

\*Previously Approved Plans - For Reference Only



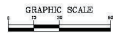
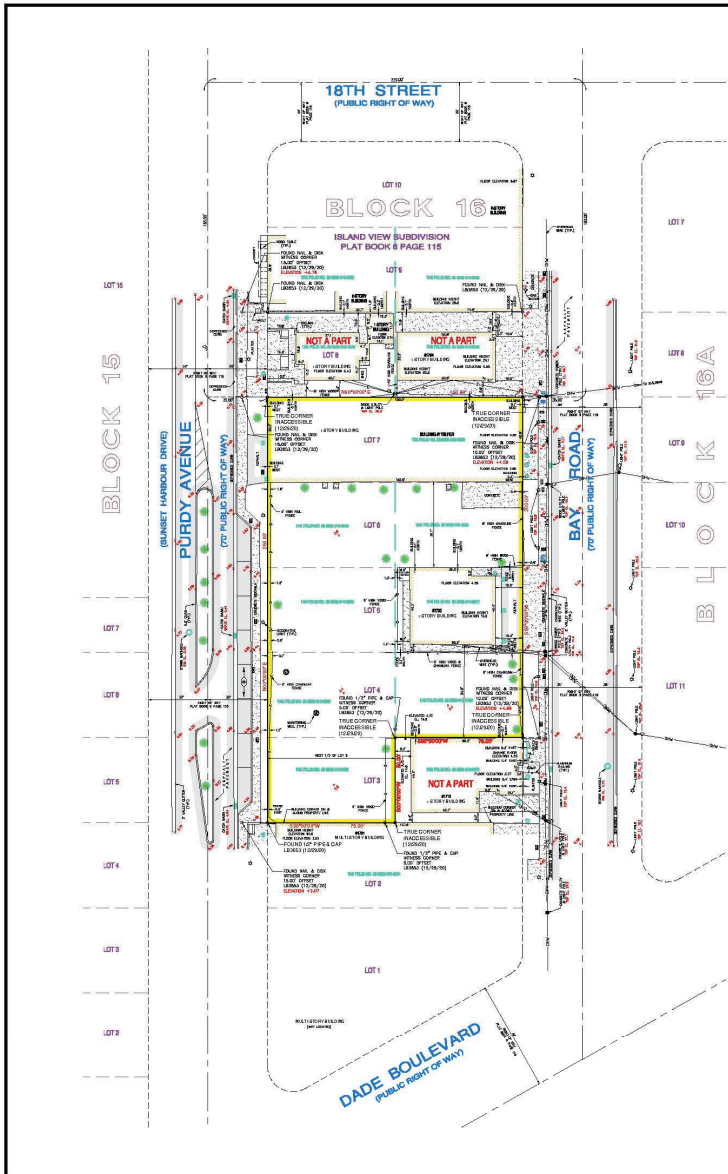
# EIGHTEEN SUNSET

1733-1759 PURDY AVENUE & 1724-1752 BAY ROAD  
MIAMI BEACH, FLORIDA

DESIGN REVIEW BOARD FINAL SUBMITTAL FILE NUMBER DRB22-0814

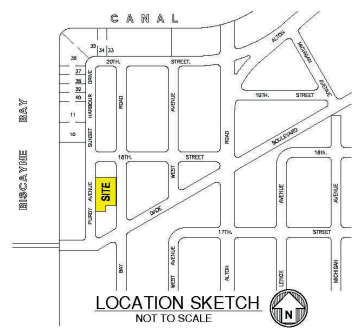
APRIL 11, 2022

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**LEGEND**

○ = DITCH MARK	— = 0.5" DWM
○ = DRIVE	— = 1.5" DWM
○ = LOT POLE	— = 2.5" DWM & GUYER
○ = DRIVE MARK	— = DRIVE LINE (DWM)
○ = WATER WALK	○ = IDENTIFICATION
○ = DRIVE MARK INLET	○ = ELEVATION
○ = UTILITY POLE	○ = ELEVATION
○ = POLE	○ = CONCRETE
○ = POLE	○ = REINFORCED CONCRETE
○ = MANHOLE	○ = ASPHALT PAVEDWAY
○ = SIGN	



**LEGAL DESCRIPTION:**  
 The West 1/2 of Lot 3, Lot 4, Lot 5, Lot 6 and Lot 7, Block 16, ISLAND VIEW SUBDIVISION, according to the Plat thereof, as recorded in Plat Book # 8 at Page 115 of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES:**

- The site lies in Section 33, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida, unless otherwise noted.
- Lots shown herein were NOT obstructed for restrictions, easements and/or rights-of-way of record.
- Bearings herein are referred to an assumed value of S 90°00'00" W for the South line of Lot 3, and established by line (2) found 1/2" pipe & cap.
- Elevations shown herein are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County benchmark C-103, elevation +1.05 and located by area dike in the North corner of the bridge at Dade Boulevard (23' South of southeast of Eastbourne Lane) and West Avenue (Drive over Culvert Canal).
- Lots shown herein are located within an area having a Zone Designation of AE (E1, E2) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 130461, for Community No. 220402311, dated September 11, 2004, and upon map issued September 11, 2005, and in relation to the National Geodetic Vertical Datum of 1929.
- Obstructions indicated herein are field measured by electronic measurement, unless otherwise noted.
- Lots shown herein containing 33,750 square feet, or 0.776 acre, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown herein or smaller.
- Roof overhang not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown herein were determined from As-Built plans and/or on-site location and should be verified before construction.
- Legal description shown herein based on information furnished by client and no claims as to ownership are made or implied.
- Tax Parcel Numbers per Miami-Dade County Property Appraiser's website.

**SURVEYOR'S CERTIFICATION:**  
 I hereby certify that this "Boundary & Topographic Survey" was made under my responsible charge on May 2, 2017, and last updated on September 29, 2020, and meets the applicable code of all laws in the Florida Administrative Code pursuant to Section 972.007, Florida Statute.

"Not valid without the signature and the original sealed and/or digital signature of the Florida Licensed Surveyor and Mapper shown below"

FORTIN, LEAVY, SKILES, INC., LB3653

Dated: 2020.12.31 07:29:29 -05'00'

**FORTIN, LEAVY, SKILES, INC.**  
 CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBERS: 0000053  
 0000054  
 0000055  
 Phone: 305-653-4697 / Fax: 305-651-1527 / Email: flm@fortinlevy.com

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**SUNSET PARK**  
 CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	05/17
Scale	1"=50'
Drawn By	MSP
CAD Scale	1:16400
Printed	12/30/20 8:27P
File Dwg	2009-066
Plot Book	SJD
File #	606-62 & PLO DHTS
Plot No	171148
Dwg No	2018-1442
Sheet	1 of 1



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# SUNSET PARK

## DESIGN REVIEW BOARD

## INDEX OF DRAWINGS

### NEW MIXED-USE RETAIL-RESIDENTIAL DEVELOPMENT

### MIAMI BEACH, FLORIDA

**CLIENT**

SUNSET LAND ASSOCIATES, LLC  
1691 MICHIGAN AVENUE, SUITE 510  
MIAMI BEACH, FLORIDA 33139  
T: 305.749.0921

**DESIGN ARCHITECT**

DOMO ARCHITECTURE + DESIGN  
ARCHITECTURE LANDSCAPE ARCHITECTURE  
PLANNING  
420 LINCOLN ROAD  
SUITE 509  
MIAMI BEACH, FLORIDA 33139  
O: 305.674.8031  
F: 305.528.9008  
WWW.DOMODESIGNSTUDIO.COM

**LANDSCAPE ARCHITECT**

CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC  
SUITE 1109  
780 NE 69TH STREET  
MIAMI, FLORIDA 33138  
O: 305.979.1095  
WWW.CHRISTOPHERCAWLEY.COM

**ARCHITECT OF RECORD**

BEHMELLO AJAMIL & PARI NEKS  
2601 S BAYSHORE DR SUITE 1000  
MIAMI, FL 33133  
O: 212.324.2950  
F: 212.354.0493  
https://www.behmelloajamil.com

**CONSULTANTS**

MEP ENGINEER:  
HNGS ASSOCIATES  
4800 SW 74 COURT  
MIAMI, FL 33156  
O: 305.270.9932  
F: 305.665.5591

CIVIL ENGINEER:  
VSN ENGINEERS  
6500 W FLAGLER ST  
SUITE 113  
MIAMI, FL 33144  
O: 305.551.5267  
F: 305.551.4242

STRUCTURAL ENGINEER:  
DESMONE CONSULTING ENGINEERS  
800 BRICKELL AVE  
6TH FLOOR  
MIAMI, FL 33131  
O: 305.441.0792  
F: 786.3832329

**SCOPE OF WORK**

- NEW CONSTRUCTION OF MIXED-USE 67,500 SF RESIDENTIAL AND RETAIL AT

- 02-3233-012-0550 (1759 BAY RD Miami Beach, FL 33138-1423)
- 02-3233-012-0540 (1759 PURDY AVE Miami Beach, FL 33138-1423)
- 02-3233-012-0530 (1738 BAY RD Miami Beach, FL 33138-1414)
- 02-3233-012-0520 (1747 PURDY AVE Miami Beach, FL 33138-1423)
- 02-3233-012-0500 (1743 PURDY AVE Miami Beach, FL 33138-1423)
- 02-3233-012-0490 (1724 BAY RD Miami Beach, FL 33138-1414)
- 02-3233-012-0480 (1733 PURDY AVE Miami Beach, FL 33138-1423)
- 02-3233-012-0510 (1730 BAY RD Miami Beach, FL 33138-1414)

**INDEX OF DRAWINGS**

- CV-0.0 COVER SHEET
- EX-1.2 SURVEY
- INDEX OF DRAWINGS
- A-1.0 ZONING DATA SHEET APPROVED
- A-1.0 P ZONING DATA SHEET PROPOSED
- A-1.2 F.A.R. DIAGRAMS APPROVED
- A-1.2 P F.A.R. DIAGRAMS PROPOSED
- FAR 1.0 GROUND FLOOR
- FAR 1.1 SECOND FLOOR
- A-1.2.0 SITE PLAN APPROVED
- A-1.2.1 GROUND FLOOR PLAN APPROVED
- A-1.2.2 GROUND FLOOR PLAN PROPOSED
- A.1.2.3 SECOND FLOOR PLAN APPROVED
- A-1.2.4 SECOND FLOOR PLAN PROPOSED
- A-1.2.5 THIRD FLOOR PLAN APPROVED
- A-1.2.6 THIRD FLOOR PLAN PROPOSED
- A-1.2.7 SOUTH ELEVATION APPROVED/PROPOSED
- A-1.2.8 3D IMAGE APPROVED/PROPOSED
- A-1.2.9 RENDERING BIRDS EYE VIEW APPROVED
- A-1.2.10 RENDERING BIRDS EYE VIEW PROPOSED
- A-1.2.11 RENDERING VIEWING EAAST APPROVED PROPOSED

- L000 LANDSCAPE COVER SHEET INDEX & LANDSCAPE LEGEND APPROVED
- L000 P LANDSCAPE COVER SHEET INDEX & LANDSCAPE LEGEND PROPOSED
- L001 LANDSCAPE-GENERAL NOTES & LANDSCAPE NOTES
- L101 LANDSCAPE-EXISTING TREE SURVEY & DISPOSITION PLAN
- L102 EXISTING TREE CHART + MITIGATION SUMMARY
- L201 GROUND FLOOR LANDSCAPE PLAN
- L201.1 GROUND FLOOR LANDSCAPE PLAN PROPOSED
- L202 SECOND FLOOR LANDSCAPE PLAN
- L202.1 SECOND FLOOR LANDSCAPE PLAN PROPOSED
- L203 THIRD FLOOR LANDSCAPE PLAN
- L203.1 THIRD FLOOR LANDSCAPE PLAN PROPOSED
- L204 ROOF DECK LANDSCAPE PLAN



**RAI A. FERNANDEZ R.A.**  
AR 0012637  
4/11/22

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1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
4/11/22

CV - 0.0\_P

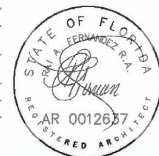
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**ZONING DATA**

**APPROVED 10/14/20**

CD-2 - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	1759 PURDY AVENUE, MIAMI BEACH FLORIDA			
2	Board and file numbers:	PB17-0168 DRB17-0198			
3	Folio number(s):	02-3233-012-0550 (1759 BAY RD Miami Beach, FL 33139-1423) 02-3233-012-0540 (1759 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0530 (1738 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0520 (1747 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0500 (1743 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0490 (1724 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0480 (1733 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0510 (91730 BAY RD Miami Beach, FL 33139-1414)			
4	Year constructed:	1957	Zoning District:	CD-2	
5	Based Flood Elevation:	+8'-0" NGVD	Grade value in NGVD:	+5.42' NGVD	
6	Adjusted grade (Flood+Grade/2):	+6.71' NGVD	Lot Area:	33,750 SQ. FT.	
7	Lot width:	290'-0"	Lot Depth:	139'-0"	
8	Minimum Unit Size	SQ. FT.	Average Unit Size	SQ. FT.	
9	Existing use:	COMMERCIAL	Proposed use:	MIXED-USE (RETAIL, OFFICE, & RESIDENTIAL)	
		Maximum	Existing	Proposed	Deficiencies
10	Height	65'-0" FROM BFE +5'-0	15.8' NGVD	65'-0" ** NO VARIANCE	NONE
11	Number of Stories	5	1	5	
12	FAR	2	0.25	1.92186	
13	Gross square footage	67,500 SQ. FT.			
14	Square Footage by use	67,500 SQ. FT.	7500	67,500 SQ. FT.	
15	Number of units Residential	N/A	0	2	
16	Office Square Footage	N/A	0	29,728 SQ. FT.	
17	Number of seats	N/A	0		
18	Occupancy load	N/A	0	2	
		Required	Existing	Proposed	Deficiencies
<b>CD-2 Commercial Setbacks</b>					
<b>Commercial Pedestal:</b>					
29	Front Setback:	0'-0"		0'-0"	
30	Side Setback:	0'-0"		0'-0"	
31	Side Setback facing street:	N/A	N/A		
32	Rear Setback:	5'-0"		5'-0"	
<b>RM-2 Residential Setbacks</b>					
<b>Residential Pedestal:</b>					
33	Front Setback:	20'-0"	N/A	PURDY ROAD: 34'10" BAY ROAD: 27'-9"	0
34	Side Setback:	PURDY AVE: 20'-0" - 16% OF TOTAL WIDTH  BAY ROAD: 16'-20'-0" - 16% OF TOTAL WIDTH		PURDY AVE: 27'-0"  BAY ROAD: 24'-2" / 31'-10"	
35	Side Setback facing street:	N/A	N/A	N/A	0
36	Rear Setback:	7'-6"	N/A	7'-6"	0

Residential Tower:					
	Required	Existing	Proposed	Deficiencies	
37	Front Setback:	20'-0" + 1' per 1' above 50' bldg height=25'-0"	N/A	BAY AVE: 29'-8" PURDY ROAD: 27'-0"	
38	Side Setback:	PURDY AVE: 20'-6" - 16% OF TOTAL WIDTH + 6"(SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 16'-6"-20'-6" 16% OF TOTAL WIDTH + 6"(SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION)	N/A	PURDY AVE: 27'-0" - (SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 24'-2" / 31'-10" (SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION)	0
39	Side Setback facing street:	N/A	N/A	N/A	0
40	Rear Setback:	11'-3"	N/A	16'-2"	0
<b>Parking</b>					
41	Parking district	Required	Existing	Proposed	Deficiencies
42	Total # of parking spaces	76	0	76	
43	# of parking spaces per use (Provide a separate chart for a breakdown calculation)		0		
44	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	SEE SHEET A-1.1	0	SEE SHEET A-1.1	
45	Parking Space Dimensions	8.5' X 18'	N/A	8.5' X 18'	
46	Parking Space configuration (450,600, 900, Parallel)		N/A	90	
47	Tandem Spaces		N/A	n/a	
48	Drive aisle width		N/A	22'	
49	valet drop off and pick up		N/A		
50	Loading zones and Trash collection areas	2	N/A	2	
51	Bicycle parking, location and Number of racks		N/A	20 Short Term	
<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>					
53	Type of use	Required	Existing	Proposed	Deficiencies
54	Number of seats located outside on private property		N/A		
55	Number of seats inside			30 SEATS	
56	Total number of seats			208 SEATS	
57	Total number of seats per venue (Provide a separate chart for a breakdown calculation)			238 SEATS	
58	Total occupant content			327	
59	Occupant content per venue (Provide a separate chart for a breakdown calculation)			SEE SHEET A-1.1_P	
60	Proposed hours of operation	N/A			
61	Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	NO			
62	Is dancing and/or entertainment proposed? (see CMB 141-1361)	NO			
63	Is this a contributing building?			Yes or No	
64	Located within a Local Historic District?			No	



**RAI A. FERNANDEZ R.A.**  
AR 0012637  
10/14/20



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**ZONING DATA SHEET**

**PROPOSED 4/11/22**

CD-2 - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	1759 PURDY AVENUE, MIAMI BEACH FLORIDA			
2	Board and file numbers:	PBI7-0108 DRB17-0108			
3		02-3233-012-0500 (1752 BAY RD Miami Beach, FL 33139-1423) 02-3233-012-0540 (1759 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0530 (1739 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0520 (1747 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0500 (1743 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0490 (1724 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0480 (1733 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0510 (91730 BAY RD Miami Beach, FL 33139-1414)			
4	Year constructed:	1957	Zoning Districts:	CD-2	
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6	Adjusted grade (Flood+Grade/2):	+6.71' NGVD	Lot Area:	33,750 SQ. FT.	
7	Lot width:	250'-0"	Lot Depth:	150'-0"	
8	Minimum Unit Size	50, FT.	Average Unit Size	50, FT.	
9	Existing use:	COMMERCIAL	Proposed use:	MIXED-USE (RETAIL, OFFICE, & RESIDENTIAL)	
10		Maximum	Existing	Proposed	Deficiencies
	Height	65'-0" FROM BFE +5'-0	15.8' NGVD	65'-0" ** NO VARIANCE	NONE
11	Number of Stories	5	1	5	
12	FAR	2	0.25	1.92186	
13	Gross square footage	67,500 SQ. FT.			
14	Square Footage by use	67,500 SQ. FT.	7500	67,10750, FT.	
15	Number of units Residential	N/A	0		
16	Office Square Footage	N/A	0	29,728 SQ. FT.	
17	Number of seats	N/A	0		
18	Occupancy load	N/A	0	2	
CD-2 Commercial Setbacks		Required	Existing	Proposed	Deficiencies
Commercial Pedestal:					
29	Front Setback:	0'-0"		0'-0"	
30	Side Setback:	0'-0"		0'-0"	
31	Side Setback facing street:	N/A	N/A	N/A	
32	Rear Setback:	5'-0"		5'-0"	
RM-2 Residential Setbacks		Required	Existing	Proposed	Deficiencies
Residential Pedestal:					
33	Front Setback:	20'-0"	N/A	PURDY ROAD: 34'-10" BAY ROAD: 27'-9"	0
34	Side Setback:	PURDY AVE: 20'-0" - 16% OF TOTAL WIDTH  BAY ROAD: 16'-20'-0" - 16% OF TOTAL WIDTH		PURDY AVE: 27'-0"  BAY ROAD: 24'-2" / 31'-10"	
35	Side Setback facing street:	N/A	N/A	N/A	0
36	Rear Setback:	7'-6"	N/A	7'-6"	0

Residential Tower:					
37	Front Setback:	20'-0" + 1' per 1' above 50' bldg height + 25'-0"	N/A	BAY AVE: 29'-8" PURDY ROAD: 27'-0"	
	Side Setback:	PURDY AVE: 20'-0" - 16% OF TOTAL WIDTH + 6" (SEE SHEET A-2, 8C FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 16'-6" - 20'-6" 16% OF TOTAL WIDTH + 6" (SEE SHEET A-2, 8C FOR ADDITIONAL DIAGRAM INFORMATION)	N/A	PURDY AVE: 27'-0" - (SEE SHEET A-2, 8C FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 24'-2" / 31'-10" (SEE SHEET A-2, 8C FOR ADDITIONAL DIAGRAM INFORMATION)	0
38	Side Setback facing street:	N/A	N/A	N/A	0
40	Rear Setback:	11'-3"	N/A	16'-2"	0
Parking					
41	Parking district	Required	Existing	Proposed	Deficiencies
42	Total # of parking spaces	76	0	76	
43	# of parking spaces per use (Provide a separate chart for a breakdown calculation)		0		
44	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	SEE SHEET A-1.1	0	SEE SHEET A-1.1	
45	Parking Space Dimensions	8.5' X 18'	N/A	8.5' X 18'	
46	Parking Space configuration (450,600, 900, Parallel)		N/A	90	
47	ADA Spaces			n/a	
48	Tandem Spaces			22'	
49	Drive aisle width		N/A		
50	Valet drop off and pick up		NO		
51	Loading zones and Trash collection areas	2	N/A	2	
52	Bicycle parking, location and Number of racks		N/A	20 Short Term	
Restaurants, Cafes, Bars, Lounges, Nightclubs					
53	Type of use	Required	Existing	Proposed	Deficiencies
54	Number of seats located outside on private property		N/A		
55	Number of seats inside			30 SEATS	
56	Total number of seats			208 SEATS	
57	Total number of seats per venue (Provide a separate chart for a breakdown calculation)			238 SEATS	
58	Occupant content			327	
59	Occupant content per venue (Provide a separate chart for a breakdown calculation)			SEE SHEET A-1.1 P	
60	Proposed hours of operation	N/A			
61	Is this an NIP (Neighborhood Impact Establishment, see CMB 141-1361)	NO			
62	Is dancing and/or entertainment proposed? (see CMB 141-1361)	NO			
63	Is this a contributing building?			Yes or No	
64	Located within a Local Historic District?			No	

EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
4/11/22

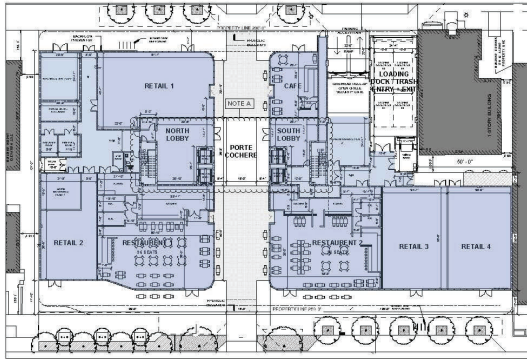


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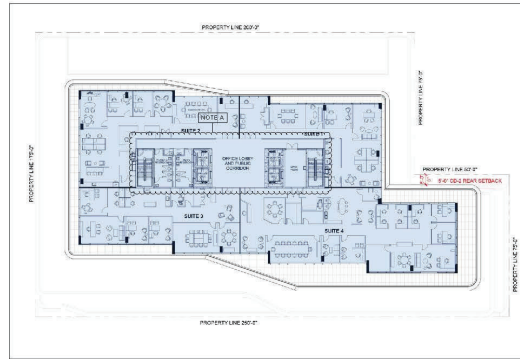
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**F.A.R. DIAGRAMS**

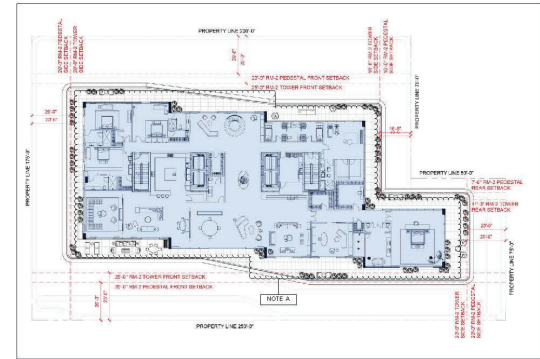
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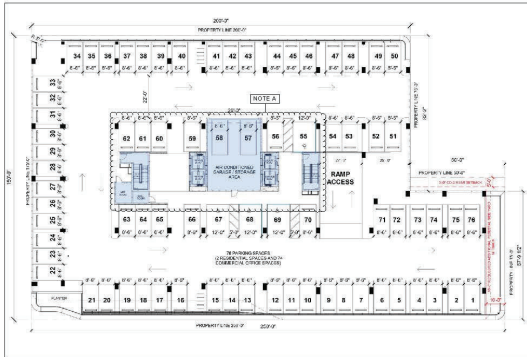
**GROUND FLOOR PLAN**



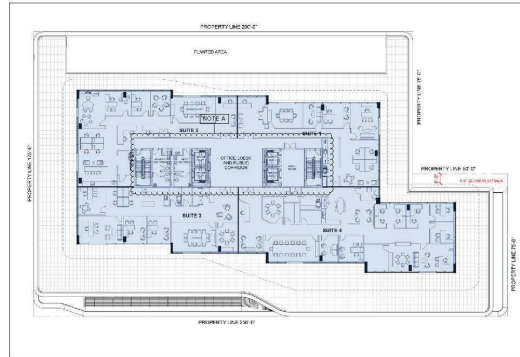
**FOURTH FLOOR PLAN**



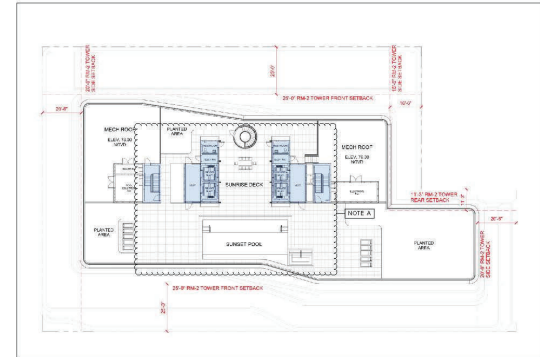
**FIFTH FLOOR PLAN**



**SECOND FLOOR PLAN**



**THIRD FLOOR PLAN**



**ROOF DECK PLAN**

EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
10/14/20



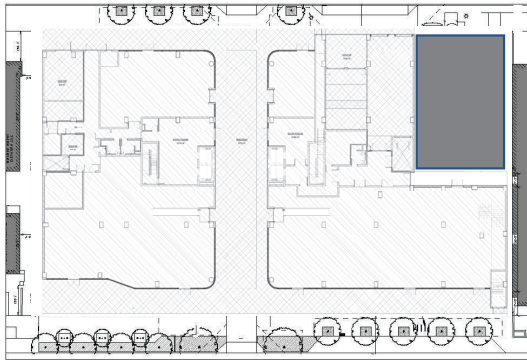
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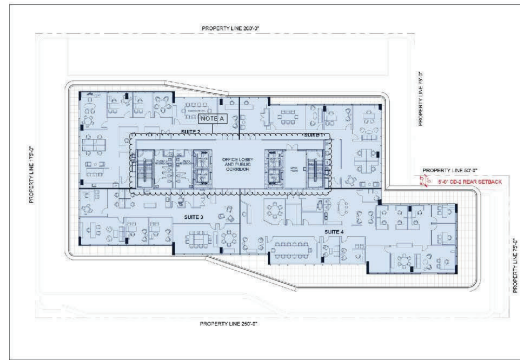
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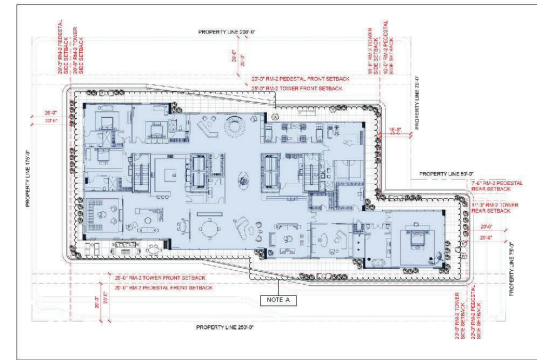
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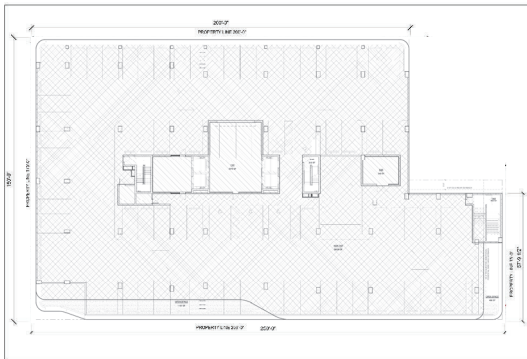
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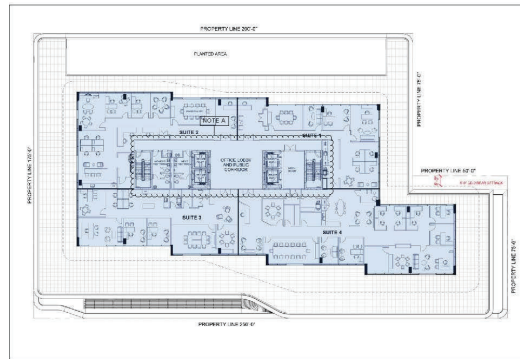
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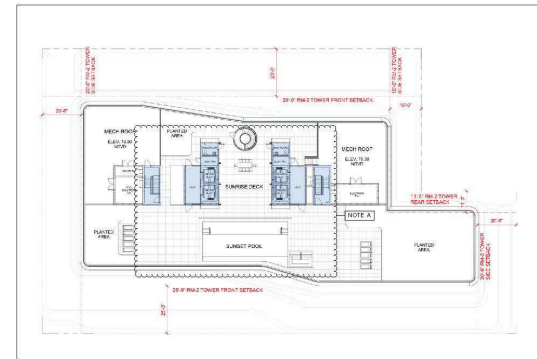
FIFTH FLOOR PLAN



SECOND FLOOR PLAN



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ROOF DECK PLAN

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1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
4/11/22

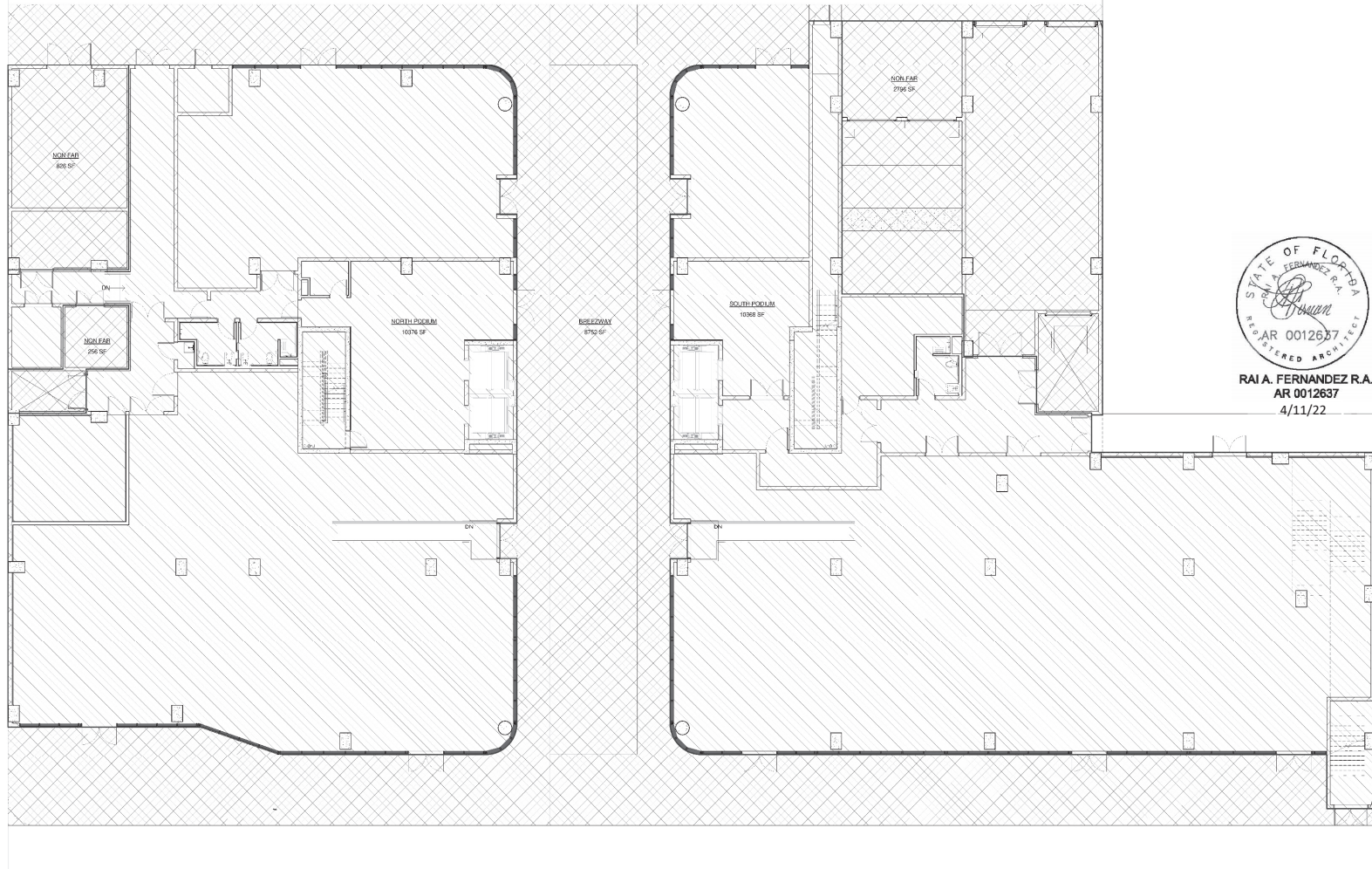


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**F.A.R. GROUND FLOOR**

**PROPOSED 4/11/22**



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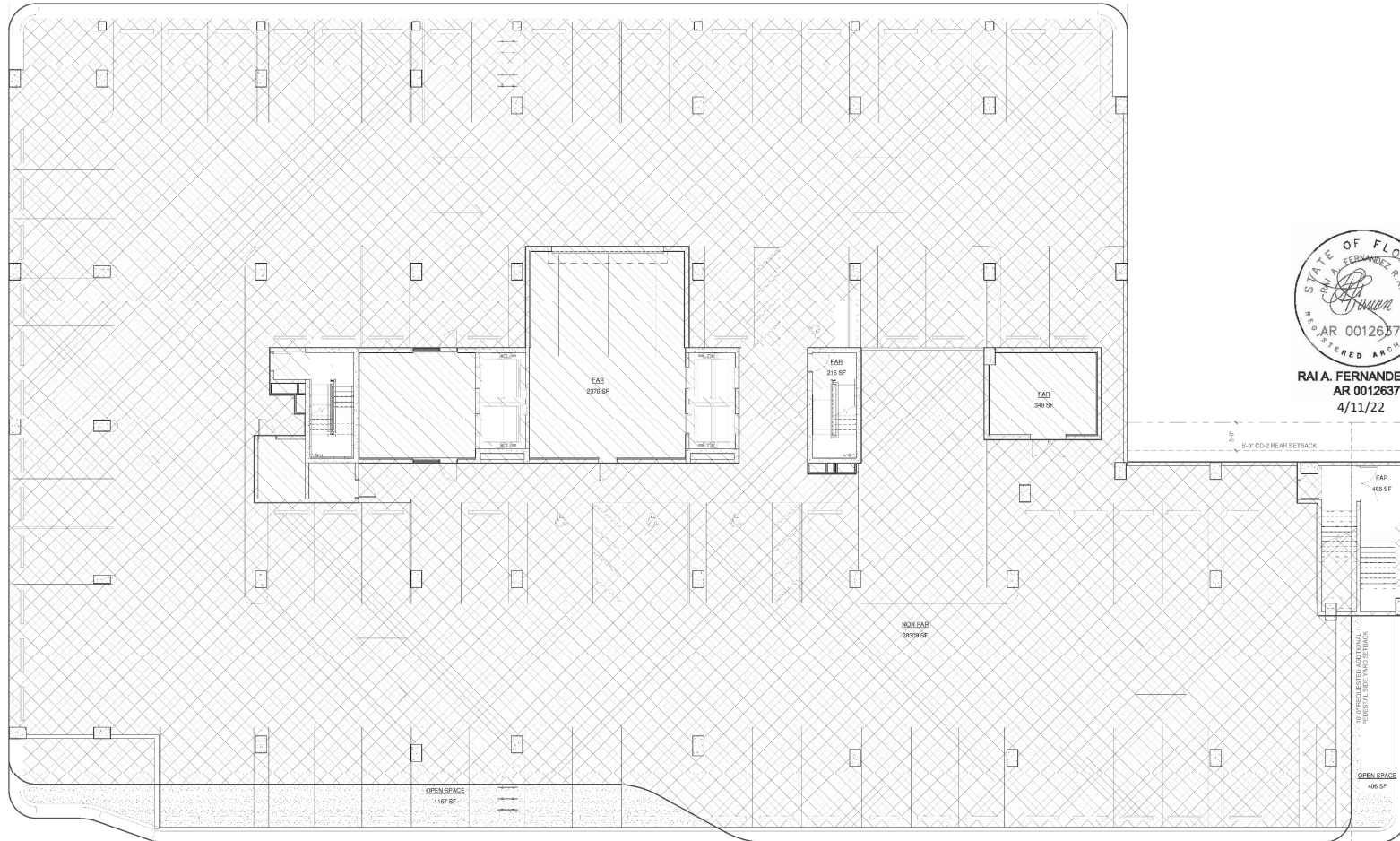
**FAR 1.0**

EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
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**F.A.R. SECOND FLOOR** **PROPOSED 4/11/22**



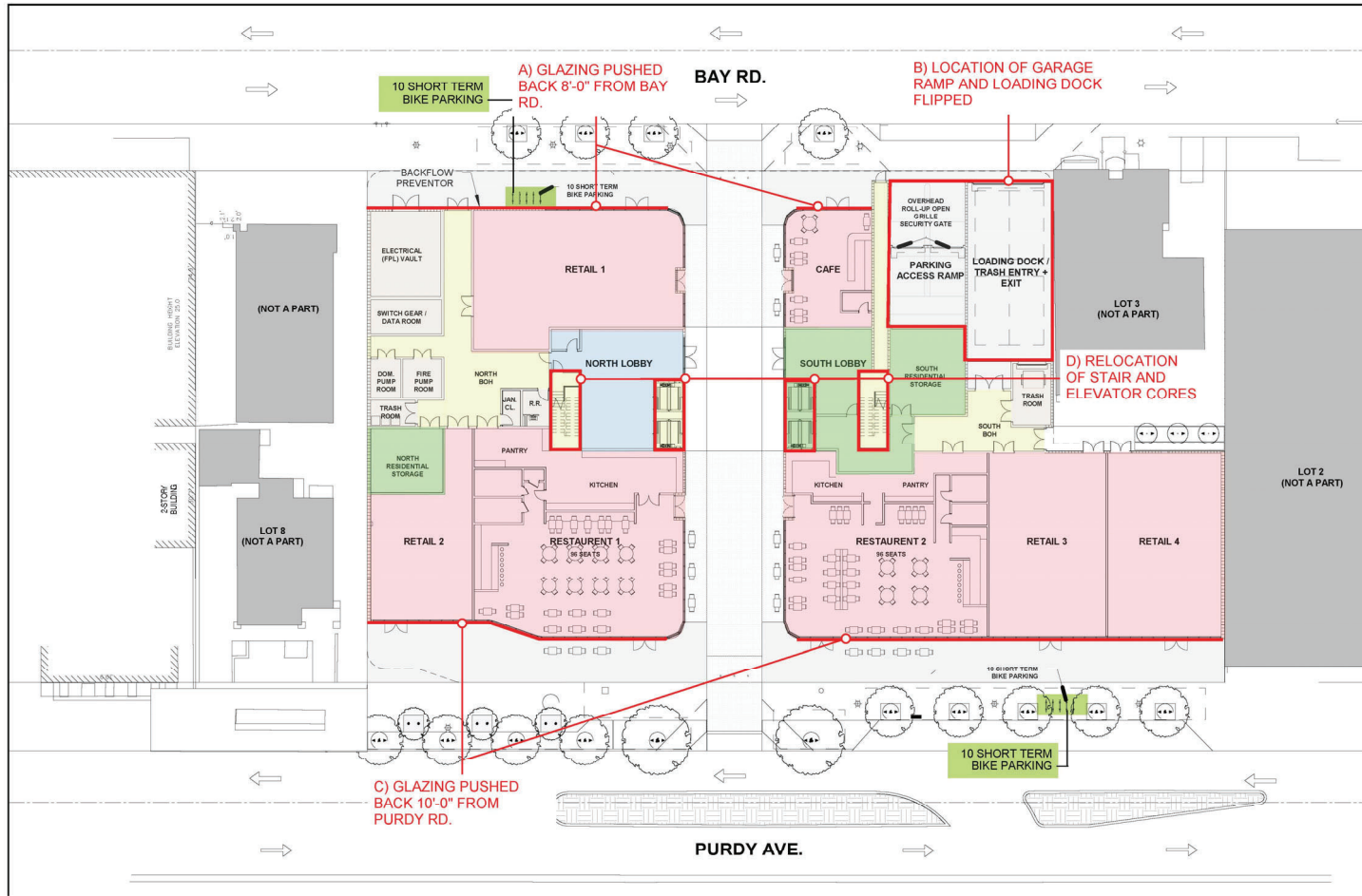
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EIGHTEEN SUNSET  
1759 PURDY AVE.  
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**SITE PLAN**

**APPROVED 10/14/22**



- A) GLAZING PUSHED BACK 8'-0" FROM BAY RD.
- B) LOCATION OF GARAGE RAMP AND LOADING DOCK FLIPPED.
- C) GLAZING PUSHED BACK 10'-0" FROM PURDY RD.
- D) RELOCATION OF STAIR AND ELEVATOR CORES.
- F) ROOF POOL RELOCATED.



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A 1.2.0 10/14/20

SCALE: 1"=30'-0"

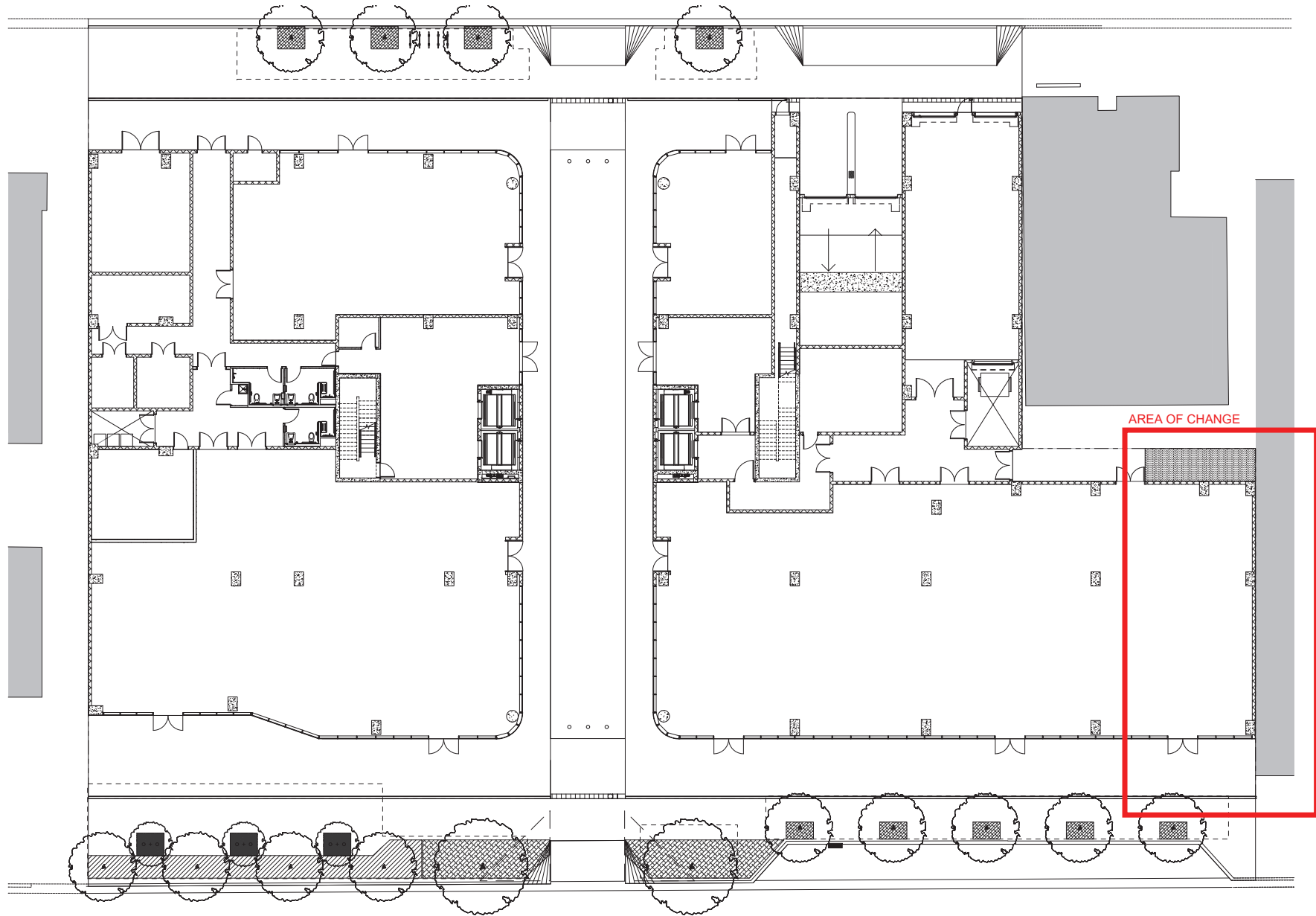
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GROUND FLOOR PLAN

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AREA OF CHANGE

1/18 GROUND FLOOR PLAN  
1/8" = 1'-0"

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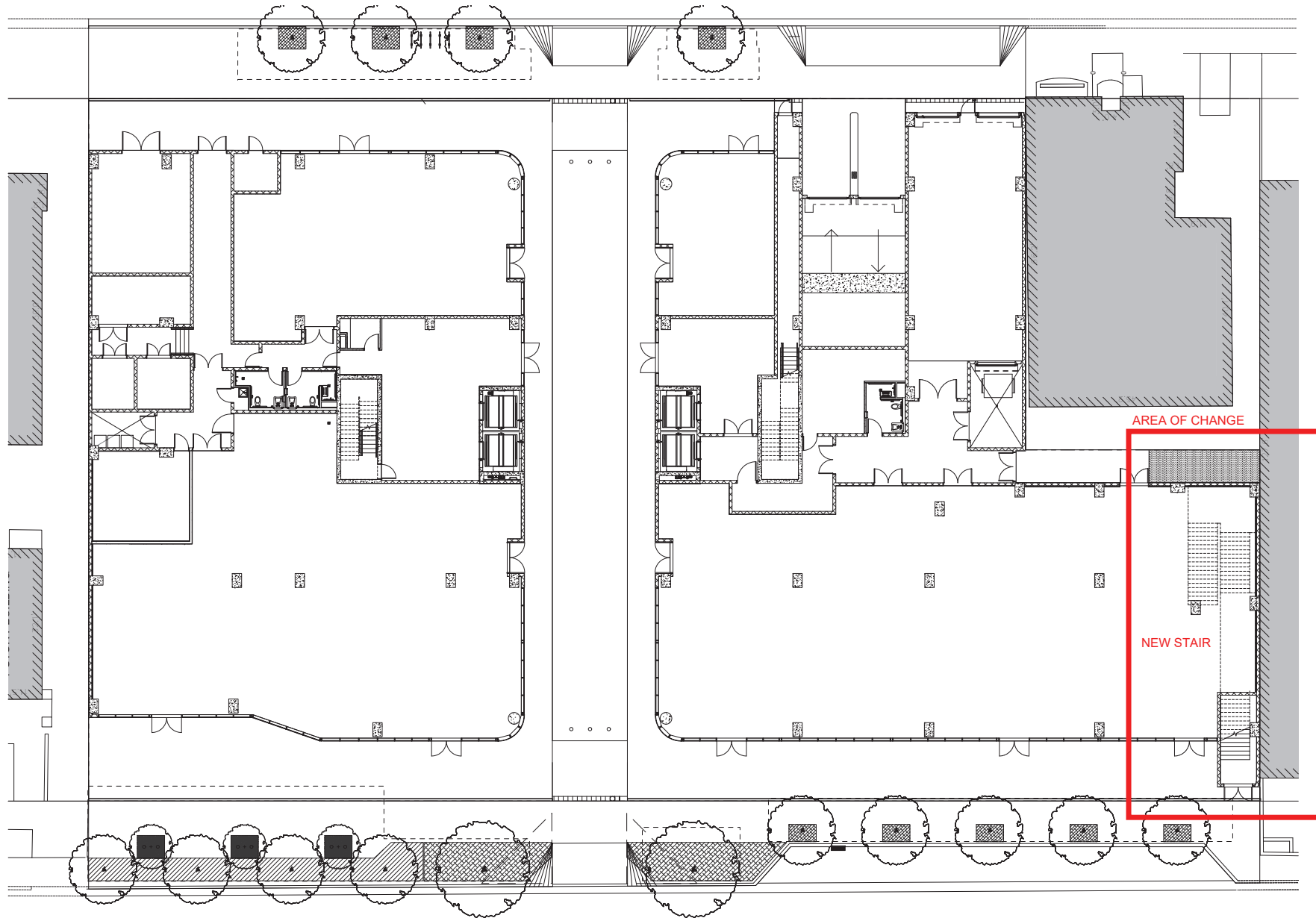
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GROUND FLOOR PLAN

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1 GROUND FLOOR PLAN  
1/8" = 1'-0"

EIGHTEEN SUNSET  
1759 PURDY AVE.  
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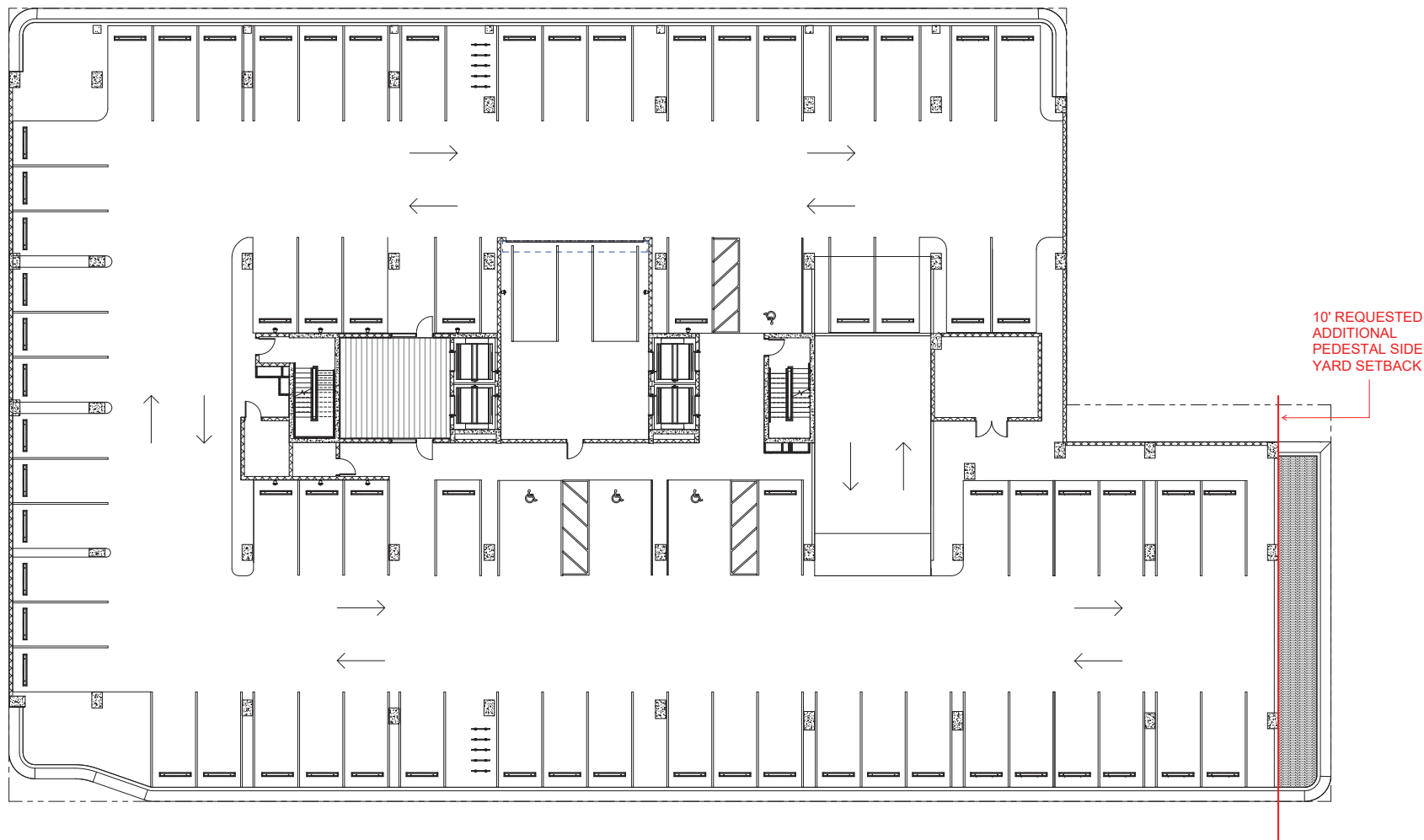
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SECOND FLOOR PLAN

APPROVED 10/14/20



1 SECOND FLOOR PLAN  
A102 3/8" = 1'-0"

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1759 PURDY AVE.  
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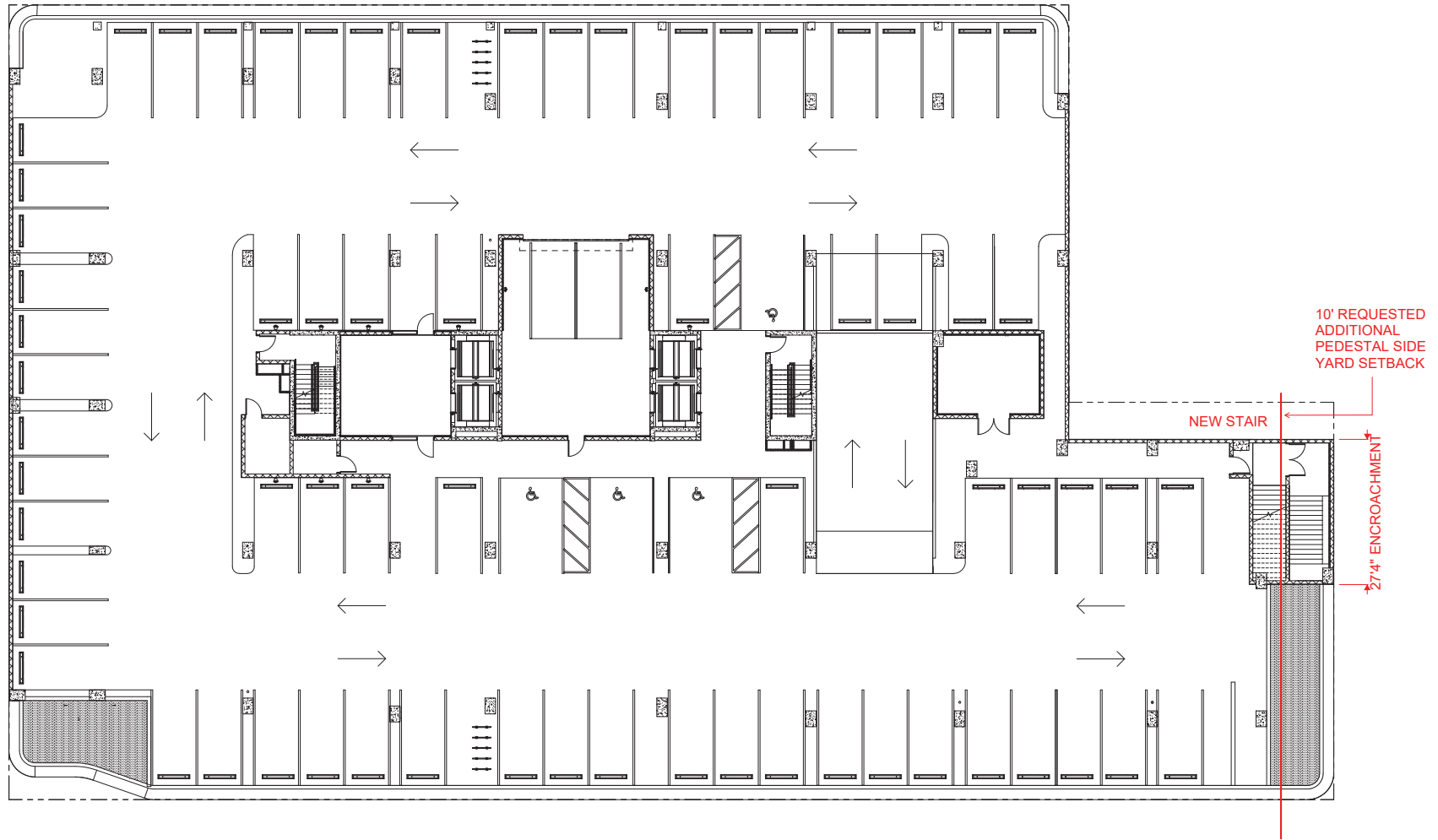


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SECOND FLOOR PLAN

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1 SECOND FLOOR PLAN  
A100 3/8" = 1'-0"

EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEAC, FLORIDA  
4/11/22



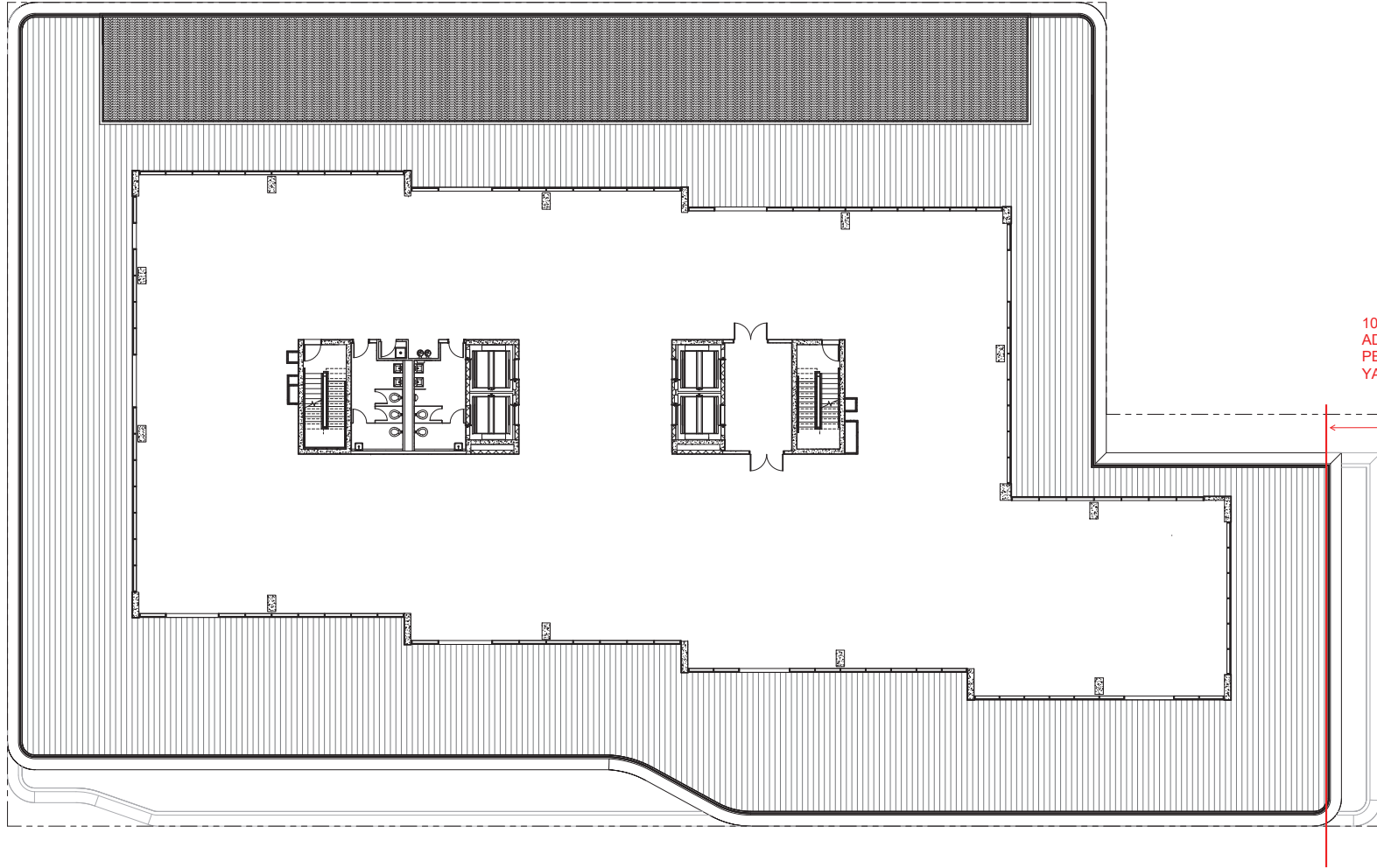
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THIRD FLOOR PLAN

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10' REQUESTED  
ADDITIONAL  
PEDESTAL SIDE  
YARD SETBACK

THIRD FLOOR PLAN  
1/8" = 1'-0"

EIGHTEEN SUNSET  
1759 PURDY AVE.  
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THIRD FLOOR PLAN

PROPOSED 4/11/22



EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
4/11/22

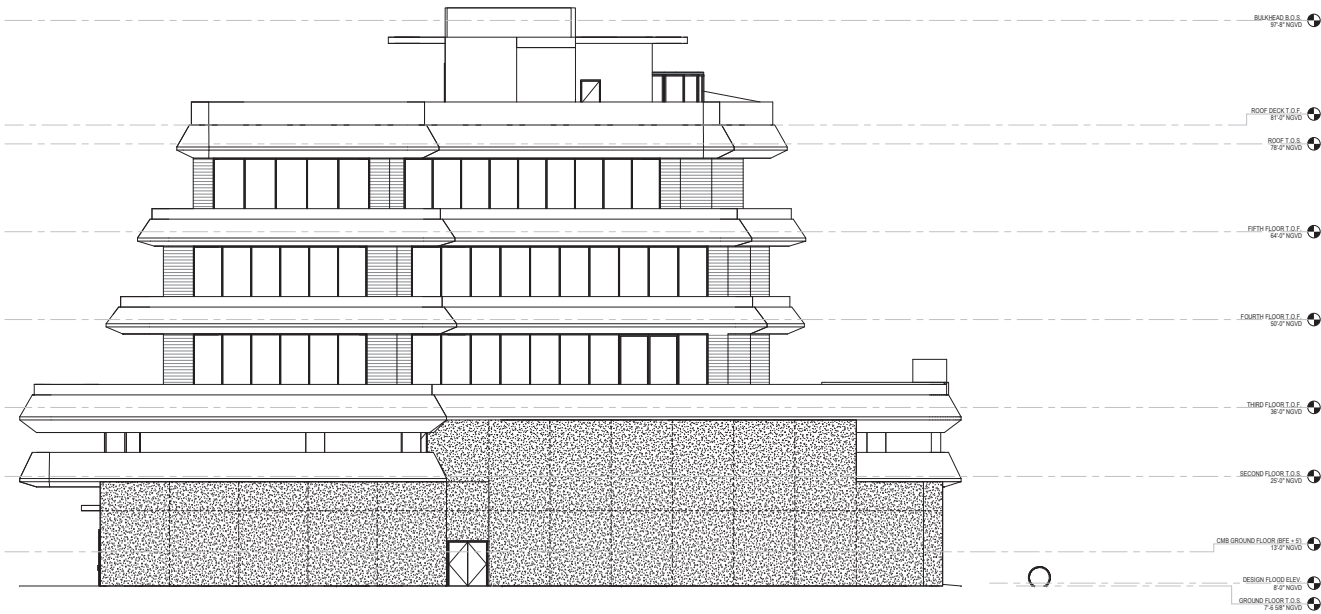


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SOUTH ELEVATION

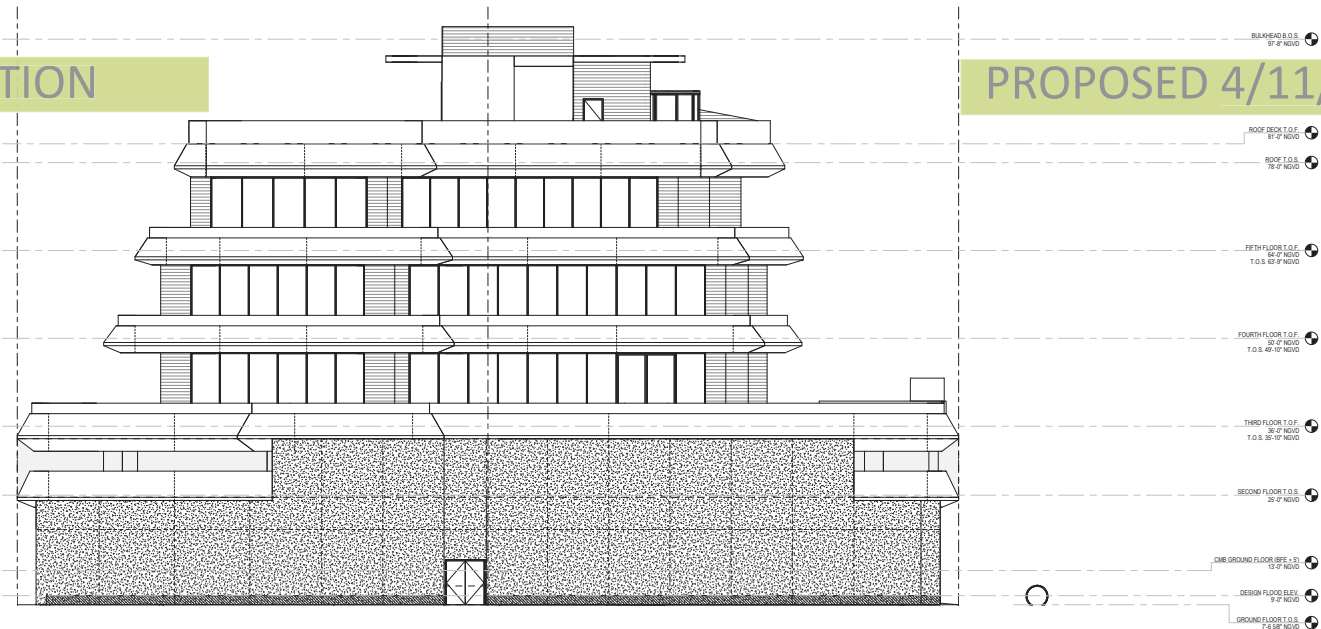
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2 SOUTH ELEVATION  
1/8" = 1'-0"

SOUTH ELEVATION

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2 SOUTH ELEVATION  
1/8" = 1'-0"

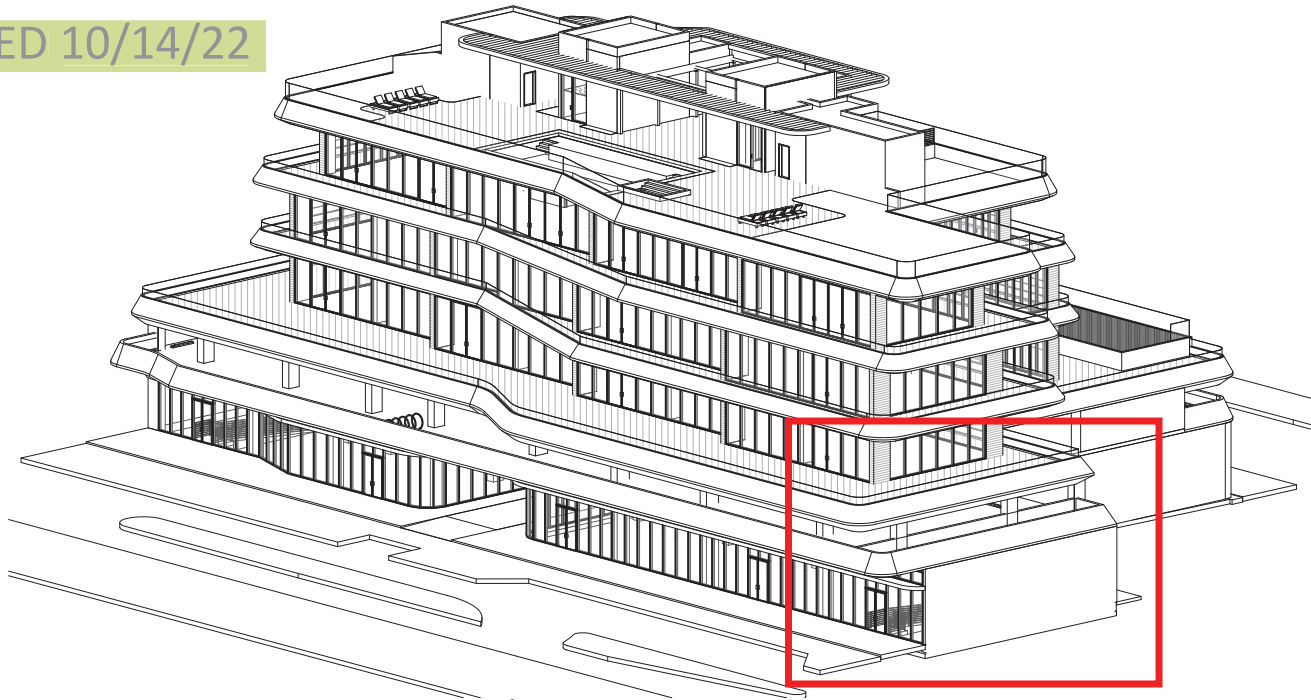
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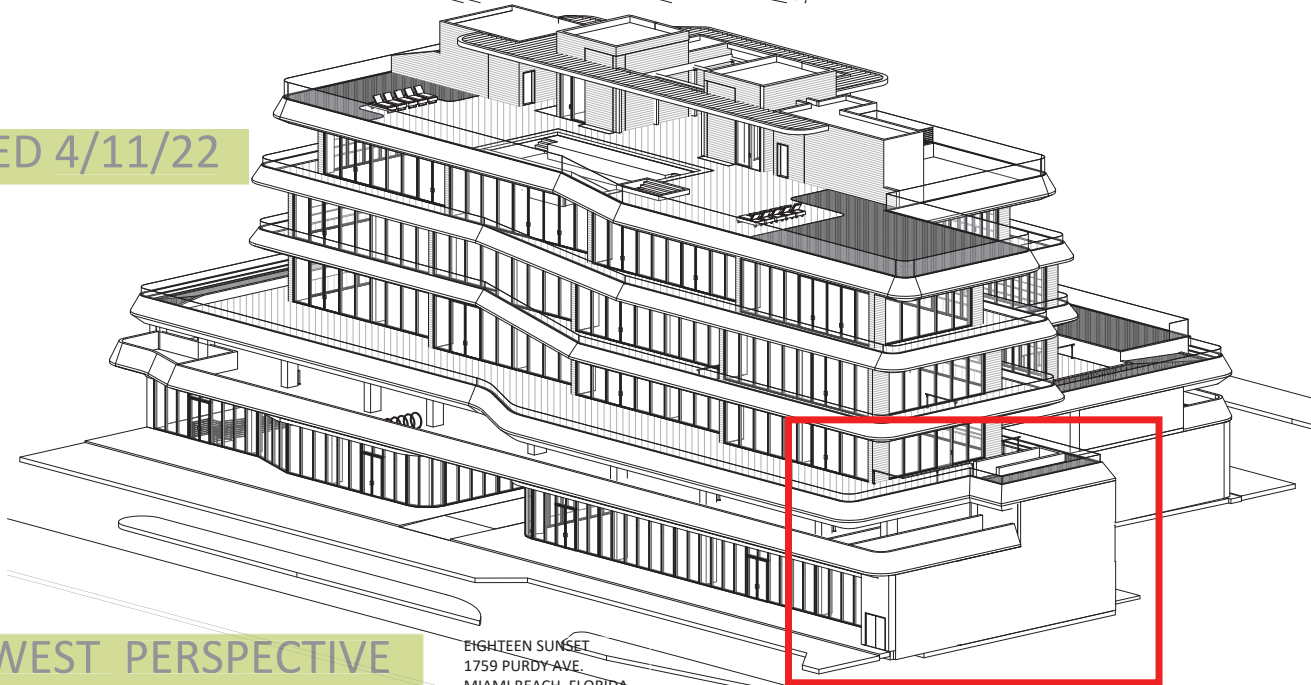
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1 SOUTHWEST PERSPECTIVE  
2001

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SOUTH WEST PERSPECTIVE

EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
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1 SOUTHWEST PERSPECTIVE  
2001



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RENDERING BIRDS EYE VIEW

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EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
4/11/22

A-1.2.9



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RENDERING BIRDS EYE VIEW

PROPOSED 4/11/22

PROPOSED



EIGHTEEN SUNSET  
1759 PURDY AVE.  
MIAMI BEACH, FLORIDA  
4/11/22

A-1.2.10



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RENDERING VIEWING EAST

APPROVED



PROPOSED



EIGHTEEN SUNSET  
1759 PURDY AVE.  
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A-1.2.11