

An aerial, black and white photograph of Miami Beach, Florida. The image shows a dense urban landscape with numerous high-rise buildings, including two prominent towers on the left. The city extends to a wide, sandy beach that meets the ocean. The sky is filled with dramatic, dark clouds. A semi-transparent dark horizontal band is overlaid across the middle of the image, serving as a background for the text.

# HOUSE OF KIRSCHNER

MIAMI BEACH, FLORIDA

NMD | NOMADAS™

PROPOSAL FOR 4410 ALTON RD PROJECT

Nominated ▼

**MCHAP** Mies  
Crown Hall  
Americas  
Prize 16/17

**"ON" PRIZE**  
OSCAR NIEMEYER AWARD

**BIAU**  
Iberoamerican Biennale  
of Architecture and Urbanism

LATINOAMERICAN  
PRIZE  
OF ARCHITECTURE  
**ROGELIO  
SALMONA**

Winner ▼

**XIVBA13**  
Bienal  
Internacional de  
Arquitectura  
de Buenos Aires

- Young Generation Award -

**GERMAN  
DESIGN  
AWARD  
2019**

- Honorable Mention for the Guaparo House -

**VIIBASC**  
INTERNATIONAL ARCHITECTURE BIENNALE OF SANTA CRUZ 2020

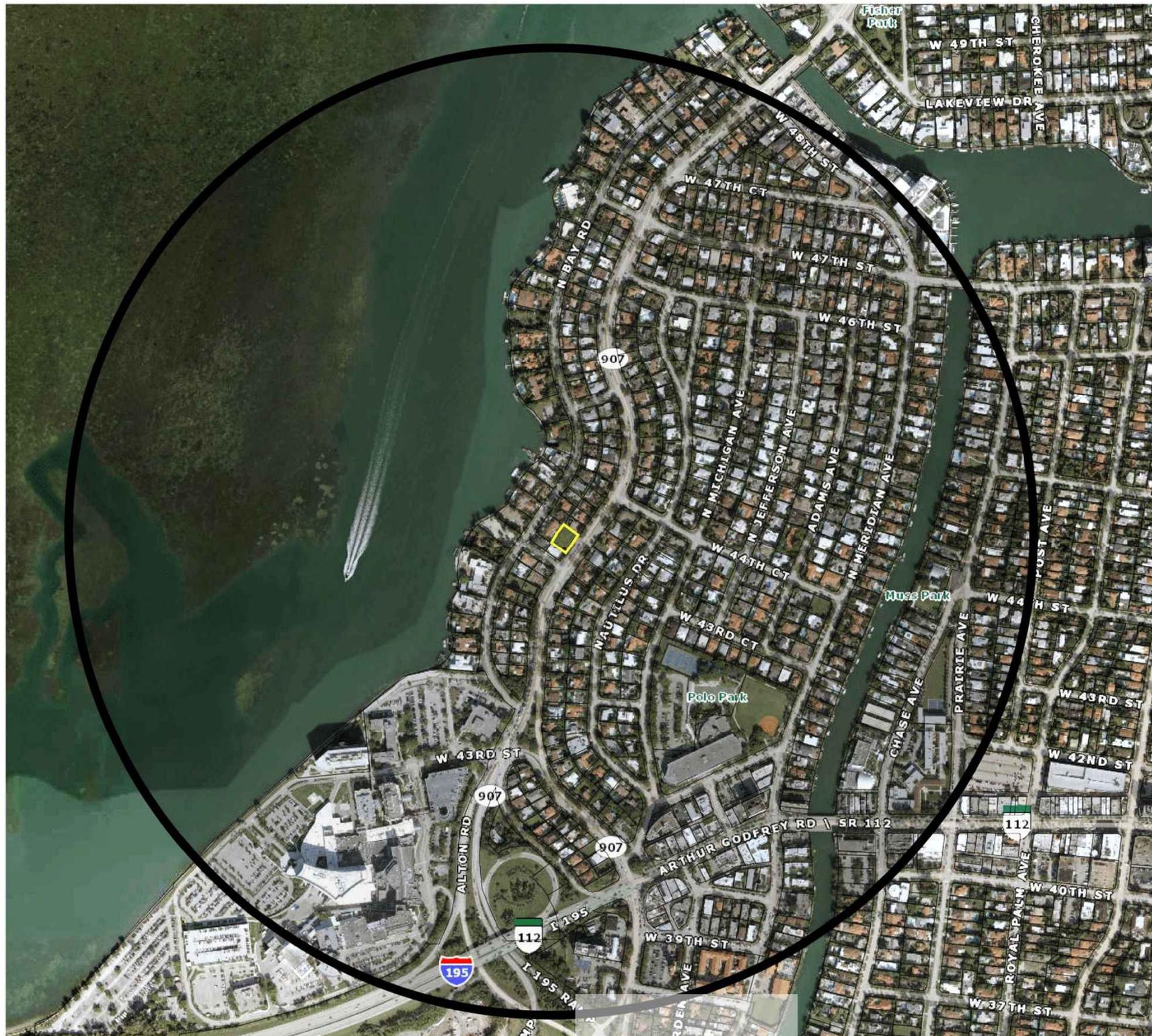
- Honorable Mention for the Guaparo House -

Invited ▼

**14. Mostra  
Internazionale  
di Architettura**  
Eventi collaterali

# HOUSE OF KIRSCHNER

## LOCATION



NORTH



# HOUSE OF KIRSCHNER

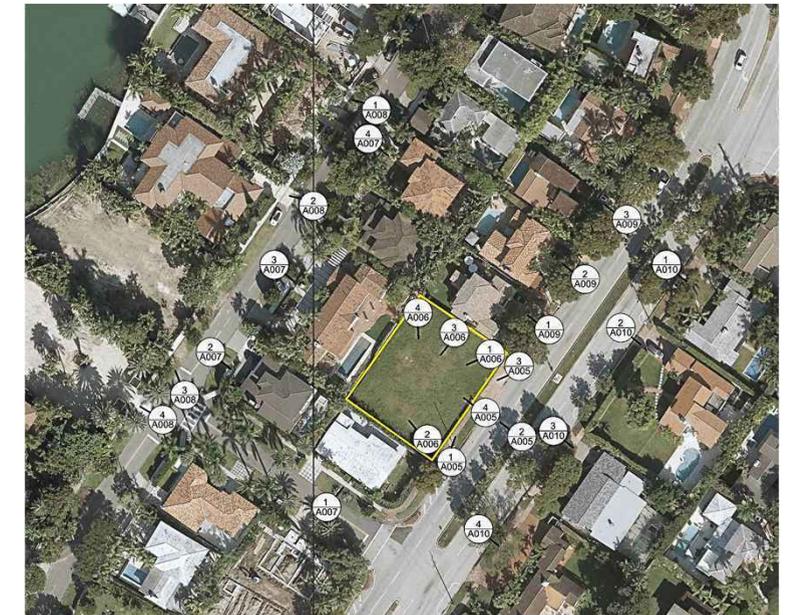
## LOT PHOTOGRAPHS



1 VIEW 1  
A005



2 VIEW 2  
A005



KEY DIRECTIONAL PLAN



3 VIEW 3  
A005



4 VIEW 4  
A005

# HOUSE OF KIRSCHNER

## LOT PHOTOGRAPHS



1 VIEW 1  
A006



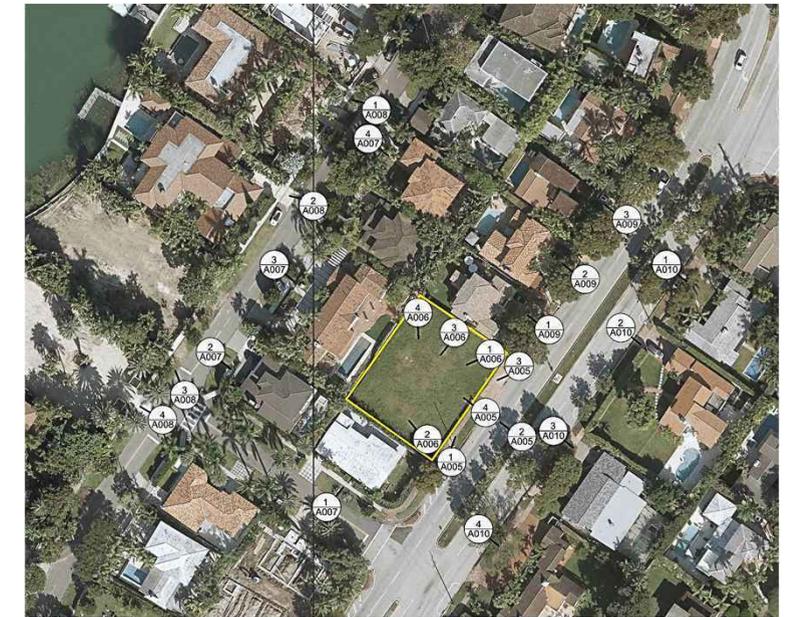
2 VIEW 2  
A006



3 VIEW 3  
A006



4 VIEW 4  
A006



KEY DIRECTIONAL PLAN



NORTH

# HOUSE OF KIRSCHNER

## LOT PHOTOGRAPHS



1 VIEW 1  
A007



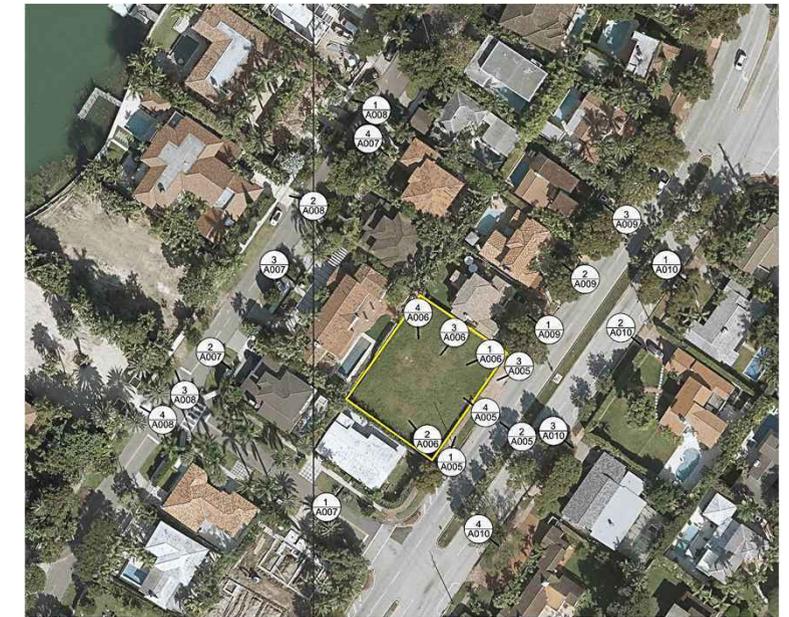
2 VIEW 2  
A007



3 VIEW 3  
A007



4 VIEW 4  
A007



KEY DIRECTIONAL PLAN



# HOUSE OF KIRSCHNER

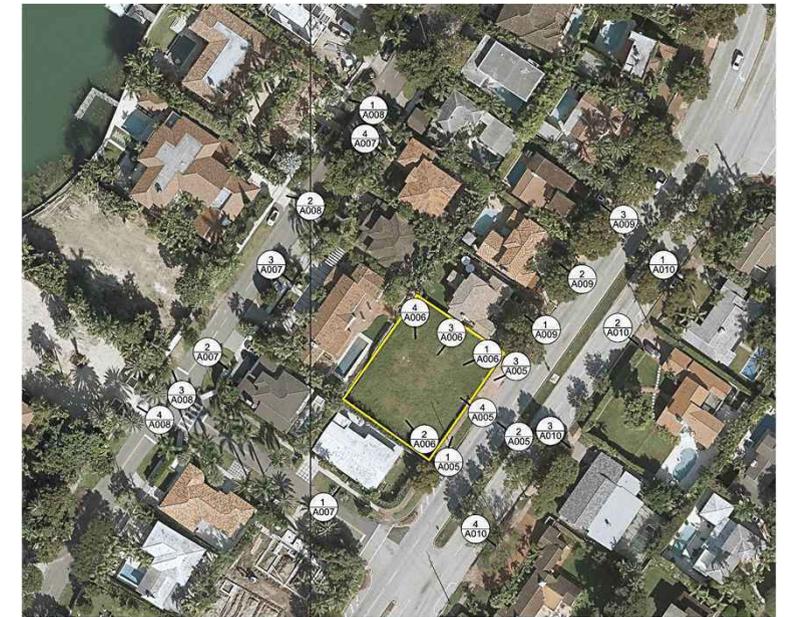
## LOT PHOTOGRAPHS



1 VIEW 1  
A008



2 VIEW 2  
A008



KEY DIRECTIONAL PLAN



3 VIEW 3  
A008



4 VIEW 4  
A008

# HOUSE OF KIRSCHNER

## LOT PHOTOGRAPHS



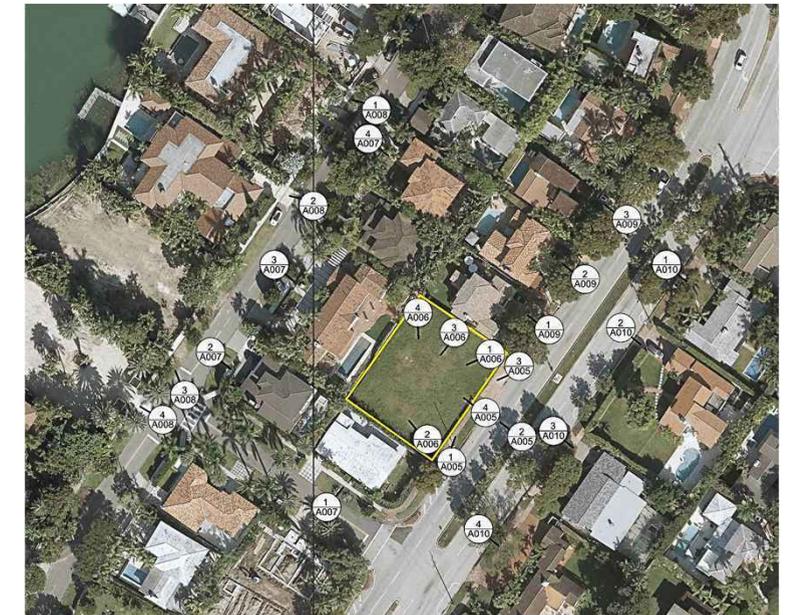
1 VIEW 1  
A009



2 VIEW 2  
A009



3 VIEW 3  
A009



KEY DIRECTIONAL PLAN



NORTH

# HOUSE OF KIRSCHNER

## LOT PHOTOGRAPHS



1 VIEW 1  
A010



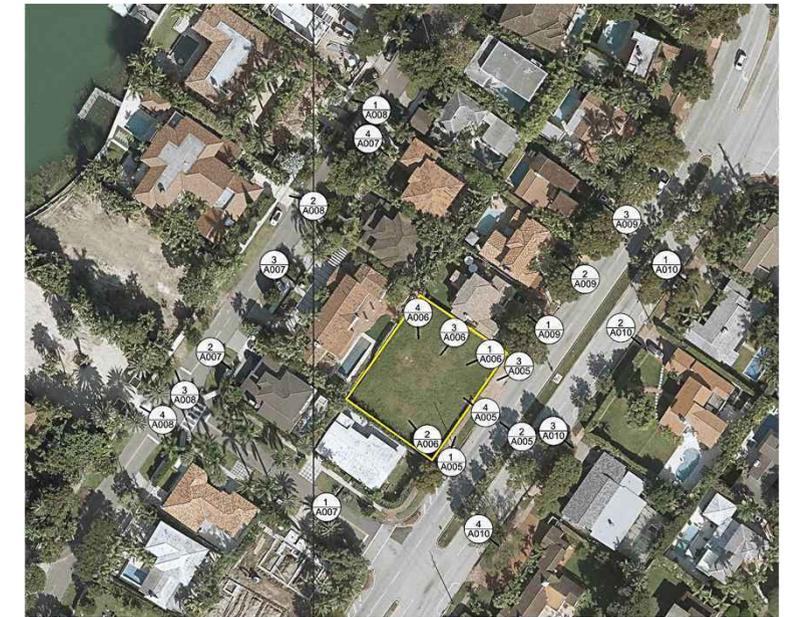
2 VIEW 2  
A010



3 VIEW 3  
A010



2 VIEW 2  
A010



KEY DIRECTIONAL PLAN



NORTH





HOUSE OF KIRSCHNER





HOUSE OF KIRSCHNER



HOUSE OF KIRSCHNER



HOUSE OF KIRSCHNER





HOUSE OF KIRSCHNER



LOT  
13  
BLOCK  
5

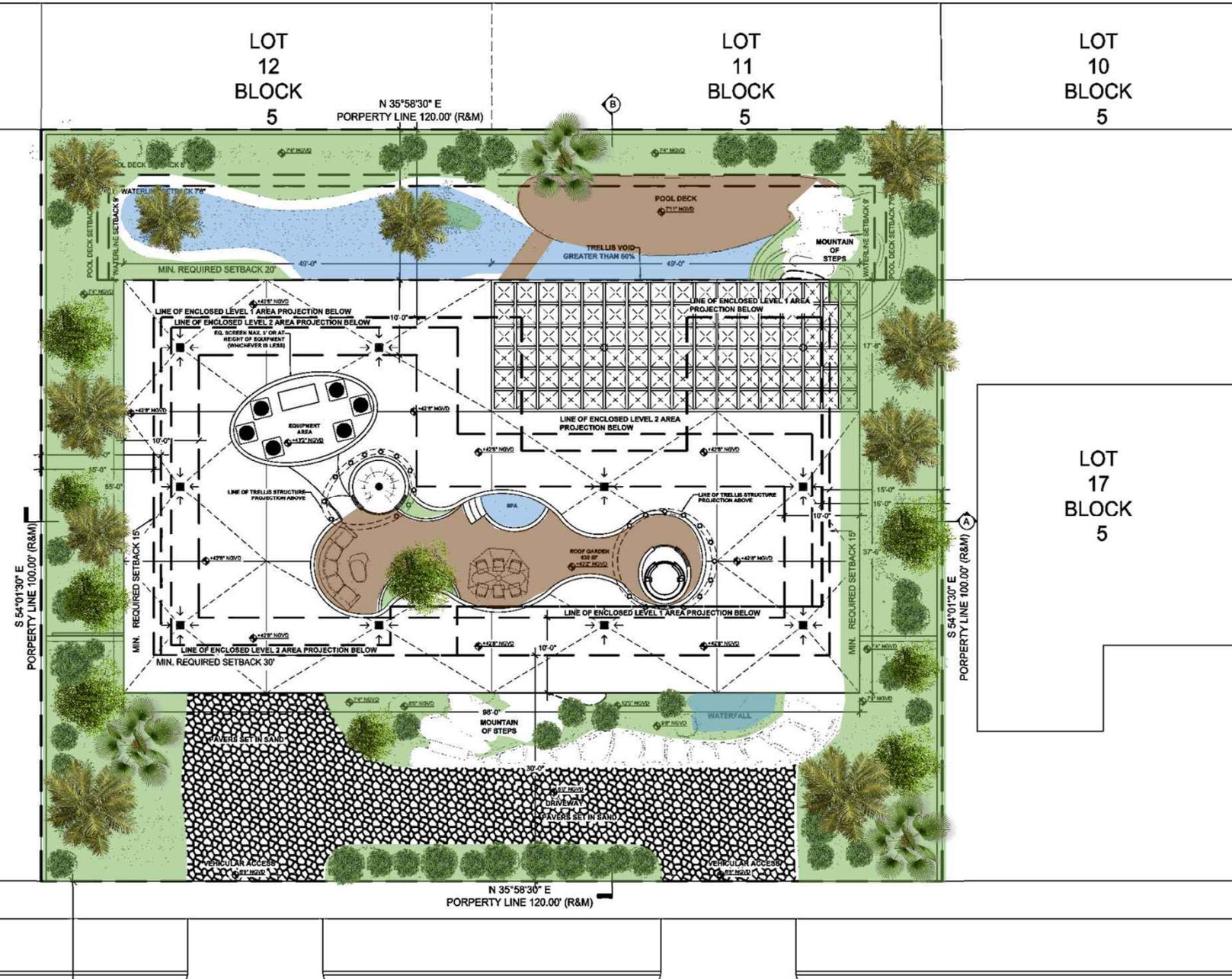
LOT  
12  
BLOCK  
5

LOT  
11  
BLOCK  
5

LOT  
10  
BLOCK  
5

LOT  
14  
BLOCK  
5

LOT  
17  
BLOCK  
5



- MATERIALS LEGEND:**
- WHITE BRAZILIAN PEDRA PORTUGUESA SET ON SAND.
  - LIGHT GREY BRAZILIAN PEDRA PORTUGUESA SET ON SAND.

# HOUSE OF KIRSCHNER

## SITE PLAN

**ALTON RD**  
100' RIGHT-OF-WAY (BY PLAT)  
29± ASPHALT PAVEMENT  
**ALTON RD**

CENTER OF RIGHT-OF-WAY

**ZONING ANALYSIS**

PROJECT NAME	ALTON RD		
LOCATION	6410 ALTON RD, MIAMI BEACH, FL 33140		
APPLICABLE ZONE	RS-4		
FEMA ZONE	ZONE AS Proximate to High Flooding Risk & N.G.V.D. FT		
	ALLOWED	PROPOSED	
UNIT SIZE (MAX) (50% OF LOT AREA)	6,000	6,000 (50%)	SOFT
LOT AREA (MIN)	6,000	12,000	SOFT
LOT WIDTH (MIN)		120	FT
LOT DEPTH (MIN)		100	FT
LOT COVERAGE FOR A 2-STORY HOME (MAX) (50% OF LOT AREA)	3,600	3,600 (50%)	SOFT
HEIGHTS			
BUILDING HEIGHT SLOPED ROOFS WITH UNDERSTORY (MAX)	34	27.16	FT
SETBACKS			
FRONT TWO-STORY STRUCTURES (MIN)	30	30	FT
SIDE, INTERIOR, LOT GREATER THAN 65FT WIDTH (MIN) (THE SUM OF REQUIRED SIDE YARDS SHALL BE MIN. 25% OF LOT WIDTH)	15	16	FT
REAR (MIN) (50% OF LOT DEPTH / 20FT MIN)	20	25	FT
ELEVATIONS			
MAX. YARD ELEVATION	8	7.33	NAV.D. FT (G.V.D. FT)
ROOF DECKS			
MAX. AREA	25%	630 (24.9%)	SOFT ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW
MIN. SETBACK	10	10	FT FROM EACH SIDE OF THE EXTERIOR OUTER WALLS
HEIGHT EXCEPTIONS ABOVE THE ROOFLINE	10	10	FT
MAX. HEIGHT	10	10	FT
OPEN SPACES (SHOED OR LANDSCAPING PERVIOUS)			
FRONT YARD MIN.	50%	2393 (66.45%)	SOFT
REAR YARD MIN.	70%	1833 (76%)	SOFT



NORTH

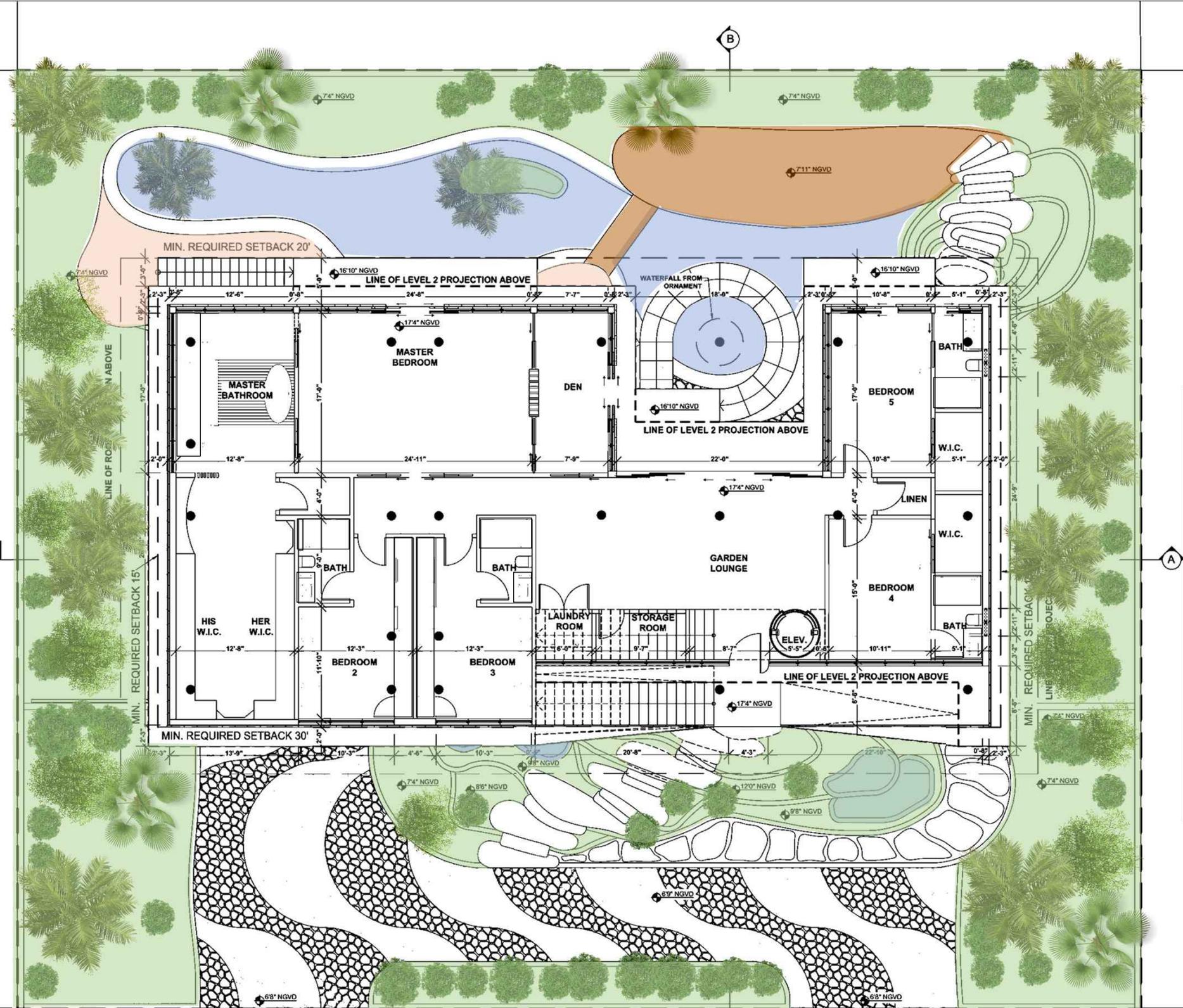
**NMD | NOMADAS™**

1 SITE PLAN  
A100 1/16" = 1'-0"



# HOUSE OF KIRSCHNER

## LEVEL 1



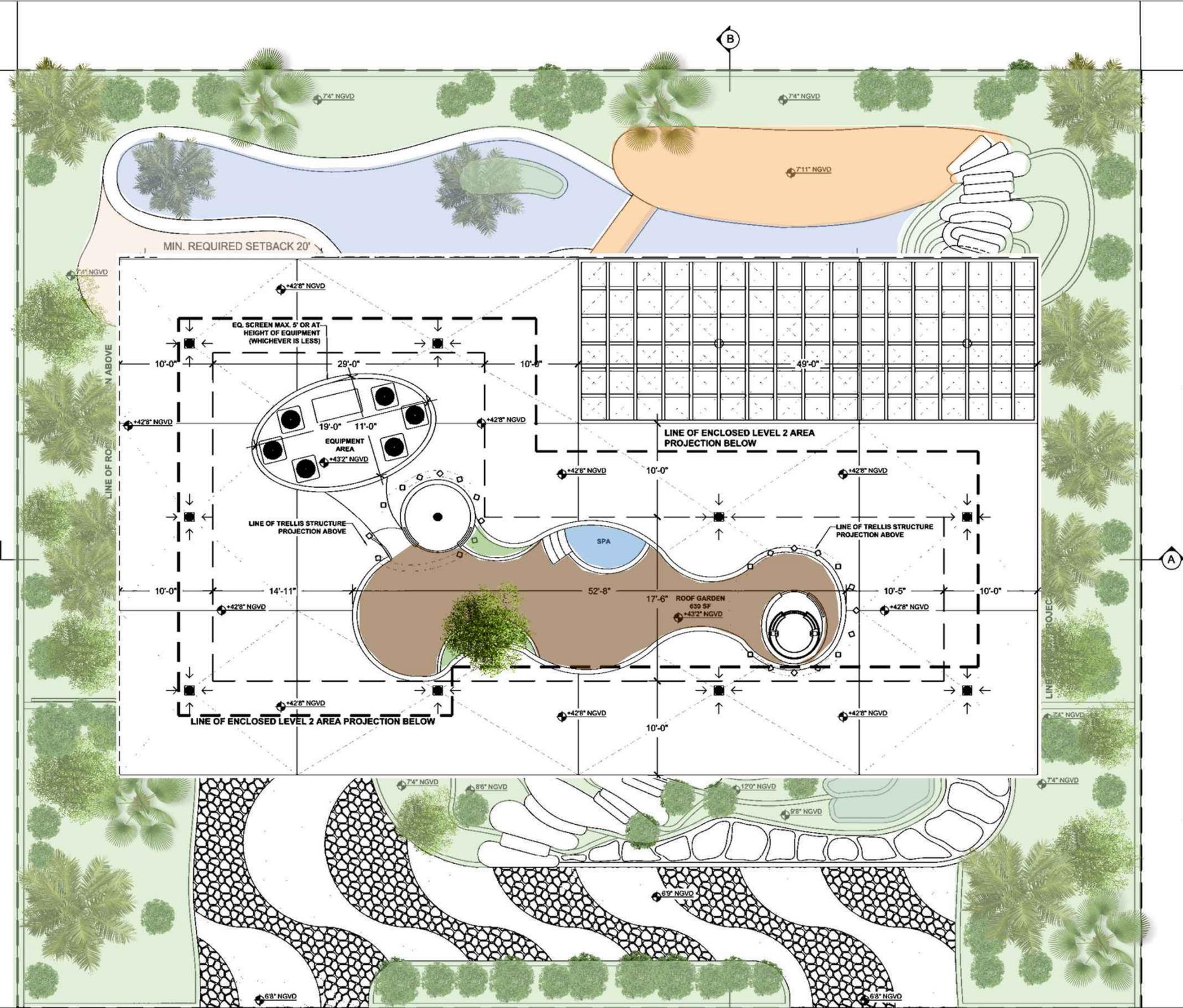
1 LEVEL 1  
A102 3/32" = 1'-0"





# HOUSE OF KIRSCHNER

## ROOF LEVEL

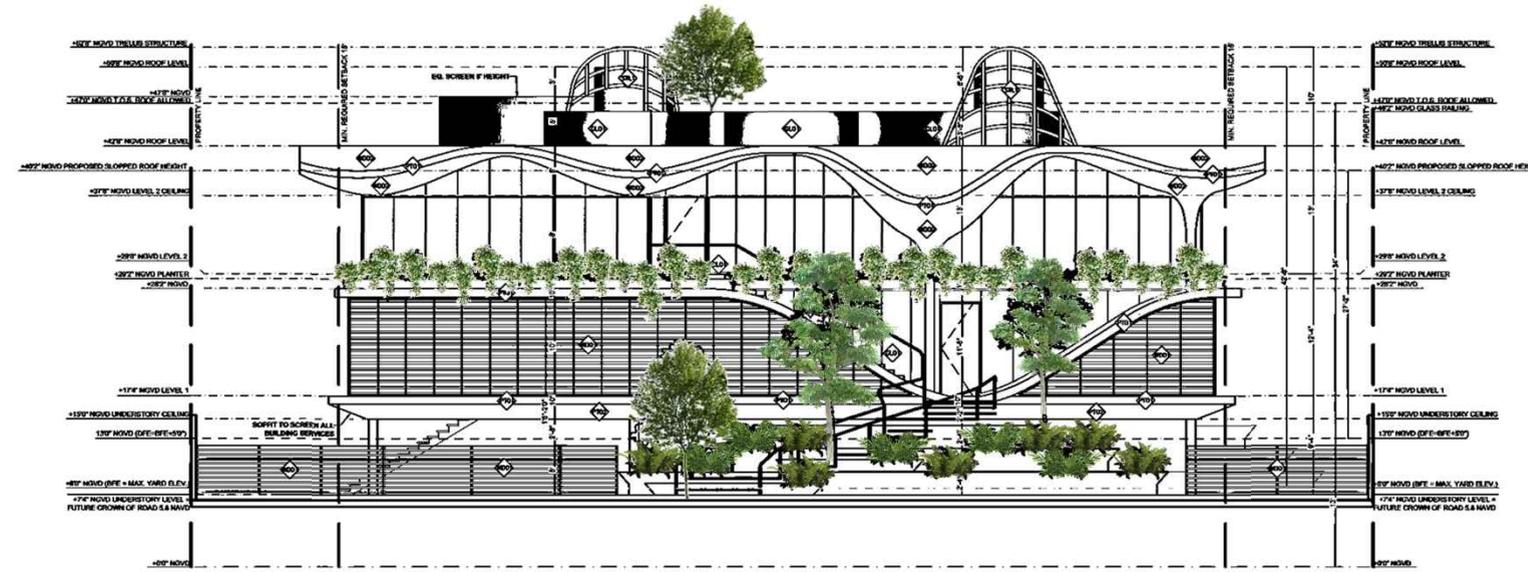


1 ROOF LEVEL  
A104 3/32" = 1'-0"

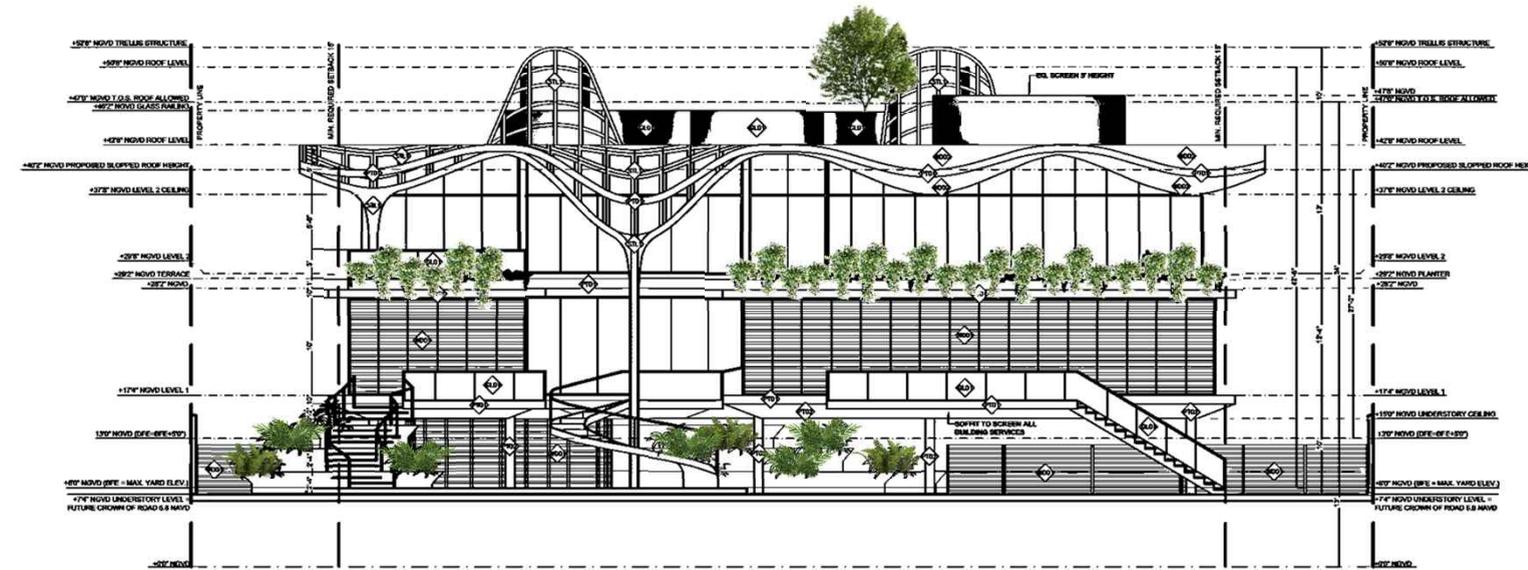


# HOUSE OF KIRSCHNER

## EXTERIOR ELEVATIONS



1 SOUTHEAST EXTERIOR ELEVATION  
A300 / 1/16" = 1'-0"



2 NORTHWEST EXTERIOR ELEVATION  
A300 / 1/16" = 1'-0"

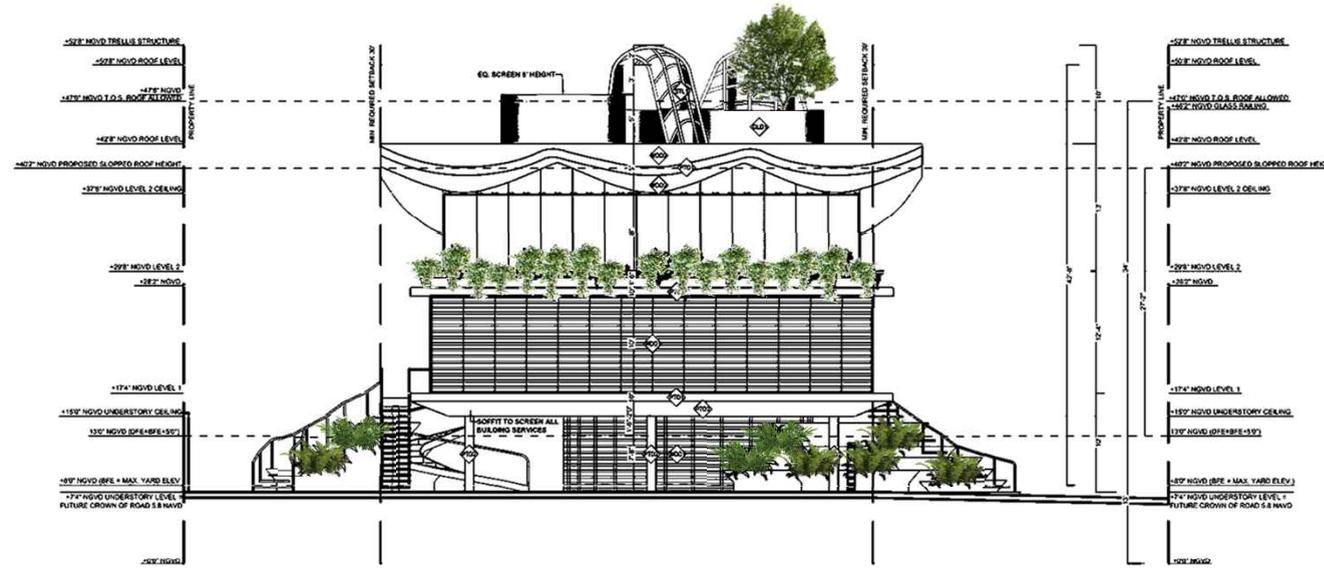
### MATERIALS LEGEND:

- 
**STUCCO**  
 Color: WHITE  
 Flat finish
- 
**STUCCO**  
 Color: DARK BROWN  
 Flat finish
- 
**ACCOYA WOOD SIDING**  
 Color: NATURAL WOOD STAIN  
 Style: rainscreen siding
- 
**CUSTOM THIN PHENOLIC PANELS WITH SIMULATED WOOD FINISH OVER PVC SLEEPERS**
- 
**GLASS BALCONY GUARDRAILS**  
 TEMPERED CLEAR GLASS
- 
**STEEL STRUCTURE**  
 PAINTED  
 Color: TBD

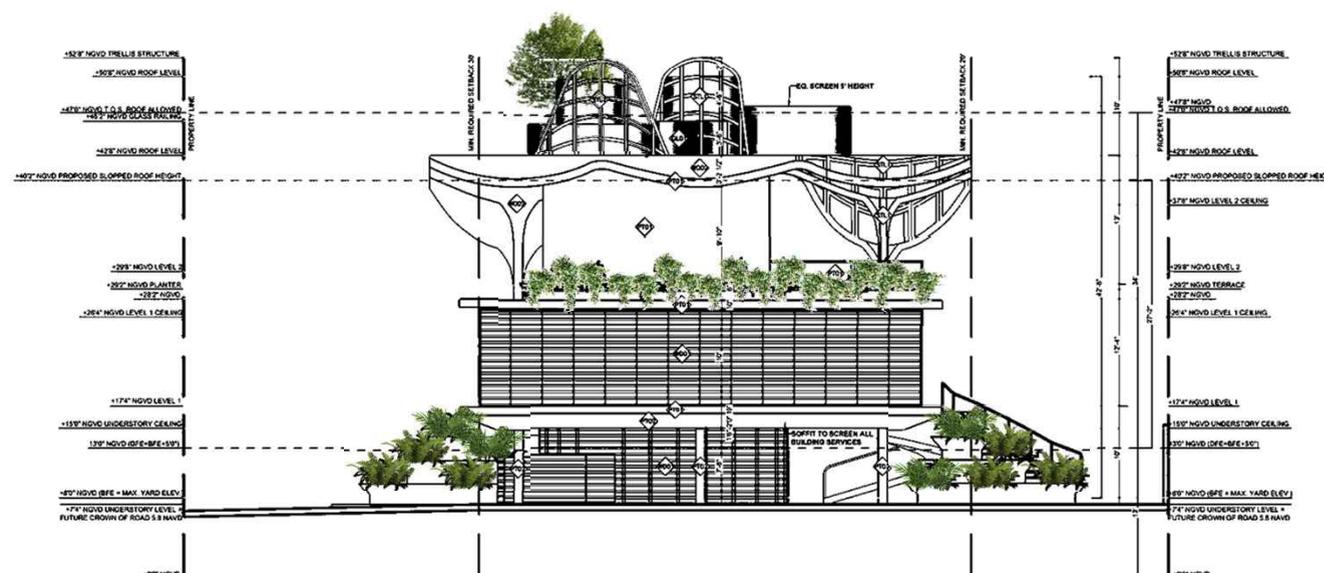
**NOTE:**  
 1. PRELIMINARY FINISHES BASED ON THE CONCEPTUAL IDEA BY NOMADAS. THESE FINISHES MAY VARY DURING THE CURRENT OR FUTURE DESIGN PHASES OF THIS PROJECT.

# HOUSE OF KIRSCHNER

## EXTERIOR ELEVATIONS



1  
A301 | 1/16" = 1'-0"  
SOUTHWEST EXTERIOR ELEVATION



2  
A301 | 1/16" = 1'-0"  
NORTHEAST EXTERIOR ELEVATION

**MATERIALS LEGEND:**

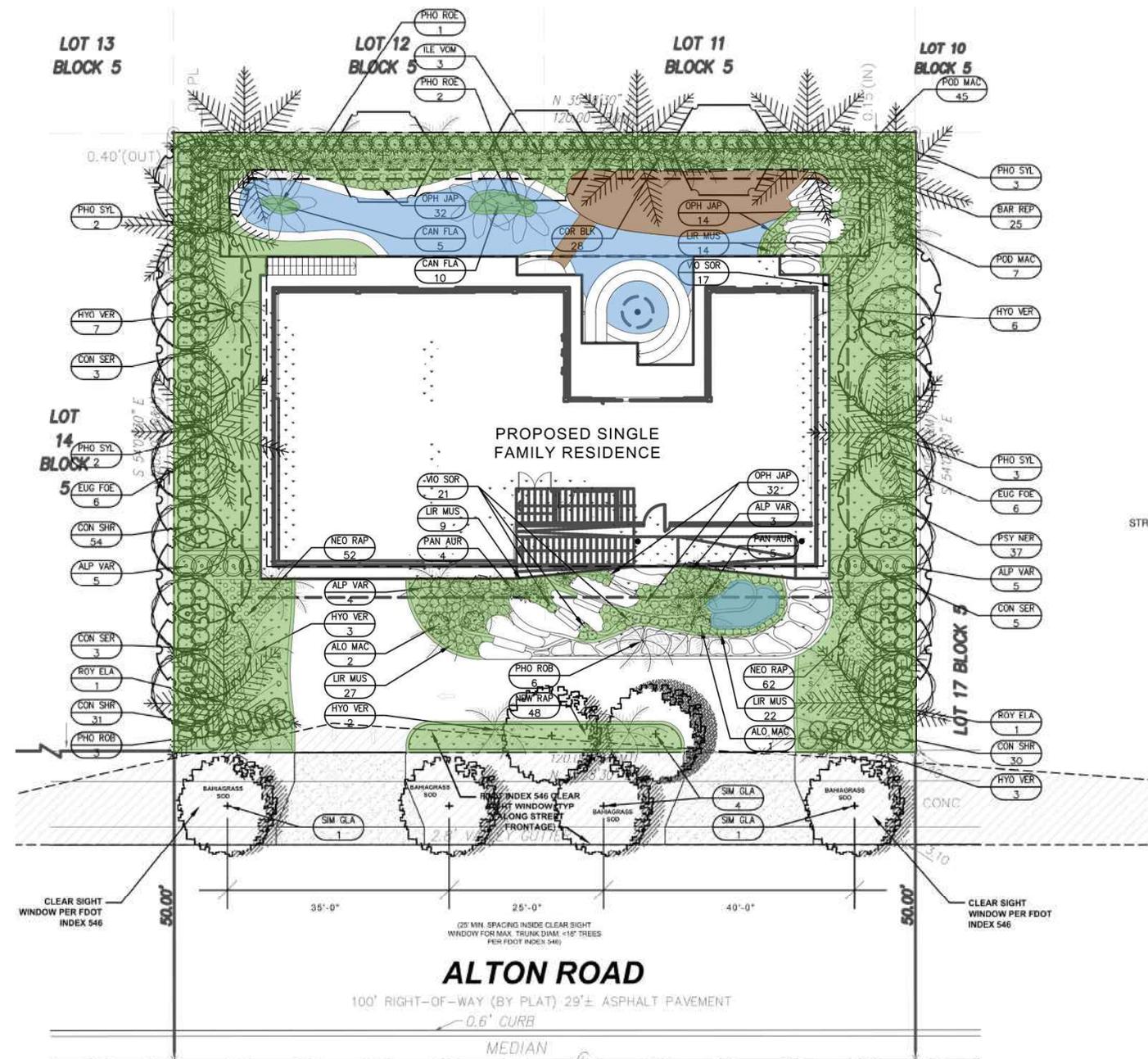
- 
**STUCCO**  
 Color: WHITE  
 Flat finish
- 
**STUCCO**  
 Color: DARK BROWN  
 Flat finish
- 
**ACCOYA WOOD SIDING**  
 Color: NATURAL WOOD STAIN  
 Style: rainscreen siding
- 
**CUSTOM THIN PHENOLIC PANELS WITH SIMULATED WOOD FINISH OVER PVC SLEEPERS**
- 
**GLASS BALCONY GUARDRAILS**  
 TEMPERED CLEAR GLASS
- 
**STEEL STRUCTURE PAINTED**  
 Color: TBD

**NOTE:**  
 1. PRELIMINARY FINISHES BASED ON THE CONCEPTUAL IDEA BY NMD/NOMADAS. THESE FINISHES MAY VARY DURING THE CURRENT OR FUTURE DESIGN PHASES OF THIS PROJECT.



**LANDSCAPE TABULAR DATA CODE CHART**

REGULATING DOCUMENT: CITY OF MIAMI BEACH CHAPTER 126 - LANDSCAPE REQUIREMENTS		
SITE AREA: 12,000 SF (.28 ACRES)		
ZONING/LAND USE: RS-4	REQUIRED	PROVIDED
SEC. 126 (a)(1) - STREET TREE SIZE AND SPACING 1 TREE/20LF STREET FRONTAGE @ 120 LF	6 TREES	6 TREES
SEC. 126 (b)(4) - MAXIMUM LAWN GRASS/SOD AREAS 50% @ 12,000 SF	6,000 SF	5,466 SF
SEC. 126 (c) - MINIMUM NUMBER OF TREES FRONT YARD 2 (+ 6 FOR ADD'L LOT SF) = 8 TREES BACK YARD 3 (+ 6 FOR ADD'L LOT SF) = 9 TREES	8 TREES 9 TREES	11 TREES 15 TREES
SEC. 126 (d) - SHRUBS 12 SHRUBS PER TOTAL REQUIRED TREES	276 SHRUBS	285 SHRUBS
NATIVE/DROUGHT TOLERANT SPECIES REQUIREMENTS		
TREES	50%	57%
SHRUBS	60%	62%



**GROUND LEVEL PLANT LIST AND SPECIFICATIONS**

TREES AND PALMS						
SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	SPRD	DESCRIPTION
CON SER	11	Conocarpus e. 'Sericeus'	SILVER BUTTONWOOD	3" DBH 12 HT.	6'	STRAIGHT SINGLE TRUNK, STANDARD, HEAVY EVEN BRANCHING, FIELD GROWN
EUG FOE	12	Eugenia foetida	SPANISH STOPPER	3" DBH 12' HT.	6'	STRAIGHT SINGLE TRUNK, STANDARD, HEAVY EVEN BRANCHING, FIELD GROWN
HYO VER	21	Hyophorbe verschaffeltii	SPINDLE PALM	10' GW	8'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
ILE VOM	3	Ilex vomitoria	WEEPING HOLLY	3" DBH 12 HT.	6'	STRAIGHT SINGLE TRUNK, STANDARD, HEAVY EVEN BRANCHING, FIELD GROWN
PHO ROE	9	Phoenix roebelinii	PYGMY DATE PALM	8' CT	7'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
PHO SYL	5	Phoenix sylvestris	SYLVESTER PALM	10' GW	8'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
ROY ELA	2	Roystonea elata	ROYAL PALM	18' GW	16'	STRAIGHT THICK EVEN TRUNKS, FULL CROWNS, MATCHED
SIM GLA	6	Simaruba glauca	PARADISE TREE	5" DBH 15' HT.	8'	STRAIGHT TRUNK, HEAVY EVEN BRANCHING, FIELD GROWN
SHRUBS AND GROUND COVER						
SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	SPRD	DESCRIPTION
ALO MAG	3	Alocasia macrorrhiza 'Lulua'	LUTEA ALOCASIA	36"	36"	FULL, PLACE WHERE SHOWN ON PLAN
ALP VAR	10	Alpinia zerumbet 'Variegata'	LITTLELEAF CLUSIA	42"	36"	FULL, SPACE 36" ON CENTER
BAR REP	25	Baleria repens	CORAL CREEPER	18"	24"	FULL, SPACE 24" ON CENTER TO FILL BED
CAN FLA	15	Canna flaccida	YELLOW CANNA	24"	24"	FULL, SPACE 30" ON CENTER
CLU GUT	0	Clusia guttifera	LITTLELEAF CLUSIA	30"	24"	FULL, SPACE 24" ON CENTER TO CREATE CONT. HEDGE
CON SHR	115	Conocarpus e. 'Sericeus'	SILVER BUTTONWOOD HEDGE	30"	24"	FULL, SPACE 24" ON CENTER TO CREATE CONT. HEDGE
COR BLK	26	Cordyline f. 'Black Magic'	BLACK MAGIC CORDYLINE	42"	36"	FULL, SPACE 36" ON CENTER
EPI SPP	0	Epidendrum speciosum	REED STEM ORCHID	18"	18"	FULL, SPACE 18" TO FILL SPACES
LIR MUS	58	Liriope muscari	LIRIOPE	18"	18"	FULL, SPACE 18" TO FILL SPACES
MUH CAP	0	Muhlenbergia capillaris	MUHLY GRASS	30"	24"	FULL, STAGGER 24" ON CENTER TO CREATE DENSE SCREEN
NEO RAP	156	Neoregelia 'Raphael'	RAPHAEL BROMELIAD	12"	12"	FULL, SPACE 15" TO FILL SPACES
OPH JAP	32	Ophiopogon japonicus	MONDO GRASS	16"	16"	FULL, SPACE 16" ON CENTER TO FILL SPACES
PHY NOD	0	Phylla nodiflora	FROGFRUIT	24"	24"	FULL, SPACE 30" ON CENTER
POD MAC	52	Podocarpus macrophyllus	PODOCARPUS HEDGE	24"	24"	FULL, SPACE 24" ON CENTER TO CREATE CONT. HEDGE
PSY NER	37	Psychotria nervosa	WILD COFFEE	36"	36"	FULL, SPACE 36" TO CREATE CONT. HEDGE
SAL ULI	114	Salvia uliginosa	BOG SAGE	16"	16"	FULL, SPACE 16" ON CENTER TO FILL SPACES
VIO SOR	XX	Viola sororia	BLUE VIOLET	24"	30"	FULL, SPACE IN LOCATIONS SHOWN ON PLAN

WHERE 'SOD' IS INDICATED SPECIES SHALL BE ST. AUGUSTINE 'FLORATAM' VARIETY AND 'BAHIAGRASS SOD' SHALL BE ARGENTINE VARIETY BAHIA SOD  
 \*N - ABOVE DENOTES FLORIDA NATIVE SPECIES - SEE NATIVE PERCENTAGE CALCULATIONS IN TABULAR DATA CHART BELOW

**GROUND LEVEL LANDSCAPE PLANTING PLAN**

SCALE: 1" = 10'



William Dale Bryant  
 Digitally signed by William Dale Bryant  
 DN: cn=William Dale Bryant, o=Green Earth Landscape Architecture LLC, ou=LA6666943, email=wdale.bryant@greenearthllc.com, c=US  
 Date: 2023.09.11 10:29:05 -0400

HOUSE OF KIRSCHNER  
 4110 Alton Road  
 Miami Beach, FL

**GREEN EARTH**  
 LANDSCAPE ARCHITECTURE, LLC  
 4110 Alton Road, Suite 100  
 Miami Beach, FL 33140  
 Phone: 305-441-1111

**LANDSCAPE PLANTING PLAN GROUND LEVEL**

SHEET NUMBER  
**L-200**

PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
23-105	09-11-23	AS NOTED	WDB	WDB	WDB	
REVISIONS						

This document, together with all drawings and designs prepared herein, is the sole property of Green Earth Landscape Architecture, LLC. It is to be used only for the specific project and site for which it was prepared. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Green Earth Landscape Architecture, LLC.

# APPENDIX



Planning Department  
 1700 Convention Center Drive, 2nd Floor  
 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

**SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET**

**ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW**

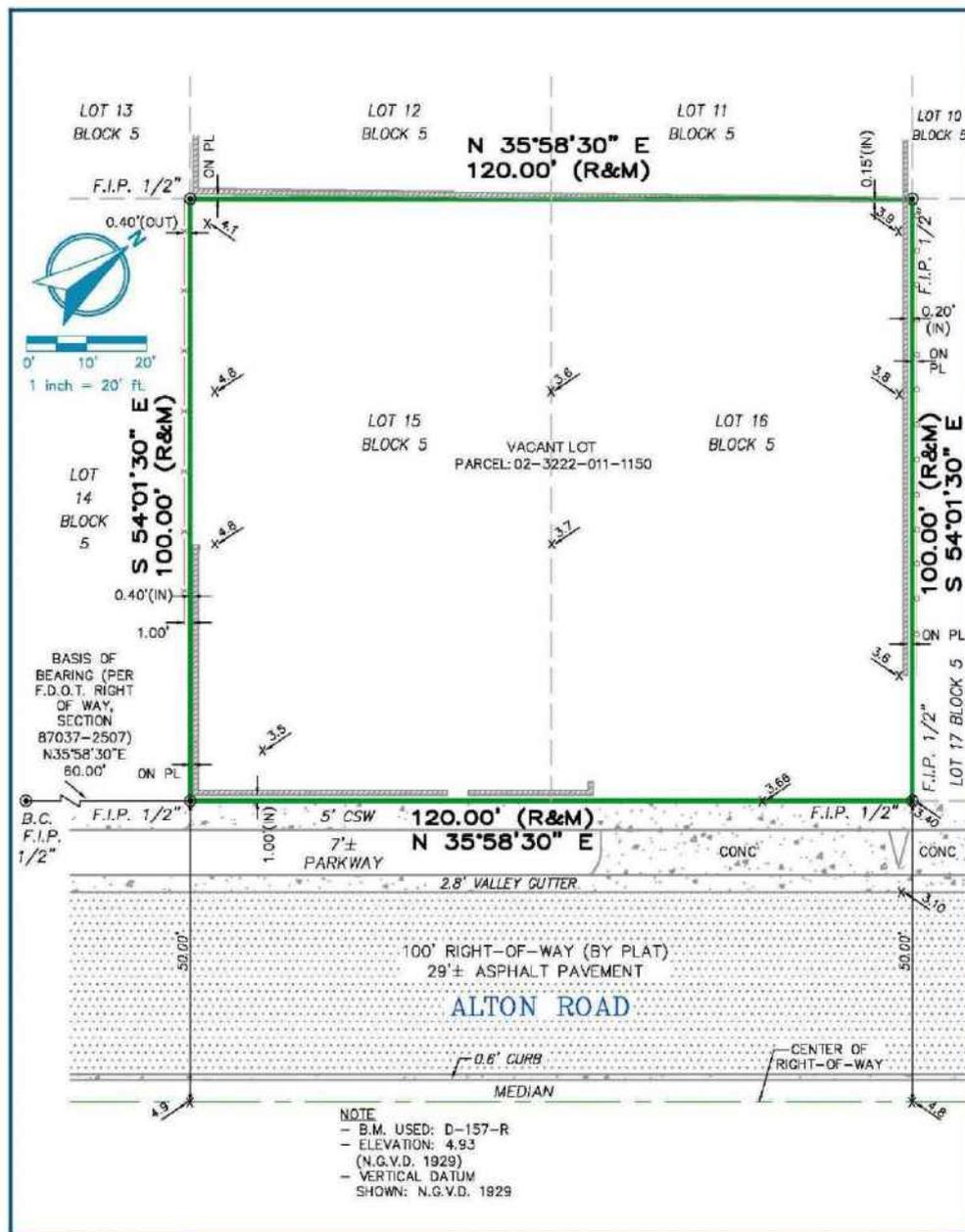
ITEM #	Project Information				
1	Address:	4410 Alton Rd. Miami Beach, FL 33140			
2	Folio number(s):	02-3222-011-1150			
3	Board and file number(s) :	DRB23-0941			
4	Year built: N/A	Zoning District:	RS-4		
5	Located within a Local Historic District (Yes or No):	No			
6	Individual Historic Single Family Residence Site (Yes or No):	No			
7	Home determined Architecturally Significant by CMB (Yes or No):	No			
8	Base Flood Elevation:	8.0	Grade value in NGVD:	4.93	
9	Adjusted grade (Flood+Grade/2):	N/A	Free board:	5'	
10	30" above grade:	N/A	Lot Area:	12,000 sf	
11	Lot width:	120'	Lot Depth:	100'	
12	Max Lot Coverage SF and %:	3,600sf (30%)	Proposed Lot Coverage SF and %:	3,600sf (30%)	
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)	N/A	
14	Front Yard Open Space SF and %:	2,393sf (66.45%)	Rear Yard Open Space SF and %:	1,833sf (76%)	
15	Max Unit Size SF and %:	6,000sf (50%)	Proposed Unit Size SF and %:	6,000sf (50%)	
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	3,253sf	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	630sf (24.9%)			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).	Yes or No:	Yes		
	<b>ZONING INFORMATION / CALCULATION</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
19	Height measured from B.F.E. plus freeboard	34'		27'2"	
	Front Setbacks:	30'		30'	
20	Front First level:	-		-	
	Front second level:	-		-	
	Front second level if lot coverage is 25% or greater:	-		-	
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	35'		35'	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A		N/A	
22	Sum of side yard :	30'		32'	
23	Side 1:	15'		16'	
24	Side 2 or (facing street):	15'		16'	
25	Rear:	20'		25'	
26	Accessory Structure Side 1:	N/A		N/A	
27	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
28	Accessory Structure Rear:	N/A		N/A	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

Notes: Indicate N/A if not applicable.

HOUSE OF KIRSCHNER

CHECKLIST

SURVEY



**POINTS OF INTEREST:**  
 WALL CROSSES LOT LINE.

**MAP OF BOUNDARY SURVEY**

**Property Address:**  
 4410 ALTON RD  
 MIAMI BEACH, FL 33140

**OnlineLand SURVEYORS, INC.**  
 6175 NW 153rd St # 401,  
 Miami Lakes, FL 33014  
 www.OnlineLandSurveyors.com

**SURVEYOR'S CERTIFICATION:** I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM PROFESSIONAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 46-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 462.027, FLORIDA STATUTES.

**SIGNED** **FOR THE FIRM**  
**GUILLERMO A. GUERRERO** **P.S.M. No. 6453**  
**STATE OF FLORIDA**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

**LOCATION MAP N.T.S.**

**PROPERTY FRONT VIEW**

**CERTIFIED TO:**  
 MAURICIO RIVERA KIRSCHNER  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
 ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR.

**FLOOD INFORMATION:**  
 Community Number: CITY OF MIAMI BEACH 120651  
 Panel Number: 12088C0309L  
 Suffix: L  
 Date of Firm Index: 9/11/2009  
 Flood Zone: AE  
 Base Flood Elevation: 7.0  
 Date of Survey: 1/26/2023

**LEGAL DESCRIPTION:** LOTS 15 AND 16, BLOCK 5, OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

**Surveyor's Legend**

<ul style="list-style-type: none"> <li>PROPERTY LINE</li> <li>STRUCTURE</li> <li>CONC. BLOCK WALL</li> <li>CHAIN LINK or WIRE FENCE</li> <li>WOOD FENCE</li> <li>IRON FENCE</li> <li>EASEMENT</li> <li>CENTER LINE</li> <li>WOOD DECK</li> <li>CONCRETE</li> <li>ASPHALT</li> <li>BRICK/TILE</li> <li>WATER</li> <li>APPROXIMATE EDGE OF WATER</li> <li>COVERED AREA</li> </ul>	<ul style="list-style-type: none"> <li>TREE</li> <li>P.M.P.</li> <li>C.A.B.</li> <li>C.U.E.</li> <li>I.E./E.E.</li> <li>U.T.Y. EASEMENT</li> <li>FIND. OR F.</li> <li>LS#</li> <li>LS#</li> <li>CALC.</li> <li>SET</li> <li>ELEV.</li> <li>P.T.</li> <li>P.C.</li> <li>P.R.M.</li> <li>P.C.C.</li> <li>P.R.C.</li> <li>P.O.B.</li> <li>P.O.C.</li> <li>P.C.P.</li> <li>M</li> <li>P</li> <li>D</li> <li>C</li> </ul>	<ul style="list-style-type: none"> <li>POWDR POLE</li> <li>CATCH BASIN</li> <li>COUNTY UTILITY EMT.</li> <li>INGRESS/ EGRESS EMT.</li> <li>UTILITY EASEMENT</li> <li>FOUND IRON PIPE/ REBAR</li> <li>PN AS NOTED ON PLAT</li> <li>LICENSE # - SURVEYOR</li> <li>CALCULATED POINT</li> <li>SET MONUMENT</li> <li>CONCRETE MONUMENT</li> <li>ELEVATION</li> <li>POINT OF TANGENCY</li> <li>POINT OF CURVATURE</li> <li>PERMANENT REFERENCE MONUMENT</li> <li>POINT OF COMPOUND CURVATURE</li> <li>POINT OF REVERSE CURVATURE</li> <li>P.O.B.</li> <li>P.O.C.</li> <li>P.C.P.</li> <li>FIELD MEASURED</li> <li>PLATED MEASUREMENT</li> <li>DEED</li> <li>CALCULATED</li> </ul>	<ul style="list-style-type: none"> <li>L.M.E.</li> <li>R.O.E.</li> <li>P.P.</li> <li>PL</li> <li>LD</li> <li>B.C.</li> <li>B.R.</li> <li>Δ</li> <li>R</li> <li>RAD.</li> <li>N.R.</li> <li>TYP.</li> <li>LR</li> <li>LP</li> <li>N&amp;D</li> <li>PN NAIL</li> <li>D.H.</li> <li>WELL</li> <li>FR</li> <li>Q.H.</li> <li>TX</li> <li>CATY</li> <li>W.M.</li> <li>P/E</li> <li>CONC</li> <li>ML</li> </ul>	<ul style="list-style-type: none"> <li>LAKE or LANDSCAPE MAINT. EMT.</li> <li>ROOF OVERHANG EASEMENT</li> <li>POOL PUMP</li> <li>PLASTER OR PROPERTY LINE</li> <li>IDENTIFICATION</li> <li>BLOCK CORNER</li> <li>BEARING REFERENCE</li> <li>CENTRAL ANGLE or DELTA</li> <li>RECORD OR RADIUS</li> <li>NON RADIAL</li> <li>TRICAL</li> <li>IRON ROD</li> <li>IRON PIPE</li> <li>NAIL &amp; DISK</li> <li>PARKER-KALON NAIL</li> <li>DRILL HOLE</li> <li>FIRE HYDRANT</li> <li>MAN HOLE</li> <li>OVERHEAD LINES</li> <li>TRANSFORMER</li> <li>CABLE TV RISER</li> <li>WATER METER</li> <li>POOL EQUIPMENT</li> <li>CONCRETE</li> <li>MONUMENT LINE</li> </ul>	<ul style="list-style-type: none"> <li>EMT.</li> <li>D.E.</li> <li>L.E.E.</li> <li>L.A.E.</li> <li>TEL.</li> <li>U.P.</li> <li>E.U.B.</li> <li>SEPT. T.</li> <li>D.F.</li> <li>AC</li> <li>ABR. CONDITIONER</li> <li>CONC. SIDEWALK</li> <li>DRIVEWAY</li> <li>SCREENED AREA</li> <li>GAR.</li> <li>ENCLOSURE</li> <li>N.T.S.</li> <li>F.F.E.</li> <li>T.O.B.</li> <li>E.O.W.</li> <li>E/P or E.O.P.</li> <li>C.V.G.</li> <li>B.S.L.</li> <li>S.T.L.</li> <li>E</li> <li>R/W</li> <li>P.U.E.</li> <li>C.M.E.</li> <li>A.E.</li> </ul>	<ul style="list-style-type: none"> <li>EASEMENT</li> <li>SEWER EASEMENT</li> <li>LANDSCAPE BUFFER EMT.</li> <li>LIMITED ACCESS EASEMENT</li> <li>TELEPHONE FACILITIES</li> <li>UTILITY POLE</li> <li>ELECTRIC UTILITY BOX</li> <li>SEPTIC TANK</li> <li>DRAIN-FIELD</li> <li>CONC. SIDEWALK</li> <li>DRIVEWAY</li> <li>SCREENED AREA</li> <li>GARAGE</li> <li>ENCLOSURE</li> <li>N.T.S.</li> <li>FINISHED FLOOR ELEVATION</li> <li>TOP OF BANK</li> <li>EDGE OF WATER</li> <li>EDGE OF PAVEMENT</li> <li>CONCRETE VALLEY GUTTER</li> <li>BUILDING SETBACK LINE</li> <li>SURVEY TIE LINE</li> <li>CENTER LINE</li> <li>RIGHT OF WAY</li> <li>PUBLIC UTILITY EASEMENT</li> <li>CANAL MAINTENANCE EASEMENT</li> <li>ANCHOR EMT / ACCESS EMT</li> </ul>
---	--	---	---	---	---	---

**GENERAL NOTES:**

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS.
- 2) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY.
- 3) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 4) THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION, PERMITTING DESIGN, OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONLINE LAND SURVEYORS INC.
- 5) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 6) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) WALL TIES ARE TO THE FACE OF THE WALL.
- 9) BEARINGS ARE BASE ON AN ASSUMED MERIDIAN.
- 10) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- 11) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 12) NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL OR ELECTRONIC SEAL.
- 13) DIMENSIONS SHOWN ARE PER PLAT AND MEASURED IN THE FIELD UNLESS OTHERWISE SHOWN.
- 14) ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- 15) THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- 16) THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- 17) THE EXISTENCE OF ADDITIONAL RECORDED OR UNRECORDED INSTRUMENTS, EASEMENTS AND/OR RESOLUTIONS NOT AVAILABLE TO SURVEYOR MAY EXIST AND ARE NOT DEPICTED IN THIS SKETCH.

**Florida Land Title Association**

**FLTA** **Affiliate Member**

Printing to Scale:  
 1. Select "None" from Page Scaling  
 2. Deselect "Auto-Fit to Page and Center"  
 3. Select "Choose paper source by PDF page size"

FIELD WORK: 1/25/2023  
 DRAWN BY: V.P.  
 CHECKED BY: G.A.G.  
 FINAL REVISION: 01/26/2023  
 COMPLETED: 1/26/2023  
 SCALE: 1" = 20'  
 SURVEY CODE: O-95138

**STATE OF FLORIDA**  
**REGISTERED PROFESSIONAL SURVEYOR**  
**No. 6453**

6175 NW 153rd St # 401  
 Miami Lakes, FL 33014  
 Phone: (305) 910-0123  
 Fax: (305) 675-0999  
 www.OnlineLandSurveyors.com

Survey Date: 1/26/2023 Survey Code: O-95138

Page 2 of 2 Not valid without all pages.

# HOUSE OF KIRSCHNER

## AREA DIAGRAMS LOT COVERAGE

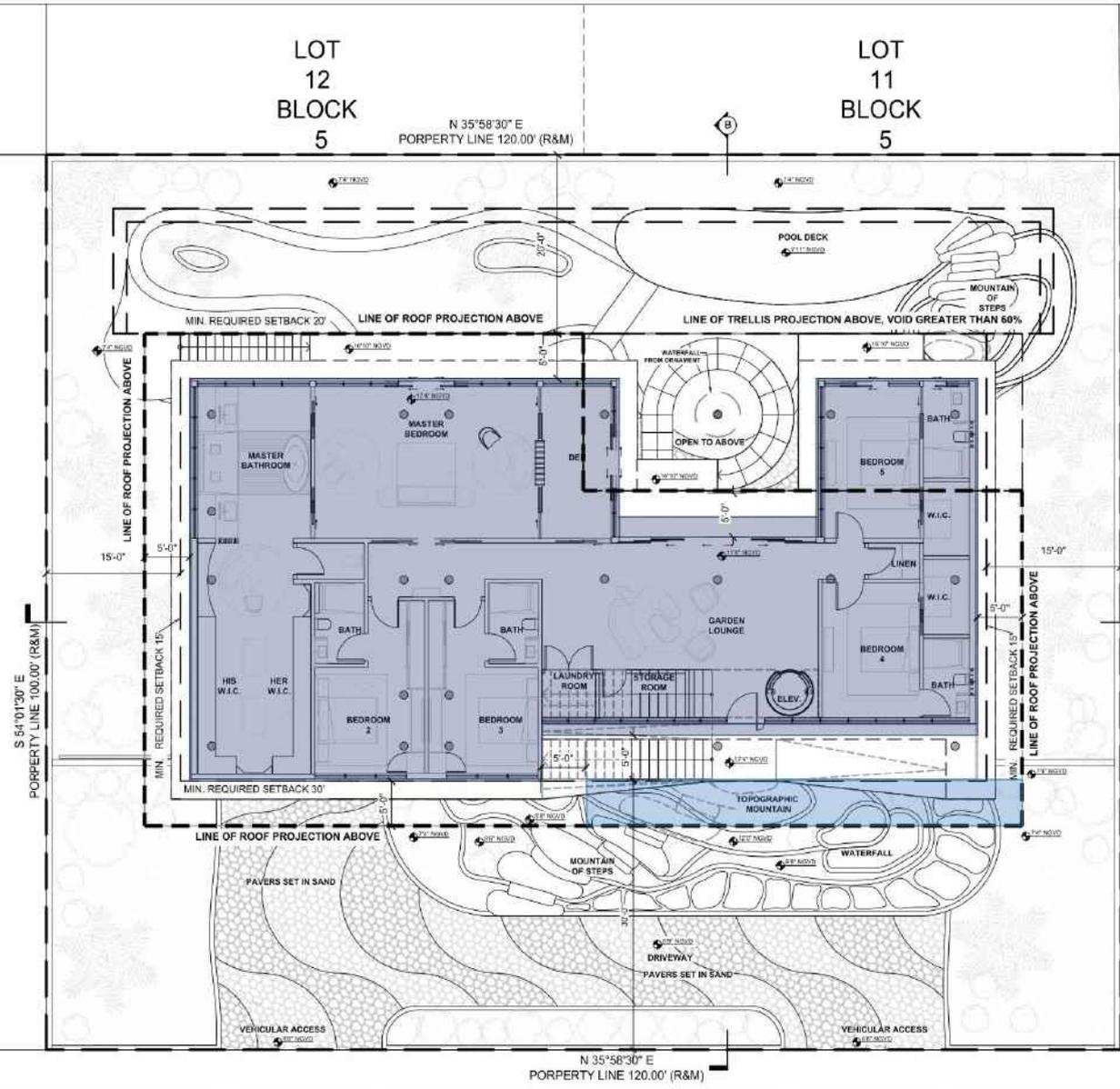
### ZONING DATA:

	REQUIRED	PROVIDED
LOT AREA (MIN.)	6,000 SF	12,000 SF
LOT COVERAGE (MAX.)	3,600 SF	3,600 SF
SETBACKS (MIN.)		
FRONT	30'-0"	30'-0"
SIDE	15'-0"	16'-0"
REAR	20'-0"	25'-0"

### LOT COVERAGE:

RESIDENCE	3,368 SF
OVERHANGS	232 SF

TOTAL PROVIDED	3,600 SF (30%)
REQUIRED	3,600 SF (30%)



100' RIGHT-OF-WAY (BY PLAT)  
29± ASPHALT PAVEMENT  
**ALTON RD**

CENTER OF RIGHT-OF-WAY

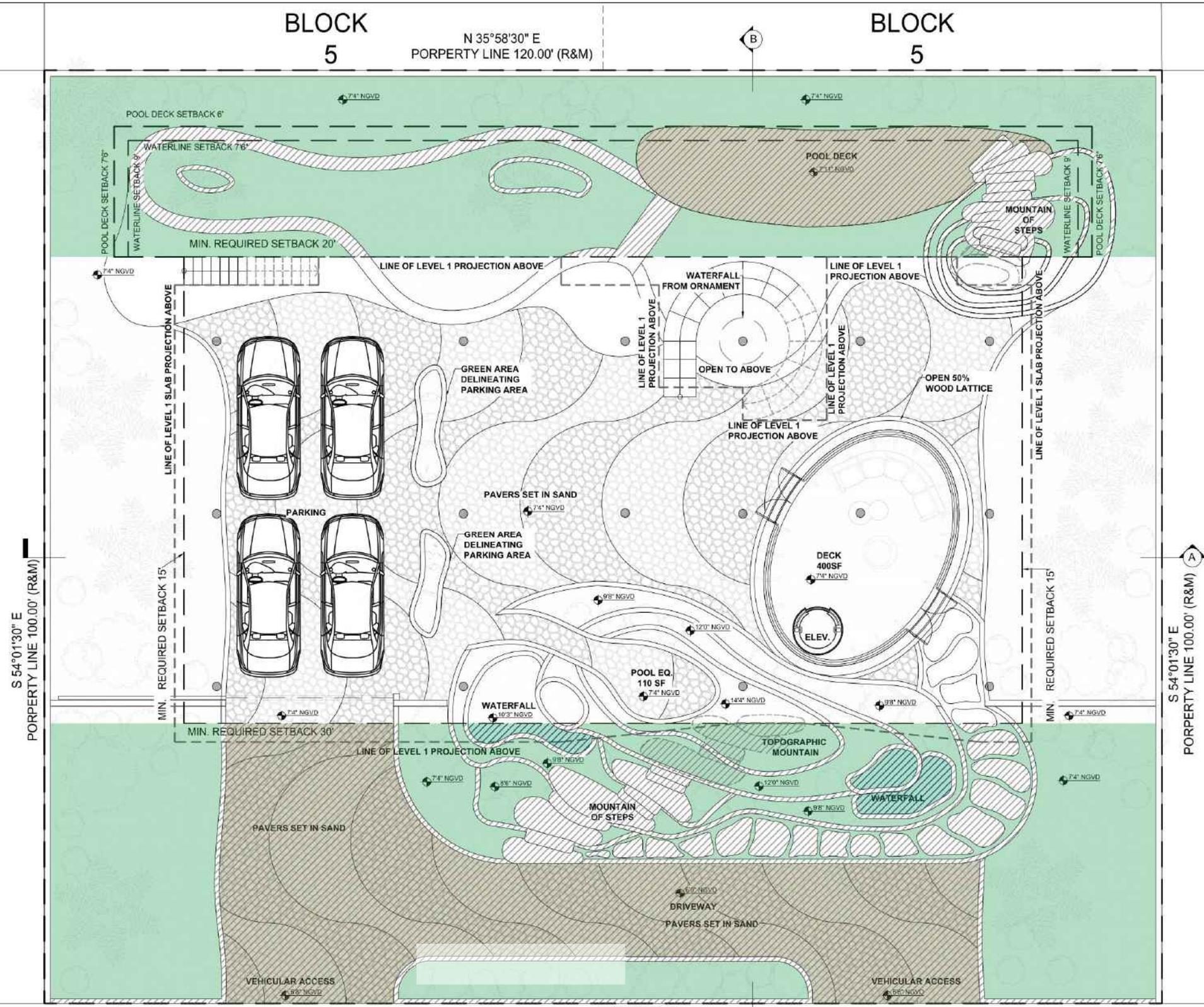
1 A011 LOT COVERAGE - LEVEL 1  
1/16" = 1'-0"



NORTH

NMD | NOMADAS™

# AREA DIAGRAMS OPEN SPACES



OPEN SPACES (SODDED OR LANDSCAPING PERVIOUS):

<b>FRONT YARD REQUIRED (MIN.)</b>	1,800 SF (50%)
<b>FRONT YARD PROVIDED:</b>	
<span style="color: green;">■</span> PERVIOUS AREA (100%)	1,740 SF
<span style="color: brown;">■</span> DRIVEWAY (50%)	653 SF
<b>TOTAL LANDSCAPE AREA IN FRONT YARD:</b>	2,393 SF (66.45%)
<span style="color: brown;">▨</span> TOTAL IMPERVIOUS AREA IN FRONT YARD:	1,207 SF (33.55%)
<b>REAR YARD REQUIRED (MIN.)</b>	1,680 SF (70%)
<b>REAR YARD PROVIDED:</b>	
<span style="color: green;">■</span> PERVIOUS AREA (100%)	1,660 SF
<span style="color: brown;">■</span> POOL DECK (50%)	173 SF
<b>TOTAL LANDSCAPE AREA IN REAR YARD:</b>	1,833 SF (76%)
<span style="color: brown;">▨</span> TOTAL IMPERVIOUS AREA IN REAR YARD:	567 SF (24%)
<b>WATER FEATURE IN FRONT YARD REQUIRED (MAX.)</b>	900 SF (25%)
<b>WATER FEATURE IN FRONT YARD PROVIDED:</b>	
<span style="color: green;">▨</span> WATERFALL	74 SF (2%)

1 A012 OPEN SPACES - UNDERSTORY LEVEL  
1/16" = 1'-0"

N 35°58'30" E  
PORPERTY LINE 120.00' (R&M)



# AREA DIAGRAMS OPEN SPACES

*OPEN SPACES (SODDED OR LANDSCAPING PERVIOUS):*

**SIDE YARD REQUIRED (MIN.)** 750 SF (50%)

**NORTH SIDE YARD PROVIDED:**

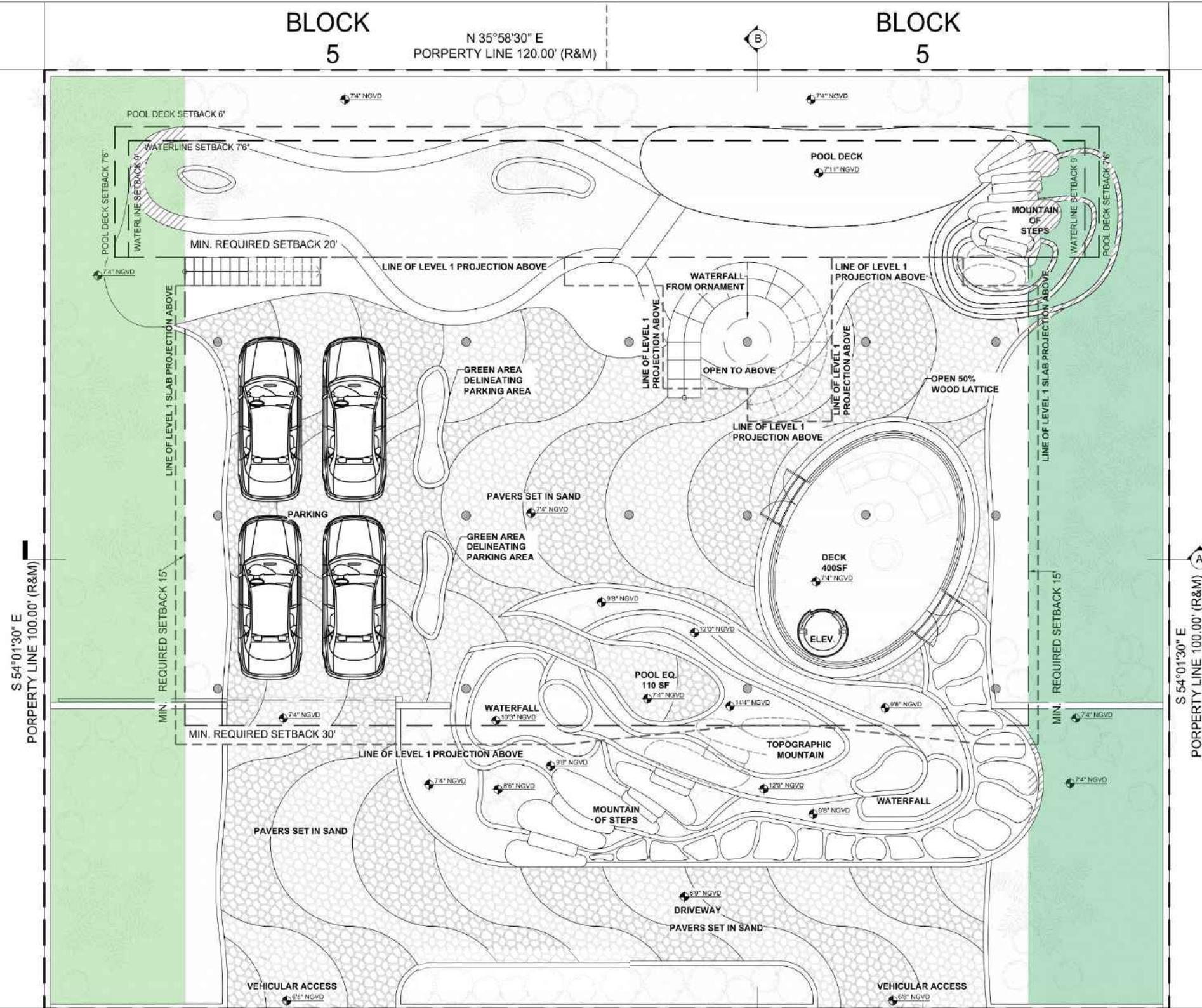
 PERVIOUS AREA (100%) 1,339 SF (89%)

 TOTAL IMPERVIOUS AREA IN NORTH SIDE YARD: 161 SF (11%)

**SOUTH SIDE YARD PROVIDED:**

 PERVIOUS AREA (100%) 1,381 SF (92%)

 TOTAL IMPERVIOUS AREA IN SOUTH SIDE YARD: 119 SF (8%)



1 A013 OPEN SPACES - UNDERSTORY LEVEL  
1/16" = 1'-0"

N 35°58'30" E  
PORPERTY LINE 120.00' (R&M)



# HOUSE OF KIRSCHNER

## AREA DIAGRAMS UNIT SIZE

### ZONING DATA:

### REQUIRED:

UNIT SIZE (MIN.)	1,800 SF
UNIT SIZE (MAX.)	6,000 SF

UNDERSTORY AREA ENCLOSED AIRCONDITIONED BUILDING ACCESS 5% OF LOT AREA (MAX.)	600 SF
--	--------

ROOF DECK 25% SQFT ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW (MAX.)	632 SF
--	--------

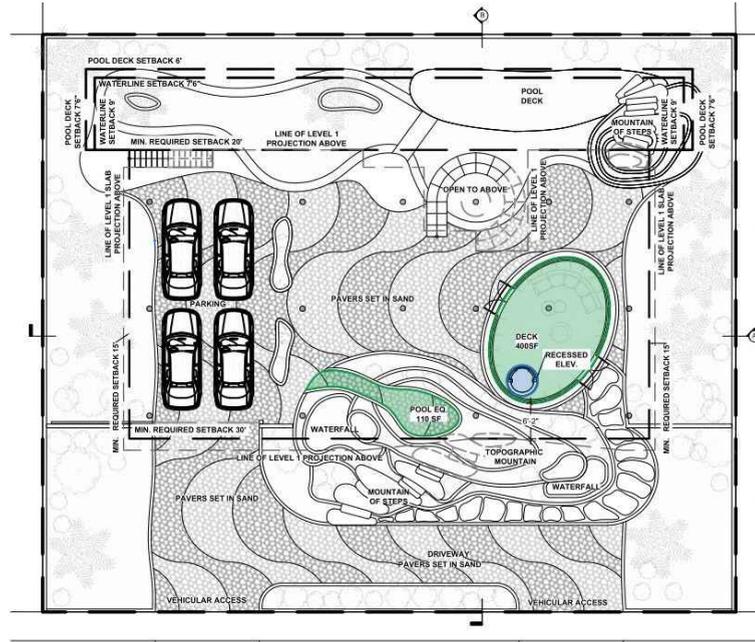
### PROVIDED:

ENCLOSED AREA	
UNDERSTORY	23 SF
LEVEL 1	3,253 SF
LEVEL 2	2,527 SF
ROOF DECK	94 SF

TOTAL UNIT SIZE	5,897 SF
-----------------	----------

UNDERSTORY AREA	510 SF
-----------------	--------

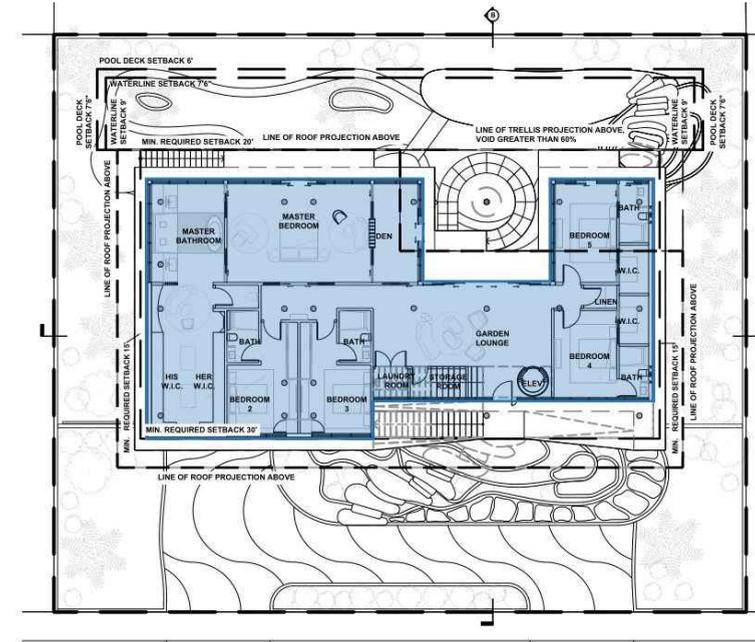
ROOF DECK	630 SF
-----------	--------



**LEGEND:**

NON A/C AREA DECK POOL EQ.	377 SF 110 SF
A/C AREA ELEVATOR	23 SF
TOTAL	510 SF

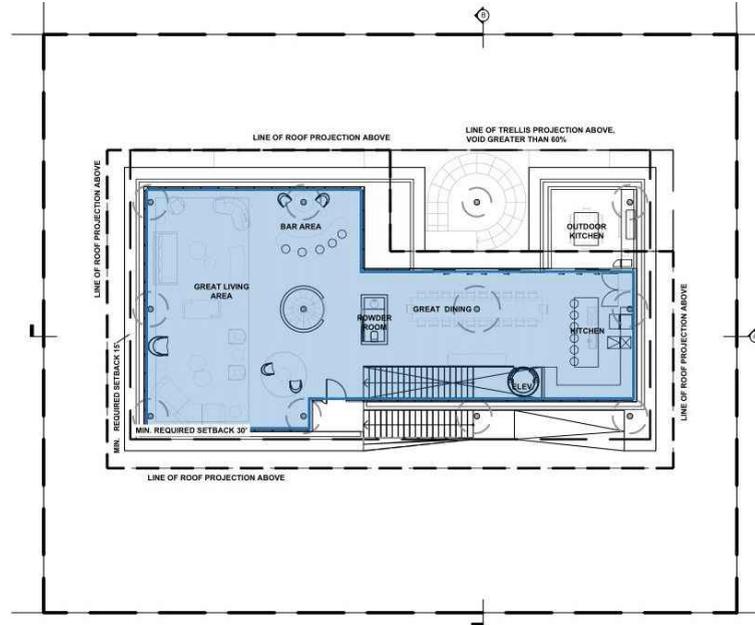
1 UNIT SIZE - UNDERSTORY LEVEL  
A014 1/32" = 1'-0"



**LEGEND:**

A/C AREA	3,253 SF
----------	----------

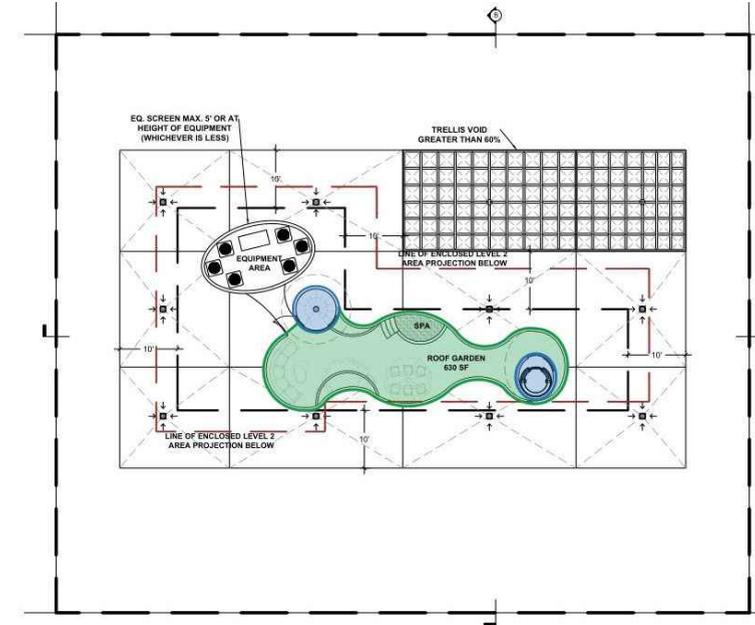
2 UNIT SIZE - LEVEL 1  
A014 1/32" = 1'-0"



**LEGEND:**

A/C AREA	2,527 SF
----------	----------

3 UNIT SIZE - LEVEL 2  
A014 1/32" = 1'-0"



**LEGEND:**

NON A/C AREA ROOF GARDE	536 SF
A/C AREA STAIR & ELEV	94 SF
TOTAL	630 SF

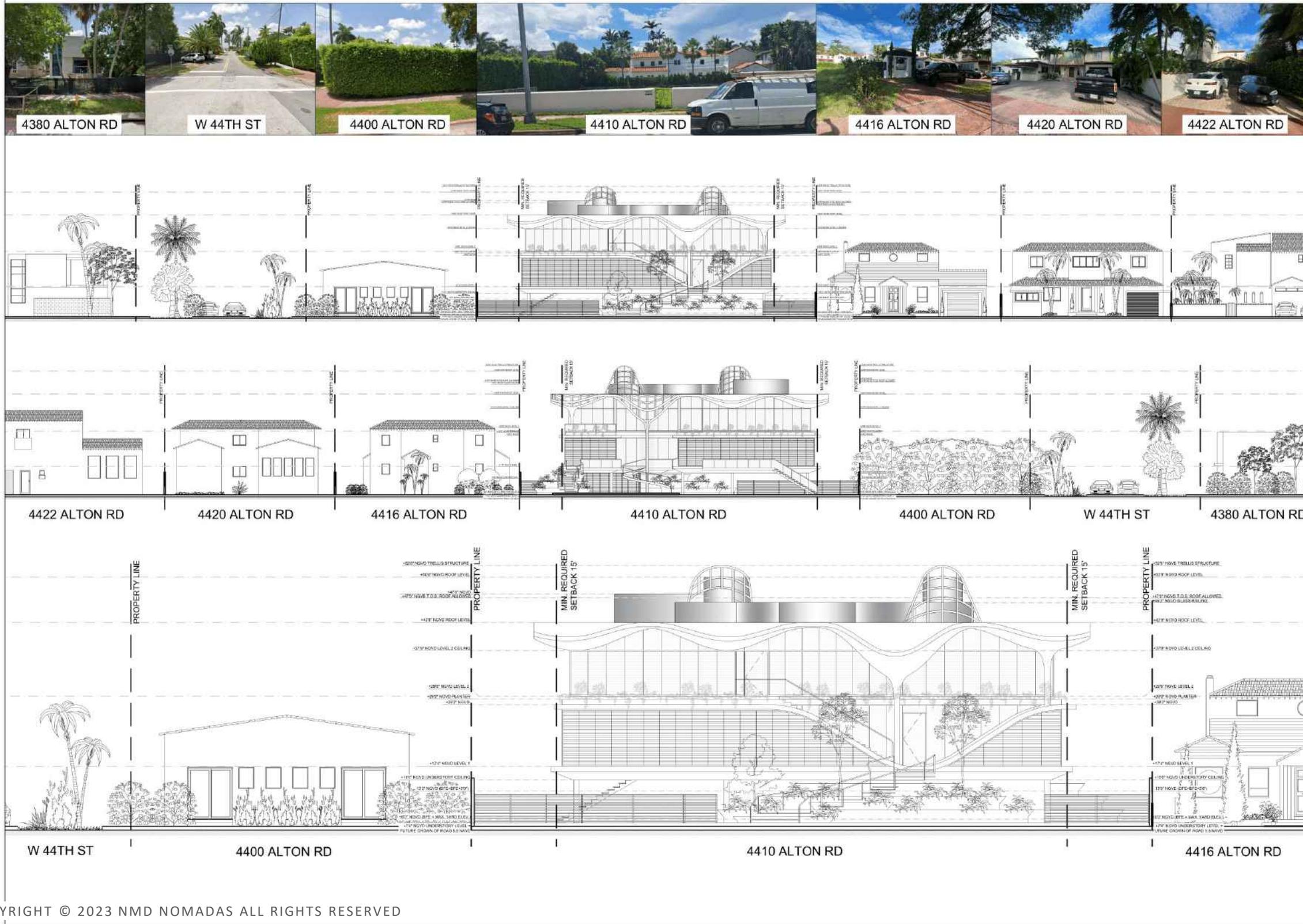
4 UNIT SIZE - ROOF LEVEL  
A014 1/32" = 1'-0"

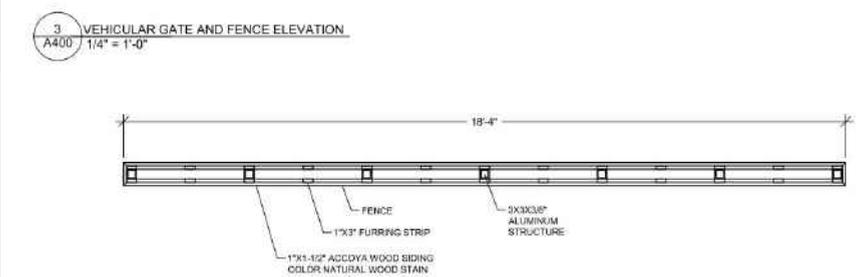
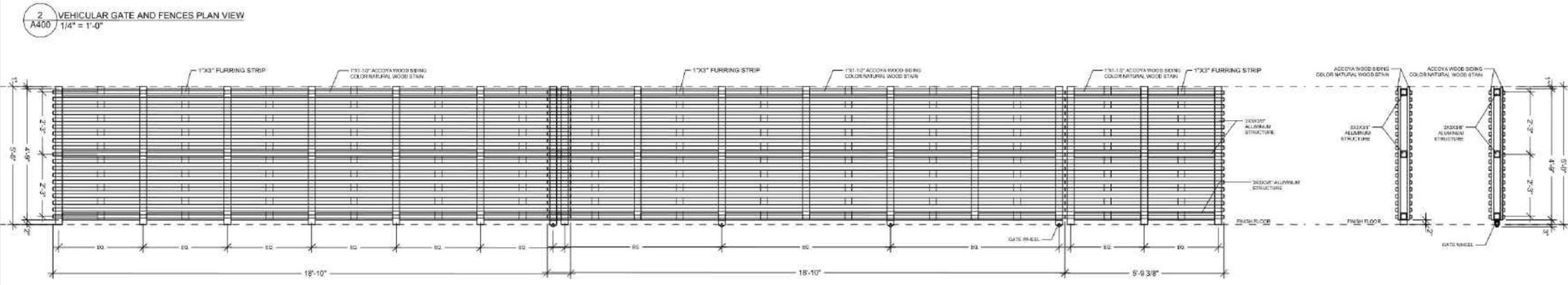
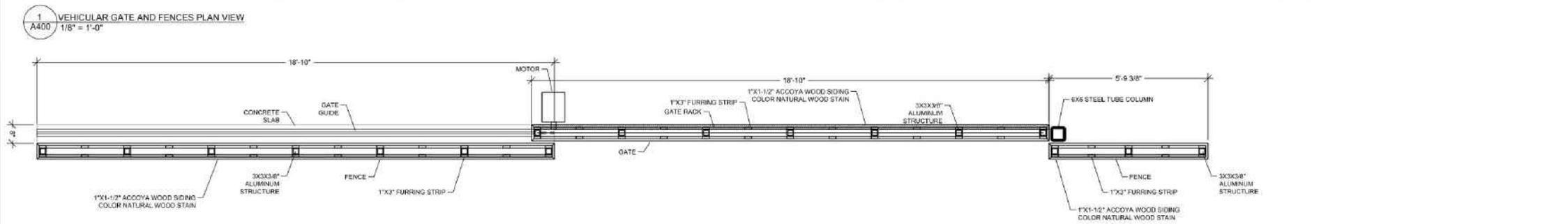


NORTH

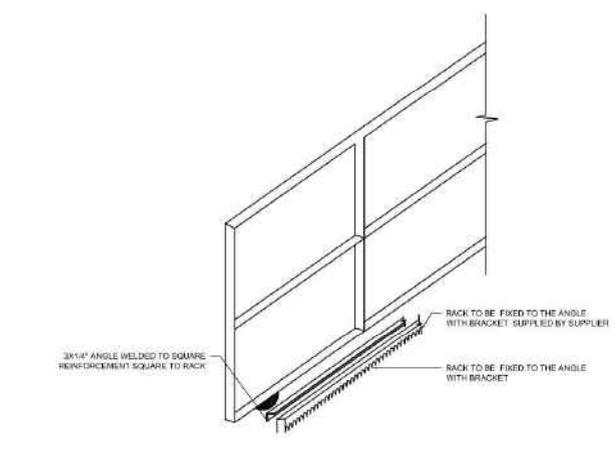
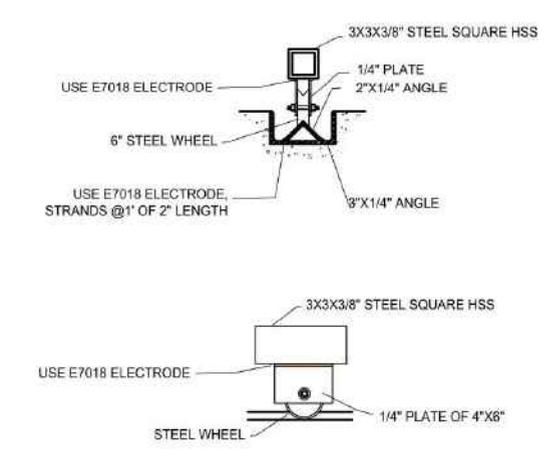
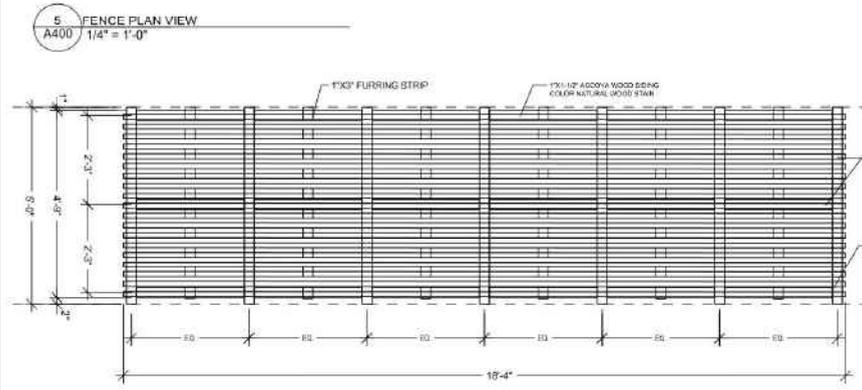
# HOUSE OF KIRSCHNER

## EXTERIOR ELEVATIONS LINE DRAWINGS





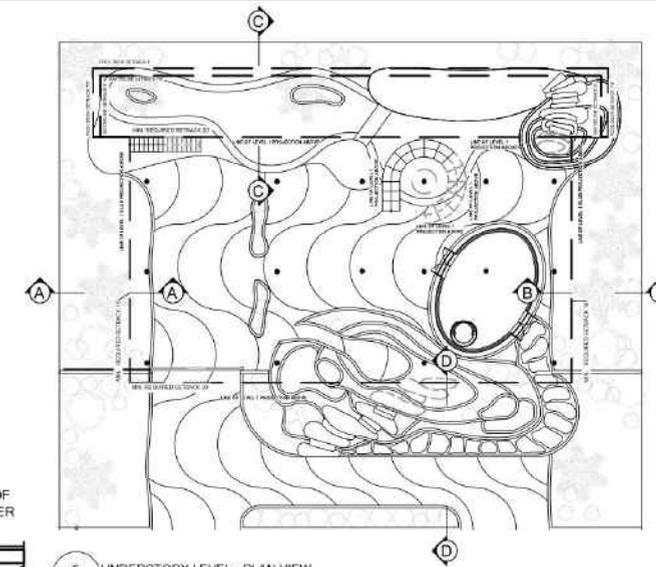
4 VEHICULAR GATE AND FENCE SECTIONS  
A400 1/4" = 1'-0"



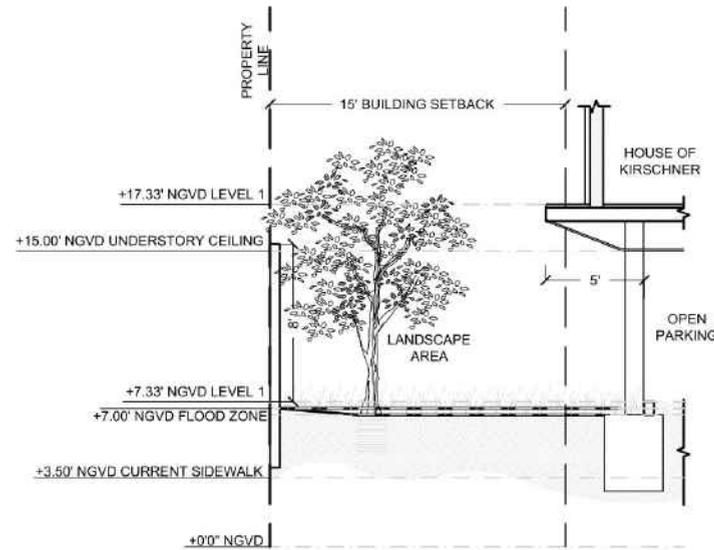
6 FENCE ELEVATION  
A400 1/4" = 1'-0"

# HOUSE OF KIRSCHNER

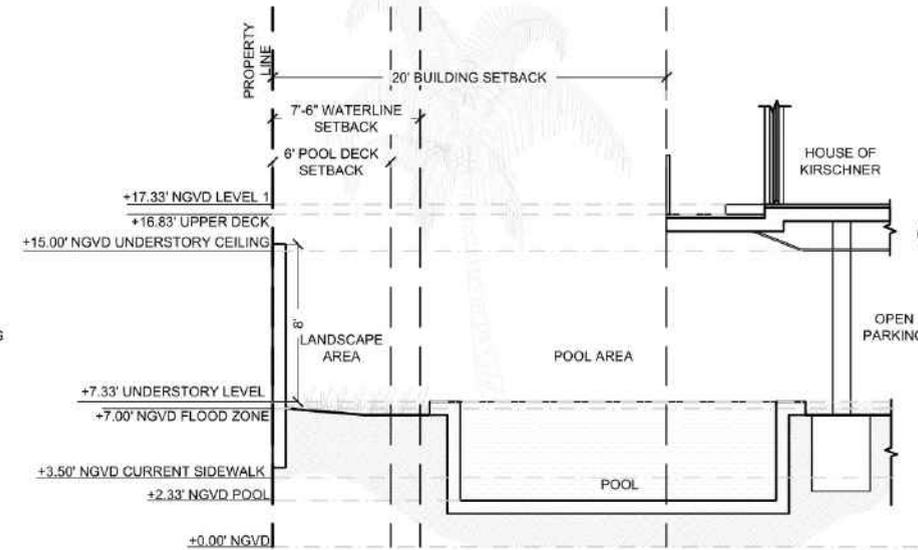
## YARD SECTIONS



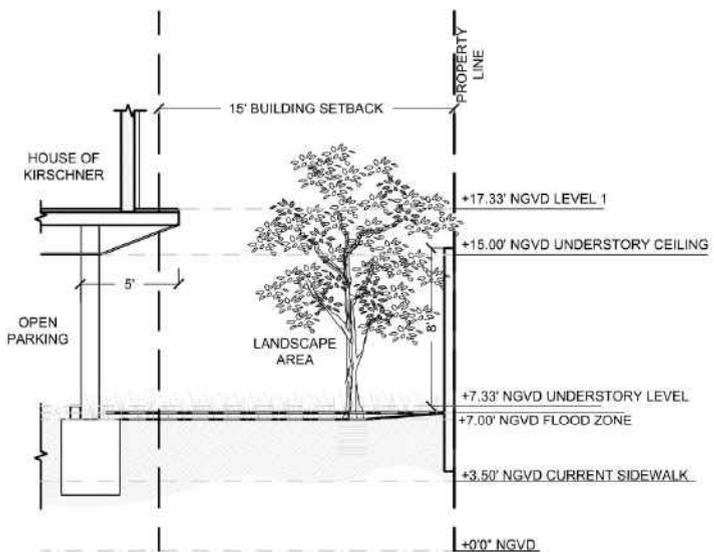
5 UNDERSTOREY LEVEL - PLAN VIEW  
A500 / 1/32" = 1'-0"



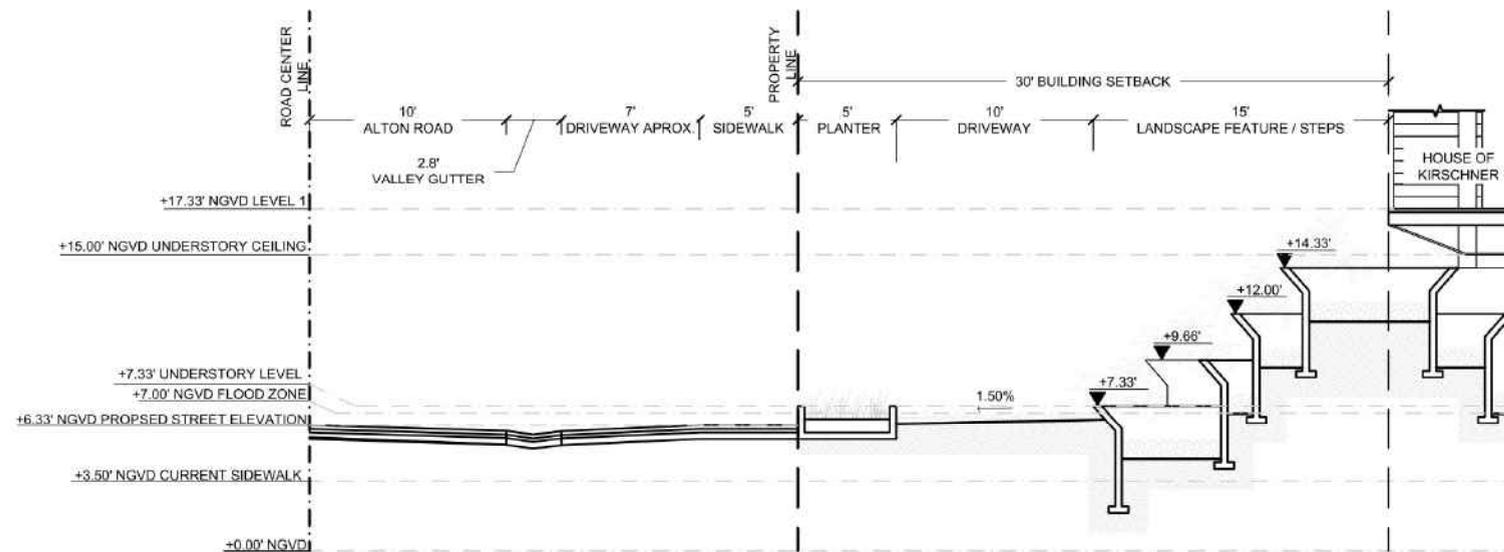
1 YARD SECTION A  
A500 / 1/8" = 1'-0"



3 YARD SECTION C  
A500 / 1/8" = 1'-0"



2 YARD SECTION B  
A500 / 1/8" = 1'-0"



4 YARD SECTION D  
A500 / 1/8" = 1'-0"

**SITE DATA**

1. **PARCEL ID NUMBER:** 02-3222-011-1150
2. **EXISTING/PROPOSED SITE AREA:** 0.28 AC (12,000 SF)
3. **LAND USE:**  
 EXISTING: VACANT RESIDENTIAL LOT  
 PROPOSED: SINGLE FAMILY RESIDENTIAL
4. **ZONING:**  
 PROPOSED: RS-4
5. **BUILDING HEIGHT:**  
 MAXIMUM ALLOWED: FLAT ROOF - 24 FT ; SLOPED ROOF - 27 FT  
 HEIGHT PROPOSED: 2 STORIES - FT
6. **PROPOSED BLDG:** SINGLE FAMILY RESIDENTIAL
7. **BUILDING SETBACKS:**

	REQUIRED	PROVIDED
• FRONT (ALTON ROAD)	30'	30'
• SIDE (WEST)	15'	15'
• SIDE (EAST)	15'	15'
• REAR (NORTH)	20'	20'
8. **LOT COVERAGE:**  
 MAXIMUM LOT COVERAGE 30% OF SITE: (0.30 \* 12,000) = 3,600 SF  
 PROPOSED LOT COVERAGE 30% OF SITE: 3,600 SF - 500 SF (EXEMPTION)= 3,100 SF
9. **OPEN SPACE:**  
 PROPOSED OPEN SPACE 8,900 SF

**KEYNOTE LEGEND**

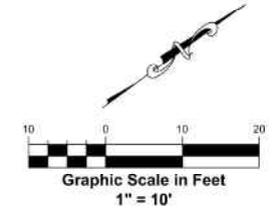
- 1 PROP. ENTRANCE / EXIT DOOR (REF. TO ARCH. PLANS)
- 2 PROP. 4" THICK CONCRETE SIDEWALK
- 3 PROP. LANDSCAPE (REF. TO LANDSCAPE PLANS)
- 4 PROP. FLARED DRIVEWAY
- 5 MATCH EXISTING EDGE OF PAVEMENT LINE AND GRADE
- 6 PROP. POOL (REF. TO ARCH. PLANS)
- 7 PROP. POOL DECK/DECK (REF. TO ARCH. PLANS)
- 8 PROP. WATER FEATURE (REF. TO ARCH. PLANS)
- 9 PROP. STEPS (REF. TO ARCH. PLANS)
- 10 LEVEL 1 SLAB PROJECTION ABOVE
- 11 EXIST. FENCE TO REMAIN
- 12 PROP. DRIVEWAY PAVERS (REF. TO ARCH. PLANS FOR FINISH)

**HATCH LEGEND**

- PROPOSED CONCRETE DRIVEWAY
- PROPOSED LANDSCAPE (SEE LANDSCAPE PLAN)
- PROPOSED PAVER/HARDSCAPE DRIVEWAY (SEE LANDSCAPE PLAN)

**GENERAL SITE NOTES**

1. FOR LEGAL DESCRIPTION, BOUNDARY INFO., AND BENCHMARK INFO. SEE SITE SURVEY SHEETS.
2. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL CENTERLINE GEOMETRY TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
4. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
6. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS, CODES, AND O.S.H.A. STANDARDS.
7. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



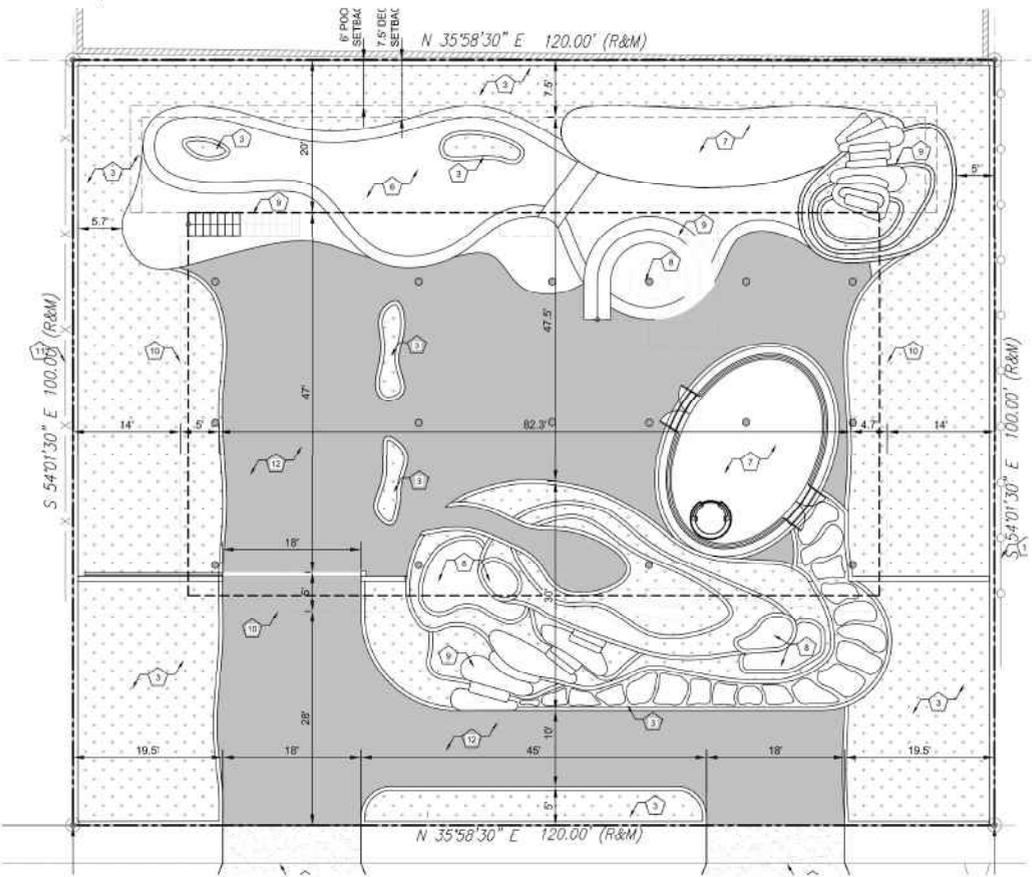
DESIGN

666 N.E. 125th STREET,  
 SUITE 247  
 NORTH MIAMI, FL 33161  
 Phone: 305.720.2079  
 C.O.A. 33221

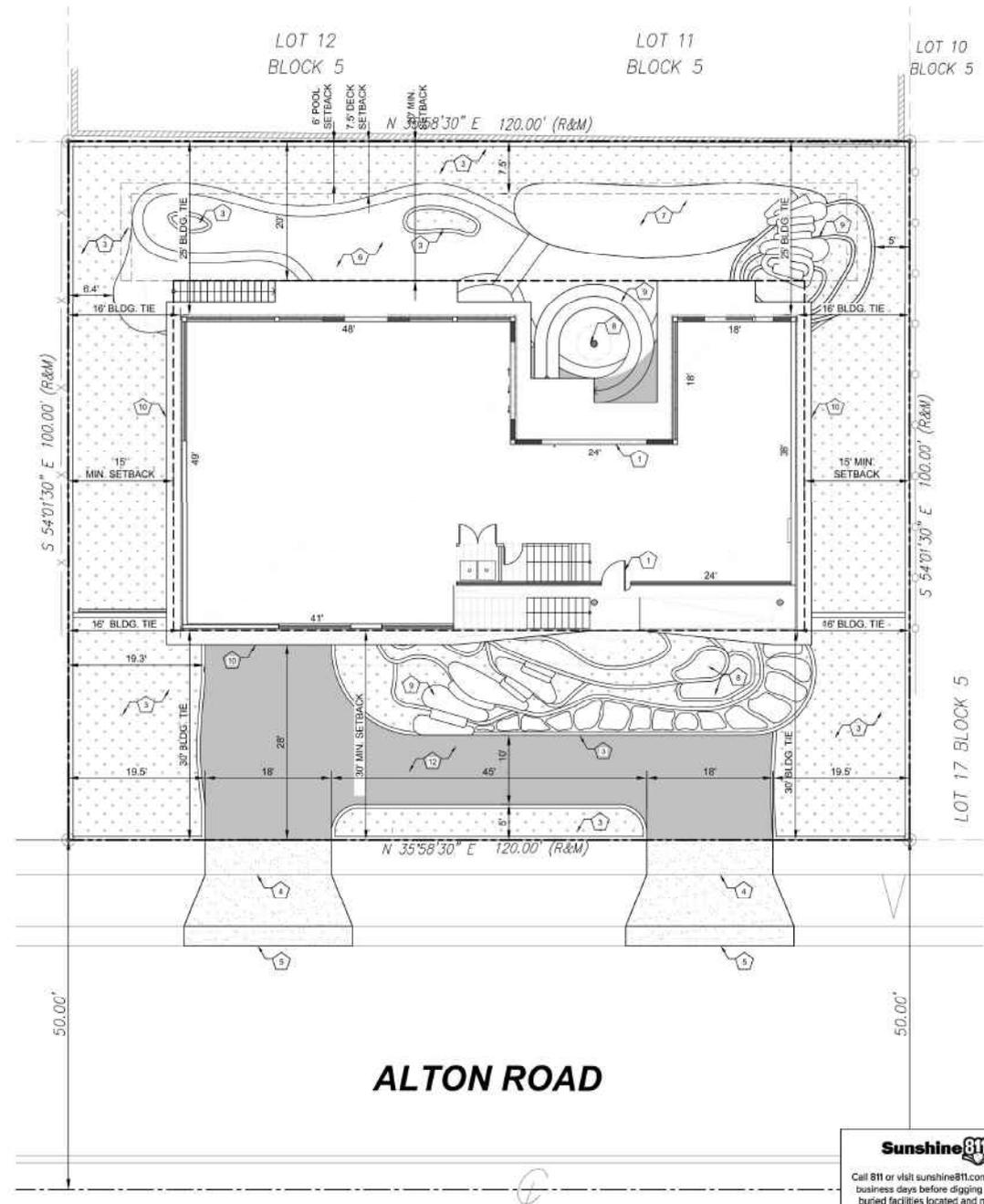
9/5/2023

This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



**UNDERSTORY LEVEL**  
 SCALE: 1" = 10'



**ALTON ROAD**

**Christoph  
 er Collins**

Digitally signed  
 by Christopher  
 Collins  
 Date: 2023.09.11  
 10:27:31 -04'00'

Revision	Date	Comment

Designed by:	C.P.C.
Drawn by:	S.G.C.
Checked by:	C.P.C.
Approved by:	C.P.C.
Scale:	N.T.S.
Date:	07/09/2023
Job No.:	M006
© 2023	

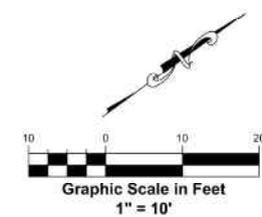
Plans for  
**HOUSE OF  
 KIRSCHNER**  
 4410 ALTON ROAD  
 MIAMI BEACH, FLORIDA

**SITE PLAN**

Sheet No.  
**C-4.0**

**Sunshine811**

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!



DESIGN

666 N.E. 125th STREET,  
SUITE 247  
NORTH MIAMI, FL 33161  
Phone: 305.720.2079  
C.O.A. 33221



This item has been digitally signed and sealed by Christopher P. Collins, P.E. on the date adjacent to the seal.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

IMAGES/Redman.usd

**Christoph  
er Collins**

Digitally signed  
by Christopher  
Collins  
Date: 2023.09.11  
10:26:53 -04'00'

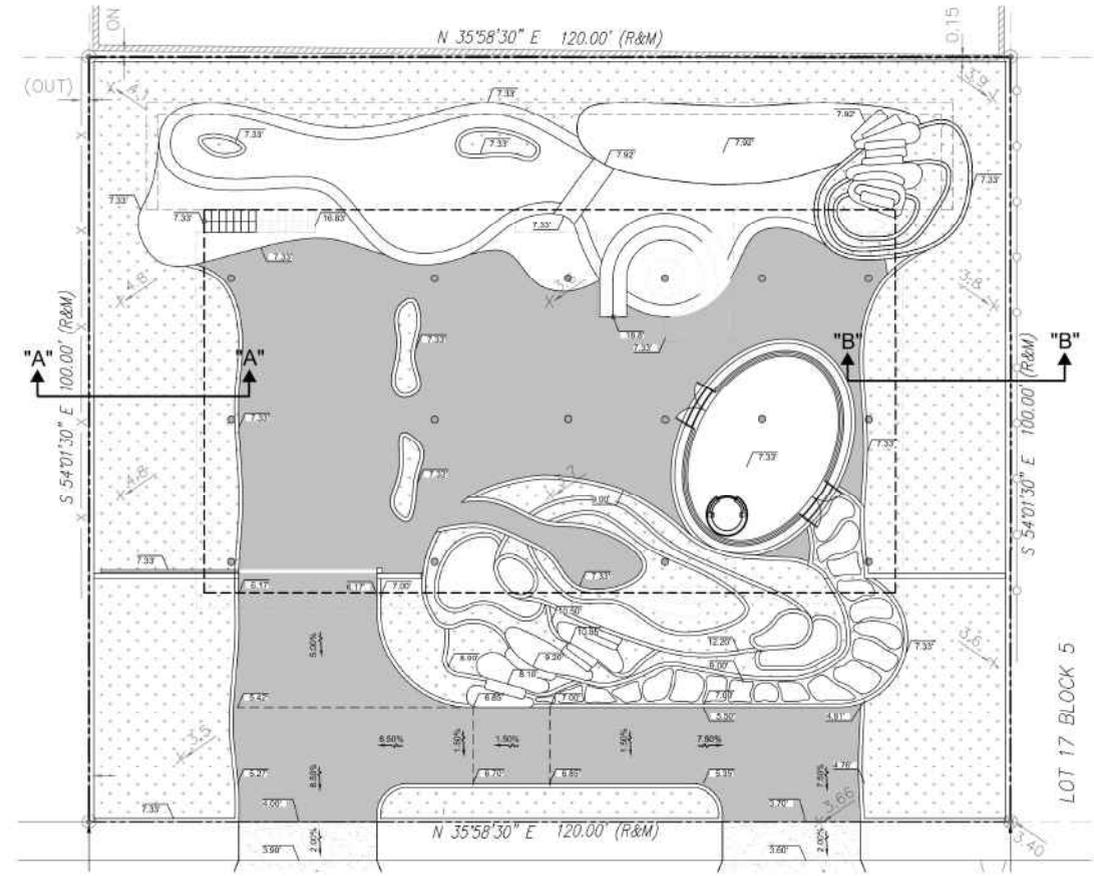
Revision	Date	Comment

Designed by:	C.P.C.
Drawn by:	S.G.C.
Checked by:	C.P.C.
Approved by:	C.P.C.
Scale:	N.T.S.
Date:	07/09/2023
Job No.:	M006
© 2023	

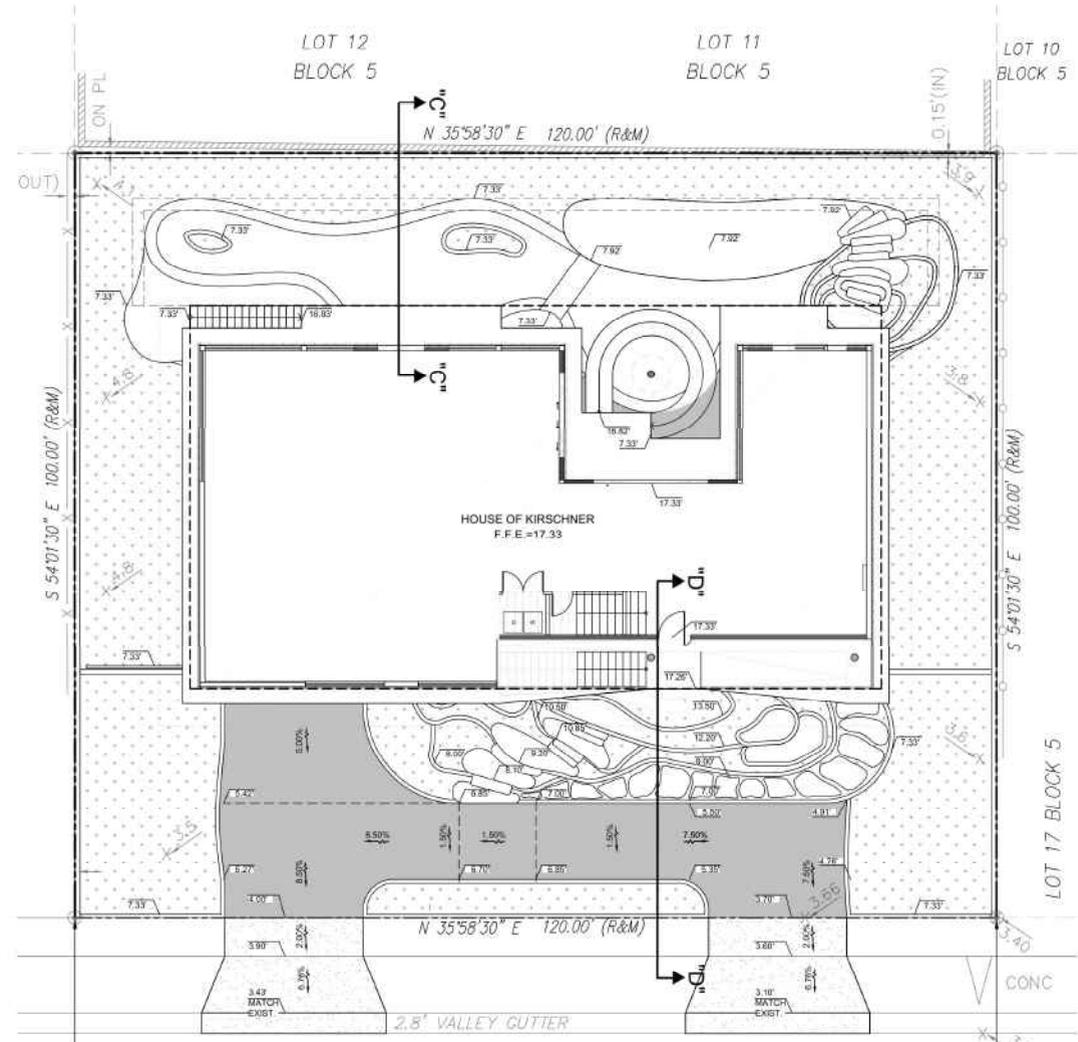
Plans for  
**HOUSE OF KIRSCHNER**  
4410 ALTON ROAD  
MIAMI BEACH, FLORIDA

**GRADING AND  
DRAINAGE PLAN**

Sheet No.  
**C-5.0**



**UNDERSTORY LEVEL**  
SCALE: 1" = 10'



100' RIGHT-OF-WAY (BY PLAT)  
29'± ASPHALT PAVEMENT

**ALTON ROAD**

0.6' CURB  
MEDIAN

NOTE  
- B.M. USED: D-157-R  
- ELEVATION: 4.93  
(N.G.V.D. 1929)  
- VERTICAL DATUM  
SHOWN: N.G.V.D. 1929

**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!



We understand that **change** is the essence of our era.

We aim to **transform** the ways we see and do.

We believe in **building a better quality of human life**, bringing improvement to urban life, and in responsibly and consciously increasing economic profitability.

We believe in **ethics** as a platform for thought and action.

NMD | NOMADAS™

MIAMI • BOSTON • HOUSTON

COPYRIGHT © 2023 NMD NOMADAS ALL RIGHTS RESERVED