

DRB23-0954

November 13th, 2023

Final Presentation for the Design Review Board

Application #: DRB23-0954

4510 Prairie Avenue

Miami Beach, FL 33140

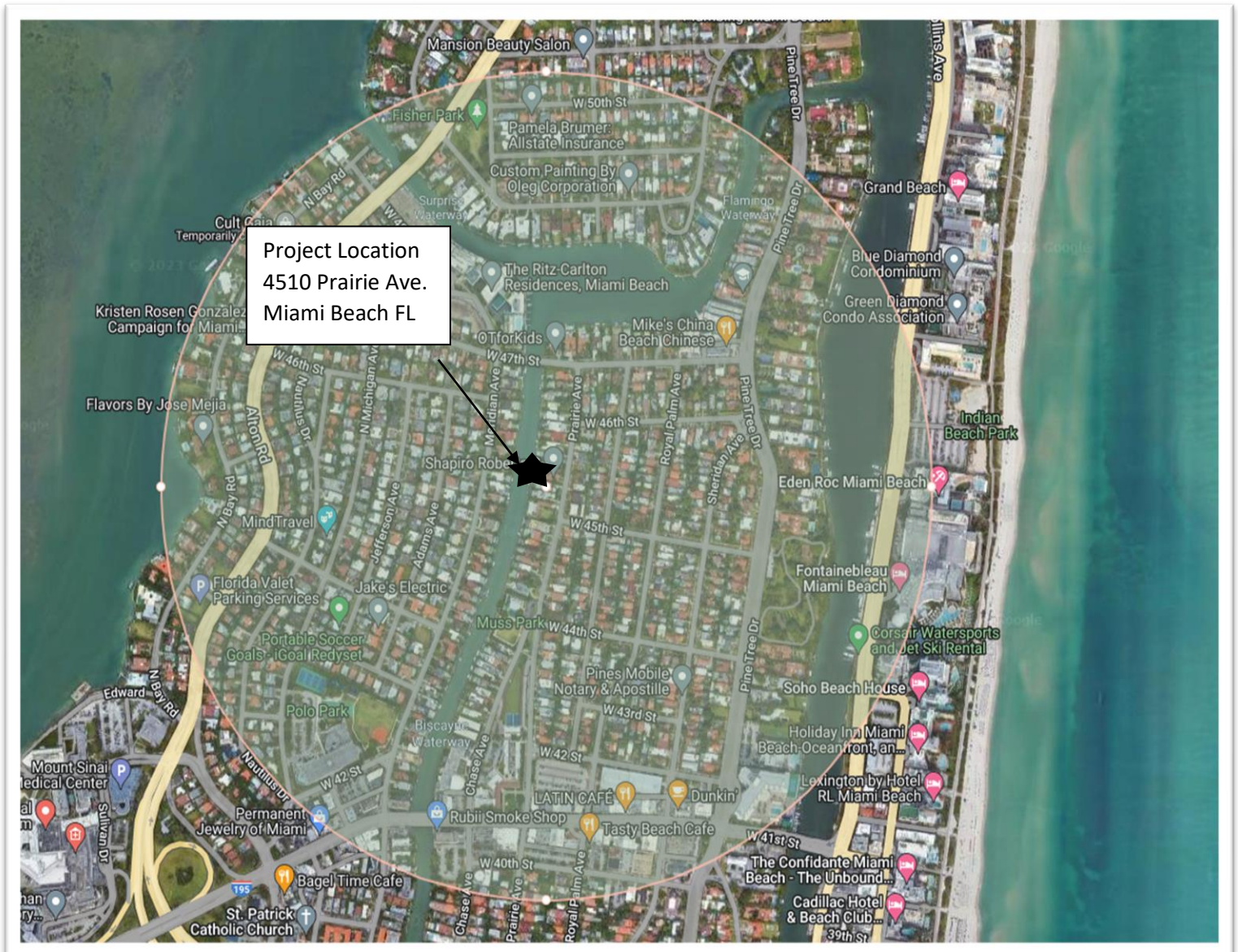


**Proposed exterior rendering.*

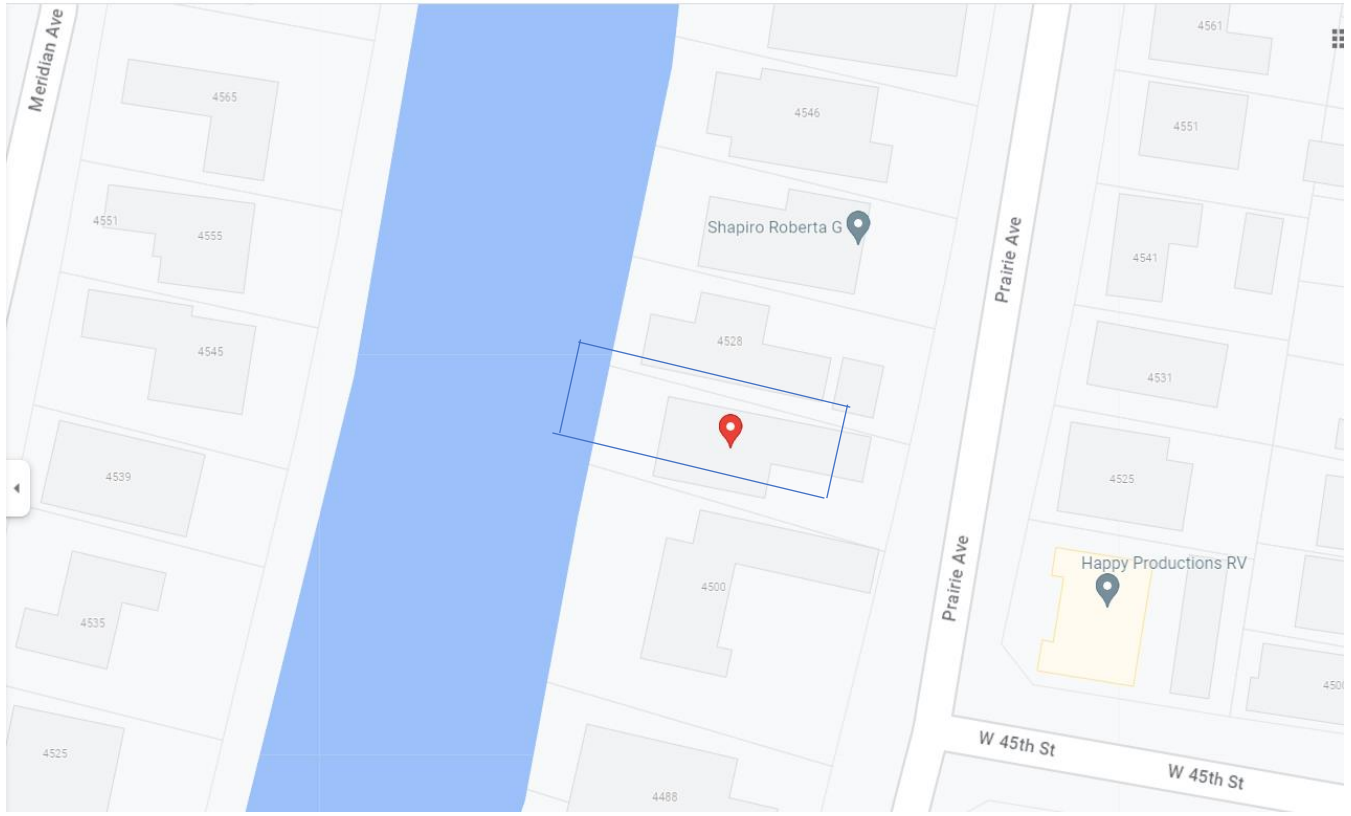
November 13th, 2023

4510 Prairie Ave. Miami Beach FL

1. Aerial Context Location:



2. Neighborhood Aerial View:



Source: <https://www.google.com/maps/search/4510+prairie+ave+neighborhood+aerial+view/@25.8194658,-80.1306335,19.41z?entry=ttu>

3. Letter of Intent (LOI):

Property Owner's Name: Eliyahu Finkelman & Revital Finkelman

Property Address/Location: 4510 Prairie Avenue

Miami Beach, Florida 33140

Folio No(s): 02-3222014-0531

Dear Design Review Board and City of Miami Beach Planning Department,

We are requesting approval for the following scope of work located at the property address listed above:

- New kitchen addition on the south side of the subject property (existing improvements), located near the center section of the building's first floor, is an open, rectangularly, shaped section of about **9'1" x 15'2"**, which, in accordance with the proposed construction project description, is designed to be enclosed, and finished with a new, modern, kitchen. The proposed kitchen extension/addition would have 135 square feet in total.
- The sloped roof has been designed to be a green roof.
- New window installation at the concerned extension.
- An additional planter will be added to add some greenery.
- An IPE wood box will be added to be more attractive to the property.
- The estimated construction cost is \$ 150,000.00.

Please consider this as a letter of intent to demolish the existing structure and add a new one-story kitchen to the property listed at the above address. I humbly and respectfully request the DRB to consider and approve the proposed addition.

THIS IS TO CONFIRM THAT THE LETTER OF INTENT RESPECTS THE ZONING DISTRICTS AND REGULATIONS

November 13th, 2023

4510 Prairie Ave. Miami Beach FL

4. Interior Renderings:

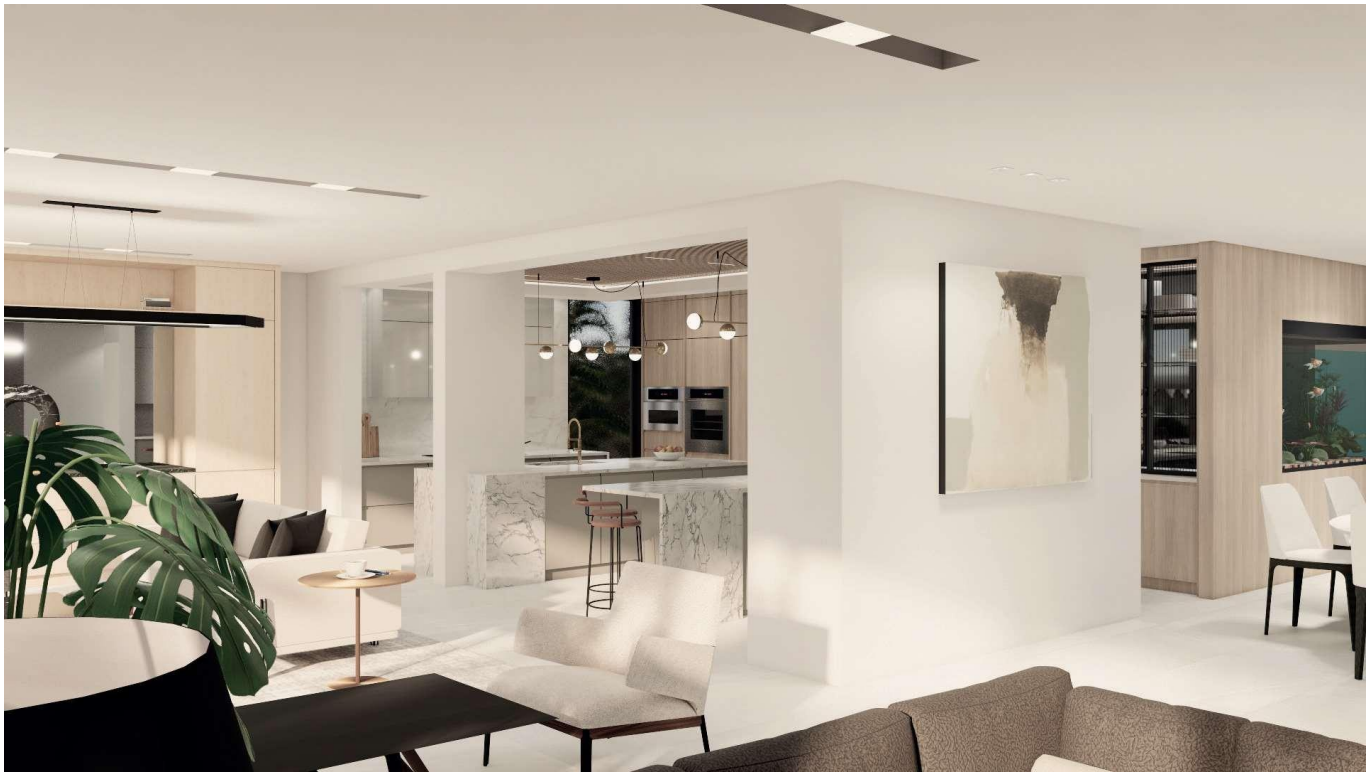


**View from dining room facing kitchen including proposed extension.*



**View from the inside of kitchen facing proposed extension.*

DRB23-0954



**General view from living room with proposed opening to kitchen from hallway.*



**View from proposed extension facing new kitchen opening.*

November 13th, 2023

4510 Prairie Ave. Miami Beach FL

DRB23-0954



**View from proposed entrance facing dining room.*

**View from proposed entrance facing dining room.*

November 13th, 2023

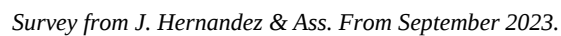
4510 Prairie Ave. Miami Beach FL

5. Exterior Rendering:



Key items to be noticed:

1. Green Roof to be sloped at proposed extension.
2. New IPE (Brazilian Lumber) Box.
3. New Planter.
4. New Window at proposed extension with a combination of IPE Brazilian Lumber Wood.



4510 Prairie Ave. Miami Beach FL

7. Neighbor Approval Letter:

Eliyahu and Revital Finkelman
4510 Prairie Ave
Miami Beach, FL 33140

July 3rd, 2023

Extension Approval from Neighbor

Dear Mr. Daniel Deshe,

We hope this letter finds you in good health and spirits.

We are writing to request your kind approval for an extension to our property, specifically a 135SF extension to the kitchen area.

We understand the importance of maintaining a harmonious and cohesive neighborhood, and we want to assure you that we will follow all local regulations and guidelines.

Here are some key points we would like to highlight regarding the extension:

1. **Aesthetics:** The design of the extension will be in harmony with the existing architecture of our house and the surrounding properties. We have consulted with a professional architect to ensure seamless integration.
2. **Privacy and Lighting:** The extension will not obstruct your property's privacy or natural lighting. We have made sure that it will not encroach upon your space or hinder any aspects of your daily life.
3. **Property Lines:** The extension will stay well within the boundaries of our property, and we will ensure all necessary legal approvals and permits are obtained before proceeding with the construction.
4. **Noise and Disruption:** we understand the inconvenience construction work can cause, and we assure you that we will make every effort to minimize noise and disruption during the construction process.
5. **Safety Measures:** Safety is of greatest importance to us, and we will implement all necessary safety measures during construction to prevent any accidents or hazards.

As your neighbor, we value your opinion and would be more than happy to discuss any concerns or suggestions you may have regarding the proposed extension. Your approval is crucial for us to move forward with this project.

Please feel free to contact us if you have any questions or if you would like to meet in person to discuss this matter further.

Thank you for your understanding and consideration. I am looking forward to your positive response.

Sincerely,

Eli Finkelman

Eliyahu and Revital Finkelman

Daniel Deshe

Daniel Deshe

Important note:

1. Neighbor, Daniel Deshe, signing and **approving** proposed extension.

November 13th, 2023

4510 Prairie Ave. Miami Beach FL

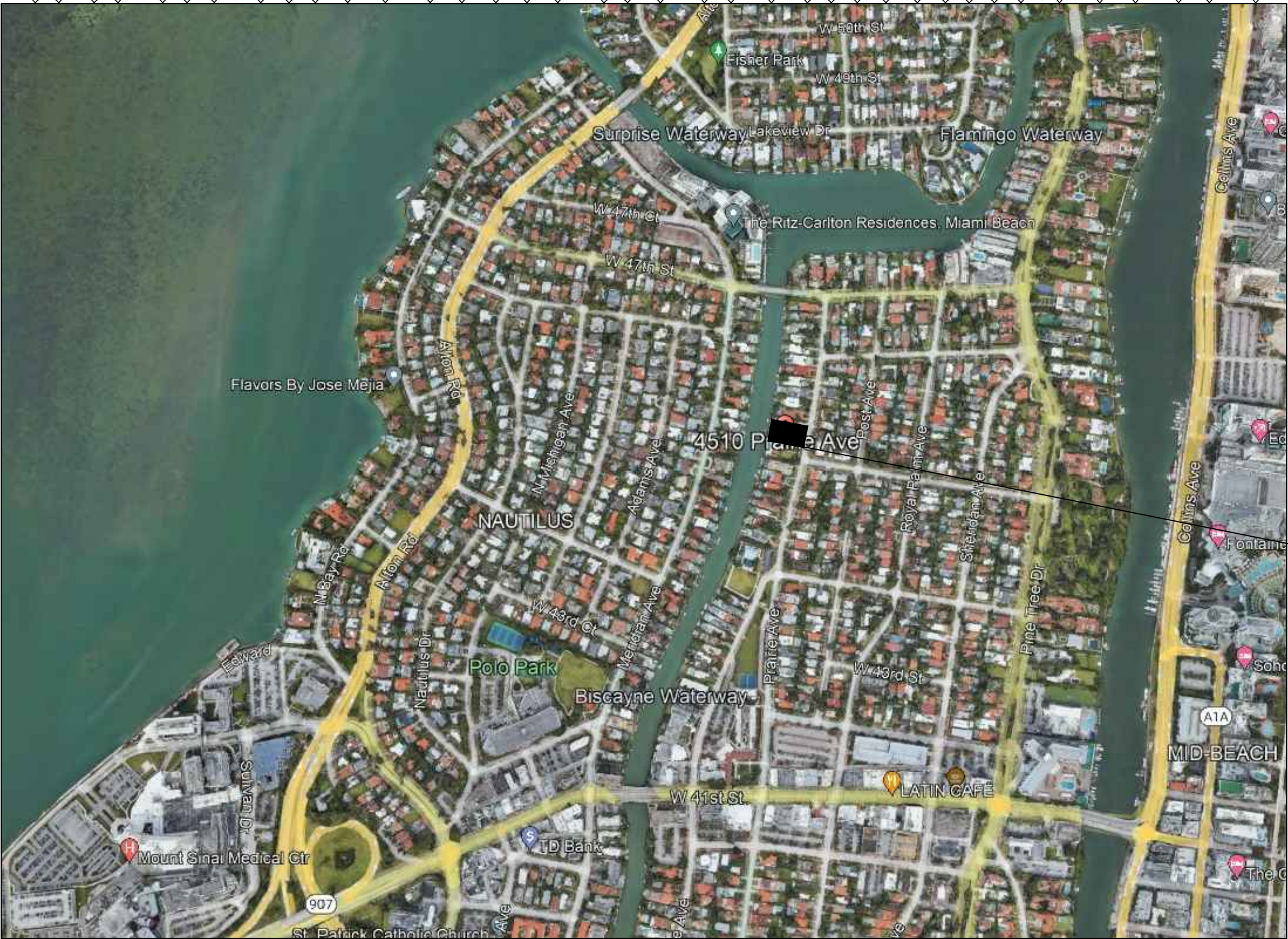
8. Zoning Data Sheet: SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	4510 Prairie Ave Miami Beach			
2	Folio number(s):	02-3222-014-0531			
3	Board and file number(s) :	DRB23-0954			
4	Year built: 2018	Zoning District:	4		
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	7'-0" NGVD	Grade value in NGVD: 5'-6" NGVD		
9	Adjusted grade (Flood+Grade/2): (7'-0" + 5'-6")/2= 6'-3"		Free board: 0		
10	30" above grade: 5'-6" + 30"= 8'-0"		Lot Area: 12,008 Sq. ft.		
11	Lot width: 65'		Lot Depth: 190.2'		
12	Max Lot Coverage SF and %: 3,602 Sq. ft. (29.9%)		Proposed Lot Coverage SF and %:		3,034 Sq. ft. (25.3%)
13	Existing Lot Coverage SF and %: 2,896 Sq. ft. (24.1%)		Net Lot coverage (garage-storage)		455 Sq. ft.
14	Front Yard Open Space SF and %: 1,288 Sq. ft. (10.7%)		Rear Yard Open Space SF and %:		1,774 Sq. ft. (14.8%)
15	Max Unit Size SF and %: 6,004 Sq. ft. (50%)		Proposed Unit Size SF and %:		5,531 Sq. ft. (46.1%)
16	Existing First Floor Unit Size: 2,710 Sq. ft.		Proposed First Floor Unit Size:		2,848 Sq. ft.
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	-			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No: No		
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	24'-0"	24'-0"	24'-0"	
	Front Setbacks:				
20	Front First level:	20'-0"	20'-0"	20'-0"	
	Front second level:	40'-0"	45'-7"	45'-7"	
	Front second level if lot coverage is 25% or greater:				
21	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	16'-4" (35%)	25'-0" (53%)	25'-0" (53%)	
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	-	-	-	
22	Sum of side yard :	15'-0"	19'-6"	19'-6"	
23	Side 1:	7'-6"	7'-9"	7'-9"	
24	Side 2 or (facing street):	7'-6"	9'-0"	9'-0"	
25	Rear:	28'-6"	36'-6"	36'-6"	
26	Accessory Structure Side 1: BBQ/GARAGE	7'-6"	7'-9"/ 7'-9"	7'-9"/ 7'-9"	
27	Accessory Structure Side 2 or (facing street) : BBQ/GARAGE	7'-6"	52'-3"/ 35'-10"	52'-3"/ 35'-10"	
28	Accessory Structure Rear: BBQ/GARAGE	14'-3" 1/2 REAR SET BACK	36'-6"/ 150'-8"	36'-6"/ 150'-8"	
30	Additional data or information that may be applicable to the project shall be provided in the following fields. November 13 th , 2023				
	4510 Prairie Ave. Miami Beach FL				

4510 PRAIRIE AVE.

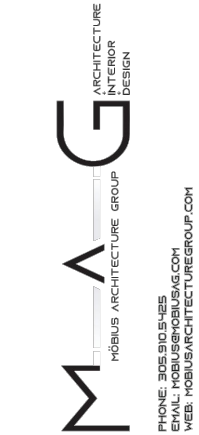
PERMIT SET



MIAMI BEACH, FL 33140

- INDEX OF DRAWINGS**
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A-0.2 VARIANCE REQUESTED
- ARCHITECTURAL**
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DM-1 DEMOLITION PLAN
A-1 EXISTING FIRST FLOOR PLAN
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4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140
SITE LOCATION



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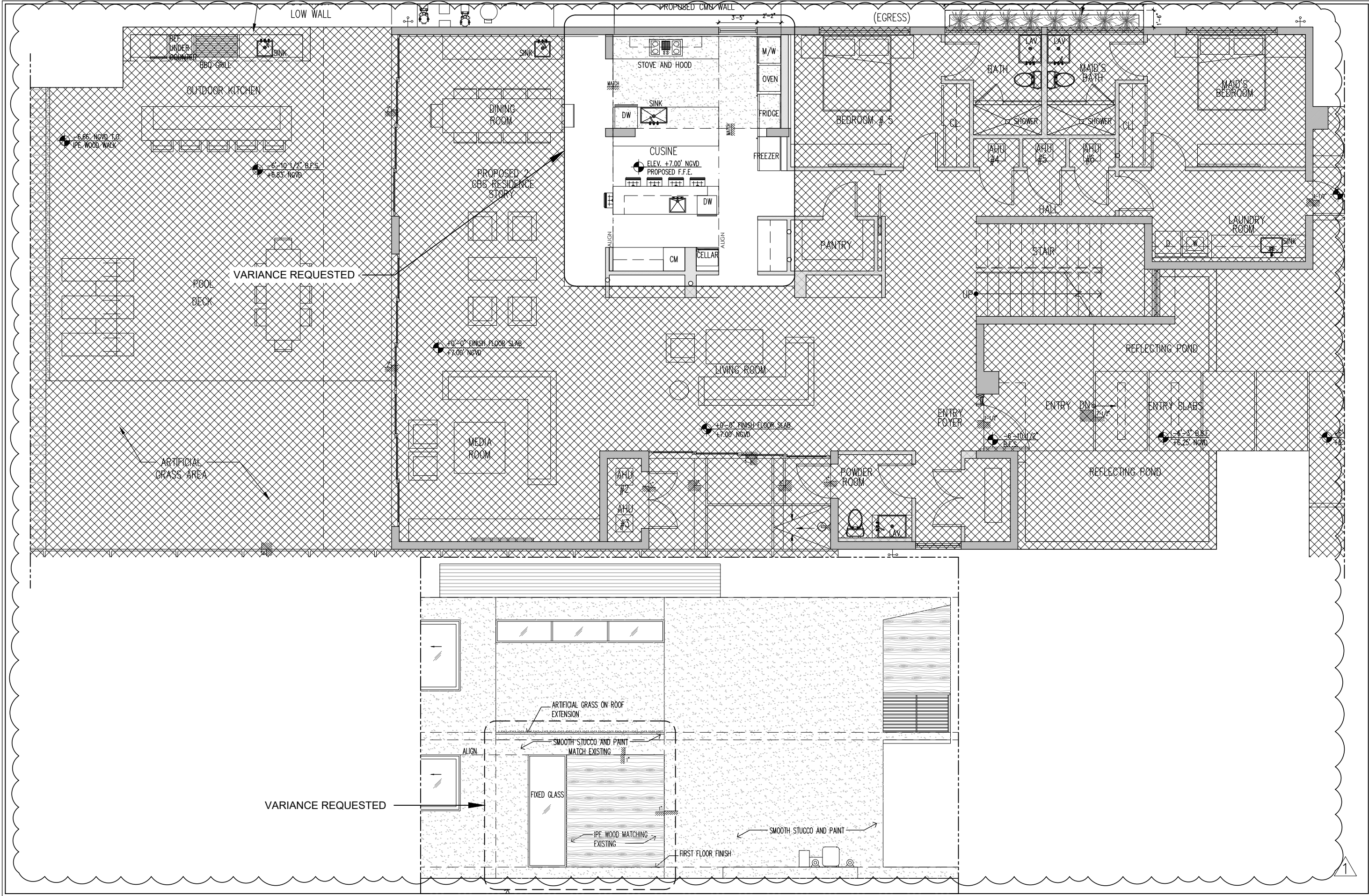
DRAWING INDEX
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MIAMI BEACH, FL 33140

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Professional Seal(s)

Edward Silva
Date: 07/15/2023
15:56:00

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REV 1 08-29-23

A-0.1



ARCHITECTURE
INTERIOR
DESIGN

AG

MOBIUS ARCHITECTURE GROUP

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VARIANCE REQUESTED

Sheet

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Edward Silva
STATE OF FLORIDA
Architect
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4510 PRAIRIE AVE.

PERMIT SET



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COVER

Sheet

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

07/14/2023

Professional Seal(s)

Digitally signed by Edward Silva

DN: cn=Edward Silva, o=Mobius Architecture Group, ou=Architecture Group, email=edward.silva@mobiusag.com, c=US

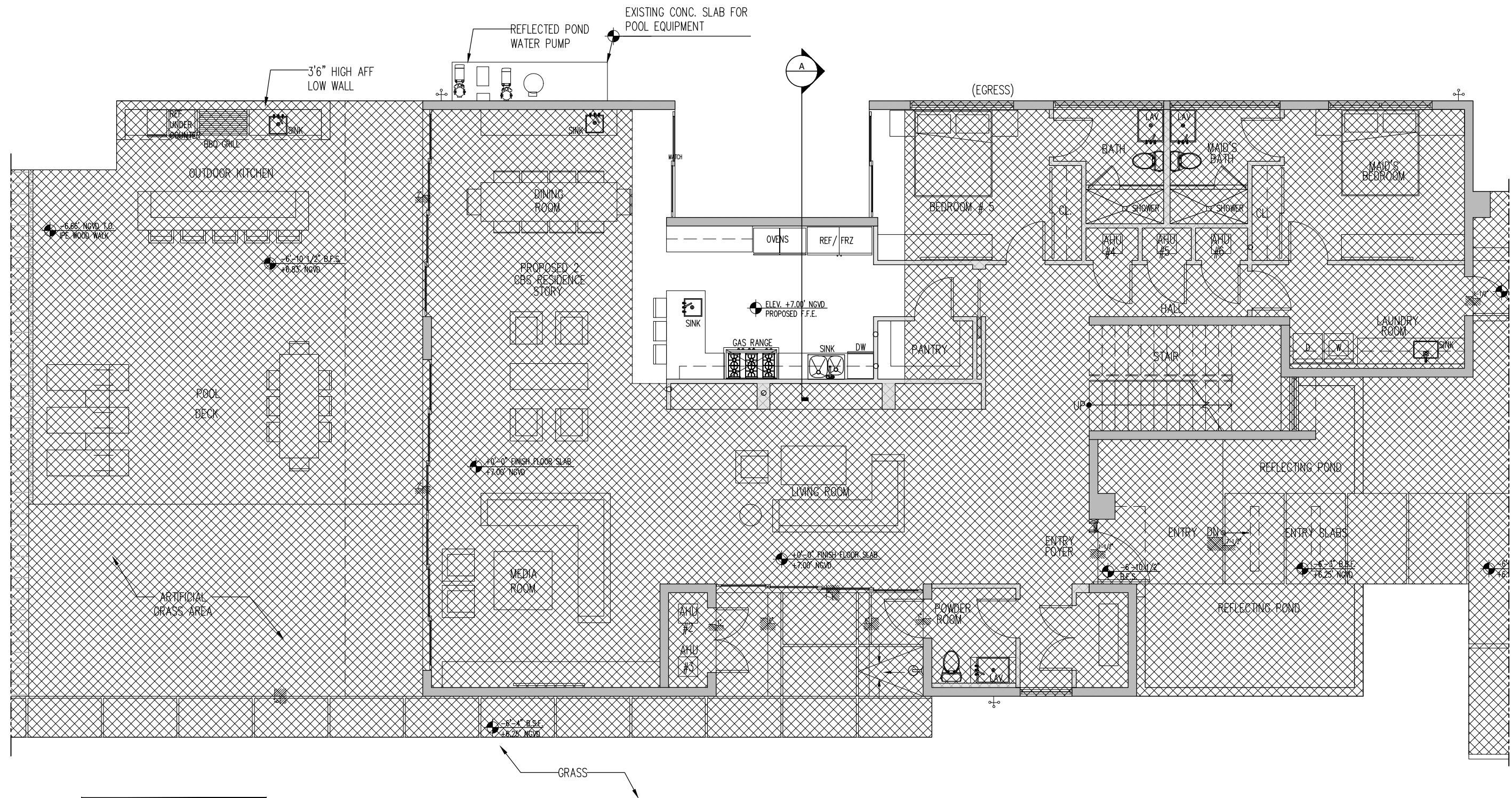
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EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

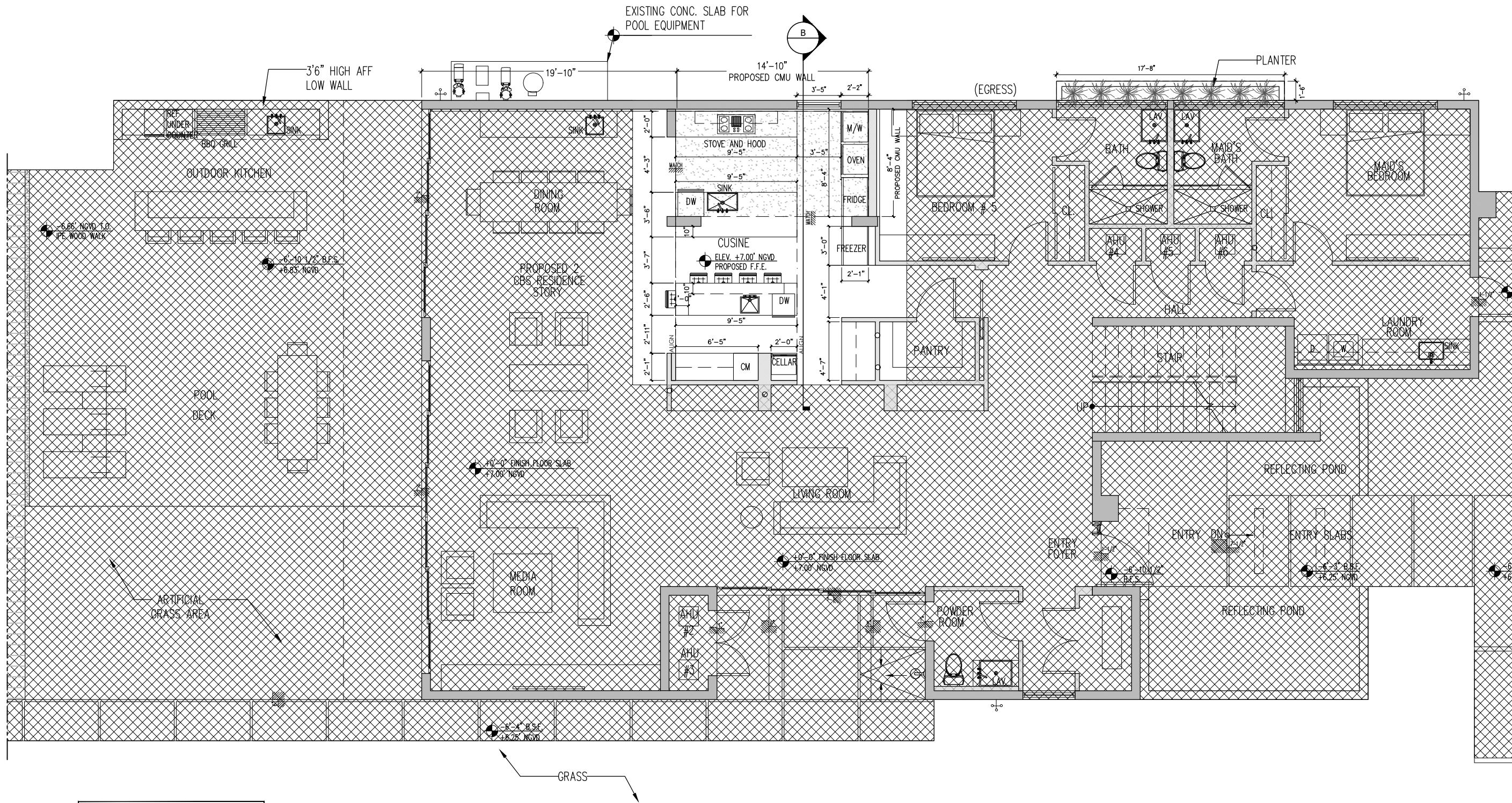
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EXISTING FIRST
FLOOR PLAN

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LEGEND	
	NO WORK IN THIS AREA
	EXTERIOR WALL
	INTERIOR PARTITION
	NEW STARTER COL.

PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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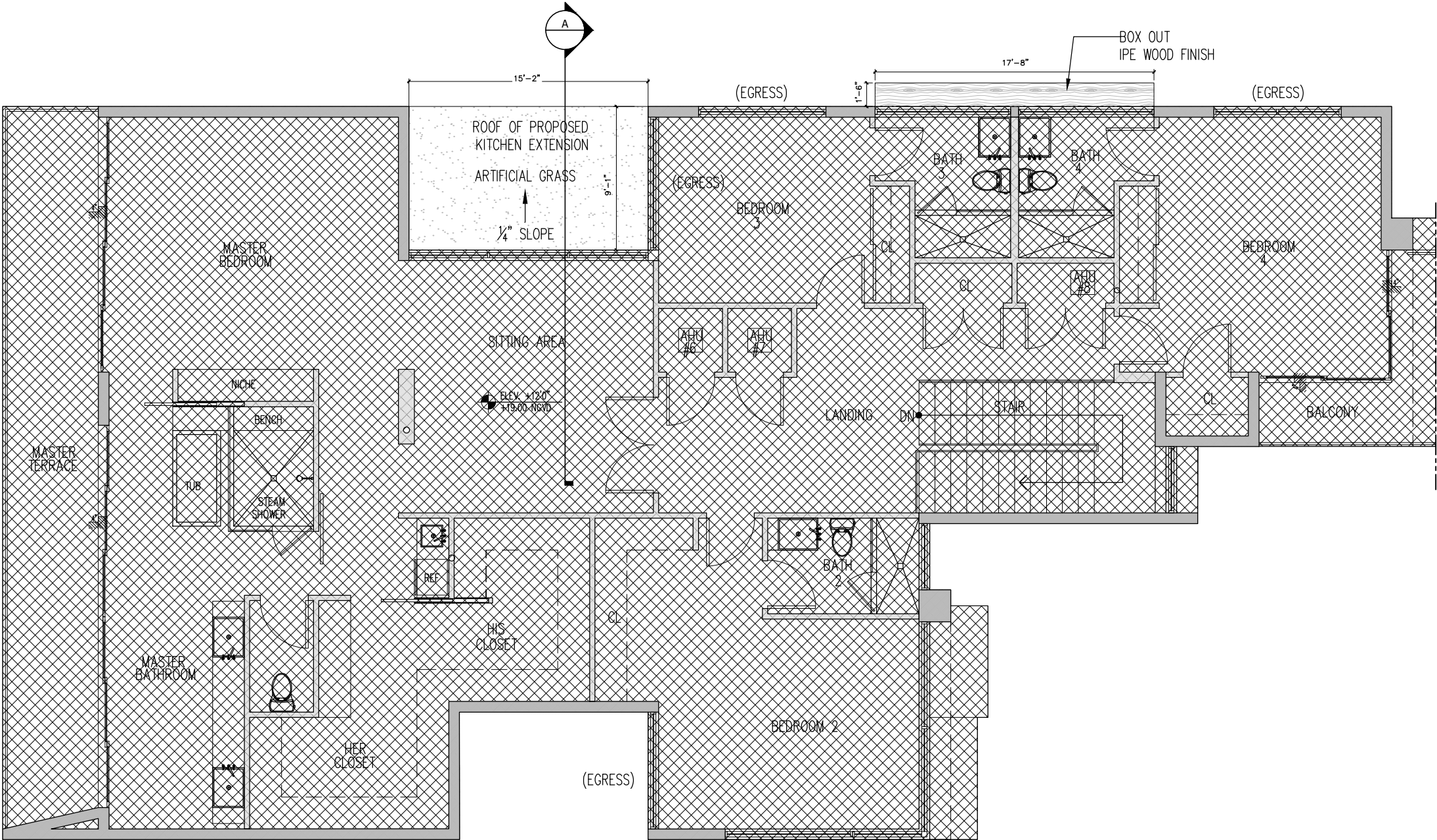
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PROPOSED FIRST
FLOOR PLAN
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LEGEND	
	NO WORK IN THIS AREA
	EXTERIOR WALL
	INTERIOR PARTITION
	NEW STARTER COL.

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR PLAN

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

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Professional Seal of Edward Silva, AR0011131

Signature of Edward Silva

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A-3

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ARCHITECTURE INTERIOR DESIGN

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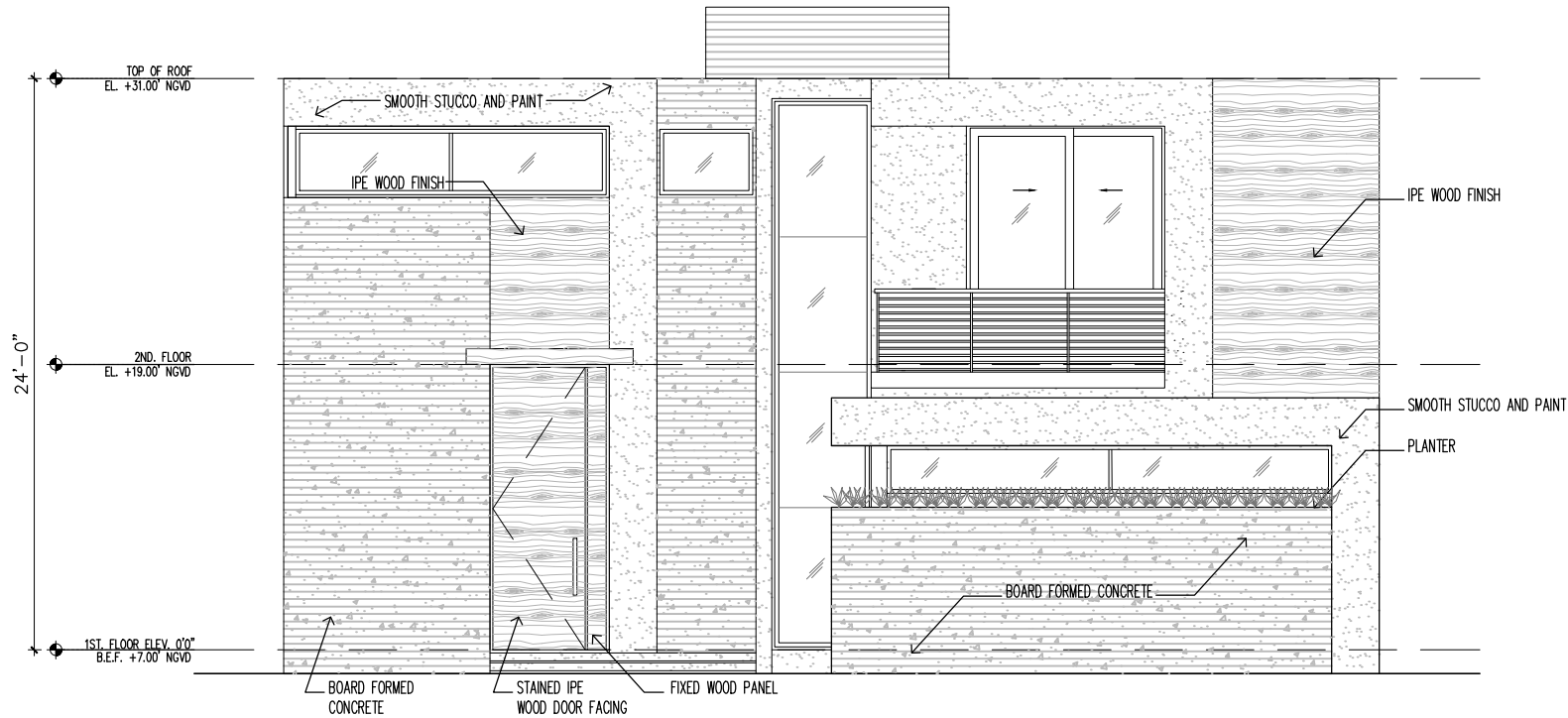
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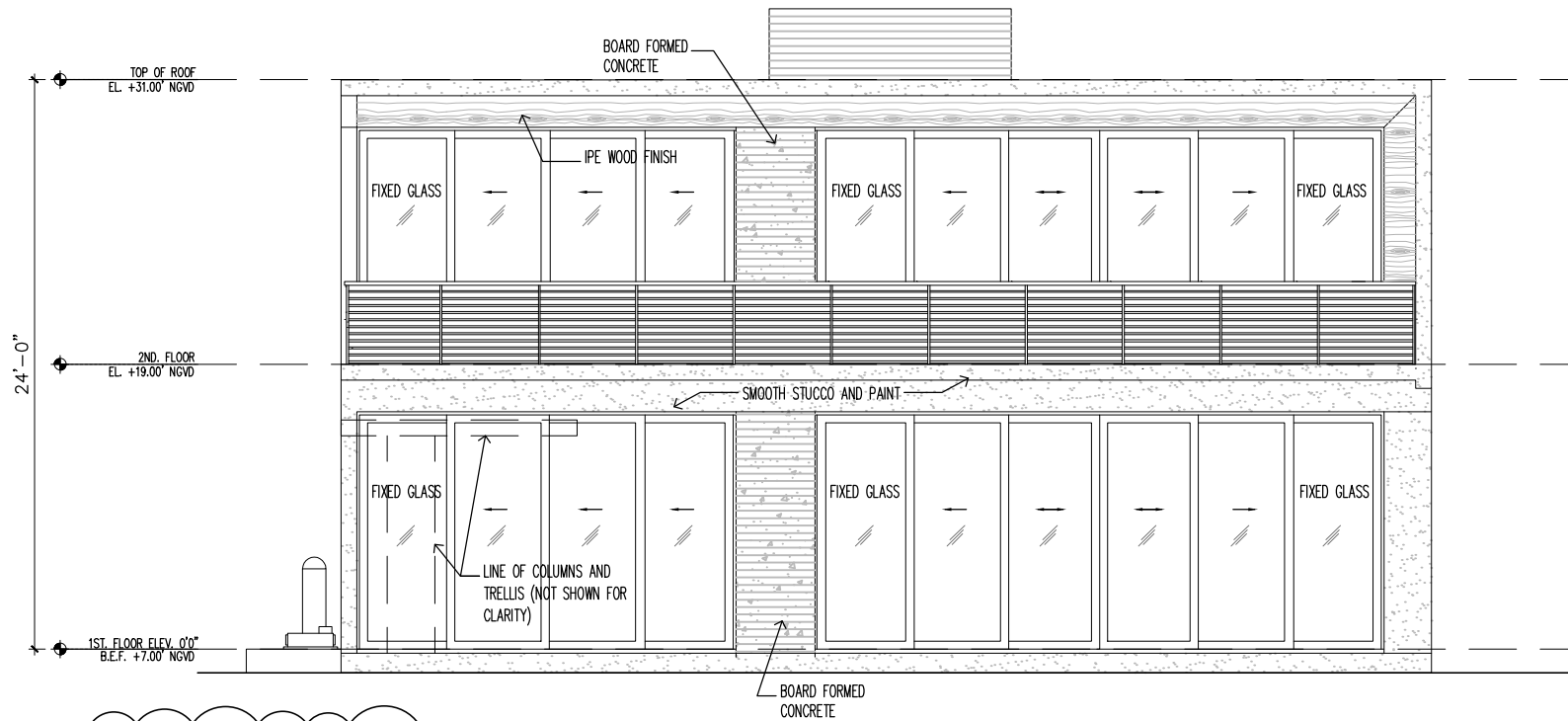
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1 EXISTING EAST ELEVATION (FRONT)
Scale: 1/8" = 1'-0"



2 EXISTING WEST ELEVATION (REAR)
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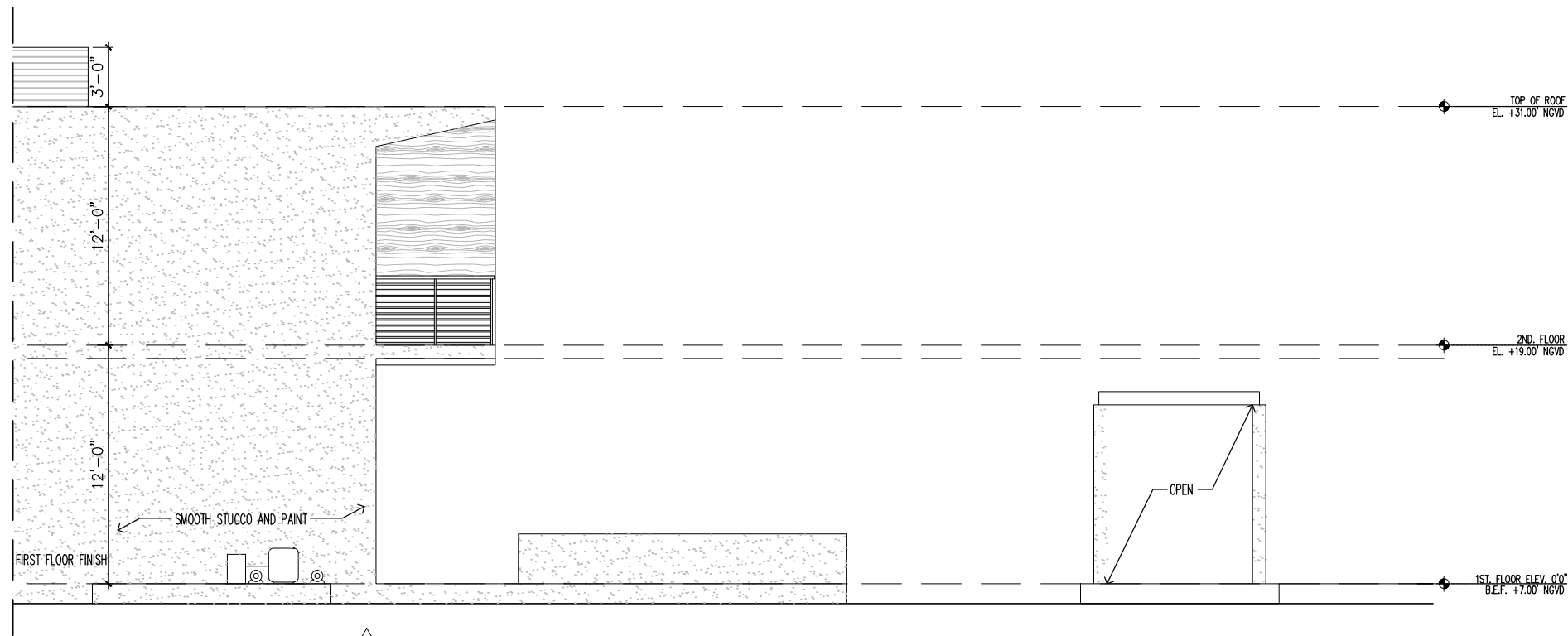
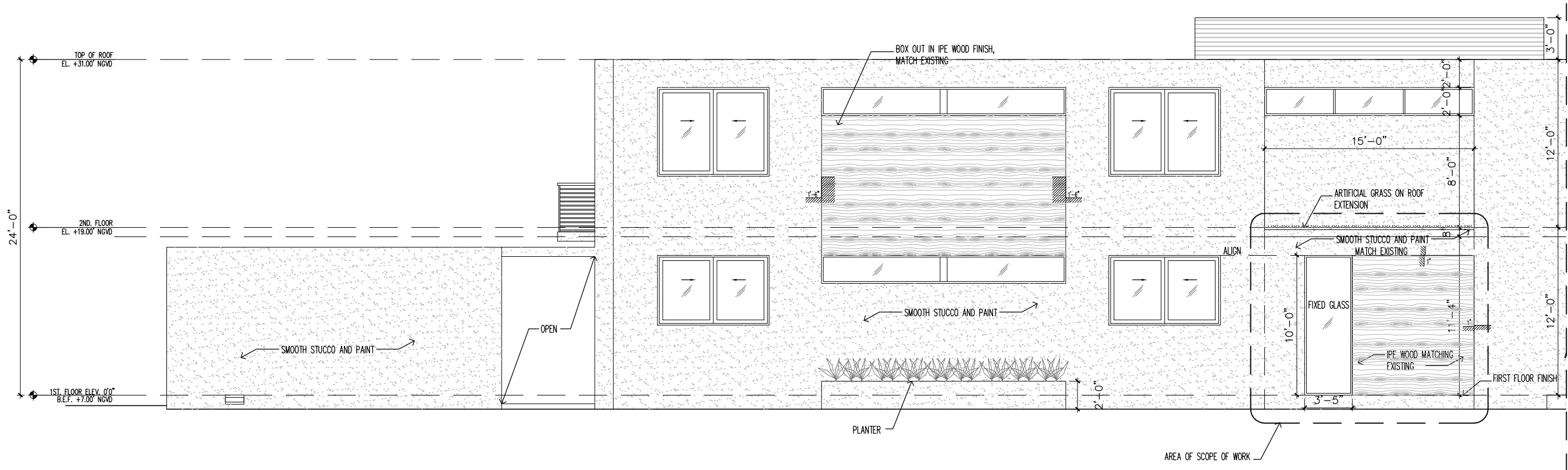
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Sheet
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EXIST. WEST ELEVATION
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1 PROPOSED NORTH ELEVATION (RIGHT)
Scale: 1/8" = 1'-0"

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PROP. NORTH ELEVATION

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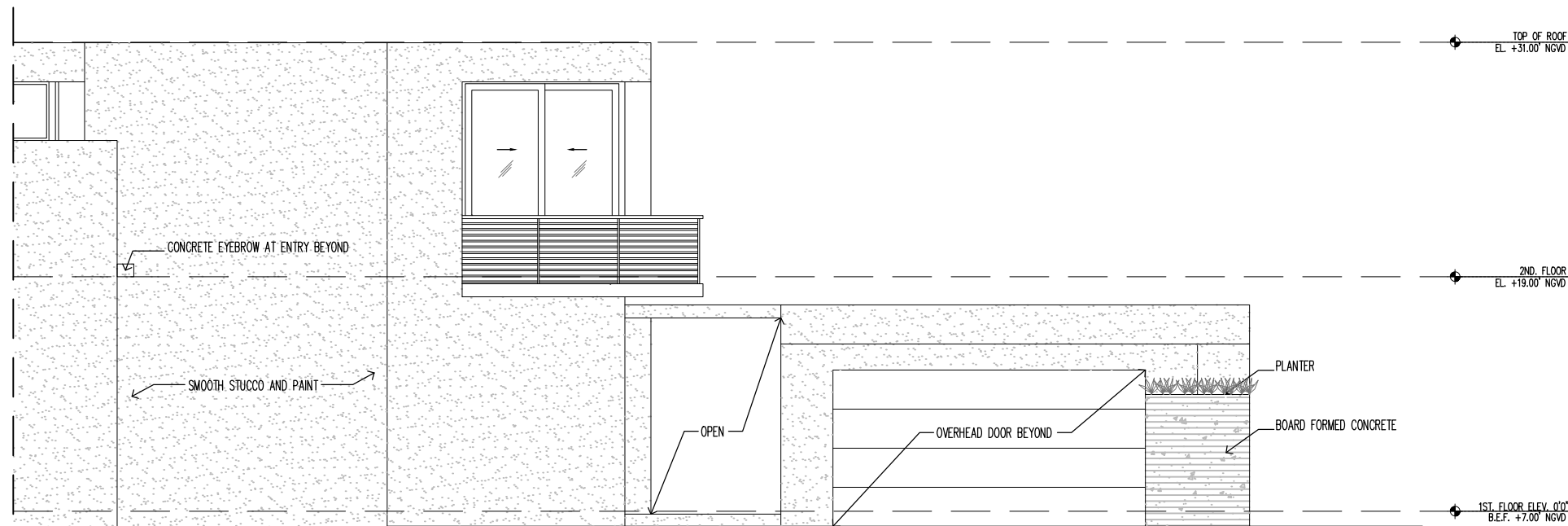
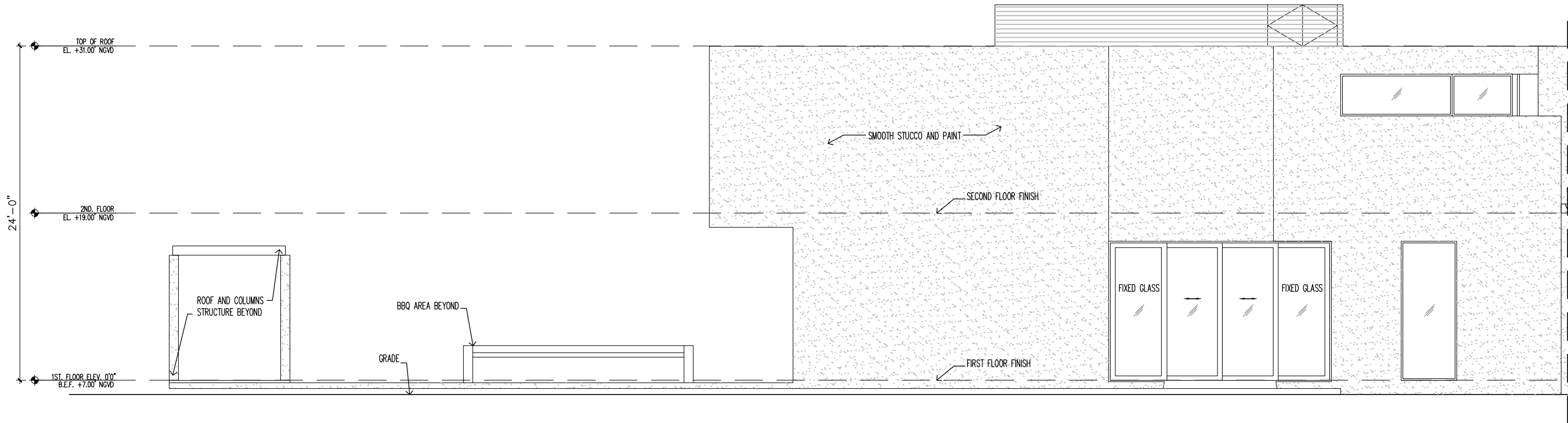
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A-5



1 EXISTING SOUTH ELEVATION (LEFT)

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1
EXIST. SOUTH ELEVATION
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1 PROPOSED NORTH RENDERED ELEVATION
Scale: N/S



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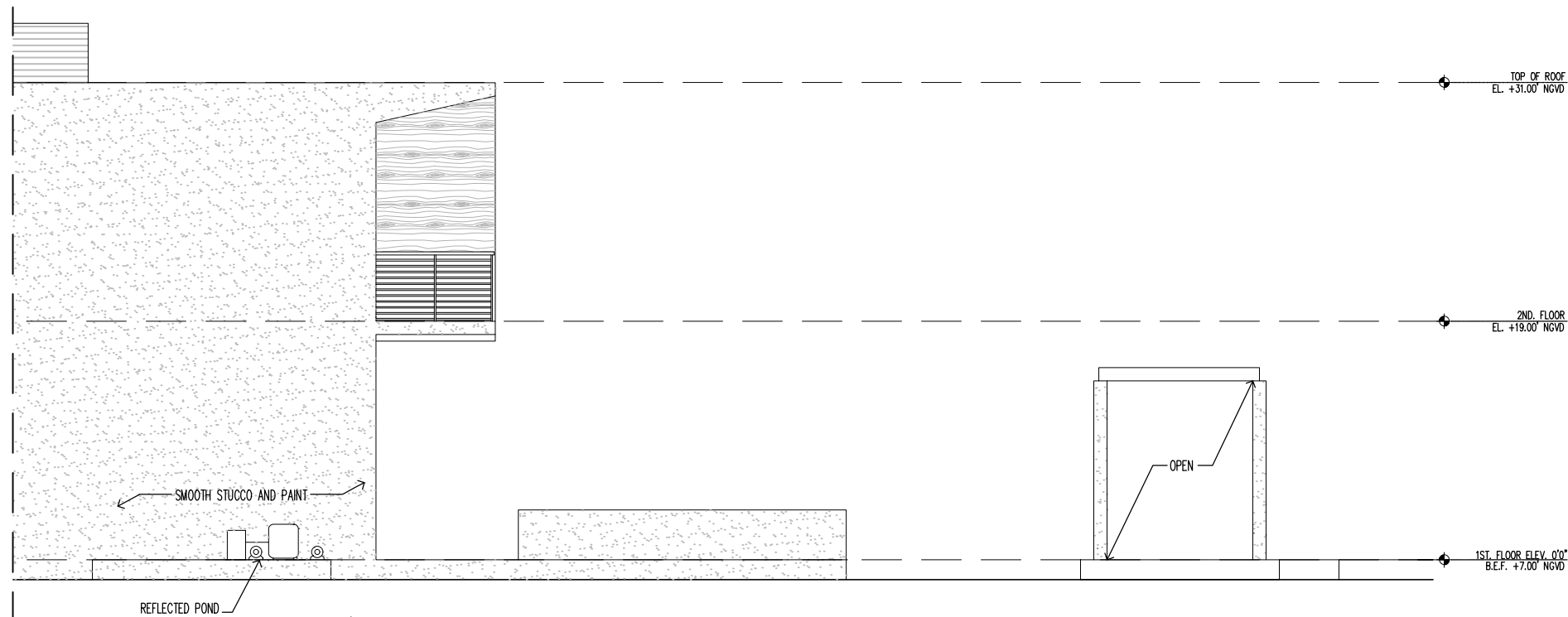
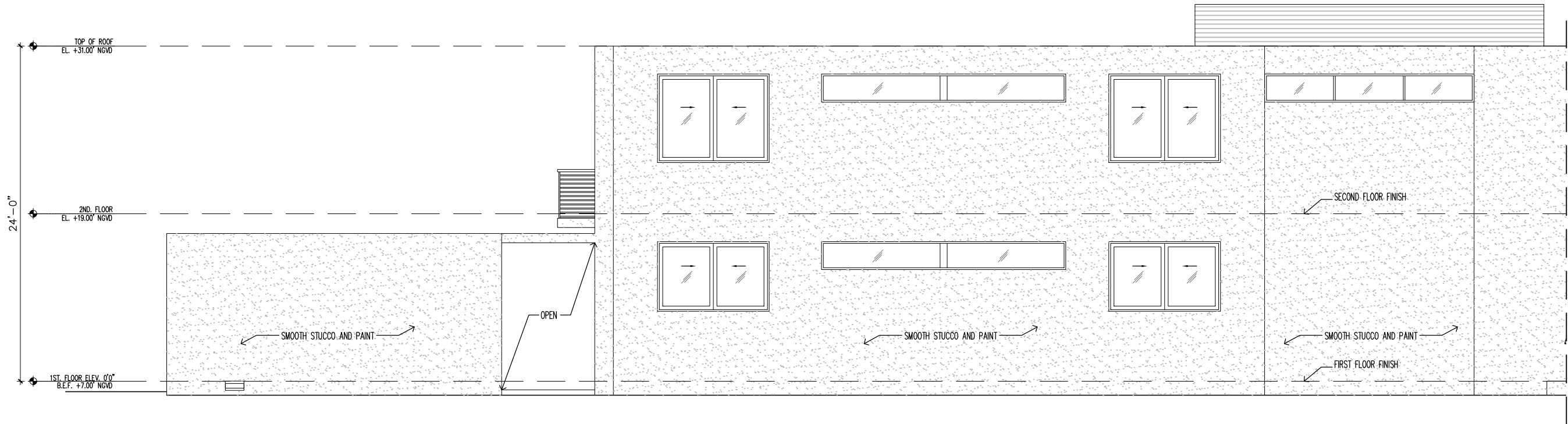
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PROP. NORTH RENDERED ELEVATION
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A-7



1 EXISTING NORTH ELEVATION (RIGHT)
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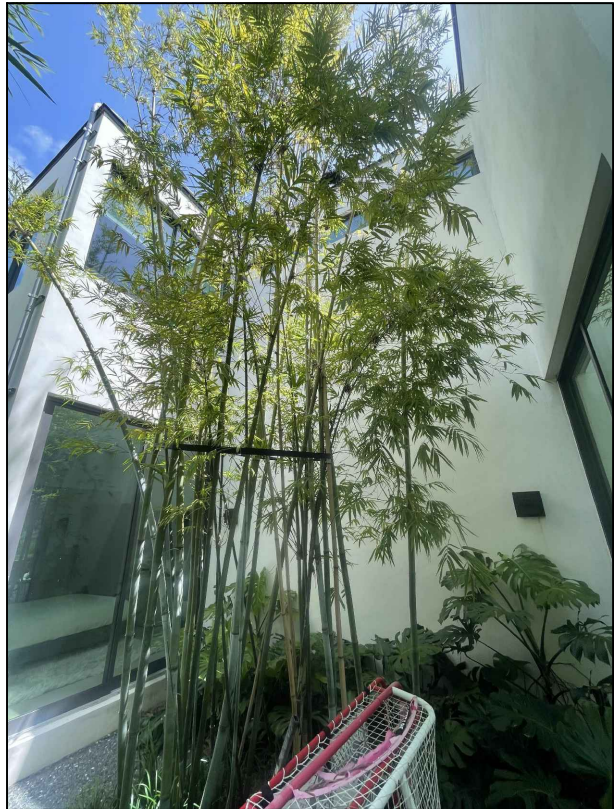
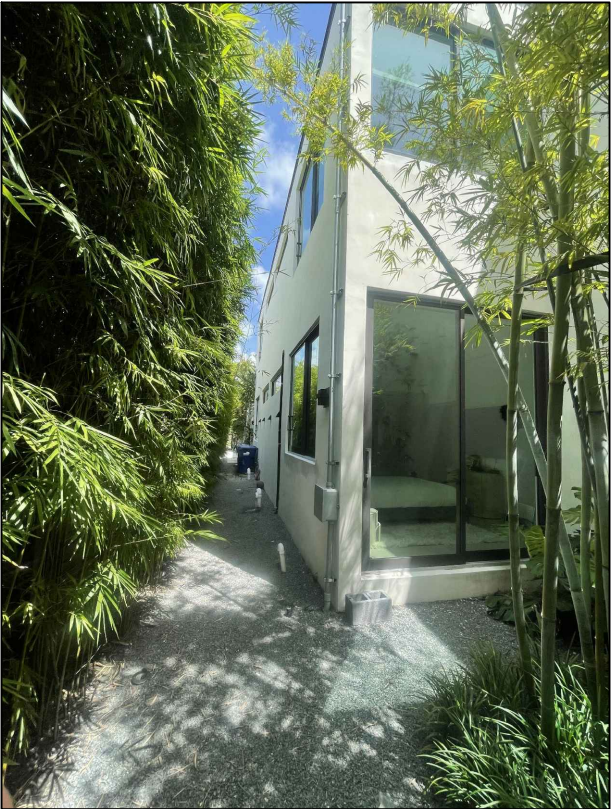
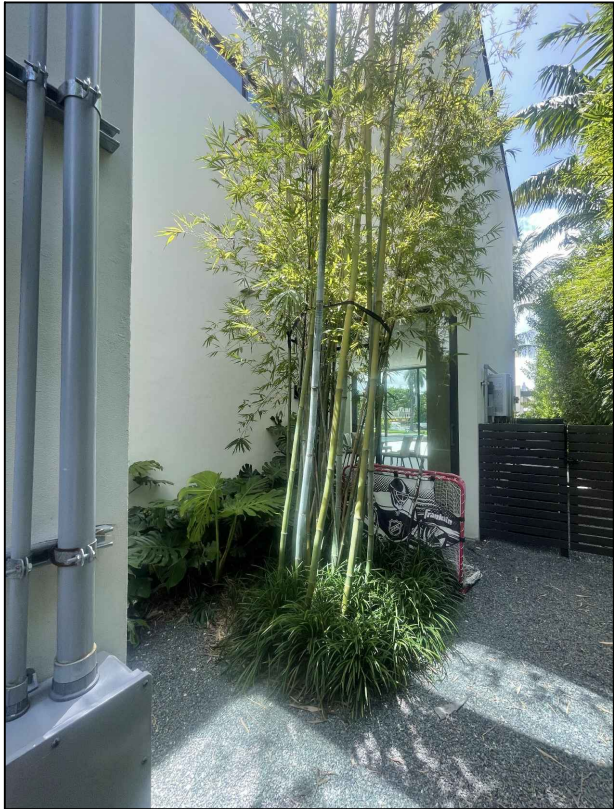
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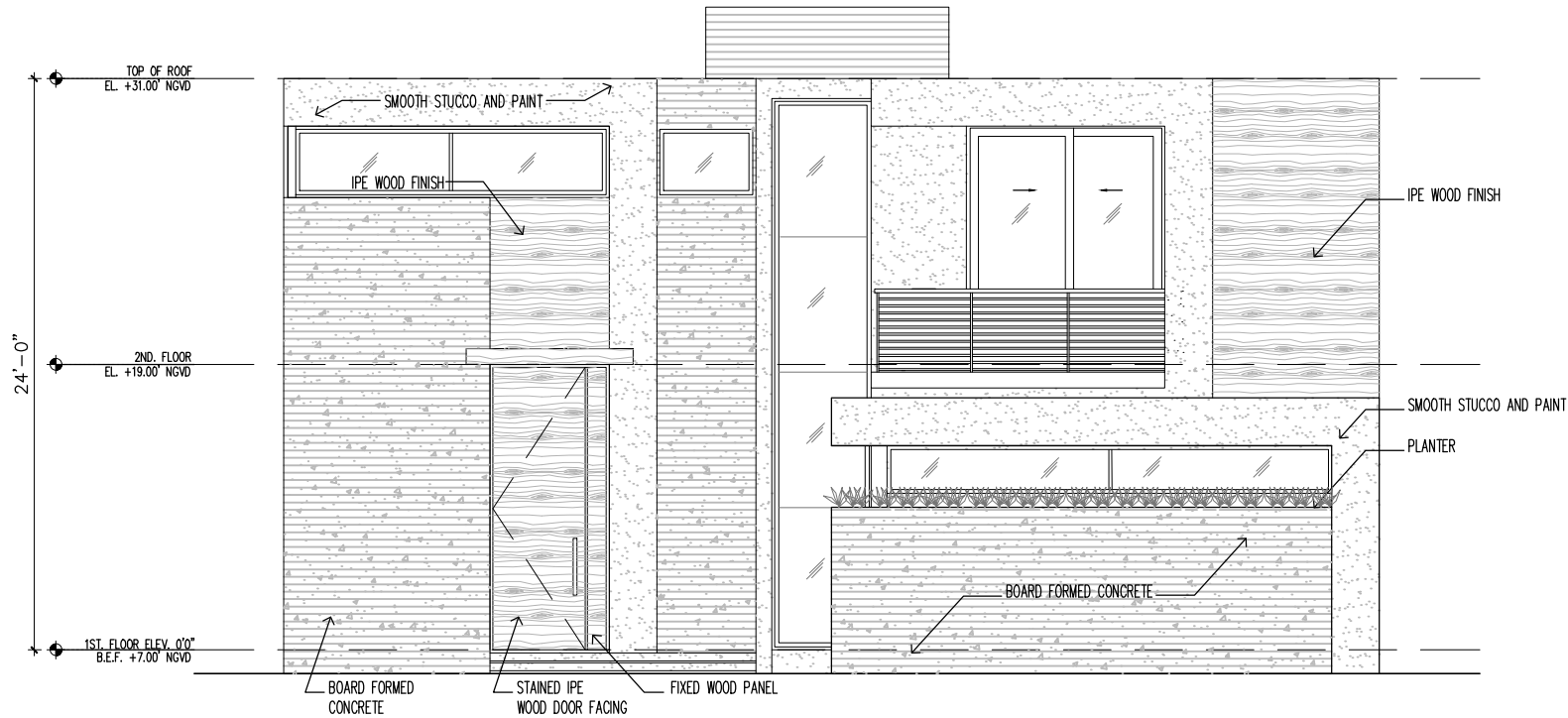
EXIST. NORTH ELEVATION
PICTURES

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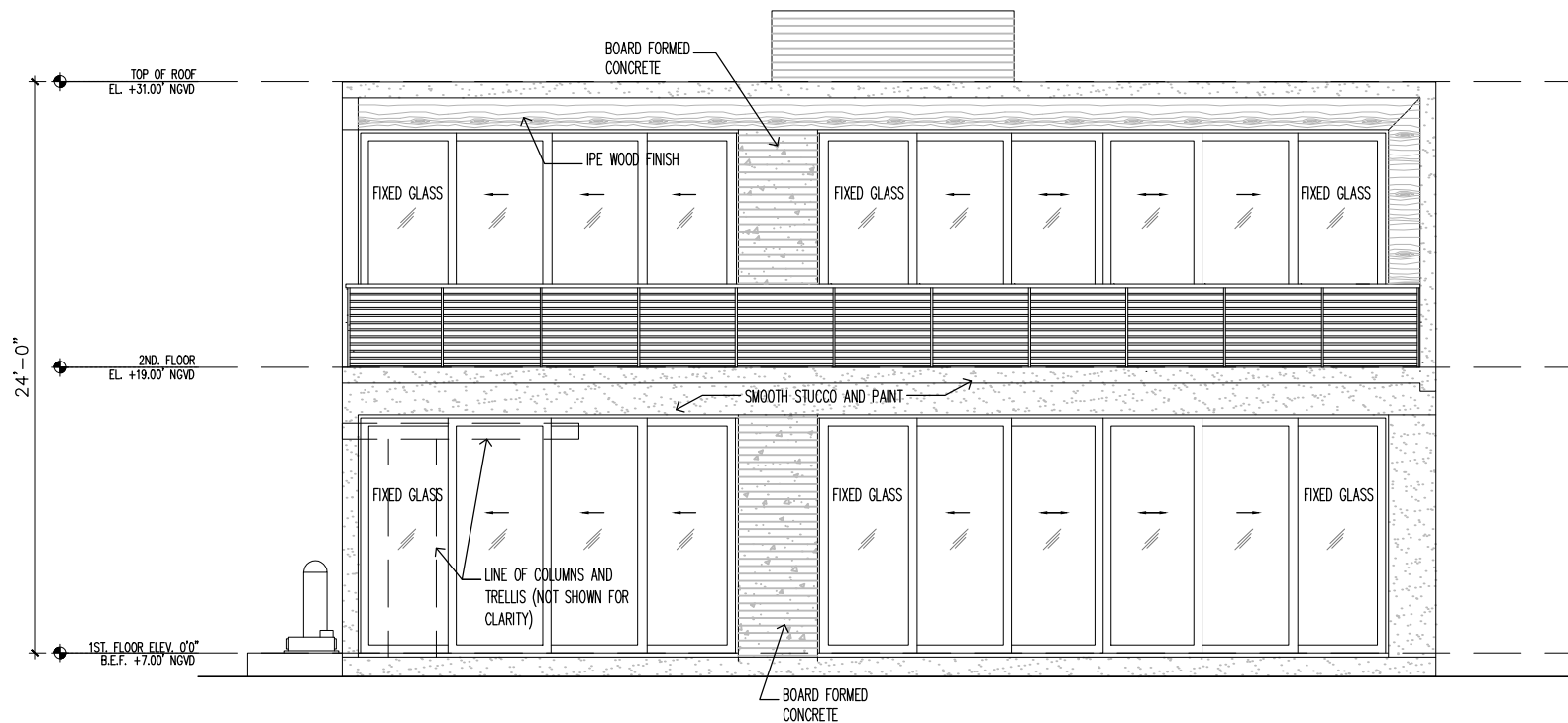
4510 PRAIRIE AVE.
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Silva
DATE: 2023.07.14
BY: AR: Edward Silva
Date: 2023.07.14
Time: 16:00:23
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1 PROPOSED EAST ELEVATION (FRONT)
Scale: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION (REAR)
Scale: 1/8" = 1'-0"

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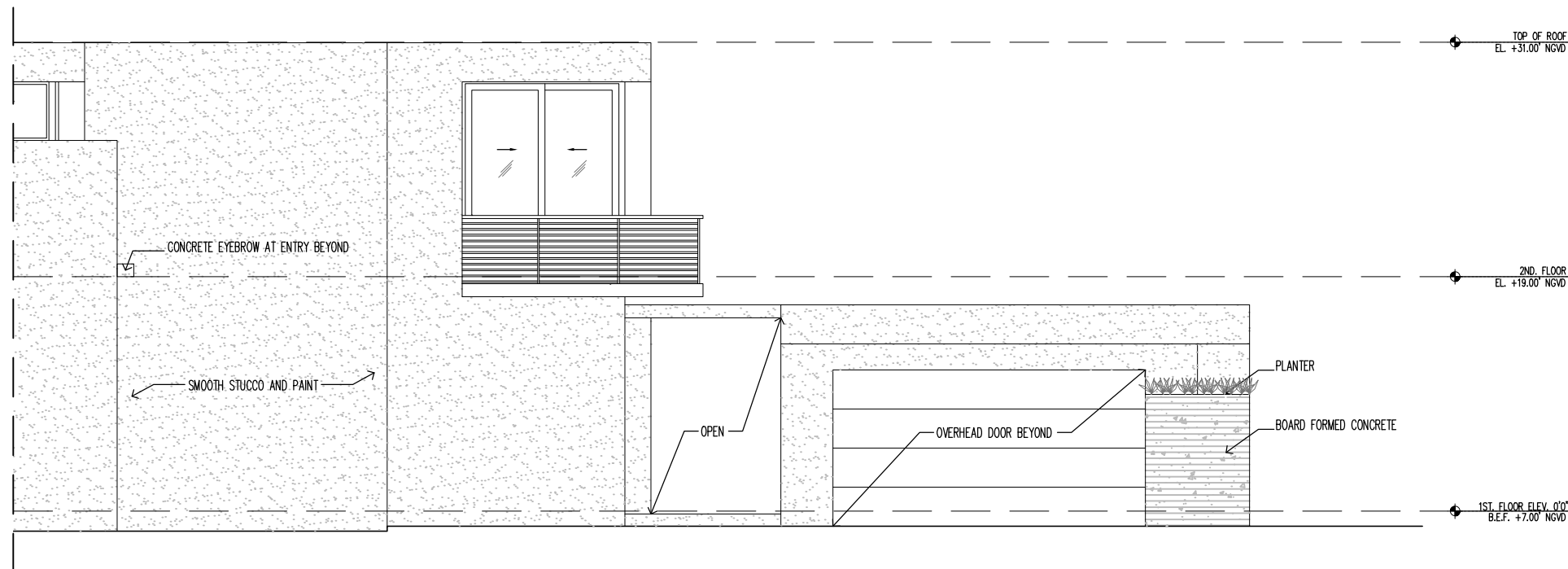
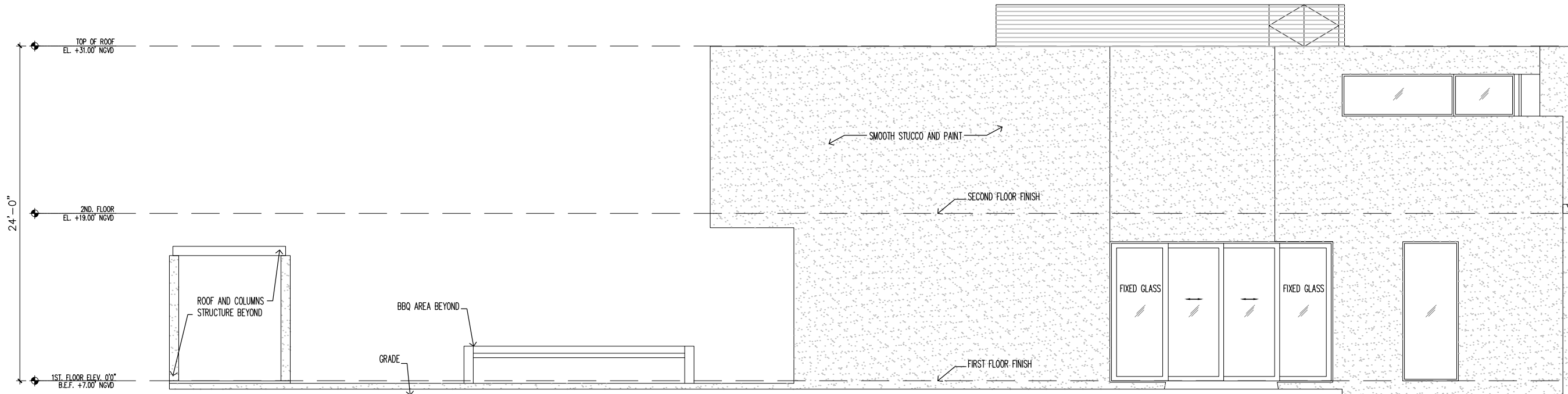
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PROP. WEST ELEVATION
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MIAMI BEACH, FL 33140

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EDWARD SILVA

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1 PROPOSED SOUTH ELEVATION (LEFT)
Scale: 1/8" = 1'-0"

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ARCHITECT
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AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

PROP. SOUTH ELEVATION
Sheet

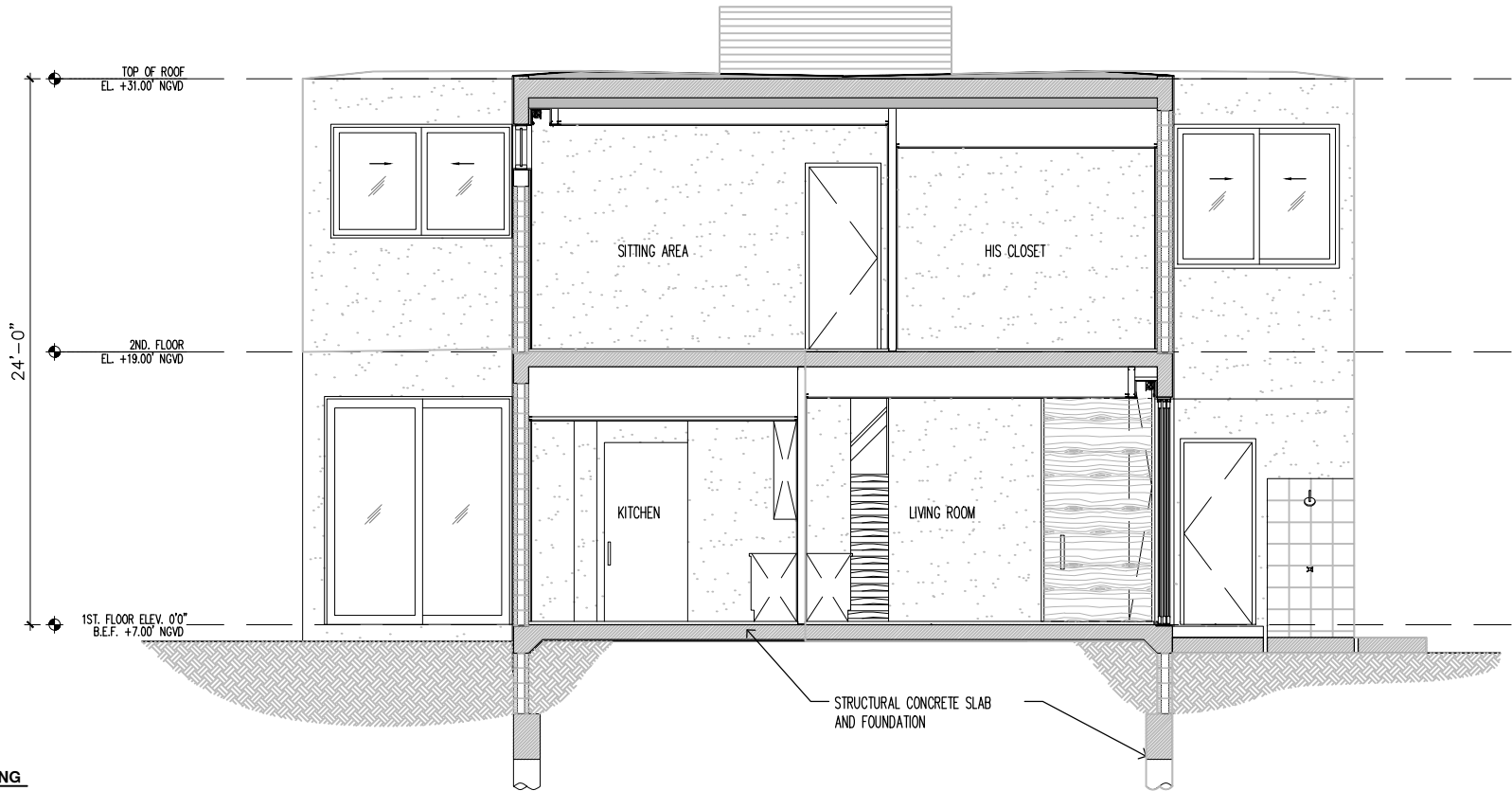
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Digitally signed by
Edward Silva
Date: 2023.09.01
16:08:16
AR0011131

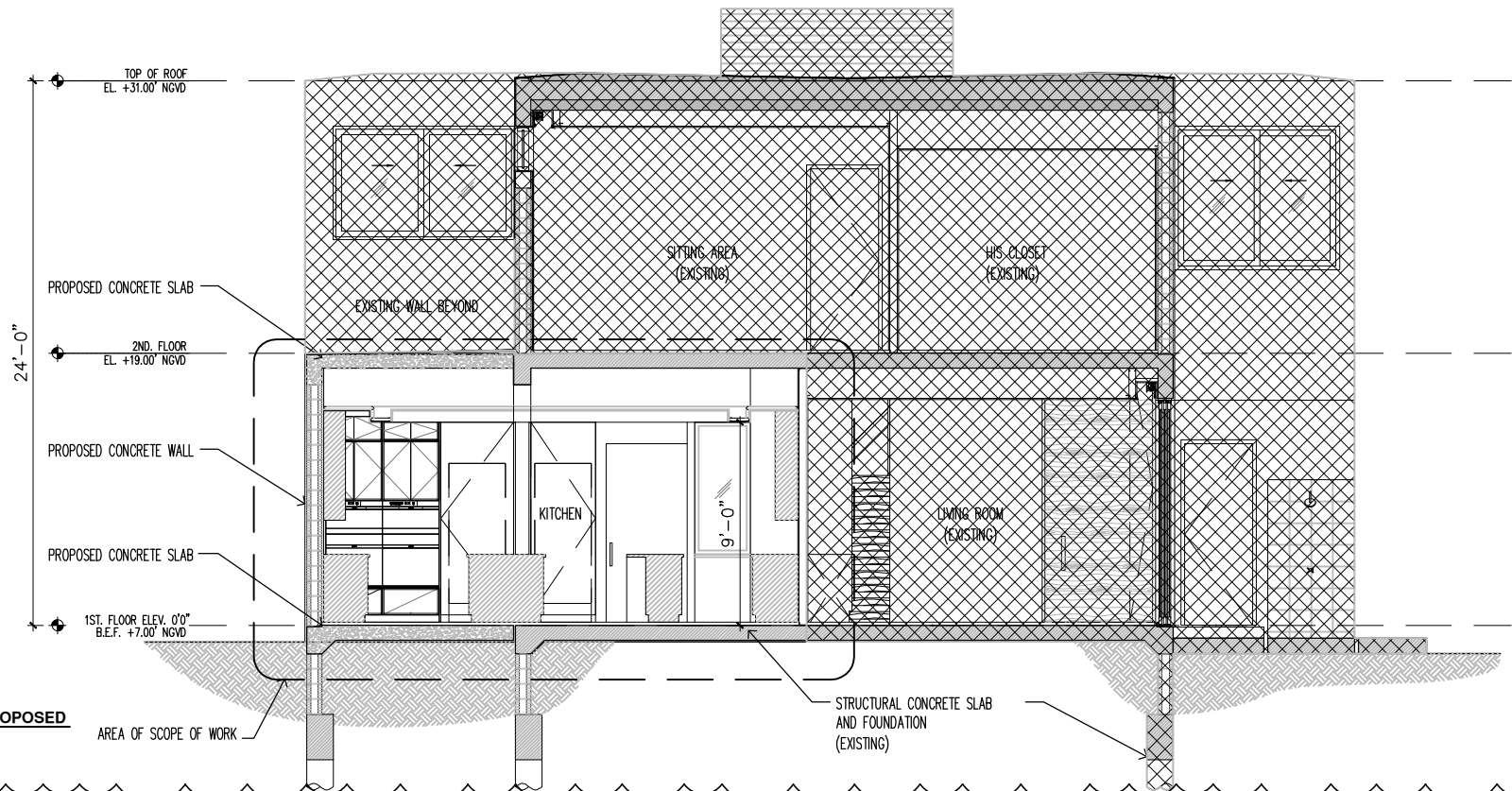
Revisions
REV 1 08-29-23

LEGEND

NO WORK IN THIS AREA



1 SECTION A- EXISTING
Scale: 1/8" = 1'-0"



2 SECTION A- PROPOSED
Scale: 1/8" = 1'-0"

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SECTION A- EXISTING
SECTION A- PROPOSED
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

Professional Seal(s)
Edward Silva
Date: 2023.09.01
16:01:36
AR0011131

Revisions
REV 1 08-29-23

LEGEND

	EXISTING EXTERIOR PARTITION
	EXISTING INTERIOR PARTITION
	EXISTING TO BE DEMOLISHED

SCOPE OF WORK

- DEMOLITION OF EXTERIOR WALL
- REMOVAL OF 2 GLASS DOORS
- REMOVAL OF EXISTENT KITCHEN CABINETS
- ADDITION OF NEW COVERED AREA TO ACCOMMODATE NEW KITCHEN SPACE

ZONING LEGEND:

ZONING: R3-RESIDENTIAL SINGLE FAMILY

LEGAL DESCRIPTION

NAUTILUS ADDN PB 8-130
LOT 13 BLK 9
LOT SIZE 63.92 X 190
FAU 02 3222 014 0530

PROPERTY INFORMATION

FOLIO: 02-3222-014-0531
ADDRESS: 4510 PRAIRIE AVENUE MIAMI BEACH, FL 33140
PA PRIMARY ZONE: 0100 SINGLE FAMILY - GENERAL
PRIMARY LAND USE: 0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
BEDS / BATHS / HALF: 6/6/1
EXISTING LAND USE: 10-SINGLE-FAMILY, MED.-DENSITY (2-5 DU/GROSS ACRE).

NOTES

-THE REMOVAL OF THE INTERIOR WALLS OR WALL SECTIONS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING RAIN WATER LEADERS, PLUMBING VENTS AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL, THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE PRESENT. THERE MAY BE PLUMBING VENT STACKS LOCATED WITHIN THE WALLS TO BE MODIFIED/REMOVED AND THEREFORE THE OWNER MUST BE NOTIFIED OF SUCH SO THAT THE CONFLICT CAN BE OBSERVED BEFORE CONCEALMENT. USE A BORESCOPE CAMERA, IF NECESSARY, TO AVOID ANY POSSIBLE DAMAGE.

-ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC. ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION. ANY SLAB PENETRATIONS MUST INCLUDE SCANNING OF THE STRUCTURAL SLAB TO LOCATE THE PENETRATION AT A LOCATION WHERE REINFORCEMENT WILL NOT BE COMPROMISED. THE STRUCTURAL ENGINEER OF RECORD FOR THE PROJECT MUST PROVIDE ALL DIRECTION AND DETAILS TO STRUCTURALLY REPAIR THE CONCRETE SLABS AS NEEDED IF PENETRATIONS ARE ABANDONED AND/OR TO PROVIDE SUPPLEMENTARY STRENGTH OF THE STRUCTURE TO COMPENSATE FOR THE MODIFICATION OF THE STRUCTURAL MEMBER. THE LIABILITY OF ANY DAMAGE OR ISSUES RESULTING FROM THE MODIFICATIONS ARE TO BE BORNE BY THE UNIT OWNER.

-THE EXISTING WATERPROOFING MEMBRANE AT THE BALCONIES/TERRACES AND SOUNDPROOFING AT THE UNIT INTERIOR SHALL BE COMPLETELY REMOVED TO EXPOSE THE UNDERLYING STRUCTURAL SLAB. CONTRACTORS SHALL NOTIFY THE ARCHITECT/ENGINEER AND BUILDING MANAGEMENT OF ANY DAMAGE, DEFECTS AND/OR DEFICIENCIES WHICH MAY BE REVEALED ALONG THE STRUCTURAL SLAB OR ANY OTHER BUILDING ELEMENT EXPOSED DURING THE COURSE OF THE PROJECT.

-THE EXISTING/REMAINING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY OTHER TYPE OF DAMAGE DURING CONSTRUCTION.

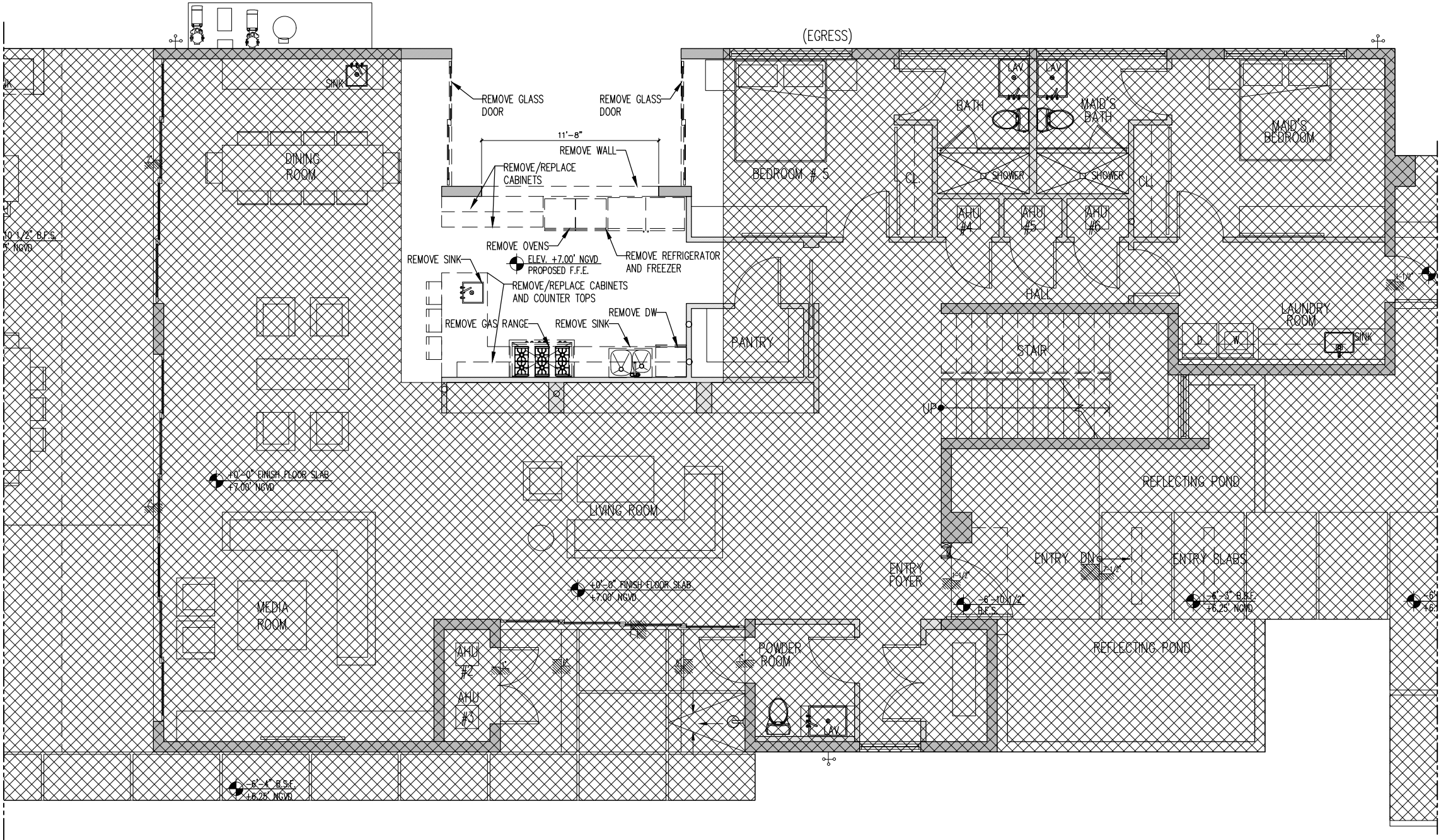
-NOTE - FIRE SPRINKLERS: ANY AND ALL FIRE SPRINKLER SYSTEM WORK MUST BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING-WIDE BASIS.

APPLICABLE CODES

2020 FLORIDA BUILDING CODE 7TH EDITION
F.B.C. EXISTING BUILDING.

DEMOLITION NOTES

- WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND PUBLIC RIGHTS-OF-WAY. FBC EXISTING BUILDING 1501.5



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



DEMOLITION PLAN
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Edward Silva
AR0011131
Date: 2023.09.01

Revisions
REV 1 08-29-23

DM-1

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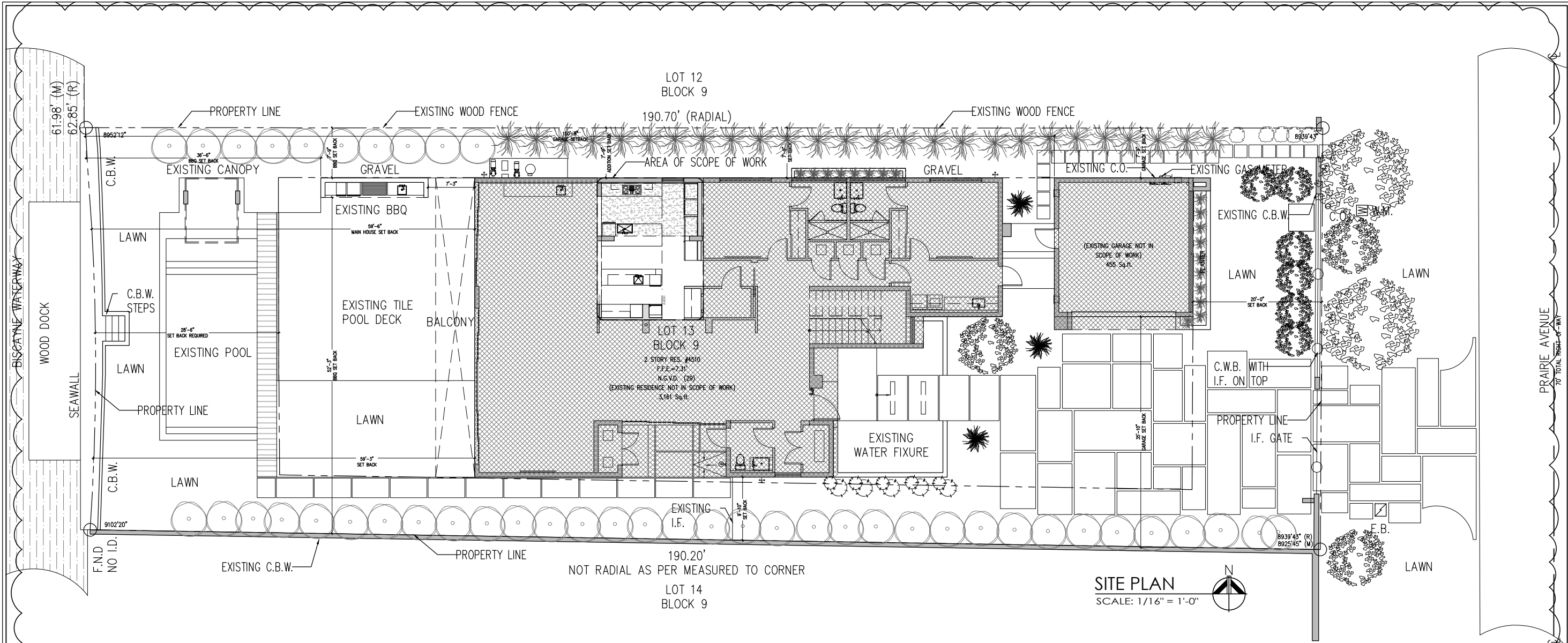
ARCHITECT
Edward Silva
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Miami, FL 33186
3059105425

Sheet
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Edward Silva
AR0011131
Date: 2023.09.01

Revisions
REV 1 08-29-23

DM-1



SITE PLAN
SCALE: 1/16" = 1'-0"

SCOPE OF WORK

- DEMOLITION OF EXTERIOR WALL
- REMOVAL OF 2 GLASS DOORS
- REMOVAL OF EXISTENT KITCHEN CABINETS
- ADDITION OF NEW COVERED AREA TO ACCOMMODATE NEW KITCHEN SPACE

LEGEND

NO WORK IN THIS AREA

ZONING LEGEND:

ZONING CODE: RS-4-RESIDENTIAL SINGLE FAMILY

HEIGHT:	REQUIRED / ALLOWED	PROVIDED
	24'-0"	24'-0"

LOT AREA		12,008 SQ.FT. 100%
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LOT COVERAGE:	3,602 SQ.FT.(29.9%)	3,034 SQ.FT.(25.3%)
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UNIT SIZE:	REQUIRED / ALLOWED	PROVIDED
	6,004 SQ.FT.(50%)	5,393 SQ.FT.(44.9%)

ADDITION PROPOSED	138 SQ.FT. (1.2%)
TOTAL	5,531 SQ.FT.(46.1%)

SETBACKS:	ALL SET BACKS ARE EXISTING TO REMAIN	REQUIRED / ALLOWED	PROVIDED
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FRONT (WEST)	20'	20'
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SIDE (NORTH + SOUTH)	12'-6"	16'-9" (7'-9" & 9'-0")
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REAR (EAST)	28'-6"	36'-6"
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FLOOD ZONE:

ALL FLOOD ELEVATIONS ARE EXISTING TO REMAIN
AE-7 MINIMUM FLOOD ELEVATION: 7.00' NGVD
ESTABLISHED GRADE: 5.6' NGVD
ADJACENT GRADE 6.3' NGVD

LEGAL DESCRIPTION

NAUTILUS ADDN PB 8-130
LOT 13 BLK 9
LOT SIZE 63.92 X 190
FAU 02 3222 014 0530

PROPERTY INFORMATION

FOLO: 02-3222-014-0531
ADDRESS: 4510 PRAIRIE AVENUE MIAMI BEACH, FL 33140
PA PRIMARY ZONE: 0100 SINGLE FAMILY - GENERAL
PRIMARY LAND USE: 0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
BEDS / BATHS / HALF: 6/6/1
EXISTING LAND USE: 10-SINGLE-FAMILY, MED.-DENSITY (2-5 DU/GROSS ACRE).

APPLICABLE CODES

2020 FBC 7TH EDITION, RESIDENTIAL EDITION
2020 FBC-EXISTING BUILDING, 7TH EDITION

TYPE OF CONST.: CLASS V B GROUP: R-3

NOTES:

1- THIS PLAN HAS BEEN PREPARED TO SHOW REQ. SET BACKS AND UTILITY ACCESS TO OBTAIN BUILDING PERMIT THE EXACT LOCATION OF BUILDING WITHIN PARTICULAR LOTS SHALL BE MEASURE FROM LAYOUT PREPARED BY A CERTIFIED SURVEYOR.

ARCHITECT'S NOTE: AS PER SECTION 109.3.6.4.4 FBC

IN MY PROFESSIONAL JUDGEMENT AND THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FLORIDA BUILDING CODE.

MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HERS EMPLOYEE'S NEGLIGENT ACTS, ERRORS, OR OMISSIONS.

1-WATER PIPES SHALL BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST SEWER PIPES AS PER F.B.C. 603.2 EXCEPTION 1

2. ALL PENETRATION THRU STRUCTURAL BEARING WALL SHALL BE PROVIDED WITH SLEEVE AS REQUIRED IN COMPLIANCE WITH F.B.C. 305 THRU 305.5

ZONING DATA SHEET

ZONING INFORMATION / CALCULATION			
ITEM #	Project Information	Required	Existing
1	Address: 4510 Prairie Ave Miami Beach	24'-0"	24'-0"
2	Parcel number(s): 02-3222-014-0531	20'-0"	20'-0"
3	Board and File number(s): CMR23-0561	40'-0"	40'-0"
4	Zone: RS-4	40'-0"	40'-0"
5	Is located within a Local Historic District (Yes or No):	NO	NO
6	Is located within a State Historic District (Yes or No):	NO	NO
7	Is located within a National Historic District (Yes or No):	NO	NO
8	Is located within a National Historic Landmark (Yes or No):	NO	NO
9	Is located within a National Historic Site (Yes or No):	NO	NO
10	Is located within a National Historic Monument (Yes or No):	NO	NO
11	Is located within a National Historic Park (Yes or No):	NO	NO
12	Is located within a National Historic Shrine (Yes or No):	NO	NO
13	Is located within a National Historic Cemetery (Yes or No):	NO	NO
14	Is located within a National Historic Battlefield (Yes or No):	NO	NO
15	Is located within a National Historic Site (Yes or No):	NO	NO
16	Is located within a National Historic Monument (Yes or No):	NO	NO
17	Is located within a National Historic Park (Yes or No):	NO	NO
18	Is located within a National Historic Shrine (Yes or No):	NO	NO
19	Is located within a National Historic Cemetery (Yes or No):	NO	NO
20	Is located within a National Historic Battlefield (Yes or No):	NO	NO
21	Is located within a National Historic Site (Yes or No):	NO	NO
22	Is located within a National Historic Monument (Yes or No):	NO	NO
23	Is located within a National Historic Park (Yes or No):	NO	NO
24	Is located within a National Historic Shrine (Yes or No):	NO	NO
25	Is located within a National Historic Cemetery (Yes or No):	NO	NO
26	Is located within a National Historic Battlefield (Yes or No):	NO	NO
27	Is located within a National Historic Site (Yes or No):	NO	NO
28	Is located within a National Historic Monument (Yes or No):	NO	NO
29	Is located within a National Historic Park (Yes or No):	NO	NO
30	Is located within a National Historic Shrine (Yes or No):	NO	NO
31	Is located within a National Historic Cemetery (Yes or No):	NO	NO
32	Is located within a National Historic Battlefield (Yes or No):	NO	NO
33	Is located within a National Historic Site (Yes or No):	NO	NO
34	Is located within a National Historic Monument (Yes or No):	NO	NO
35	Is located within a National Historic Park (Yes or No):	NO	NO
36	Is located within a National Historic Shrine (Yes or No):	NO	NO
37	Is located within a National Historic Cemetery (Yes or No):	NO	NO
38	Is located within a National Historic Battlefield (Yes or No):	NO	NO
39	Is located within a National Historic Site (Yes or No):	NO	NO
40	Is located within a National Historic Monument (Yes or No):	NO	NO
41	Is located within a National Historic Park (Yes or No):	NO	NO
42	Is located within a National Historic Shrine (Yes or No):	NO	NO
43	Is located within a National Historic Cemetery (Yes or No):	NO	NO
44	Is located within a National Historic Battlefield (Yes or No):	NO	NO
45	Is located within a National Historic Site (Yes or No):	NO	NO
46	Is located within a National Historic Monument (Yes or No):	NO	NO
47	Is located within a National Historic Park (Yes or No):	NO	NO
48	Is located within a National Historic Shrine (Yes or No):	NO	NO
49	Is located within a National Historic Cemetery (Yes or No):	NO	NO
50	Is located within a National Historic Battlefield (Yes or No):	NO	NO

ARCHITECTURE
INTERIOR
DESIGN

MOBIUS ARCHITECTURE GROUP

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EMAIL: MOBIUS@MOBIUSAG.COM
WEB: MOBIUSARCHITECTUREGROUP.COM

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CLIENT - OWNER(S)

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Sheet

SITE PLAN

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

07/14/2023

Professional Seal
Edward Silva
Date: 2023.07.14

Revisions

REV 1	08-29-23
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SP-1