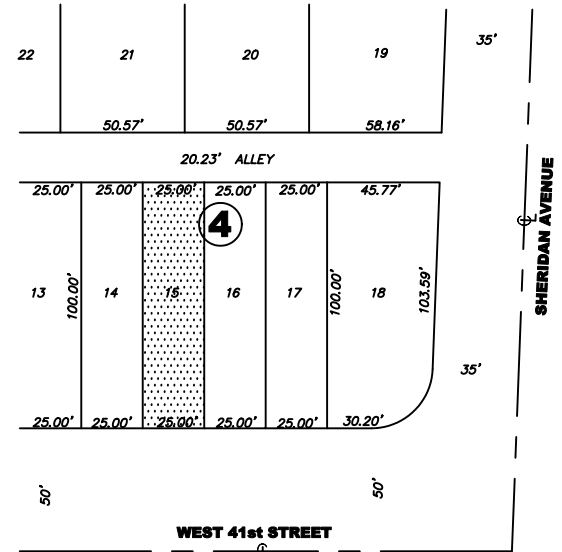


SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 20'

LEGAL DESCRIPTION:

LOT 15 BLOCK 4
SUBDIVISION ORCHARD SUBDIVISION NO. 4
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25 AT PAGE 30
OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
LOCATION SKETCH
N.T.S.



ADDRESS: 415 WEST 41ST STREET MIAMI BEACH, FL. 33140

SURVEY CERTIFY TO: THE BALOGH COMPANY, INC.

THE ATTACHED SKETCH OF BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND MEETS THE FLORIDA'S STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 63-17.061 AND 63-17.062 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

FOR: THE BALOGH COMPANY, INC.

JOB NUMBER 2110-02 DATE OF THE FIELD SURVEY 10-12-2021
F.B. No. J.C. REVISION DATE:
DRAWN BY: M.R. CHECKED BY: E.B.

E. BELTRAN & ASSOCIATES, INC.

12533 S.W. 30th STREET
MIAMI, FLORIDA 33175
PHONE: (305) 552-7450
CERTIFICATE OF AUTHORIZATION NUMBER LB 5233

SURVEYOR'S NOTES:

LEGAL DESCRIPTION WAS FURNISHED BY CLIENT.
EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENT, IF ANY AFFECTING THIS PROPERTY.
THERE ARE NO OTHER ENCUMBRANCES OTHER THAN THOSE NOTED.
LEGAL DESCRIPTION SUBJECT TO ANY DEDICATION, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS.
NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS NOTED.
FENCES OWNERSHIP BY VISUAL MEANS ONLY (IF ANY). LEGAL OWNERSHIP NOT DETERMINED.



ERNESTO BELTRAN
PROFESSIONAL SURVEYOR & MAPPER No. 4885
STATE OF FLORIDA
DATE: 10-12-2021

NOTE: THIS IS NOT A VALID SURVEY WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Elevations are referred to NGVD 1929
BENCH MARK USED:
MIAMI-DADE COUNTY B.M. # D-184
ELEVATION = 4.91' NGVS 1929
LOCATED AT:
W 41 ST -- 20' South of Center line
PRAIRIE AVE -- 42' East of Center line
LOCATED:
PK NAIL and Aluminum Washer set on Conc.
Curb and Gutter

BEARINGS HEREON (IF ANY) ARE REFERRED TO AN ASSUMED VALUE OF _____ FOR THE
_____, SAID BEARING IS IDENTICAL WITH THE PLAT OF RECORD
ACCORDING TO THE N.F.L.P. THE SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE:

N.T.S. - NOT TO SCALE	ABBREVIATIONS (IF ANY APPLIED)	S.L. - SURVEY METHOD
C = CENTER LINE	CL = CLEAR	U.M. = UTILITY MARKING
E = EASEMENT	ENC = ENCUMBRANCE	W.M. = WALL MARK, & DRAINAGE MARK
F/V = FENCE-UP-WAY	C.B.S. = CONCRETE BLOCK STRUCTURE	M = MONUMENT LINE
C.L.P. = CHAIN LINE FENCE	CONC = CONCRETE	PROP-CON = PROPERTY CORNER
W.F. = WOODEN FENCE	S = STAKE	P.S. = FIRE HYDRANT
RES. = RESURFACE	D.M.M. = DRAINAGE MAINTENANCE MARKING	RENTY = RENTY
P.P. = PAVED HIGH PIPE	S.P. = SET HIGH PIPE	P.B.S. = PAVED RE-SUR
S.B.S. = SET RE-SUR	F.D.M. = FOUND DRILL HOLE	S.D.H. = SET DRILL HOLE
C.B. = CHISEL MARKING	A/C = AIR CONDITIONING UNIT	CALC. = CALCULATED
REAR = REAR	REC = RECORDED	P.A. = PAVED SPIKE
S.M.S. = SET NAIL & DISC.	F.M.S. = FOUND NAIL & DISC.	RAD. = RADIAL
P.N. = FOUND NAIL	P.C.N. = FOUND CUT NAIL	P. = FOUND