

GENERAL NOTES - DEMOLITION

- 1 SEE SPECIFICATION BOOK FOR MORE INFORMATION.
- 2 THE CONTRACTOR IS DIRECTED TO LOCAL CODES AND REGULATIONS, AND IS TO FAMILIARIZE HER/HIMSELF WITH ALL WORK RELATING TO DEMOLITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
- 3 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS TO VISIT THE SITE PRIOR TO BID AND FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK. ANY QUESTIONS, COMMENTS, OR CLARIFICATIONS SHALL BE ASKED IN WRITING TO THE ARCHITECT PRIOR TO SUBMISSION OF BID.
- 4 DEMOLITION DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE A GUIDE FOR DEMOLITION WORK IN THIS SPACE. THE CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE ALL EXISTING CONDITIONS THOROUGHLY. ANY DISCREPANCIES BETWEEN ASSUMED AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 5 IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CREATE A CONFLICT WITH PROPOSED NEW WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR RESOLUTION BEFORE PROCEEDING WITH WORK.
- 6 PRIOR TO DEMOLITION, WALK THE PROJECT SITE AND RECORD EXISTING CONDITIONS. PREPARE A LOG WITH NOTATIONS AND PHOTOGRAPHS FOR SUBMISSION TO THE OWNER. FOCUS PARTICULAR ATTENTION ON AREAS THAT WILL REMAIN AT THE COMPLETION OF THE PROJECT. AREAS OF ATTENTION CAN INCLUDE BUT ARE NOT LIMITED TO: ELEVATOR CABS AND SILLS, ELEVATOR DOORS AND FRAMES, PERIMETER WINDOWS AND WINDOW SILLS, PERIMETER BLINDS AND BLIND POCKETS, WALK THE PROJECT SITE WITH THE OWNER, CONSTRUCTION MANAGER TO REVIEW DEFICIENCY LOG PREPARED AND REVIEW ALL ITEMS THAT ARE DAMAGED PRIOR TO THE START OF DEMOLITION. FAILURE TO DO SO, WILL RESULT IN THE ASSUMPTION THAT THE EXISTING TO REMAIN CONSTRUCTION WAS DAMAGED DURING THE COURSE OF CONSTRUCTION AND WILL BE REQUIRED TO BE RESTORED AT THE END OF THE PROJECT.
- 7 ALL DEMOLISHED ITEMS THAT ARE NOT SHOWN TO BE REUSED ARE TO BE OFFERED TO THE BUILDING OWNER PRIOR TO REMOVAL FROM THE SITE. IF BUILDING OWNER DOES NOT WANT ANY OF THE DEMOLISHED ITEMS, CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF THE ITEMS.
- 8 PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ALL DAMAGE TO EXISTING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO TENANT, LANDLORD, OR ARCHITECT.
- 9 GENERAL CONTRACTOR TO FLASH PATCH ALL FLOORS AS REQUIRED TO RESTORE CONCRETE FLOORING TO LIKE NEW AND LEVEL CONDITION TO SATISFY ALL ASSEMBLY AND INSTALLATION REQUIREMENTS.
- 10 ALL MISCELLANEOUS NAILS, HANGERS, STAPLES, WIRES, AND WIRE CONDUIT THAT IS NOT REUSED IN THE NEW SCOPE OF WORK SHALL BE REMOVED.
- 11 CONTRACTOR SHALL REMOVE ALL MATERIALS ABOVE CEILING NOT SPECIFICALLY INDICATED TO REMAIN. ALL UNUSED WIRING, CABLES, CONDUIT, ETC. SHALL BE REMOVED AND STRIPPED BACK TO ORIGINAL SOURCE. THIS INCLUDES DATA CABLING THAT WILL NOT BE REUSED.
- 12 ALL ABANDONED TELEDATA RUNS AND TERMINATIONS SHALL BE REMOVED (REMOVE BOX AND COVER PLATE, PATCH WALL TO LIKE-NEW CONDITION).
- 13 ALL ABANDONED ELECTRICAL OUTLETS SHALL HAVE THE BOX REMOVED TO THE PANEL. REMOVE BOX AND COVER PLATE. PATCH WALL TO LIKE-NEW CONDITION.
- 14 REMOVE ALL FLOOR FINISHES, WALL COVERINGS AND SPECIALTY FINISHES, AND WALL BASE UNLESS OTHERWISE NOTED IN AREAS OF NEW CONSTRUCTION. PREPARE WALL, FLOOR, AND CEILING SURFACES FOR NEW FINISH AS SPECIFIED. BASE BID SHALL INCLUDE ALL NECESSARY FLOOR PREP WORK TO ACCEPT NEW SPECIFIED FLOOR FINISHES.
- 15 PREPARE WALL, FLOOR, AND CEILING SURFACES FOR NEW FINISH AS SPECIFIED.
- 16 SALVAGE ALL DOORS, FRAMES, AND HARDWARE FOR REUSE UNLESS NOTED OTHERWISE.
- 17 ALL CEILINGS ARE TO REMAIN UNLESS NOTED OTHERWISE ON THE DEMOLITION OR REFLECTED CEILING PLANS.
- 18 ANY EXISTING BLINDS SHALL BE BOUND AND WRAPPED DURING DEMOLITION AND CONSTRUCTION, UNLESS SPECIFICALLY NOTED TO BE REMOVED.
- 19 GENERAL CONTRACTOR SHALL RETAIN ALL WASTE HAULING TICKETS AND RETAIN NO LESS THAN 50% OF NONHAZARDOUS CONSTRUCTION WASTE WHICH SHALL BE DIVERTED FROM DISPOSAL BY RECYCLING OR SALVAGE OF CONSTRUCTION MATERIALS AND WASTE AS STATED IN THE 2013 DC GREEN CONSTRUCTION SECTION 503.

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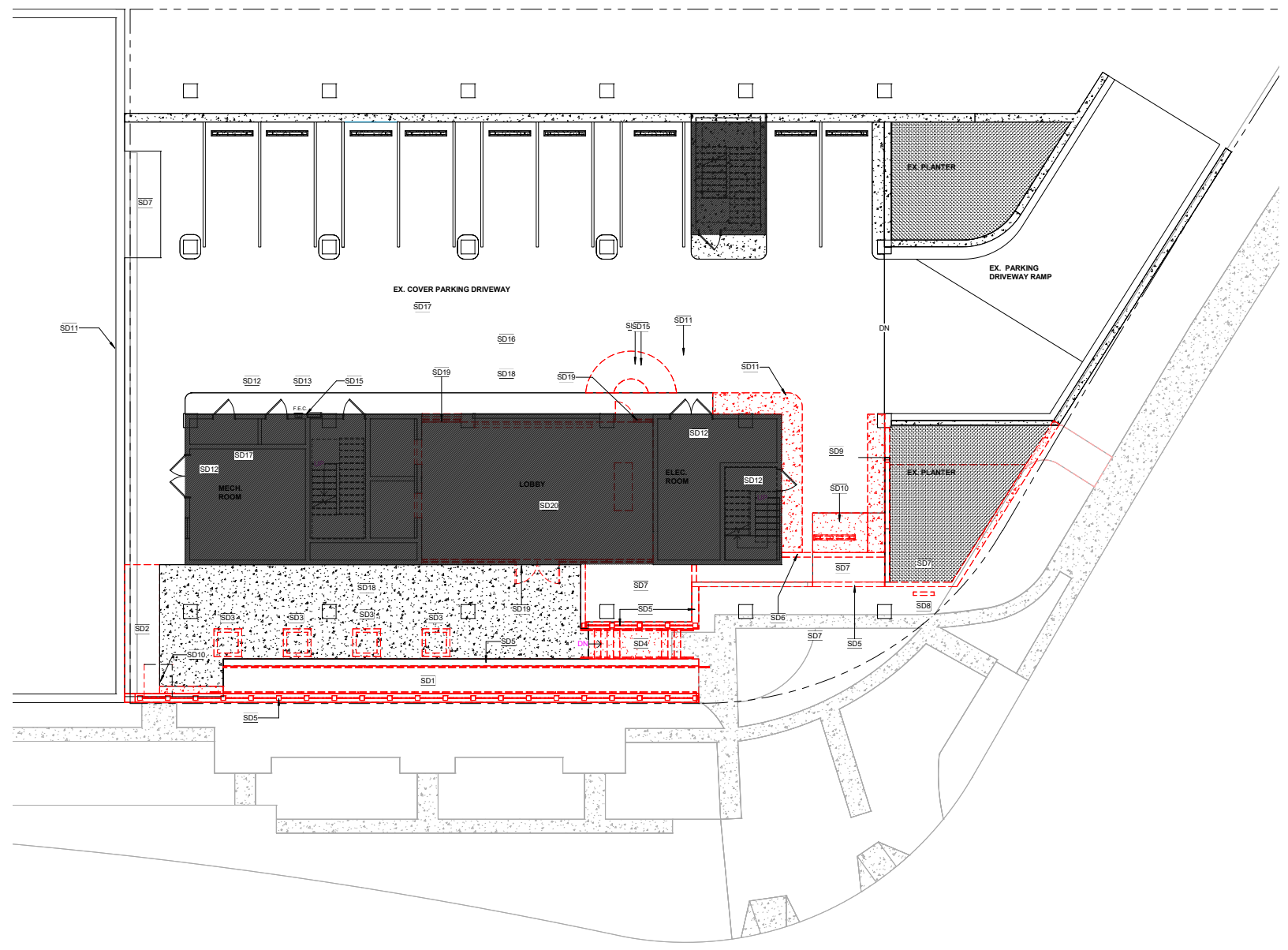
ISSUES	DESCRIPTION	REVISION NUMBER	DATE

FILE INFORMATION
Project 9768.00
Drawn CV
Checked Checker
Project DRB
Phase:

SHEET NAME
DEMO SITE PLAN

AD-100
SCALE
1/8" = 1'-0"

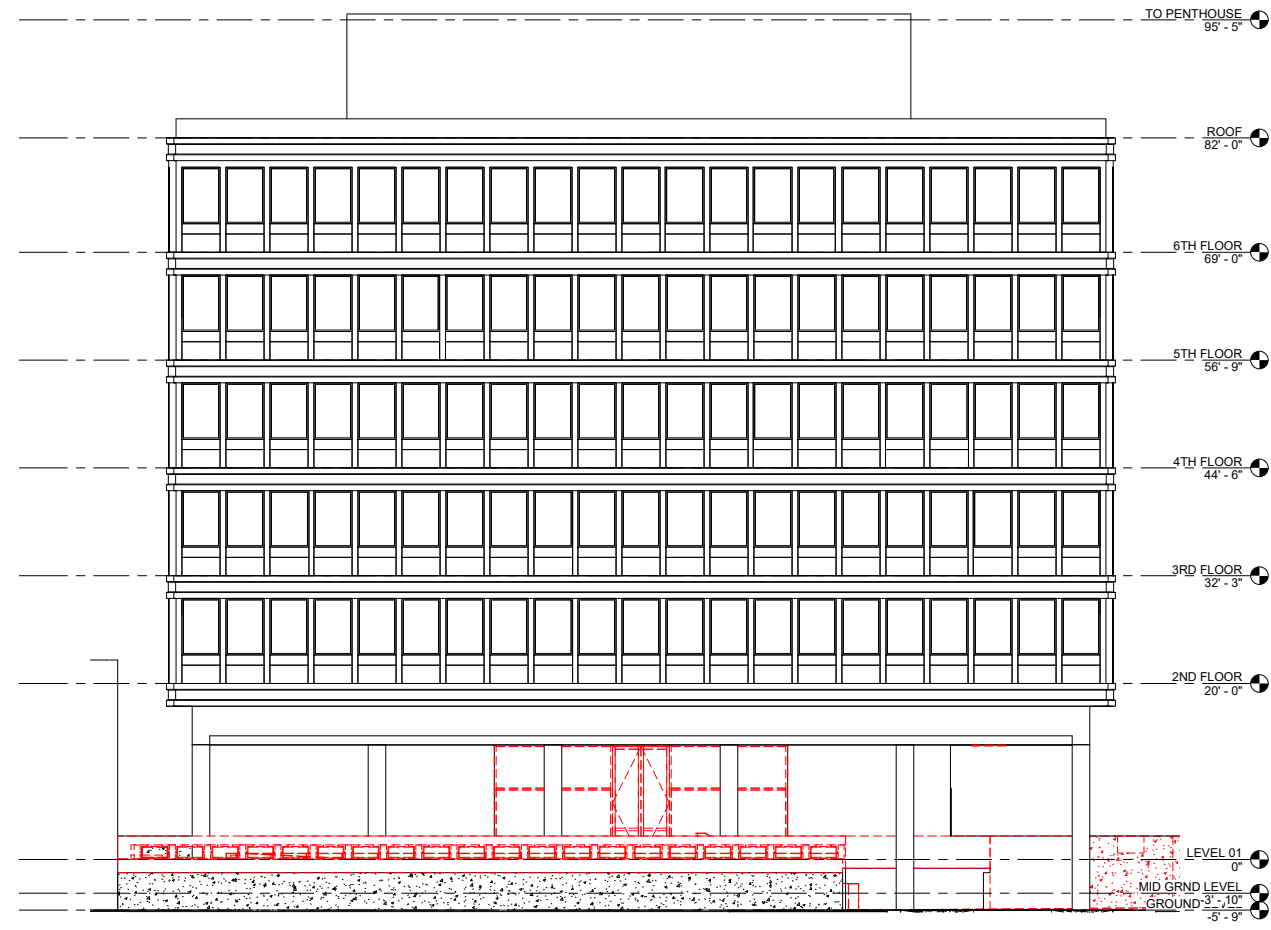
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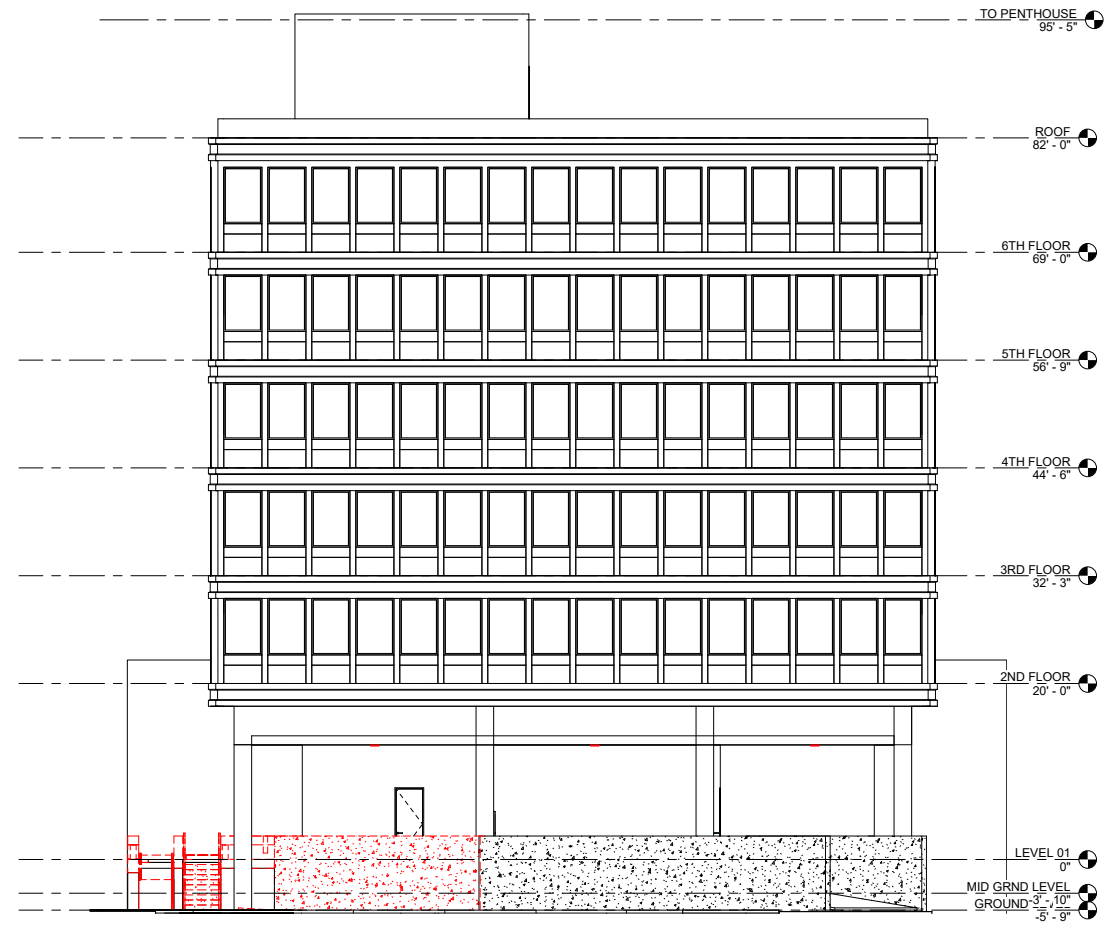
KEY NOTES - SITE DEMOLITION

SD1	REMOVE EXISTING CONCRETE RAMP AND RAILINGS. REFER TO SECTIONS.
SD2	REMOVE EXISTING PLANTER AND CONCRETE CAP. PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
SD3	CONTRACTOR SHALL REMOVE ALL MATERIALS ABOVE CEILING NOT SPECIFICALLY INDICATED TO REMAIN. ALL UNUSED WIRING, CABLES, CONDUIT, ETC. SHALL BE REMOVED AND STRIPPED BACK TO ORIGINAL SOURCE. THIS INCLUDES DATA CABLING THAT WILL NOT BE REUSED.
SD4	REMOVE EXISTING CONCRETE STAIRS AND RAILINGS. REFER TO SECTIONS.
SD5	SELECTIVE DEMOLITION OF EXISTING RETAINING WALL. REMOVE/MODIFY WALL. REFER TO SECTIONS AND STRUCTURAL DRAWINGS.
SD6	REMOVE EXISTING CONCRETE PLANTER WALL. REFER TO SECTIONS.
SD7	EXISTING HARDSCAPE/LANDSCAPE AREA TO BE REMOVE/MODIFIED. PREPARE SURFACES AS NEEDED. REFER TO NEW SCOPE.
SD8	REMOVE TERRAZZO AND 801 SIGNAGE. PATCH AND REPAIR SURFACE.
SD9	EXISTING PARKING AND WHEELSTOP TO BE REMOVED.
SD10	REMOVE PORTION OF SLAB, AS NEEDED. REFER TO NEW SCOPE.
SD11	REMOVE EXISTING CONCRETE CURB AND CURB RAMP. PREPARE SURFACE TO RECEIVE NEW FINISHES.
SD12	EXISTING EXTERIOR DOOR/FRAME/HARDWARE & LOUVERED OPENINGS TO REMAIN. INSPECT, PATCH, REPAIR & FINISH PAINT TO LOOK LIKE NEW. REPLACE WITH NEW, AS NEEDED.
SD13	EXTERIOR HOSE RACK CABINET AND FIRE EXTINGUISHER TO BE REPLACED. PROVIDE NEW FLUSH CABINETS.
SD15	EXISTING WATER VALVE LINE TO BE INSPECTED AND VERIFY IF WORKING. IF ABANDONED, REMOVE PATCH, REPAIR AND PREPARE SURFACE TO RECEIVE NEW FINISH.
SD16	REPLACE ALL FIRE SPRINKLER HEADS WITH NEW CONCEALED HEADS, COORDINATE WITH NEW FINISHES. REFER TO ENGINEER DRAWINGS.
SD17	ALL PARKING STRIPES TO BE RE-STRIPPED.
SD18	EXISTING FLOOR FINISH TO BE REMOVED, PATCH, REPAIR, AND PREPARE SURFACES TO RECEIVE NEW FINISH. MAINTAIN EXISTING FLOOR SLOPE.
SD19	REMOVE EXISTING STOREFRONT SYSTEM. REPLACE WITH NEW.
SD20	INTERIOR DEMO SCOPE ON INTERIOR DEMO SHEETS.

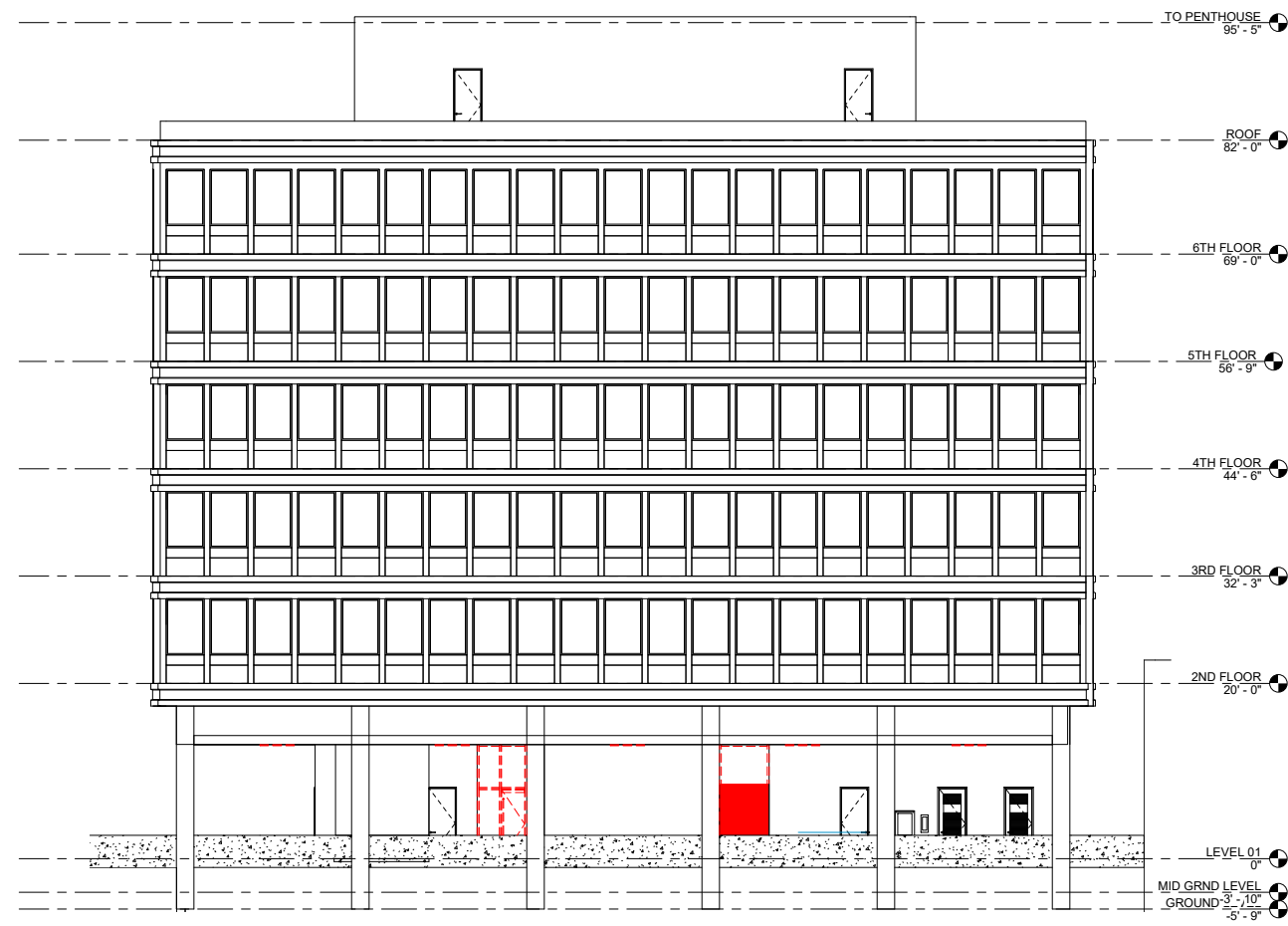
1 DEMO SITE PLAN
1/8" = 1'-0"



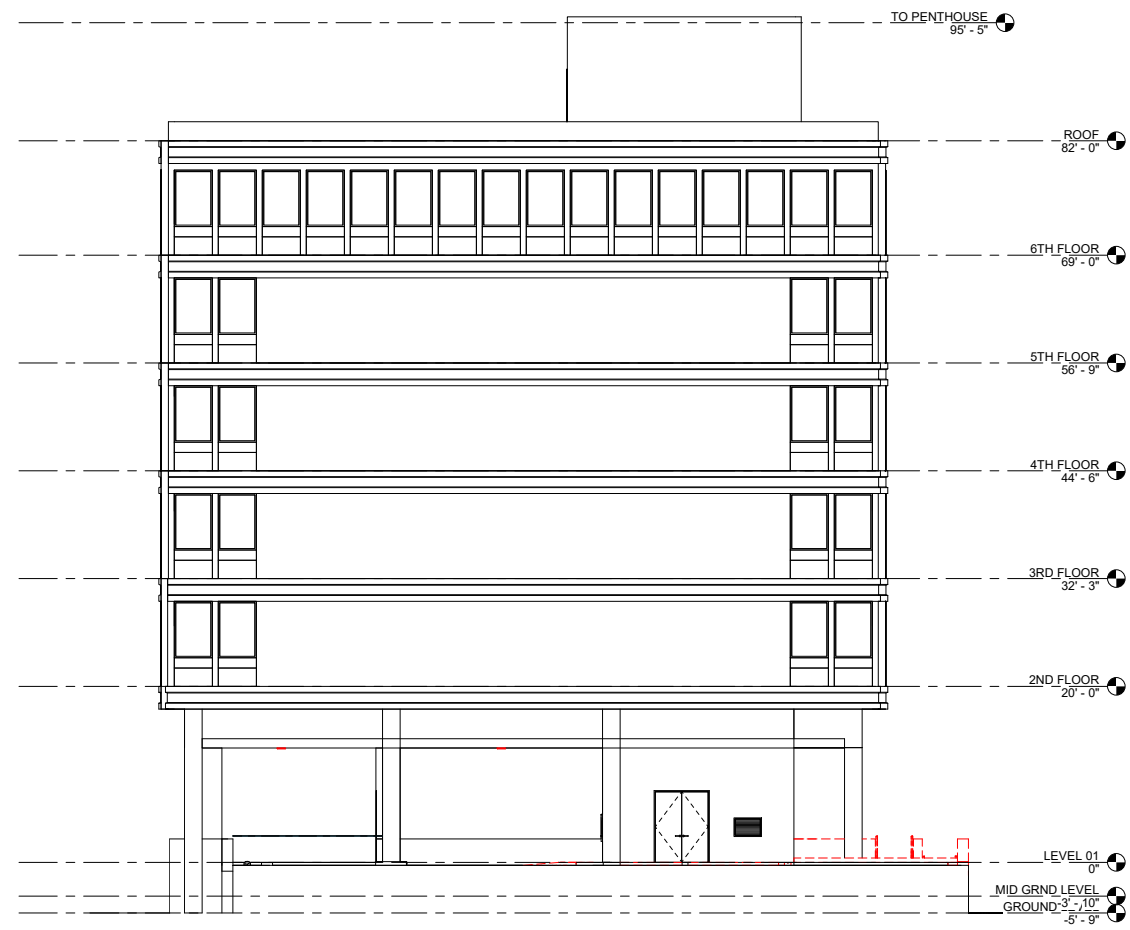
1 EXISTING EXTERIOR SOUTH ELEVATION
1/8" = 1'-0"



2 EXISTING EXTERIOR EAST ELEVATION
1/8" = 1'-0"



3 EXISTING EXTERIOR NORTH ELEVATION
1/8" = 1'-0"



4 EXISTING EXTERIOR WEST ELEVATION
1/8" = 1'-0"

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PRICING DEMO EXTERIOR
ELEVATIONS

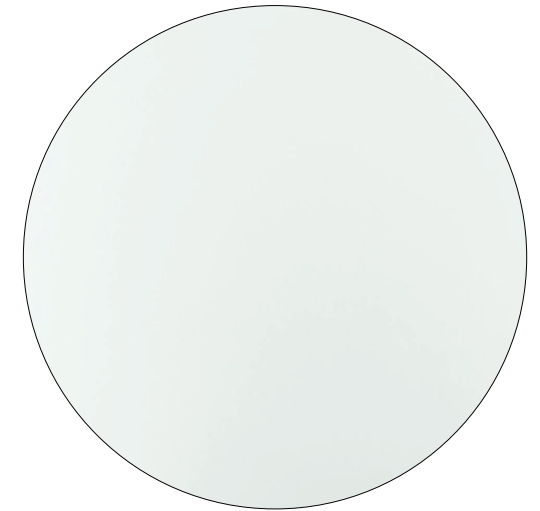


SCALE
1/8" = 1'-0"

AD-102

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7 SHERWIN WILLIAMS
SW 7006
EXTRA WHITE



6 PAC-CLAD
FLUSH PANELS
LUXORE DYNASTY
(OR SIMILAR)



1 METAL SLATS
GUARD RAIL
MATCH CLADDING WALL FINISH
(OR SIMILAR)



2 ALUMINUM LETTER
BACK LIT
SURFACE MOUNTED



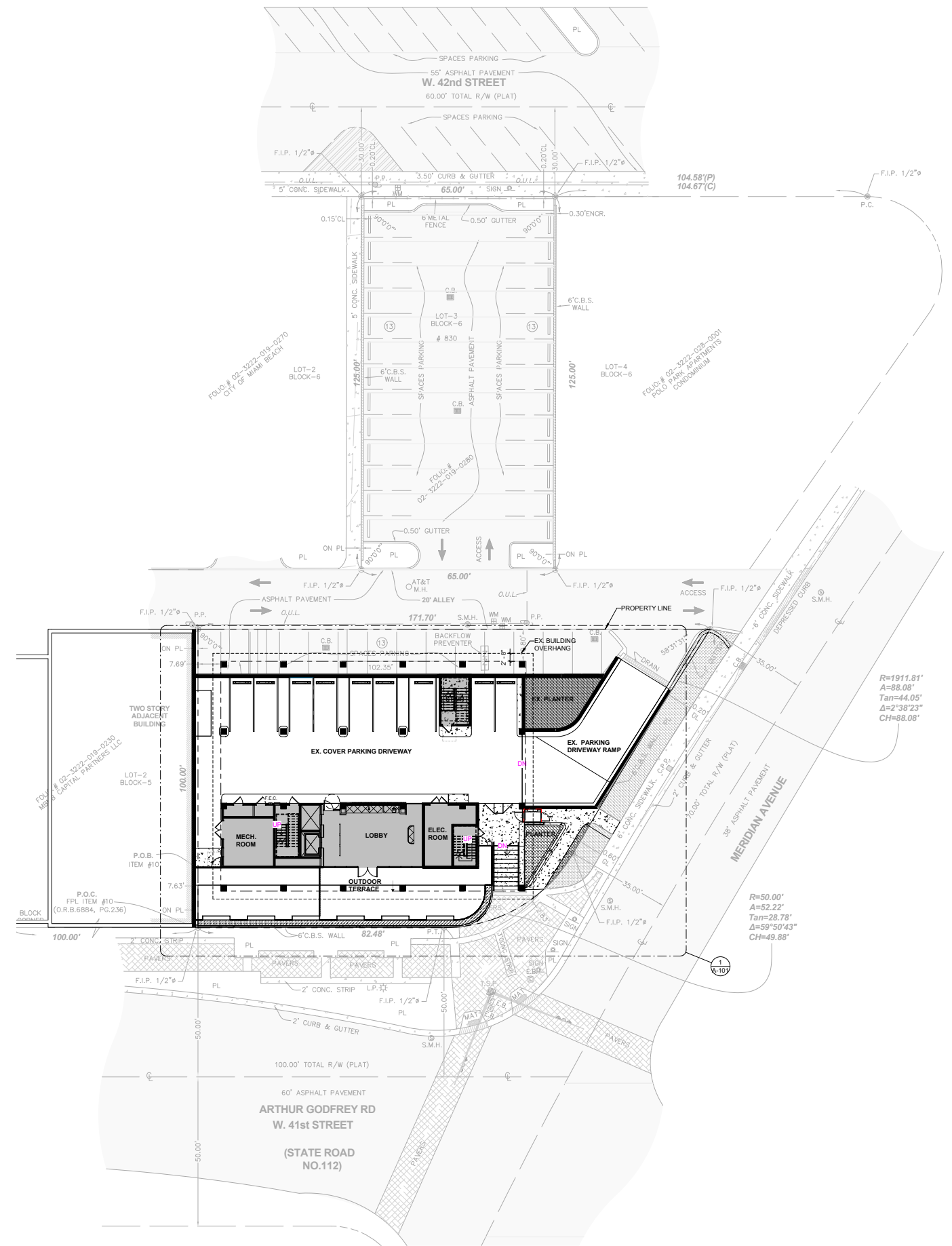
3 CONCRETE STAIR
UNDERSIDE LIT



4 CONCRETE
SMOOTH FINISH
SEALED & FLAT PROFILE HANDRAIL



5 ALUMINUM SLATS
RENSON - LINARTE - EVEN
MATT RAL 1019 GREY BEIGE FINISH
(OR SIMILAR)



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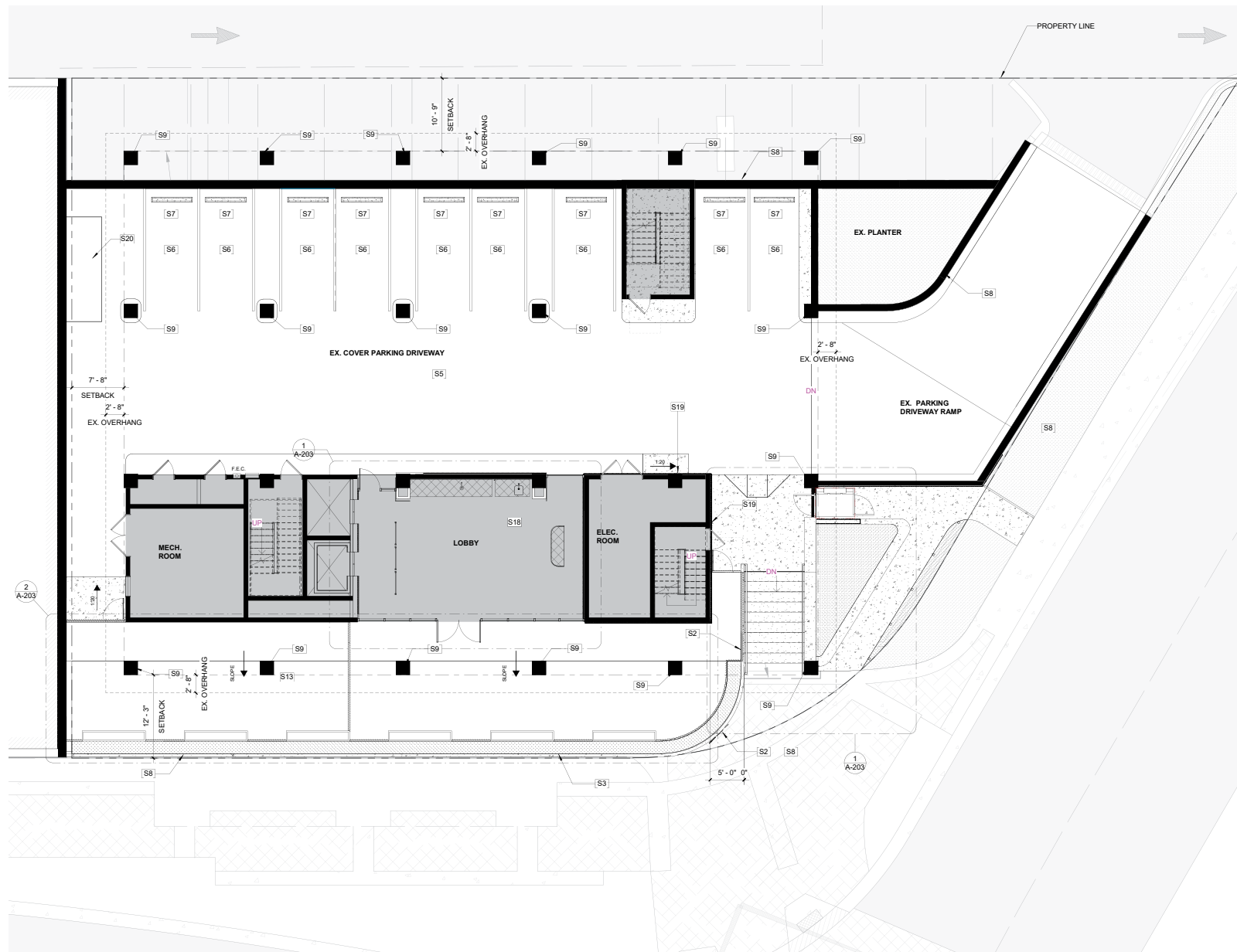
FILE INFORMATION
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Drawn OV
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SHEET NAME
SITE PLAN

SCALE
As Indicated
A-100

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1 SITE PLAN
1/16" = 1'-0"



GENERAL NOTES - CONSTRUCTION

- 2 GENERAL CONTRACTOR TO VERIFY EXTENT EXISTING CONSTRUCTION IN FIELD. GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY AS-BUILT CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED FROM THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- 3 ANY DAMAGE TO THE NEW OR EXISTING CONSTRUCTION CAUSED BY THE GENERAL CONTRACTOR'S NEGLIGENCE, INADEQUATE PROTECTION, OR INADEQUATE SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.
- 4 PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE GENERAL CONTRACTOR SHALL PROVIDE "CHALK LINE" LAYOUT OF THE FOLLOWING ITEMS FOR THE ARCHITECT'S ON-SITE APPROVAL: PARTITION LAYOUT WITH DOOR AND DOOR SWING LOCATIONS, OUTLET AND TELEPHONE LOCATIONS, SWITCH AND SWITCH BANK LOCATIONS, TRANSFORMER, PANEL, AND SUPPLEMENTAL MECHANICAL EQUIPMENT LOCATIONS, CEILING SOFFIT LOCATIONS, MOVABLE PARTITION TRACK LAYOUTS, VAN BOXES AND LIGHTING LAYOUTS FOR RECEPTION AREAS, CONFERENCE ROOMS, AND MAJOR PUBLIC SPACES.
- 5 GENERAL CONTRACTOR TO COORDINATE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 6 GENERAL CONTRACTOR TO ARRANGE AND MODIFY ALL EXISTING NON-VISIBLE MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO ENSURE ADEQUATE CLEARANCE FOR CEILING INSTALLATION AS SHOWN. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 7 ALL HOLES IN SLABS ARE TO BE FILLED WITH CODE-COMPLIANT FILLER. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING SPECS FOR SLAB PENETRATION FIRE-STOP REQUIREMENTS. MAINTAIN THE EXISTING FLOOR SLAB RATING AT ALL FLOOR SLAB PENETRATIONS AS REQUIRED BY U.L. DESIGN GUIDELINES.
- 8 GENERAL CONTRACTOR TO FLASH PATCH ALL FLOORS AS REQUIRED TO RESTORE CONCRETE FLOORING TO LIKE NEW AND LEVEL CONDITION TO SATISFY ALL ASSEMBLY AND INSTALLATION REQUIREMENTS.
- 9 GENERAL CONTRACTOR TO PATCH ALL SURFACES TO MATCH ADJACENT SURFACES IN A MANNER SUITABLE TO RECEIVE FINISHES.
- 11 ALL NEW DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE, UNLESS NOTED OTHERWISE.
- 17 ALL UNFINISHED BASE BUILDING CORE WALLS, PERIMETER WALLS, OR COLUMNS ARE TO BE FURRED OUT WITH GYPSUM BOARD.
- 20 ALL DOORS, MILLWORK, DEVICES, ETC. SCHEDULED TO REMAIN ARE TO BE CLEANED, TESTED, SERVICED IF REQUIRED, AND RESTORED TO FULL OPERATING CONDITION. FINISHES TO BE REPAIRED AND RESTORED TO LIKE NEW CONDITION.
- 21 POROUS OR FIBROUS MATERIALS AND OTHER MATERIALS SUBJECT TO MOISTURE DAMAGE SHALL BE PROTECTED FROM MOISTURE DURING THE CONSTRUCTION PHASE. MATERIAL DAMAGED BY MOISTURE OR THAT ARE VISIBLY COLONIZED BY FUNGI EITHER PRIOR TO DELIVERY OR DURING THE CONSTRUCTION PHASE SHALL BE CLEANED AND DRIED OR, WHERE DAMAGE CANNOT BE CORRECTED BY SUCH MEANS, SHALL BE REMOVED AND REPLACED.

KEY NOTES - SITE PLAN

KEY	NOTE
S2	NEW RETAINING WALL
S3	NEW PLANTER AREA, PROVIDE IRRIGATION & LIGHTING
S5	COVER PARKING DRIVEWAY AND CURBS TO BE PAINTED, COLOR FINISH TBD
S6	EXISTING PARKING STRIPES TO BE RE-STRIPE
S7	EXISTING WHEELSTOP TO BE PAINTED, COLOR FINISH TBD
S8	EXISTING & NEW RETAINING WALLS TO RECEIVE NEW FINISH
S9	EXISTING COLUMNS TO RECEIVE NEW FINISH
S13	EXTERIOR TERRACE TO RECEIVE NEW FLOOR FINISH, G.C TO MAINTAIN EXISTING SLOPE.
S18	INTERIOR IMPROVEMENTS SCOPE ON INTERIOR CONSTRUCTION SHEETS.
S19	NEW SLATTED CLADDING ON EXISTING EXTERIOR WALLS
S20	PATCHED CONCRETED AREA

1 PRICING SITE PLAN
1/8" = 1'-0"

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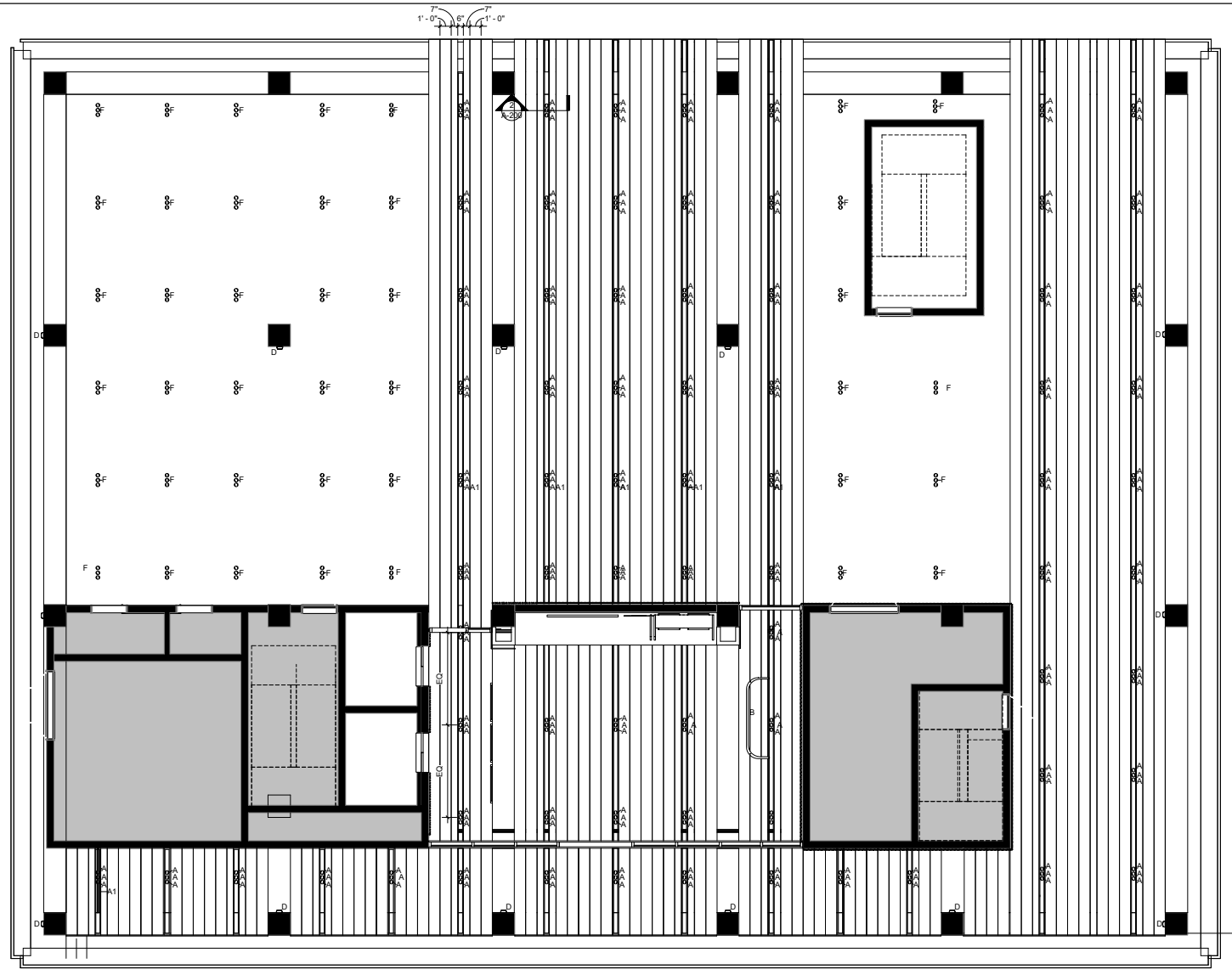
ENLARGE SITE PLAN



SCALE
1/8" = 1'-0"

A-101

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1 GROUND FLOOR RCP
3/16" = 1'-0"

GENERAL NOTES - REFLECTED CEILING PLAN

- 4 GENERAL CONTRACTOR & SUBCONTRACTOR TO THOROUGHLY REVIEW ARCHITECTURAL AND ENGINEERING DOCUMENTS AND TO NOTIFY ARCHITECT AND ENGINEER IN WRITING IMMEDIATELY OF DISCREPANCIES FOR RESOLUTION PRIOR TO SUBMISSION OF BID AND TO PROCEEDING WITH WORK.
- 5 GENERAL CONTRACTOR TO REVIEW COORDINATION OF MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND NOTIFY ARCHITECT AND ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCY, PRIOR TO SUBMISSION OF BID AND TO PROCEEDING WITH WORK.
- 6 GENERAL CONTRACTOR AND SUBCONTRACTORS TO THOROUGHLY VERIFY AND COORDINATE ALL CONDITIONS IN FIELD INCLUDING ELECTRICAL PANEL CAPACITY, LOCATION AND CLEARANCES AT MECH DUCTS, ELECTRICAL ITEMS, SPRINKLERS AND ASSOCIATED PIPING AND SLAB HEIGHTS. NOTIFY ARCHITECT AND ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCY, PRIOR TO SUBMISSION OF BID AND TO PROCEEDING WITH WORK.
- 7 GENERAL CONTRACTOR TO VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY "AS-BUILT" CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED FROM THE CONSTRUCTION DOCUMENTS, PRIOR TO COMMENCEMENT OF WORK.
- 12 GENERAL CONTRACTOR TO VERIFY AVAILABILITY AND QUANTITY OF FIXTURES NOTED TO BE RELOCATED. IF A NEW FIXTURE IS REQUIRED, IT IS TO MATCH EXISTING.
- 13 ALL DEVICES AND EQUIPMENT SCHEDULED TO REMAIN ARE TO BE CLEANED, TESTED, SERVICED IF REQUIRED, AND RESTORED TO FULL OPERATING CONDITION. ALL REUSED LIGHTING FIXTURES TO BE CLEANED AND RE-LAMPED.
- 14 ANY DAMAGE TO THE NEW OR EXISTING CONSTRUCTION CAUSED BY THE GENERAL CONTRACTOR'S NEGLIGENCE, INADEQUATE PROTECTION, OR INADEQUATE SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.
- 15 FOR ADDITIONAL INFORMATION REGARDING LIGHT FIXTURE SPECIFICATIONS, REFER TO ENGINEERING DRAWINGS.
- 16 FOR EMERGENCY LIGHTING LOCATIONS REFER TO ENGINEERING DRAWINGS.
- 17 FOR EXIT SIGN LOCATIONS & SPECIFICATIONS REFER TO ENGINEERING DRAWINGS. ALL EXIT SIGNS ARE TO BE LOCATED IN THE CENTER OF A CEILING TILE, UNLESS NOTED OTHERWISE.
- 18 REFER TO MEP DRAWINGS FOR LOCATIONS AND TYPES OF EXIT SIGNS, STROBES, AND PULLS. ALL EXIT SIGNS TO BE CENTERED ON HALLWAYS AND/OR OPENING, UNLESS OTHERWISE NOTED.
- 19 REFER TO MEP ENGINEERING DOCUMENTS FOR LOCATIONS OF SUPPLY AND RETURN AIR DIFFUSERS, THERMOSTATS, EXIT LIGHTS AND LIFE SAFETY EQUIPMENT.
- 21 UNLESS NOTED OTHERWISE, REFER TO THE ENGINEERING DRAWINGS FOR LIGHT SWITCHING & LIGHT SWITCH LOCATIONS.
- 22 ALL HOLES IN SLABS ARE TO BE FILLED WITH CODE-COMPLIANT FILLER. REFER TO MEP SPECS FOR SLAB PENETRATION FIRE-STOP REQUIREMENTS. MAINTAIN THE EXISTING FLOOR AND CEILING SLAB RATINGS AT ALL SLAB PENETRATIONS AS REQUIRED BY UL DESIGN GUIDELINES.

RCP SYMBOLS

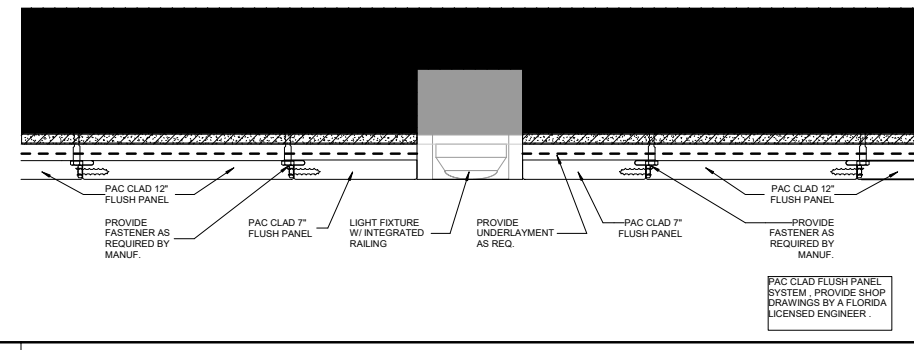
- EXPOSED CEILING TO UNDERSIDE OF UPPER SLAB. REMOVE ALL EXISTING UNUSED WIRING, DUCTWORK, ETC. DUCTWORK/HARDWARE TO BE AT A MINIMUM IN THIS AREA. ALL WIRING TO BE AT A MINIMUM IN THIS AREA, AND BUNDLED TO THE MINIMUM POSSIBLE CODE-COMPLIANT DIMENSIONS. PATCH ALL SLAB HOLES WITH CODE-COMPLIANT FILLER, SKIM COAT ALL ROUGH AREAS. ALL DUCTWORK, HARDWARE, ETC. AND SLAB TO BE PAINTED (SEE FINISH SCHEDULE).
- NIC.
- NEW METAL PANEL @ 13'-0" FLUSH TO EXISTING GWB CEILING UNLESS NOTED OTHERWISE. SPEC: PAC-CLAD FLUSH/REVEAL SOFFIT SYSTEM. COLOR TBD. REFER TO DWGS FOR DIMENSIONS.
- EXISTING GWB CEILING @ 13'-0" AFF. UNLESS NOTED OTHERWISE. PAINT P1 (SEE FINISH SCHEDULE), UNLESS NOTED OTHERWISE.
- NEW LIGHT FIXTURE, LETTER INDICATES FIXTURE TYPE.
- EXISTING LIGHT FIXTURE TO BE REMOVED.

SCHEDULE - LIGHTING FIXTURES

TYPE	DESCRIPTION	LAMP	MANUFACTURER	CATALOG#	COMMENTS
A	3" HEAD RECESSED LIGHT MOUNTED IN MAGNET TRACK SYSTEM	LED	CORONET	MAG PCK 35 MED BLK FL NA	
A1	MANGET TRACK SYSTEM, RECESSED MOUNTED, BLACK FINISH, LENGTHS PER PLANS WITH FIELD VERIFICATION PRIOR TO RELEASE.	LED	CORONET	MAGR TRK X DR90 DR90 UNV NA ** BLK	
B	DECORATIVE PENDANT	LED			TBD.
C	LED UNDER STEP LIGHT STRIP	LED	KELVIX	SW3 X 35K VR * S IP67 / SW K AL CH SR 2M	
D	EMERGENCY LIGHT	LED	ACUTY	AFF PEL DWHGXD UVOLT LTP SDRT FCT	
F	3" HEAD LIGHT MODULE STANDALONE	LED	CORONET	(3) MAG PCK 35 MED BLK FL NA/ MAGR TRK 1FT DR90 UNV NA ** BLK	
G	LED UNDERCABINET LIGHT STRIP	LED	KELVIX	DK 35K 24V CH502A 2 * CP EC S/V ULV36/66	
H	PLANTER LIGHTING	LED	INTERLUX		SEE SHEET A-301 FOR LOCATION.

KEY NOTES - REFLECTED CEILING PLAN

KEY	NOTE



2 CLADDING DETAIL TYP.
3" = 1'-0"

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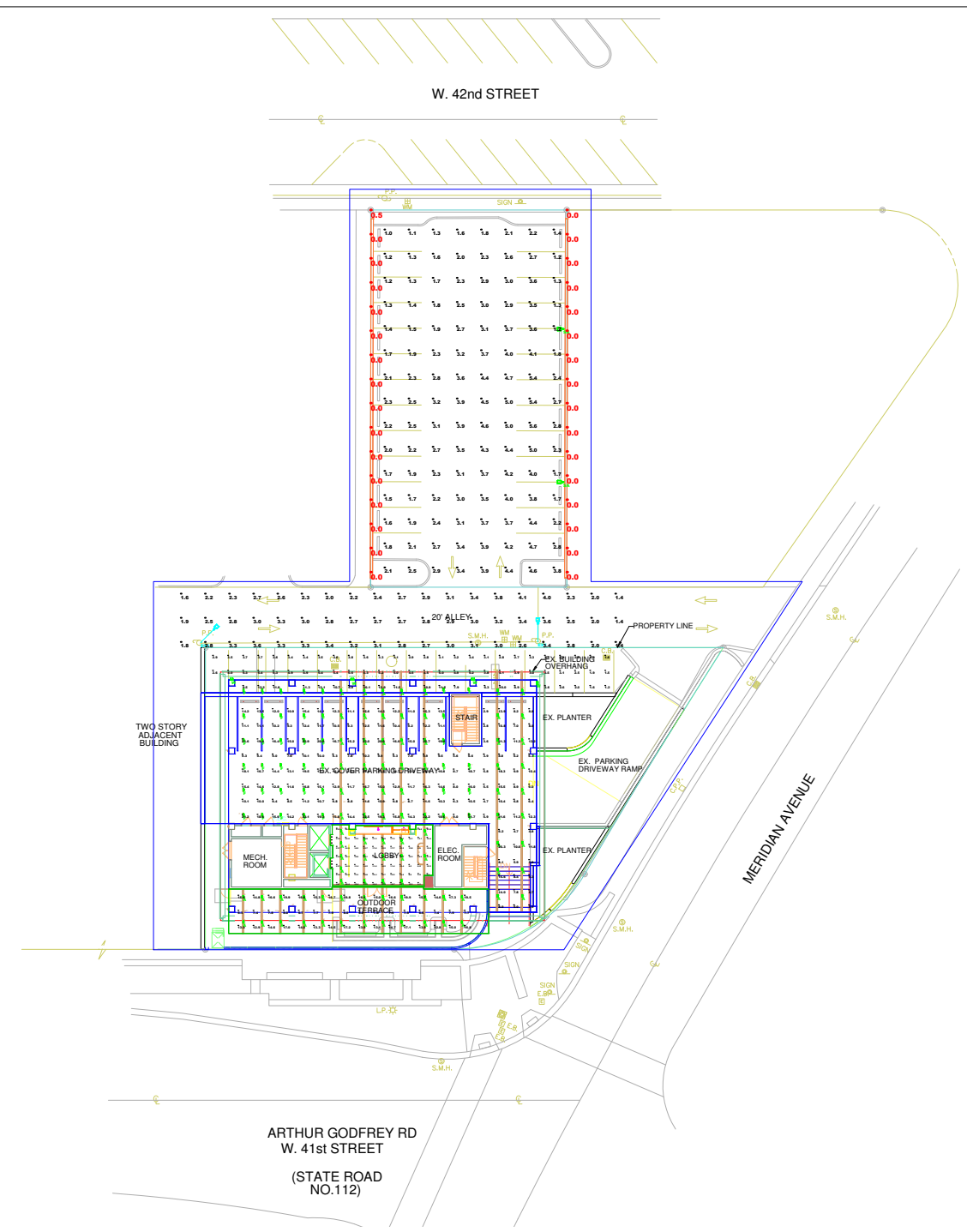
ISSUES	REVISION NUMBER	DATE
DESCRIPTION		

FILE INFORMATION

Project	9768.00
Drawn	OV
Checked	Checker
Project	DRB
Phase:	

PRICING RCP PLAN

A-200



Scale: 1 inch= 20 Ft.

DESCRIPTION:
EXTERIOR PARKING & LOBBY
NORMAL POWER
DATE:
8/4/2023

REV# 02

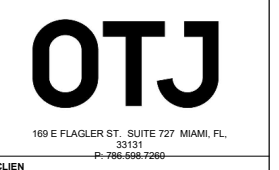
PROJECT:
801 ARTHUR GODFREY ROAD - MIAMI BEACH

SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	NOTATION	EMERGENCY	LLP	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT WATTS
TR	1	TR	MULTIPLE - 3	Coronet Inc	TRAD FOL 20 060 0LW 0LW 0LW	TRACK	NA	0.070	300	0	18
EX	1	EX	Single	Gene Lighting	EXISTING - REISS ONE 0L-007 COMPONED (LABEL #1 LED)	POLE MOUNTED APPROX 20' A.F.D.	NA	1.000	8000	60	40
TR	1	TR	MULTIPLE - 3	Coronet Inc	TRAD FOL 20 060 0LW 0LW 0LW	TRACK	NA	0.070	300	0	18
EX	1	EX	Single	U.S. ARCHITECTURAL LIGHTING	REN-0-FL-0-PT-40-00-100-00-00-00	POLE MOUNTED 20' A.F.D.	NA	0.000	10000	100.0	100.0
EX	1	EX	Single	Urban Lighting	WESLO LED P-0-00-0000-000	WALL MOUNTED 10' A.F.D.	NA	0.000	4177	10.0	40.0

LABEL	CALC TYPE	UNITS	SPACING 1-B (FT)	SPACING 2-B (FT)	HEIGHT (FT)	AVR	MAX	MIN	UNIFORM	BEARING
BLBY THRESHOLD	Photometric	Fc	1	N.A.	N.A.	10.00	10.1	9.9	1.00	1.00
EXTERIOR PARKING	Photometric	Fc	0	0	0	10.00	10.0	10.0	0.41	0.31
EXTERIOR REAR PARKING	Photometric	Fc	0	0	0	0.00	10.0	1.0	0.17	0.17
LOBBY	Photometric	Fc	2	2	0	10.07	10.0	10.0	0.76	0.60
OUTDOOR LOBBY	Photometric	Fc	0	0	0	10.06	10.0	10.0	0.86	0.76
REAR PARKING LOT	Photometric	Fc	0	0	0	0.00	0.0	1.0	0.31	0.30
ALLEY	Photometric	Fc	0	0	0	0.76	0.1	1.4	1.00	0.50
DRILL - ADJ PARKING LOT	Photometric	Fc	0	N.A.	N.A.	0.00	0.0	0.0	N.A.	N.A.
DRILL - RESIDENTIAL	Photometric	Fc	0	N.A.	N.A.	0.00	0.0	0.0	N.A.	N.A.

LABEL	AREA	TOTAL WATTS	LLP
LOBBY LLP	600.00	200	0.400
OUTDOOR LOBBY LLP	1000	410	0.300

PHOTOMETRIC REPORT



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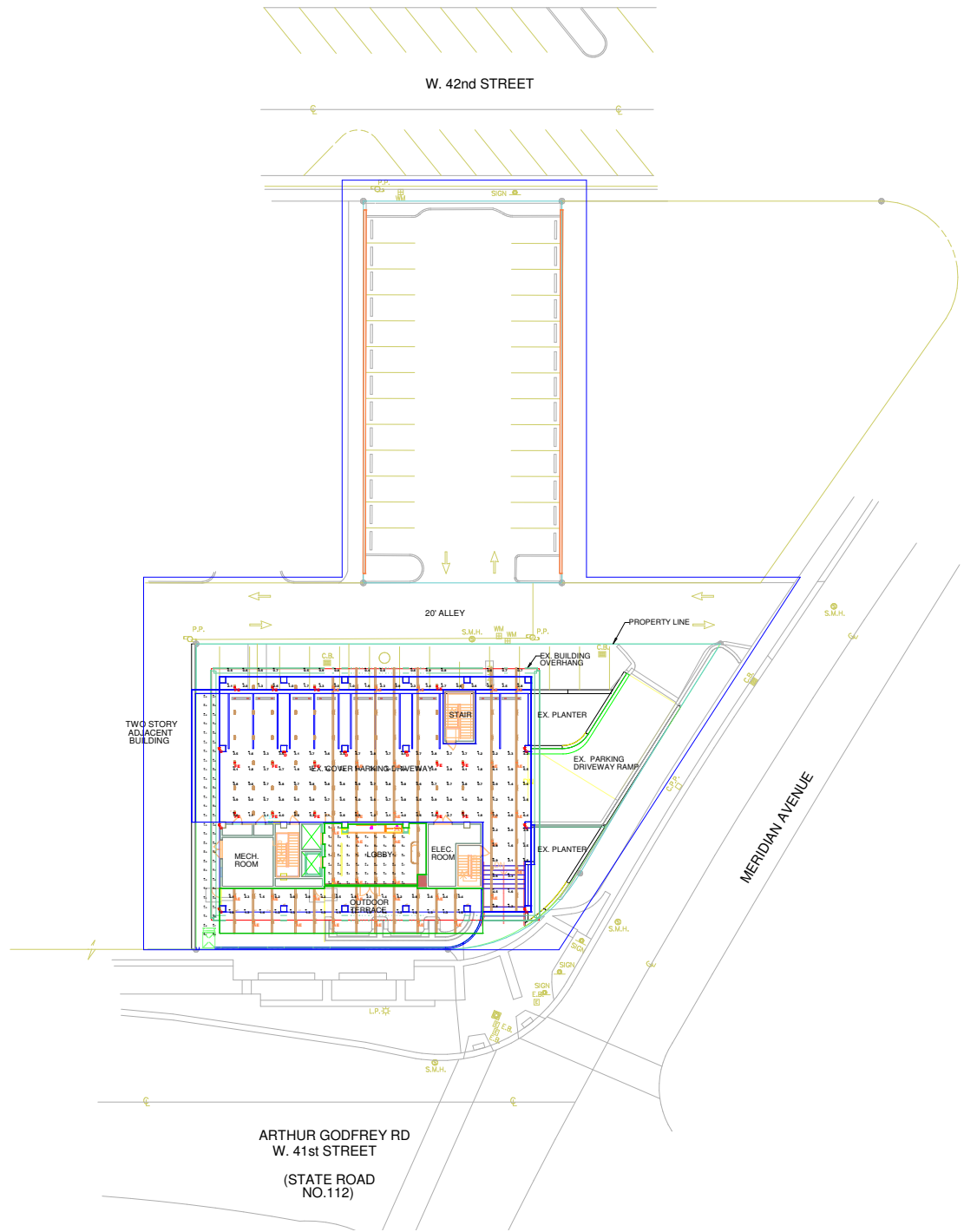
ISSUE	DESCRIPTION	REVISION NUMBER	DATE
S			

FILE INFORMATION	Project	9768.00
Drawn	Author	
Checked	Checker	
Project	PRICING	
Phase:		

SHEET NAME
PHOTOMETRICS PLAN

SCAL E As indicated
A-201





Scale: 1 inch= 20 Ft.

DESCRIPTION:
EXTERIOR PARKING & LOBBY
EMERGENCY POWER
DATE:
8/4/2023

PROJECT:
801 ARTHUR GODFREY ROAD - MIAMI BEACH



Page 1 of 1

LUMINAIRE SYMBOL											
Scale: EMERGENCY											
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT WATTS
	14	AS	Single	Eminent Inc.	866L PCK 35 WED-BLK WFL-BA	TRACK	INVERTER	0.870	300	6	6
	9	R	Single	Ultralux Lighting	459 OHL DIMMED UNVLT LTP 400T 017	WALL MOUNTED 9" A.F.C.	BATTERY	0.800	900	5.7	5.7
	14	RE	Single	Eminent Inc.	866L PCK 35 WED-BLK WFL-BA	TRACK	INVERTER	0.870	300	6	6

CALCULATION SUMMARY										
Scale: EMERGENCY										
LABEL	CALL TYPE	UNITS	SPACING L.R.(FT)	SPACING T.R.(FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
EXTERIOR PARKING EM	Horizontal	FL	5	5	6	2.93	7.3	0.5	2.06	14.50
EXTERIOR REAR PARKING EM	Horizontal	FL	5	5	6	1.40	3.4	0.4	3.00	6.00
LOBBY EM	Horizontal	FL	5	5	6	2.93	7.3	0.5	2.06	14.50
OUTDOOR LOUNGE EM	Horizontal	FL	5	5	6	2.98	6.3	0.4	3.20	13.50
PATH BETWEEN BLDGS EM	Horizontal	FL	5	5	6	1.60	3.8	0.3	3.00	6.00

LIGHTING POWER DENSITY SUMMARY			
Scale: EMERGENCY			
LABEL	AREA	TOTAL WATTS	LPD
LOBBY LPD	65.00	36	0.055
OUTDOOR LOUNGE LPD	1200	72	0.059

PHOTOMETRIC REPORT

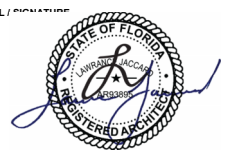
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ISSUES	REVISION NUMBER	DATE
DESCRIPTION		

FILE INFORMATION	
Project	9768.00
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Checked	Checker
Project	PRICING
Phase:	

SHEET NAME
PHOTOMETRICS EMERGENCY PLAN

SCAL E As indicated
A-202

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SEAL / SIGNATURE



ISSUES

DESCRIPTION	REVISION NUMBER	DATE

FILE INFORMATION

Project 9768.00
Drawn CV
Checked Checker
Project DRB
Phase:

SHEET NAME

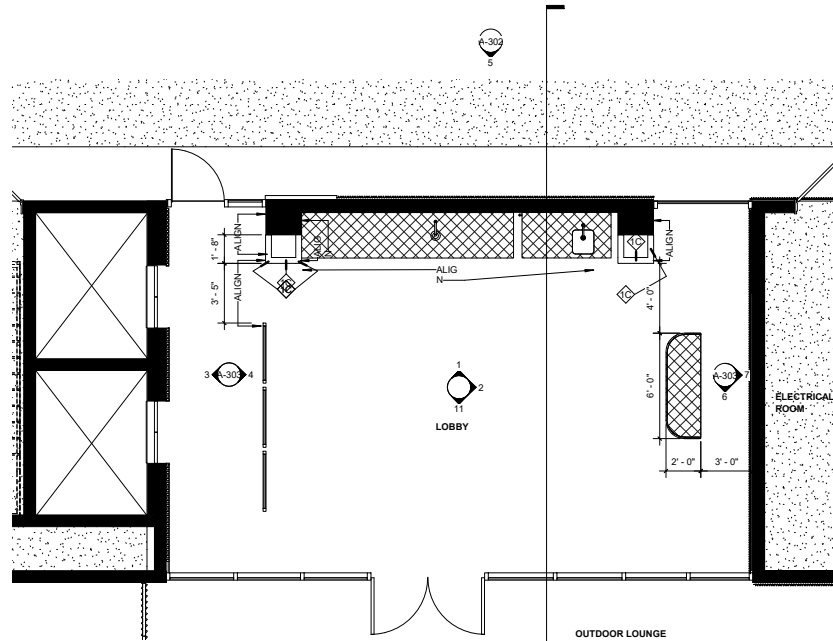
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SCALE
As indicated

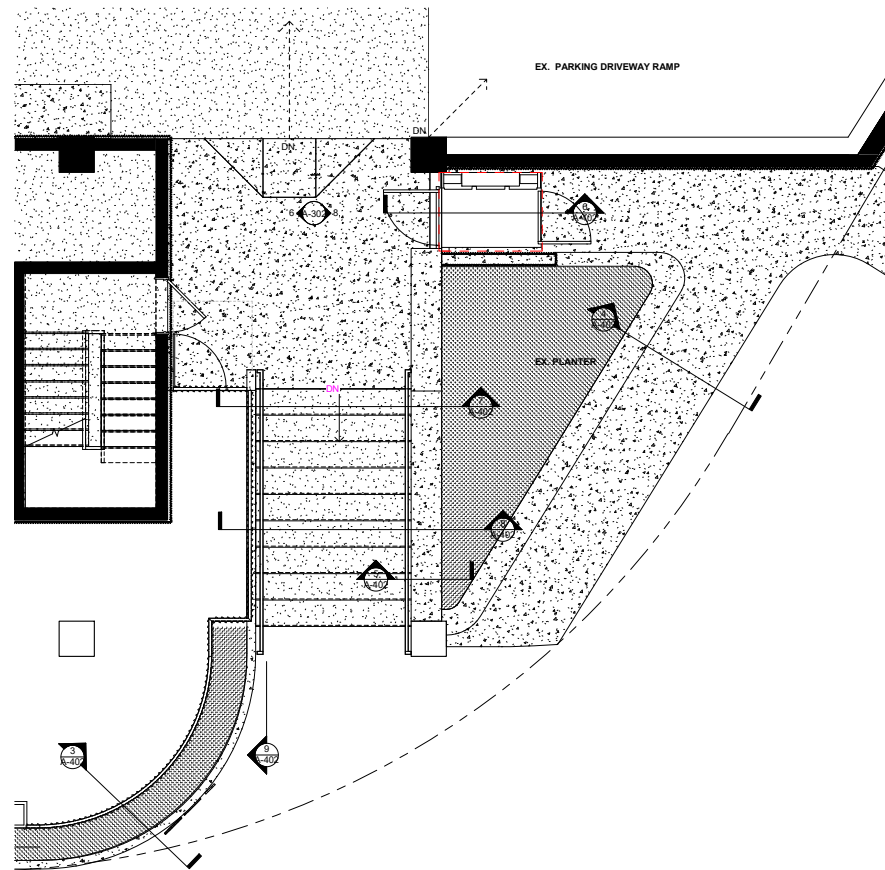
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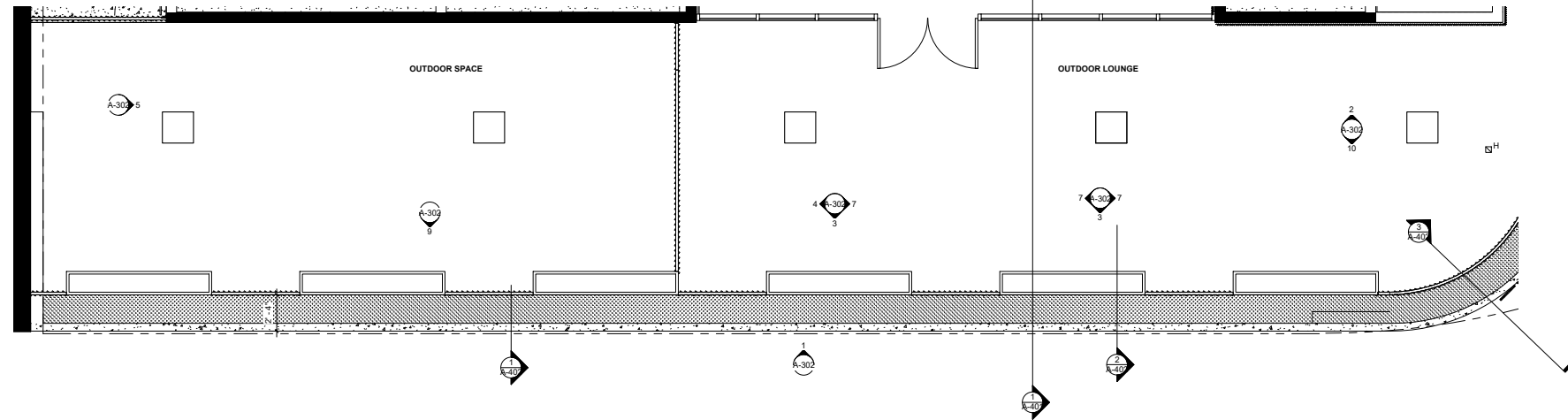
8813621511-08788-01-801_ADR-R209788.00_801_ADR_GROUND FLOOR - V2.rvt



1 LEVEL 01 PRICING PLAN
1/4" = 1'-0"



3 LEVEL 01 PRICING PLAN - STAIRS
1/4" = 1'-0"



2 LEVEL 01 PRICING PLAN - DECK
1/4" = 1'-0"

GENERAL NOTES - CONSTRUCTION

- GENERAL CONTRACTOR TO VERIFY EXTENT EXISTING CONSTRUCTION IN FIELD. GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY "AS-BUILT" CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED FROM THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- ANY DAMAGE TO THE NEW OR EXISTING CONSTRUCTION CAUSED BY THE GENERAL CONTRACTOR'S NEGLIGENCE, INADEQUATE PROTECTION, OR INADEQUATE SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE GENERAL CONTRACTOR SHALL PROVIDE "CHALK LINE" LAYOUT OF THE FOLLOWING ITEMS FOR THE ARCHITECT'S ON-SITE APPROVAL: PARTITION LAYOUT WITH DOOR AND DOOR SWING LOCATIONS, OUTLET AND TELEDATA LOCATIONS, SWITCH AND SWITCH BANK LOCATIONS, TRANSFORMER, PANEL, AND SUPPLEMENTAL MECHANICAL EQUIPMENT LOCATIONS, CEILING SOFFIT LOCATIONS, MOVABLE PARTITION TRACK LAYOUTS, WAY BOXES AND LIGHTING LAYOUTS FOR RECEPTION AREAS, CONFERENCE ROOMS, AND MAJOR PUBLIC SPACES.
- GENERAL CONTRACTOR TO COORDINATE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR TO ARRANGE AND MODIFY ALL EXISTING NON-VISIBLE MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO ENSURE ADEQUATE CLEARANCE FOR CEILING INSTALLATION AS SHOWN. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- ALL HOLES IN SLABS ARE TO BE FILLED WITH CODE-COMPLIANT FILLER. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING SPECS FOR SLAB PENETRATION FIRE-STOP REQUIREMENTS. MAINTAIN THE EXISTING FLOOR SLAB RATING AT ALL FLOOR SLAB PENETRATIONS AS REQUIRED BY U.L. DESIGN GUIDELINES.
- GENERAL CONTRACTOR TO FLASH PATCH ALL FLOORS AS REQUIRED TO RESTORE CONCRETE FLOORING TO LIKE NEW AND LEVEL CONDITION TO SATISFY ALL ASSEMBLY AND INSTALLATION REQUIREMENTS.
- GENERAL CONTRACTOR TO PATCH ALL SURFACES TO MATCH ADJACENT SURFACES IN A MANNER SUITABLE TO RECEIVE FINISHES.
- ALL NEW DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE, UNLESS NOTED OTHERWISE.
- ALL UNFINISHED BASE BUILDING CORE WALLS, PERIMETER WALLS, OR COLUMNS ARE TO BE FURRED OUT WITH GYPSUM BOARD.
- ALL DOORS, MILLWORK, DEVICES, ETC. SCHEDULED TO REMAIN ARE TO BE CLEANED, TESTED, SERVICED IF REQUIRED, AND RESTORED TO FULL OPERATING CONDITION. FINISHES TO BE REPAIRED AND RESTORED TO LIKE NEW CONDITION.
- POROUS OR FIBRIOUS MATERIALS AND OTHER MATERIALS SUBJECT TO MOISTURE DAMAGE SHALL BE PROTECTED FROM MOISTURE DURING THE CONSTRUCTION PHASE. MATERIAL DAMAGED BY MOISTURE OR THAT ARE VISIBLY COLONIZED BY FUNGI EITHER PRIOR TO DELIVERY OR DURING THE CONSTRUCTION PHASE SHALL BE CLEANED AND DRIED OR, WHERE DAMAGE CANNOT BE CORRECTED BY SUCH MEANS, SHALL BE REMOVED AND REPLACED.

CONSTRUCTION SYMBOLS

