

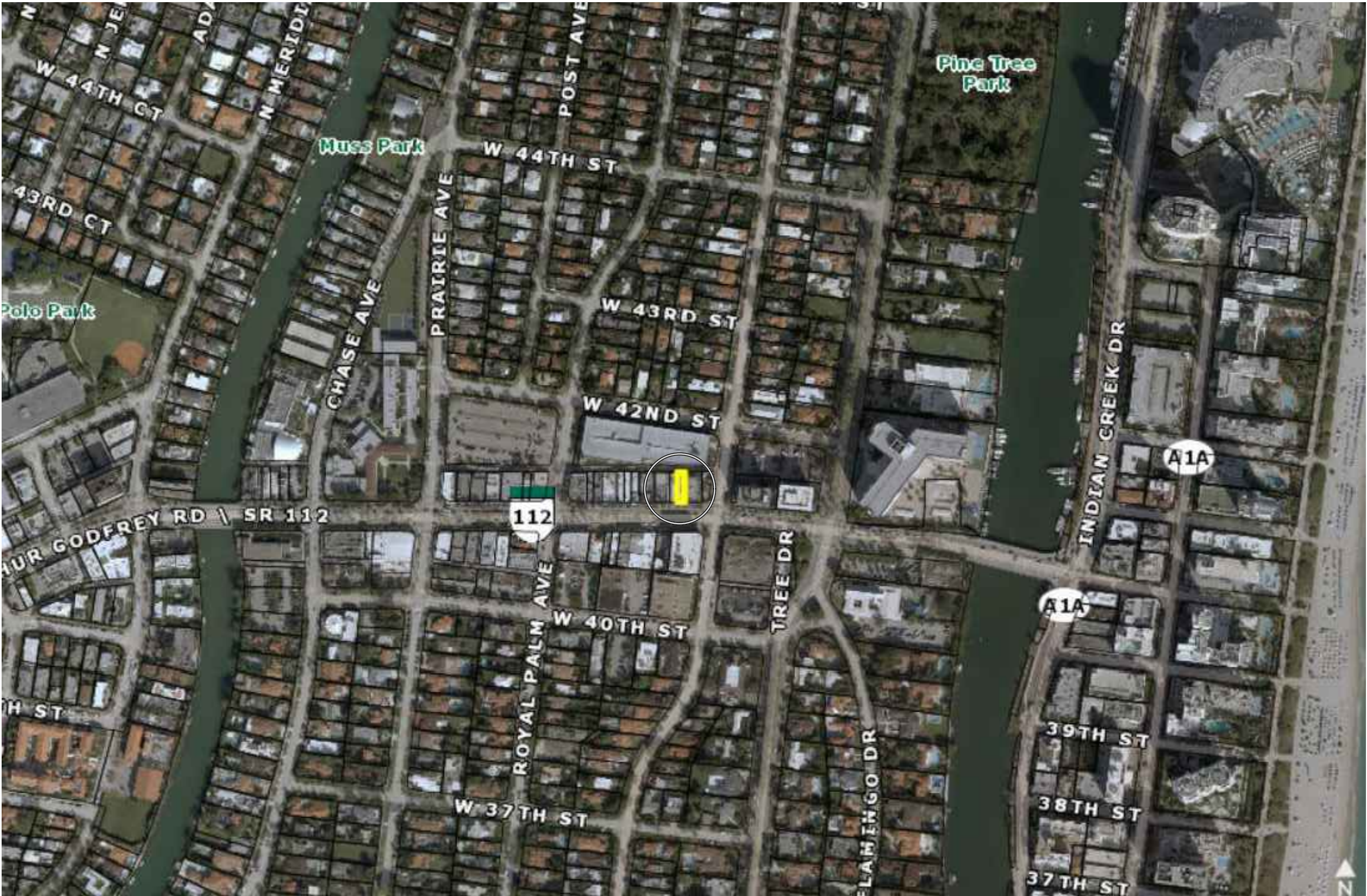
0 4' 8' 16' SCALE: 1/8" = 1'-0"

LOT 15 BLOCK 4
SUBDIVISION ORCHARD SUBDIVISION NO. 4
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25 AT PAGE 30
OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

| | |
|-------|--|
| G0.00 | COVER / PROJECT INFORMATION |
| G0.01 | LOCATION AERIAL PLAN |
| G0.02 | ZONING TABLE |
| A1.10 | EXISTING BUILDING |
| A1.20 | PROPOSED BUILDING |
| A2.00 | PROPOSED ELEVATIONS / SECTION / RENDER |
| A2.10 | RENDERS |
| A2.20 | FINISHES |
| A4.00 | NEIGHBORHOOD PHOTOS |

10/23/2023

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LOCATION

SCALE: N.T.S.



Balogh
Renovation

Two Story Building
415 W 41 Street
Miami Beach, FL

N25

ARCHITECTURE CO.

6262 SW 40 Street
Suite 2G

Miami, Florida 33155

Phone 305-666-5151

Florida License AR 0016380

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Sheet Title:

LOCATION
AERIAL PLAN

Issue Date: Project No.

AGO 18, 2023

Drawing No.:

G0.01

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380



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Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

| ITEM # | Project Information | | | | |
|--------|---|-----------------------|----------------------|-------------|--------------|
| 1 | Address: 415 WEST 41st STREET, MIAMI BEACH, FL. 33140 | Folio number(s): | 02-3222-001-0530 | Year built: | 1935 |
| 2 | Board file number(s), Determination of Architectural Significance: | | | Lot Area: | 2,500 |
| 3 | Located within a Local Historic District (Yes or No): No | Zoning District: | CD-3 | Lot width: | 25'-0" |
| 4 | Individual Historic Site (Yes or No): | No | | Lot Depth: | 100'-0" |
| 5 | Base Flood Elevation: | N/A | Grade value in NGVD: | | 8.00' |
| 6 | Adjusted grade (BFE+Grade / 2): | N/A | Free board: | | 5.39' NGVD |
| 7 | Proposed Use: | BUSINESS | | | |
| 8 | Proposed Accesory Use: | N/A | | | |
| 9 | Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan): | N/A | | | |
| | ZONING INFORMATION / CALCULATION | Required | Existing | Proposed | Deficiencies |
| 13 | Floor Area Ratio (FAR) | 2.25 MAX. (5,625 SF.) | 4,400 SF. | 4,282 SF. | N/A |
| 14 | Building Height | 75' MAX | 22'-0" TOB | 27'-6" TOB | N/A |
| 15 | At grade parking lot on the same lot | N/A | N/A | N/A | N/A |
| a | Front setbacks | N/A | N/A | N/A | N/A |
| b | Side interior setback | N/A | N/A | N/A | N/A |
| c | Side facing street setback | N/A | N/A | N/A | N/A |
| d | Rear setback | N/A | N/A | N/A | N/A |
| 16 | Subterrenean, Pedestal & Tower (non-Oceanfront) | Required | Existing | Proposed | Deficiencies |
| a | Front setbacks | 0' | 0' | 0' | N/A |
| b | Side interior setback | 0' | 0' | 0' | N/A |
| c | Side facing street setback | N/A | N/A | N/A | N/A |
| d | Rear setback | 5'-0" | 5'-6" | 5'-6" | N/A |
| 17 | Subterrenean, Pedestal & Tower (non-Oceanfront) | Required | Existing | Proposed | Deficiencies |
| a | Front setbacks | N/A | N/A | N/A | N/A |
| b | Side interior setback | N/A | N/A | N/A | N/A |
| c | Side facing street setback | N/A | N/A | N/A | N/A |
| d | Rear setback | N/A | N/A | N/A | N/A |
| 18 | Minimum Apartment Unit Size | Required | Existing | Proposed | Deficiencies |
| a | New Construction | N/A | N/A | N/A | N/A |
| b | Rehabilitated Buildings | N/A | N/A | N/A | N/A |
| c | Hotel Unit | N/A | N/A | N/A | N/A |
| 19 | Average Apartment Unit Size | Required | Existing | Proposed | Deficiencies |
| a | New Construction | N/A | N/A | N/A | N/A |
| b | Rehabilitated Buildings | N/A | N/A | N/A | N/A |
| c | Hotel Unit | N/A | N/A | N/A | N/A |
| 20 | Required Open-space ratio (RPS, CPS) | N/A | N/A | N/A | N/A |
| 21 | Parking | N/A | N/A | N/A | N/A |
| 22 | Loading | N/A | N/A | N/A | N/A |

Notes: Indicate N/A if not applicable.

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Sheet Title:
ZONING
TABLE

Issue Date: Project No.

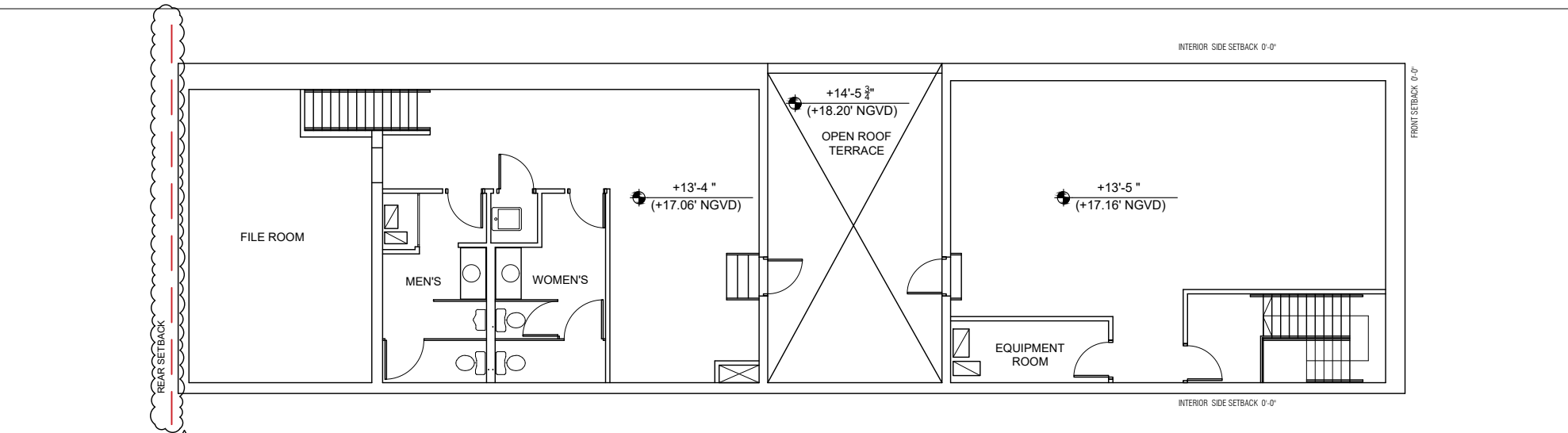
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OCT 23, 2023

Drawing No.:
G0.02

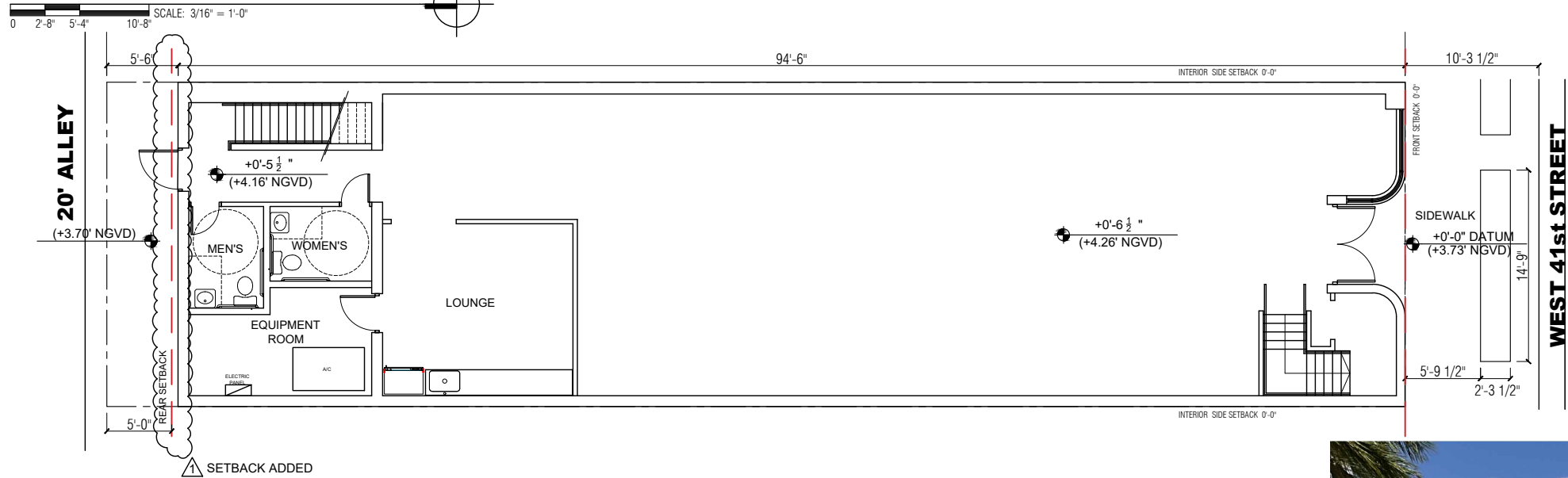
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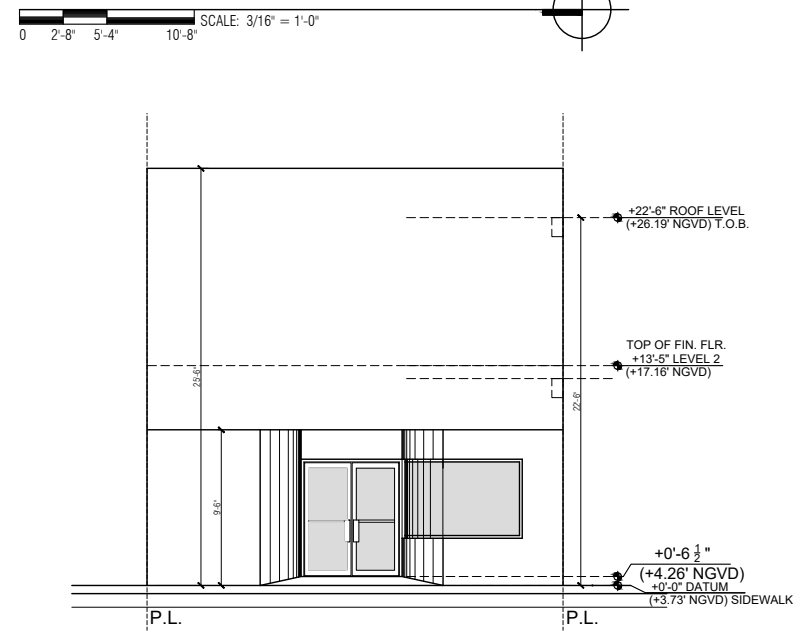
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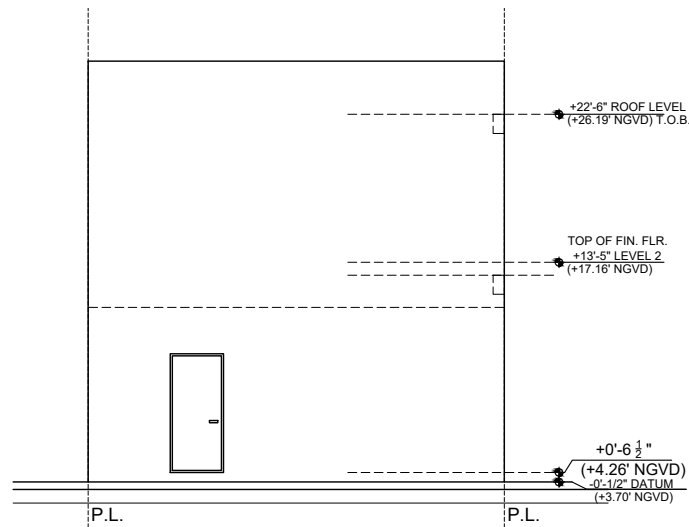
EXISTING LEVEL 2 FLOOR PLAN



EXISTING LEVEL 1 FLOOR PLAN



EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



ACTUAL BUILDING PHOTO

Balogh Renovation

Two Story Building
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Miami Beach, FL

| | | | |
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Sheet Title:

**EXISTING
BUILDING**

Issue Date: Project No.

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OCT 23, 2023

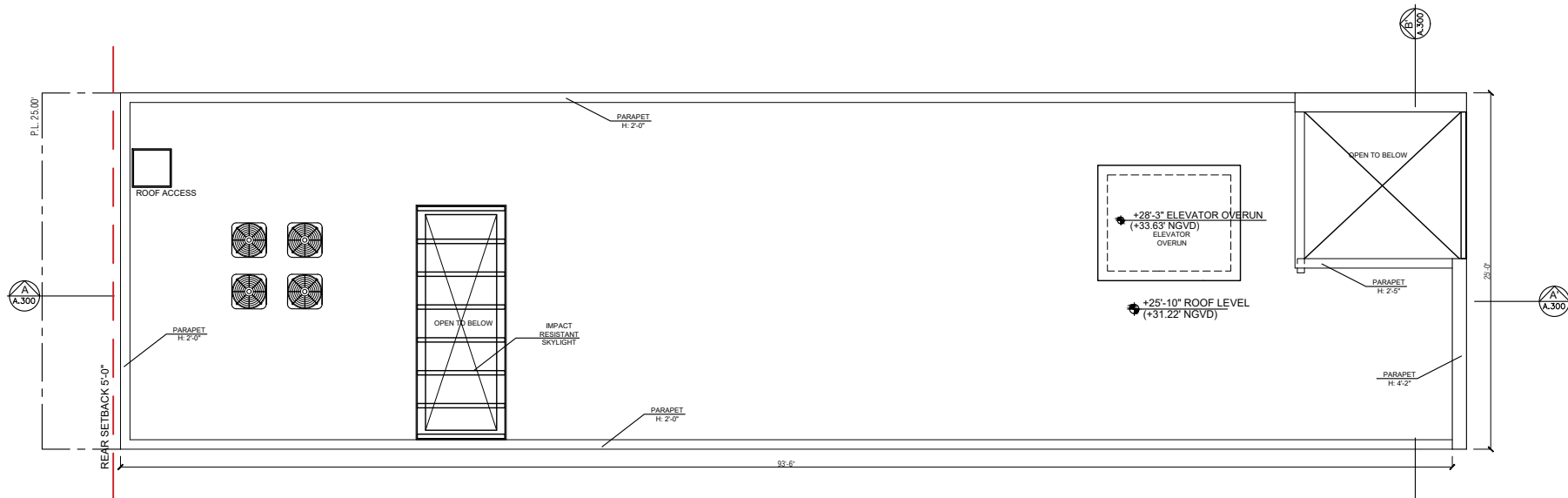
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A1.10

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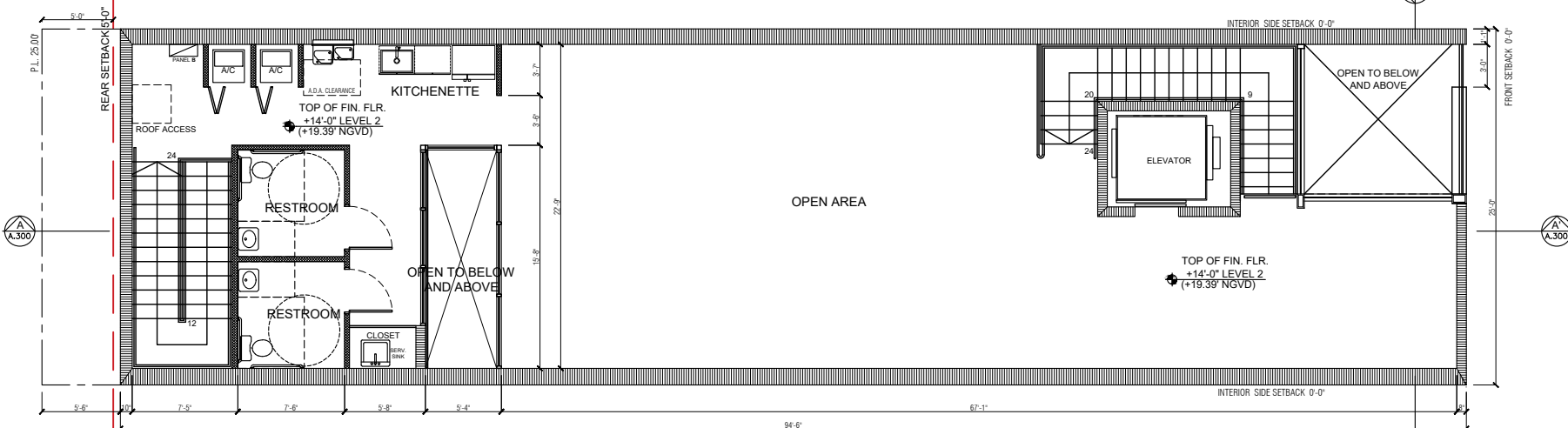


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PROPOSED ROOF LEVEL

SCALE: 3/16" = 1'-0"



PROPOSED LEVEL 2 FLOOR PLAN

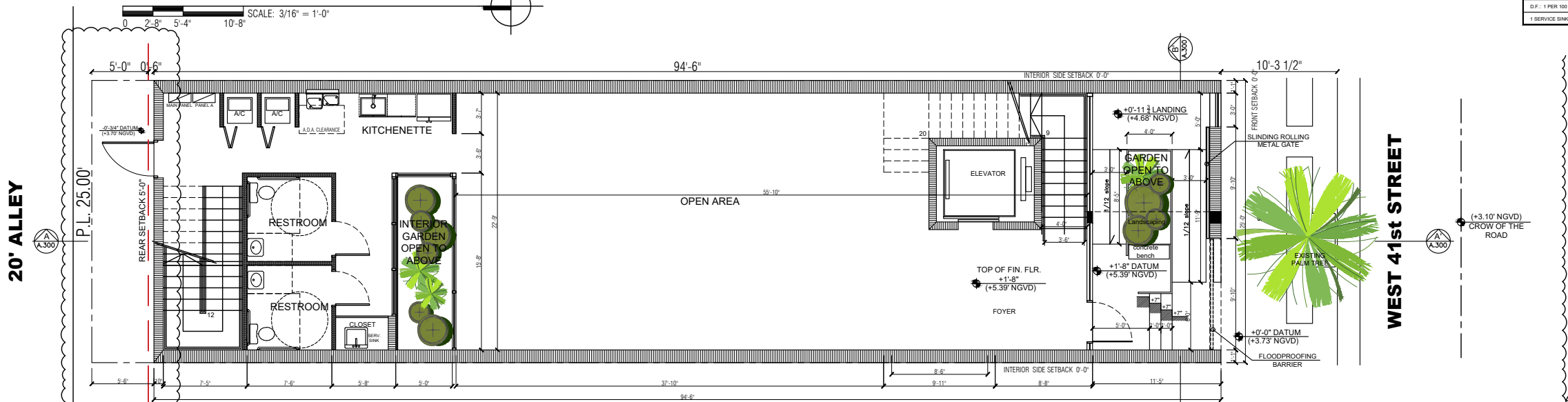
SCALE: 3/16" = 1'-0"

| AREA SUMMARY | |
|---------------------|-----------|
| EXISTING 1st FLOOR: | 2,347 sf. |
| EXISTING 2nd FLOOR: | 2,053 sf. |
| total existing: | 4,400 sf. |
| PROPOSED 1st FLOOR: | 2,060 sf. |
| PROPOSED 2nd FLOOR: | 2,222 sf. |
| total proposed: | 4,282 sf. |

| OCCUPANT LOAD CALCULATION | |
|---|--------------------|
| BASED ON FBC 2020 TABLE 1004.5 | |
| BUSINESS (GROUND LEVEL) - 2,060 SF / 150 = 14 OCCUPANT LOAD | |
| BUSINESS (2nd LEVEL) - 2,222 SF / 150 = 15 OCCUPANT LOAD | |
| TOTAL | = 29 OCCUPANT LOAD |

| MINIMUM PLUMBING FIXTURE REQUIREMENTS | | AS PER FBC 2020 TABLE 403.1 | |
|---------------------------------------|-------------|-----------------------------|-----------|
| OCCUPANCY TYPE | AREA (S.F.) | LOAD | OCCUPANTS |
| B-BUSINESS | 4,282 | 150 | 29 |
| TOTAL REQUIRED FIXTURES | | | |
| TOTAL PROVIDED FIXTURES | | | |

| B-BUSINESS PLUMBING FIXTURE REQUIREMENTS | |
|---|--|
| W.C. - 1 PER 25 PERSONS (FIRST 80 & 1 PER 80 FOR THE REM. EXCEEDING 80) | |
| LAV. - 1 PER 40 PERSONS (FIRST 80 & 1 PER 80 FOR THE REM. EXCEEDING 80) | |
| D.F. - 1 PER 100 PERSONS | |
| 1 SERVICE SINK | |



PROPOSED LEVEL 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

20' ALLEY

WEST 41st STREET

LEVELS REVISED

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Sheet Title:

PROPOSED FLOOR PLANS

Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023

Drawing No.:

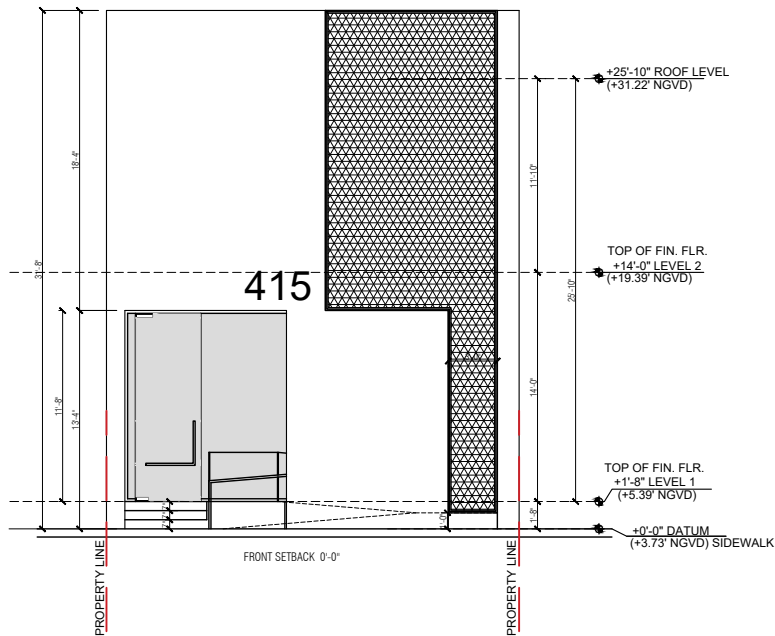
A1.20

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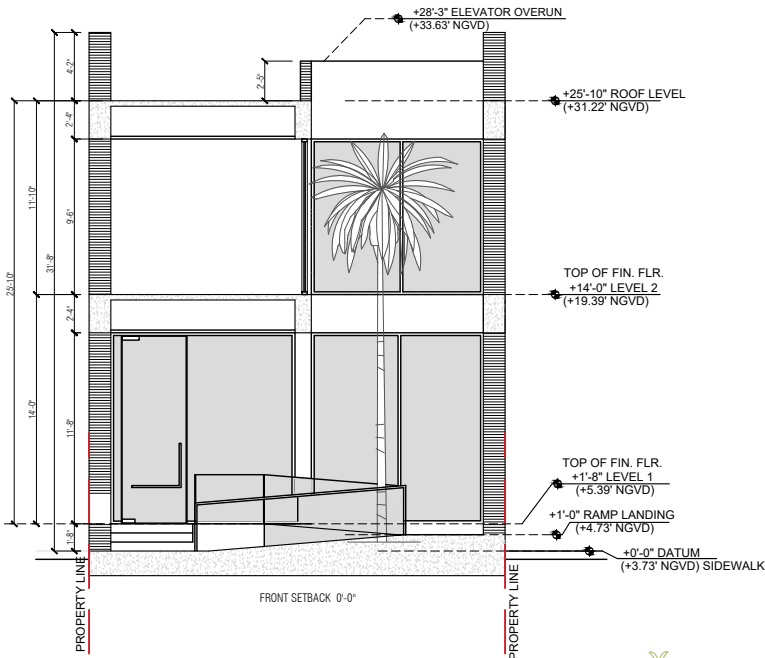
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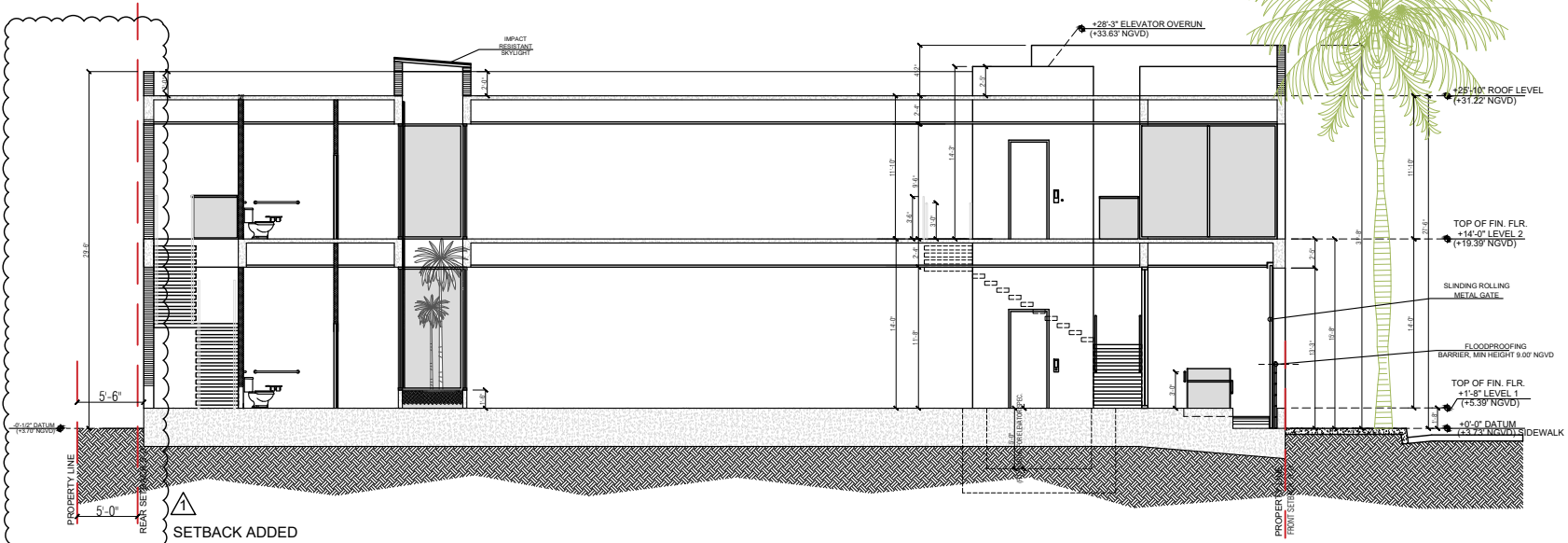
PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



SECTION A-A'

SCALE: 3/16" = 1'-0"



SECTION B-B'

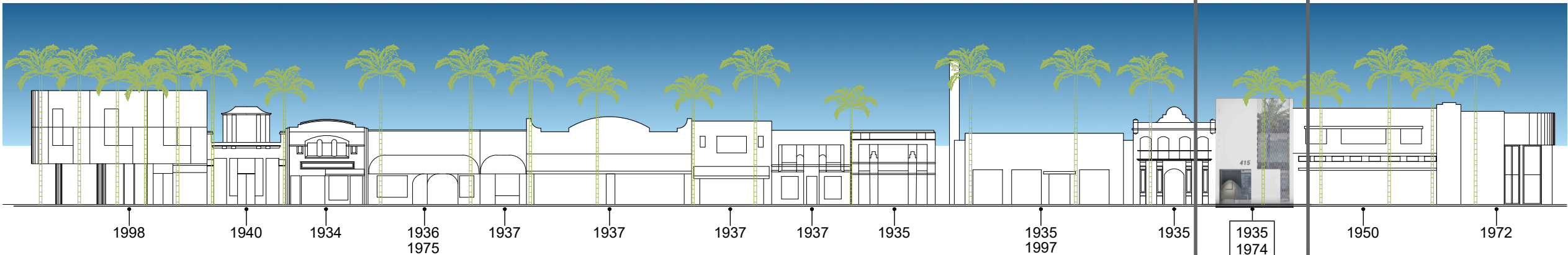
SCALE: 3/16" = 1'-0"



FRONT VIEW RENDER

SCALE: N.T.S.

LEVELS REVISED



PROPOSED ELEVATION + EXISTING BLOCK BUILDING FACADES + CONSTRUCTION YEAR

SCALE: N.T.S.

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Sheet Title:
PROPOSED
ELEVATION
SECTION

Issue Date: Project No.

AGO 18, 2023
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Drawing No.:
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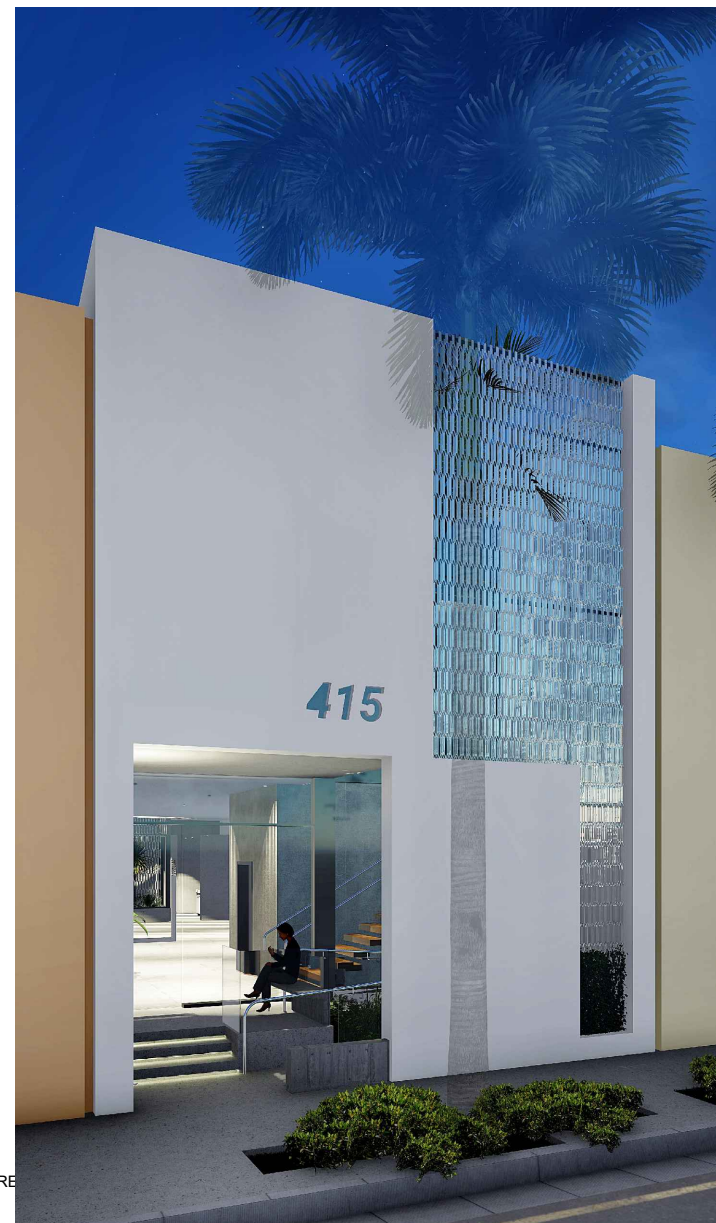
ACCESS DETAIL



INTERIOR PRINCIPAL STAIR LEVEL 2



INTERIOR GARDEN LEVEL 1



FRONT VIEW (night)



INTERIOR FOYER LEVEL 1

| | |
|--|----------------------|
| | Balogh Renovation |
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Sheet Title:

INTERIOR RENDERS

| | |
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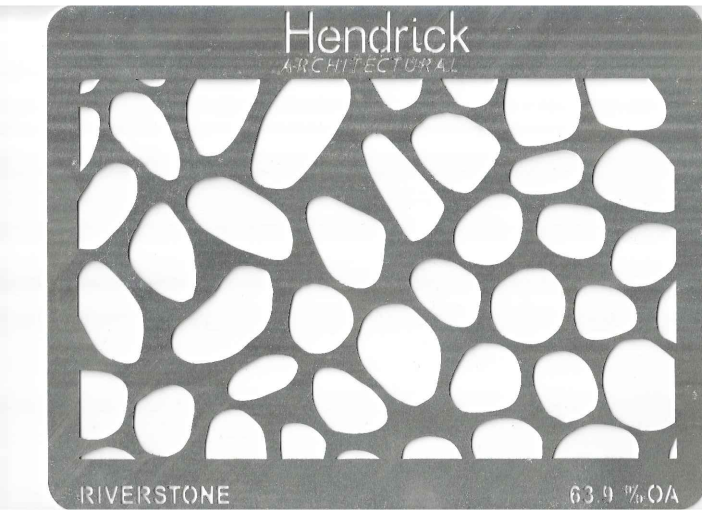
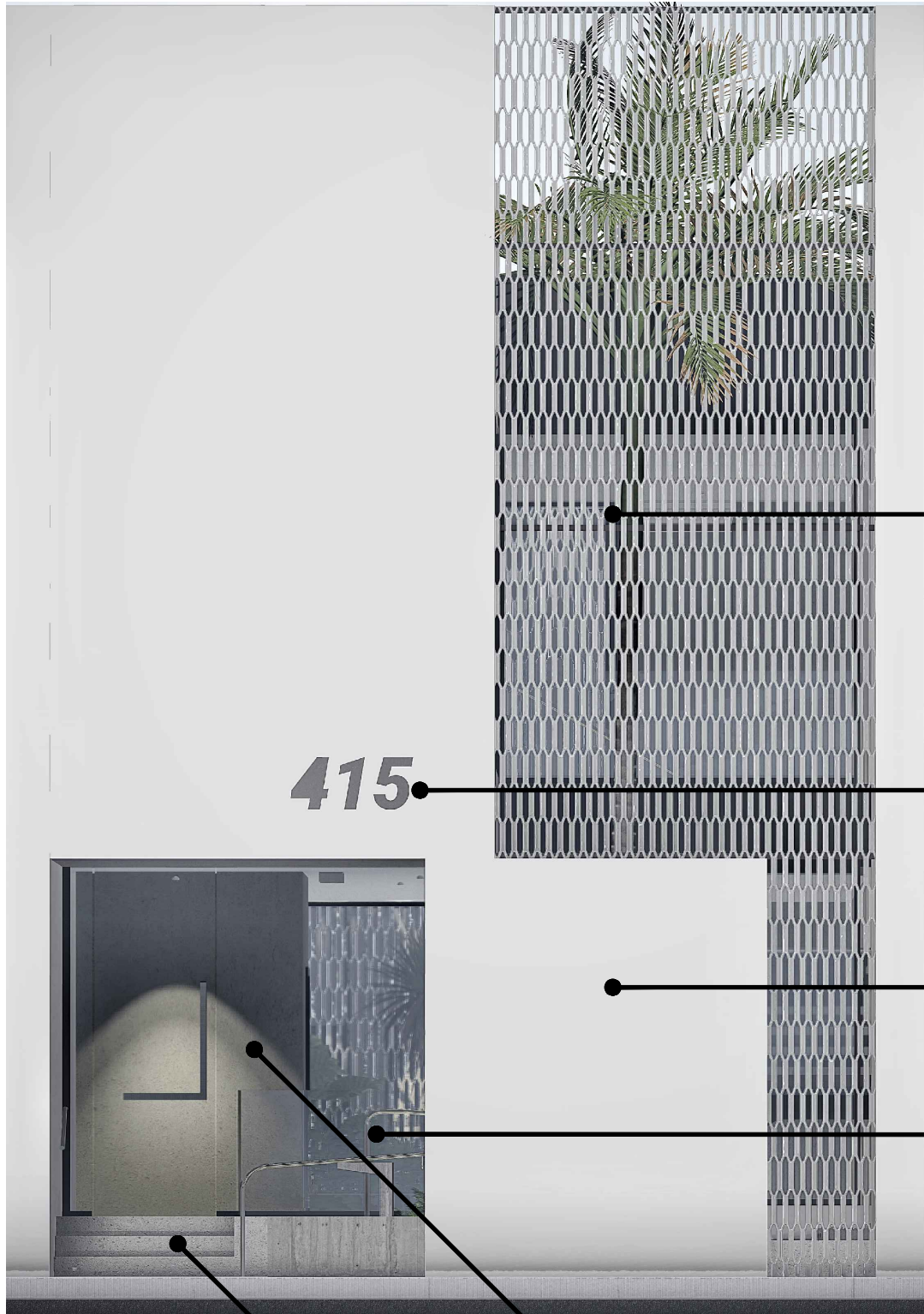
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| ACC 10, 2023 | |
| OCT 23, 2023 | 1 |

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PERFORATED METAL PANELS

MATERIAL UPDATED

415

BUILT IN ADDRESS NUMBERS

WHITE FLAT STUCCO

METAL HANDRAIL AND GLASS RAILING

STORE FRONT
CLEAR GLASS / ALUMINUM FRAMES

CONCRETE
ACCESS STAIRS AND RAMP

FRONT VIEW RENDER

SCALE: N.T.S.

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Sheet Title:
**EXTERIOR
FINISHES**

Issue Date: Project No.

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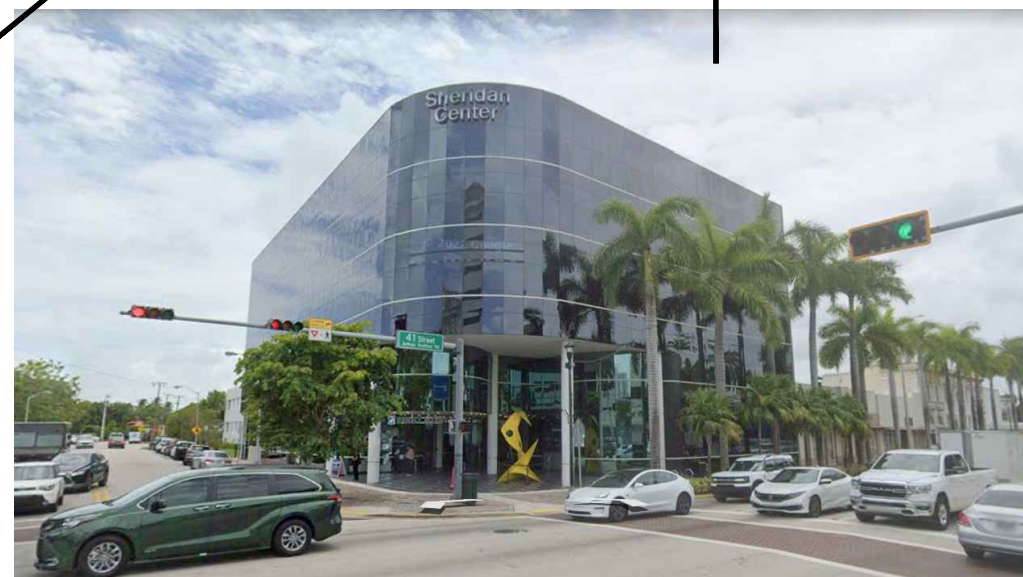
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Sheet Title:
**NEIGHBORHOOD
PHOTOS**

| | |
|-------------|-------------|
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AGO 18, 2023

Drawing No.:

A4.00

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