. calculation. | Drafting Corrected. All stair runs and landings are shown as counted | A-009 to A-011 |
| 22 | i. | The entire bath area in the roof level shall be included in the F.A.R. calculation. | The entire area is counted, a graphic display error was hiding part of the hatched area | A-009 to A-011 |
| 23 | j. | In addition to the building areas included in lot coverage, as defined in section 1.2.1, impervious parking areas and impervious driveways shall also be included in the lot coverage calculations. The design review board or historic preservation board, as applicable, may waive the lot coverage requirements in accordance with the design review or certificate of appropriateness criteria, as applicable. | Waiver Requested. Permeable Pavers installation on sand is more suitable for single family residential os townhomes where vehicular circulation is less intense. In multifamily projects pavers on slab is typically installed to avoid pavers displacement due to the more intense vehicular traffic. | A-009 |
| 24 | k. | Dimension the height of the building height from D.F.E. (B.F.E. plus freeboard) to the main roof line. | The height dimension of 55'-0" is noted in all sections and elevations from DFE to top of roof | A-401 to A-404, A 501, A-502 |
| 25 | l. | Lot width means the level distance between the side lot lines measured at the required front yard setback line and parallel to the front street line. Dimension the lot width from the required front setback line for further review of the required interior side setback (minimum 8% of the lot width and the sum of the side yard shall consist of 16% of the lot width from the required front setback line). | Dimensions of setbacks required at front and rear yard lines have been added to all plans and to the site setback analysis in Sheet A-004.The dimensions have been also revised in the Zoning Data Sheet in page A-001 for clarity. | A-004 & A-001 |
| 26 | m. | Decks shall not exceed a combined deck area of 50 percent (50%) of the enclosed floor area immediately one floor below. Provide the dimensions of the deck and a roof deck calculation for further review. | Total combined Deck Area Proposed = 2937.50 sq ft Allowable Deck Area = 5,009 sf (50% of Enclosed Area at level below: 50% of 10,018sf) Calculation added in A-105 ROOF FLOOR PLAN | A-105 |
| 27 | n. | Walkways cannot exceed 44" in width. | See the added dimensions for the walkways in the side area. Congregation spaces for reading, hammok and relaxation have been noted to differentiate them form the walkways. | A-100 |
| 28 | o. | The steps located along the front yard shall not exceed a maximum projection of 25% of the required yard and the maximum elevation shall not exceed 30 inches above the adjusted grade elevation of the lot. Adjusted grade means the midpoint elevation between grade and the minimum required flood elevation for a lot or lots. | Steps length are 2'-9". The 25% of the required yard = 25% of 20'-0= 5'-0" therefore the proposed 2'-9" complies. Adjusted grade = (4'-1" + 8')/2 = 6'-0 1/2". Maximum Elevation 6'-7". (See dimension in A-100 First Floor Plan) | A-100 |
| 29 | p. | 7 feet and 6 inches minimum setback shall be required from the side property line to a swimming pool deck or platform, the exterior face of an infinity edge pool catch basin, or screen enclosures associated or not associated with a swimming pool. | Setbacks dimensions added. Dimensions vary from 8'-3 1/2" to 8'-8 1/2" | A-100 |
| 30 | q. | Identify the structure located east of the cabanas that contains a sink. The fixed structure shall comply with the minimum side setback. | The fixed structure is an accessory BBQ counter area and it complies with the minimum side setback for accessory uses. Noted on plan | A-100 |
| 31 | r. | Within the required rear or side yard, fences, walls and gates shall not exceed seven feet, as measured from grade, except when such yard abuts a public right-of-way, waterway or golf course, in which case the maximum height shall not exceed five feet. Please reduce the 7' portal and gate. | Portal and gate hieght updated. (A-401 SOUTH ELEVATION) | A-401 |
| 32 | s. | Provide a written narrative with responses. | | |



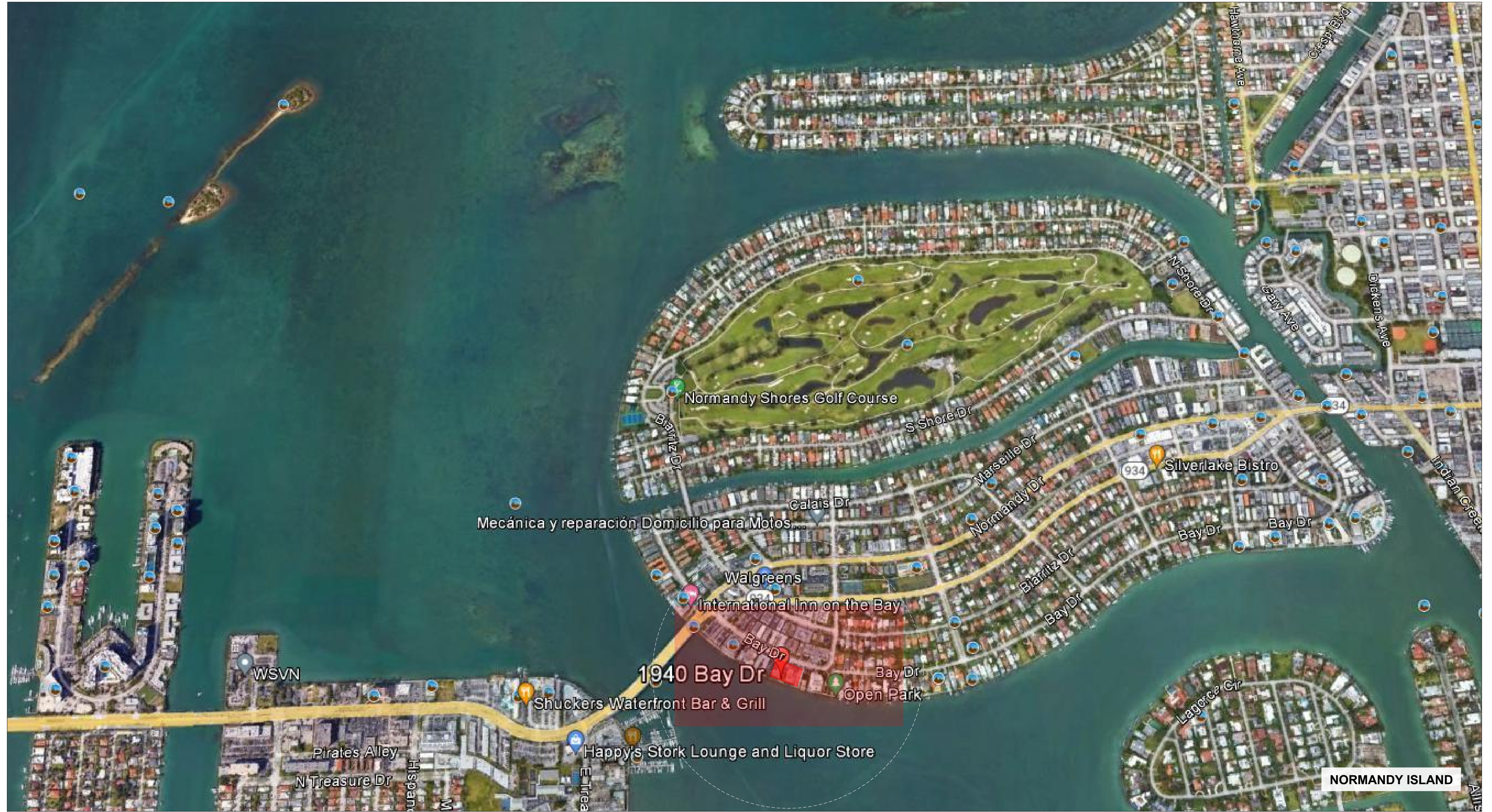
NTS

SURVEY

INCORPORATED 1915
ADOPTED 21ST DAY OF SEPTEMBER, 1989
EFFECTIVE 1ST DAY OF OCTOBER, 1989
AS AMENDED
DATE OF LAST REVISION FEBRUARY 13, 2019



| | | | | | |
|------------------------|-----------------------------|----------------|-----------------|-------------------------|-------------------------|
| | PARKING SPACES CALCULATION | | | | |
| LV. | NUMBER OF PARKING SPACES | UNIT SIZE [SF] | NUMBER OF UNITS | REQUIRED PARKING SPACES | PROPOSED PARKING SPACES |
| | 2 PSACES / UNIT | > 1,600 | 12 | 24 | 24 |
| | TOTAL | | | 24 | |
| PARKING REDUCION | | | | | |
| TOTAL REQUIRED PARKING | | | | 24 | 24 |
| | BYCICLE PARKING REQUIREMENT | | | | |
| LV. | | | | REQUIRED | PROPOSED |
| 1 | SHORT TERM SPACES | | | 0 | 0 |
| | LONG TERM SPACES | | | 0 | 5 |
| | TOTAL | | | 0 | 5 |



1 LOCATION MAP

SCALE: 1:0.5263

1940 Bay Drive

#Site City, #Site State #Site Postcode

Revisions

Owner Information

#Client Company

```
#Client Address1
#Client Address2
#Client City, #Client State #Client
Postcode
#Client Phone Number
```

#Client Phone Number

Consultant

Luis O. Revuelta
AR-0007972

FINAL SUBMITTAL
DRB File No. 23-0934

Date
11/05/2023

Scale

AS SHOWN

Project No.
2133

Sheet Name

ACTION PLAN

Sheet No.
A 002

A-002



CONTEXT ANALYSIS

nevuelta
architecture
international

Miami
Santiago, Chile

nevuelta-architecture.com

2550 SW 27TH AVE
SUITE 110
MIAMI, FL 33135
T: 305.590.5000
F: 305.590.5040

Project

1940 Bay Drive
#Site Address1
#Site State #Site Postcode
#Site City

Revisions

Owner Information

#Client Company

#Client Address1

#Client Address2

#Client City, #Client State #Client

Postcode

#Client Phone Number

Consultant

Luis O. Revuelta
AR-0007972

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DRB File No. 23-0934

Date

11/05/2023

Scale

AS SHOWN

Project No.

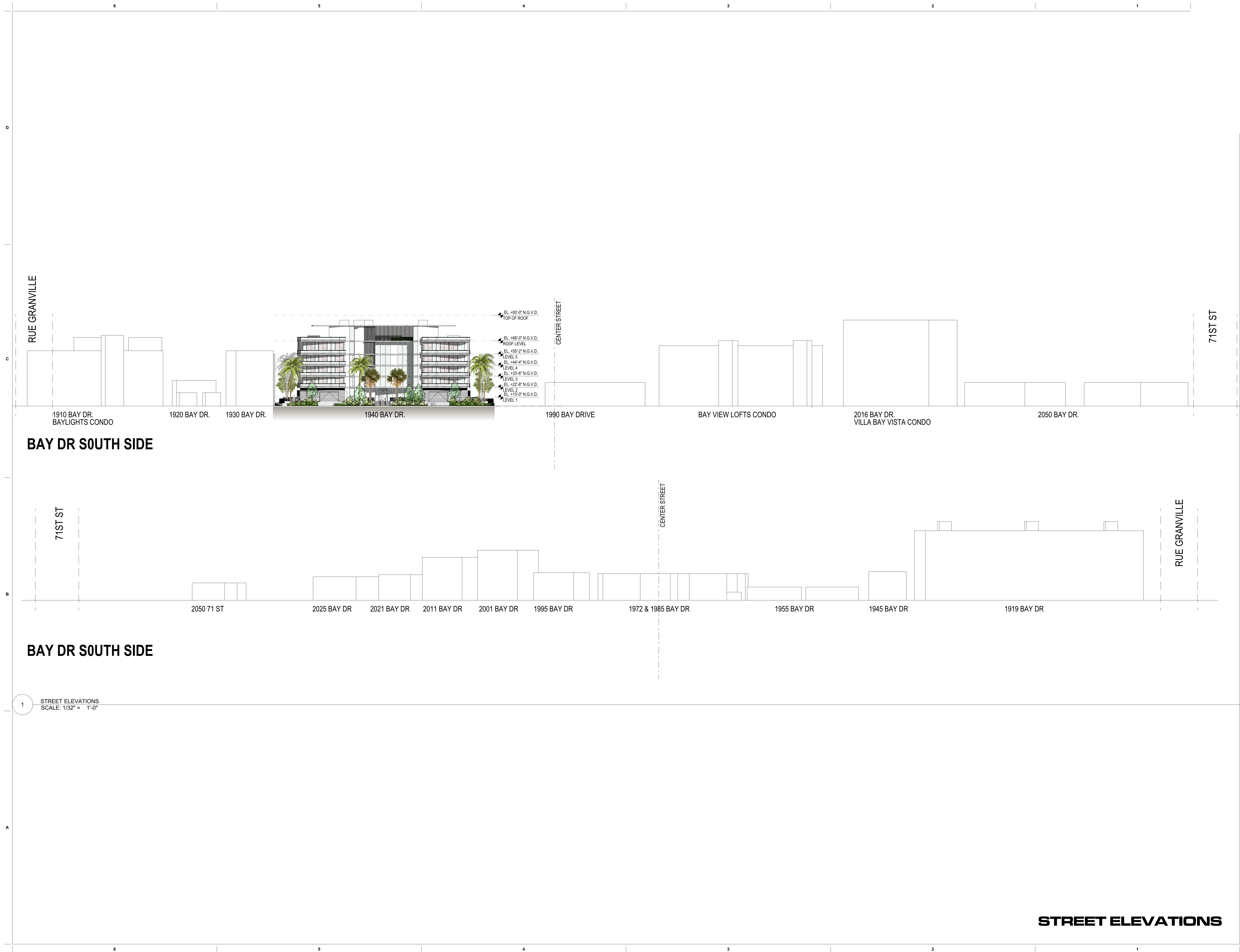
2133

Sheet Name

CONTEXT ANALYSIS

Sheet No.

A-003



PROPERTY LINE 216.55'

**2 STORY
BUILDING**

**PROPOSED FULL
DEMOLITION**

PROPERTY LINE 170'-0"

PROPERTY LINE 170'-0"

PROPERTY LINE 200.00'

ENTRANCE

DEMOLITION PLAN

1
A-003.3

demolition plan
SCALE: 1/8" = 1'-0"

1340 Bay Drive
#Site Address1
#Site City, #Site State #Site Postcode

White City, White State Route 1 03000000

visions

Further Information

Client Company

```
#Client Address1
#Client Address2
Client City, #Client State #Client
Postcode
```

#Client Phone Number

Consultant

Is O. Revuelta
AR-0007972

FINAL SUBMITTAL
B File No. 23-0934

Date
11/05/2023

Scale
AS SHOWN

Project No.
2133

Sheet Name

PLAN

Sheet No. **A-003.3**

