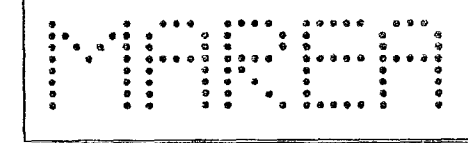


The Related Group
315 South Biscayne Blvd.
Miami, Florida 33131
305-460-9900



801 South Pointe Drive
city of miami beach, dade county, fl

Tabular Data

building type: CPS-1 (Commercial Performance Standard - Limited Mixed-Use Commercial)
RPS-2 (Residential Performance Standard - Medium Density)

lot area: 18,000 sq. ft. + 41,000 sq.ft. = 59,000 sq. ft. (1.35 acres)

lot width: 74'-8" (lowest bottom of sidewalk gutter elevation = +3'-5" n.g.v.d.)
building height: non high-riser building (NNFC 3.3.32.7)

required open space:
open space: 59,000 sq. ft. x 65% = 38,350 sq. ft.
provided open space:
open space: 27,763 sq. ft.

setbacks lots 4-9 (see survey):
side setbacks: required: (7'-6" req. setback + 10% of build. ht.)
provided: 7'-6" (unity of title with lots 10-14 = 0'-0")

rear setbacks: required: 3'-6" for tower and pedestal
provided: 0'-0" (unity of title = 0'-0")

front setbacks: required: 5'-0" pedestal, 20'-0" above 40'
provided: 5'-0" pedestal, 20'-0" above 40'

setbacks lots 18-30 (see survey):
side setbacks: required: 20'-0" tower setback, 5'-0" pedestal setback
provided: n/a

rear setbacks: required: 3'-6" for tower and pedestal
provided: 7'-0" for tower and pedestal (unity of title = 0'-0" at lots 24-30)

front setbacks: required: 20'-0" tower setback above 40' in height, 5'-0" pedestal
provided: 20'-0" tower setback above 40' in height, 5'-0" pedestal

F.A.R. 1.5
Maximum / Allowable: 1.5 x Lot Area (59,000 sq. ft.) = 88,500 sq. ft. + 4,500 = 93,000sq.ft.

actual / provided F.A.R. development

level 01 = 17,579 sq. ft.	level 1 = 2 residential units / commercial
level 02 = 15,206 sq. ft.	level 2 = 6 residential units
level 03 = 14,643 sq. ft.	level 3 = 6 residential units
level 04 = 14,426 sq. ft.	level 4 = 6 residential units
level 05 = 14,040 sq. ft.	level 5 = 6 residential units
level 06 = 13,436 sq. ft.	level 6 = 6 residential units
level 07 (roof) = 2,360 sq. ft.	
total F.A.R. 91,690 sq. ft.	total = 32 dwelling units

parking requirements

portofino commercial	68 spaces
future retail (6,458 sq. ft. / 300)	22 spaces
future restaurant (12,649 sq. ft. / 1 per 4 seats)	172 spaces
residential level 1 = 2 townhouses	3 spaces
residential levels 2-6 = 30 dwelling units	45 spaces
total spaces required (including required handicap = 8 spaces)	310 spaces

actual / provided parking

level 1 = 34 standard + 02 handicap = 36 parking spaces
level 2 = (33 lifts (66 spaces) + 02 handicap = 68 parking spaces)
level 3 = 54 lifts (108 spaces) + 02 handicap = 110 parking spaces
level 4 = 12 standard + 41 lifts (82 spaces) + 02 handicap = 96 parking spaces
total spaces provided = 310 spaces

General Notes:

- References to standards, codes, specifications, recommendations and regulations in these drawings shall mean the editions being enforced by the various agencies and governing bodies at the time of submission. Editions specifically called out in the documents, if not in conflict with the above, shall apply. If neither of the above conditions apply, the edition shall be latest one published prior to the date on the Permit Issue.
- In cases of conflicts between the drawings and standards listed, or conflicts between standards, the more stringent requirements shall govern.
- In case of discrepancies, large scale drawings shall take precedent over small scale drawings and dimensions shall take precedence over any scale drawings.
- Any noted discrepancies between the drawings shall be promptly called to the attention of the Architect and no work shall be undertaken in advance of the Architect's decision except at the Contractor's own risk.
- Where a material is indicated, it is intended that such material be used throughout entire length and height of walls, partitions, panels, windows, lights, areas, etc., or in detail in which it occurs for other similar locations throughout building, unless another material is indicated.
- Wherever any item, device or part of equipment is referred to in the Drawings in singular number, as many items, devices, parts as are required for complete installation shall be installed.
- Where typical or representative detail is shown on plans, this detail shall constitute the standard in workmanship and materials throughout corresponding parts of building and site, and where necessary, Contractors shall be required to adapt such detail for use in said corresponding parts of building or site; said adaptation, however, shall be subject to Architect's approval.
- All indications or notations which apply to one or a number of similar situations, materials or processes shall be deemed to apply to all such situations, materials or processes wherever they appear in the Work, unless otherwise indicated in the drawings.
- All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written or printed directions and instructions unless otherwise indicated in the drawings.
- Fire extinguishers shall be provided in all public spaces. In garage areas fire extinguishers shall be provided every 75'. In public spaces within the building one (1) fire extinguisher shall be provided for every 2500 square feet of floor area, minimum.
- No responsibility, either direct, or implied, is assumed by Architect or Owner for omissions or duplications by Contractor or Subcontractors, due to real or alleged error in arrangement of matter in the Drawings.
- The Contractor shall carefully study and compare the Drawings with each other and with information furnished by the Owner and shall at once report to the Architect, errors, inconsistencies or omissions discovered.
- The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions and other information known to the Contractor with the Drawings before commencing activities. Errors, inconsistencies or omissions discovered shall be reported to the Architect at once.
- The Contractor shall be responsible for verifying that all caulking compounds and releasing agents used are compatible.
- The Contractor shall be responsible to the Owner for acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons performing portions of the Work under a contract with the Contractor.
- The Contractor shall be responsible for inspection of portions of Work already performed under this Contract to determine that such portions are in proper condition to receive subsequent Work.
- The Contractor shall coordinate the work of all Subcontractors, material suppliers and mechanics, and shall be responsible for the proper fitting of all Work. He shall do and be responsible for the correct laying out of the Work as per drawings and written instruction of the Architect, including all necessary leveling and checking. He shall establish grades and bench marks, and shall lay out all partitions, and other significant reference lines or points which will enable all trades to accurately place their boxes, casings, sleeves, conduits, hangers, inserts and other devices.
- The General contractor shall have the final responsibility to Architect and Owner for coordination and complete execution of the Work under this Contract. Documents, Subcontractors who accept the work are accepting the preparatory work others do not later than the work was unsatisfactory as to scope or preparation, and work will be stopped until all deficiencies are corrected.
- After the contract is begun, the Owner and the Architect will consider a) the Contractor shall personally investigate the proposed substitute product and verify that it is equal or superior in all respects to that specified; b) the Contractor will provide the same warranty for the substitution that the Contractor provided for that specified; c) The Contractor shall certify the cost data presented is complete and includes all related costs under this Contract including the Architect's redesign costs, and wagers all claims for additional costs related to the substitution which subsequently become apparent; d) The Contractor will coordinate the installation of the accepted substitute, making such changes as may be required for the be complete in all respects.
- General Contractor shall provide a Certificate of Protective Treatment for prevention of termites per the requirements of FBC section (105.10) and 105.11. Such treatment shall comply with all applicable requirements as described in FBC section 1816 termite protection.

restroom facilities and fixtures calculation

lobby - level 1 = spa = 1,490 sq. ft. / 50 = 30
lobby = 1,722 sq. ft. / 15 = 115
corridors = 2,981 sq. ft. / 200 = 11
total = 156 / 2 = 78
male: required 1 lavatory, 2 watercloset
provided 2 lavatories, 1 watercloset, 1 urinal
female: required 1 lavatory & 1 watercloset
provided 2 lavatory & 2 watercloset

pool deck - level 5 = 1,493 sq. ft. / 50 = 30
male: required 1 lavatory, 1 watercloset
provided 2 lavatories, 1 watercloset & 1 urinal
female: required 1 lavatory & 1 watercloset
provided 1 lavatory & 1 watercloset

required 1 drinking fountain
provided 2 drinking fountain

required 1 drinking fountain
provided 1 drinking fountain

future retail and restaurant under separate permit

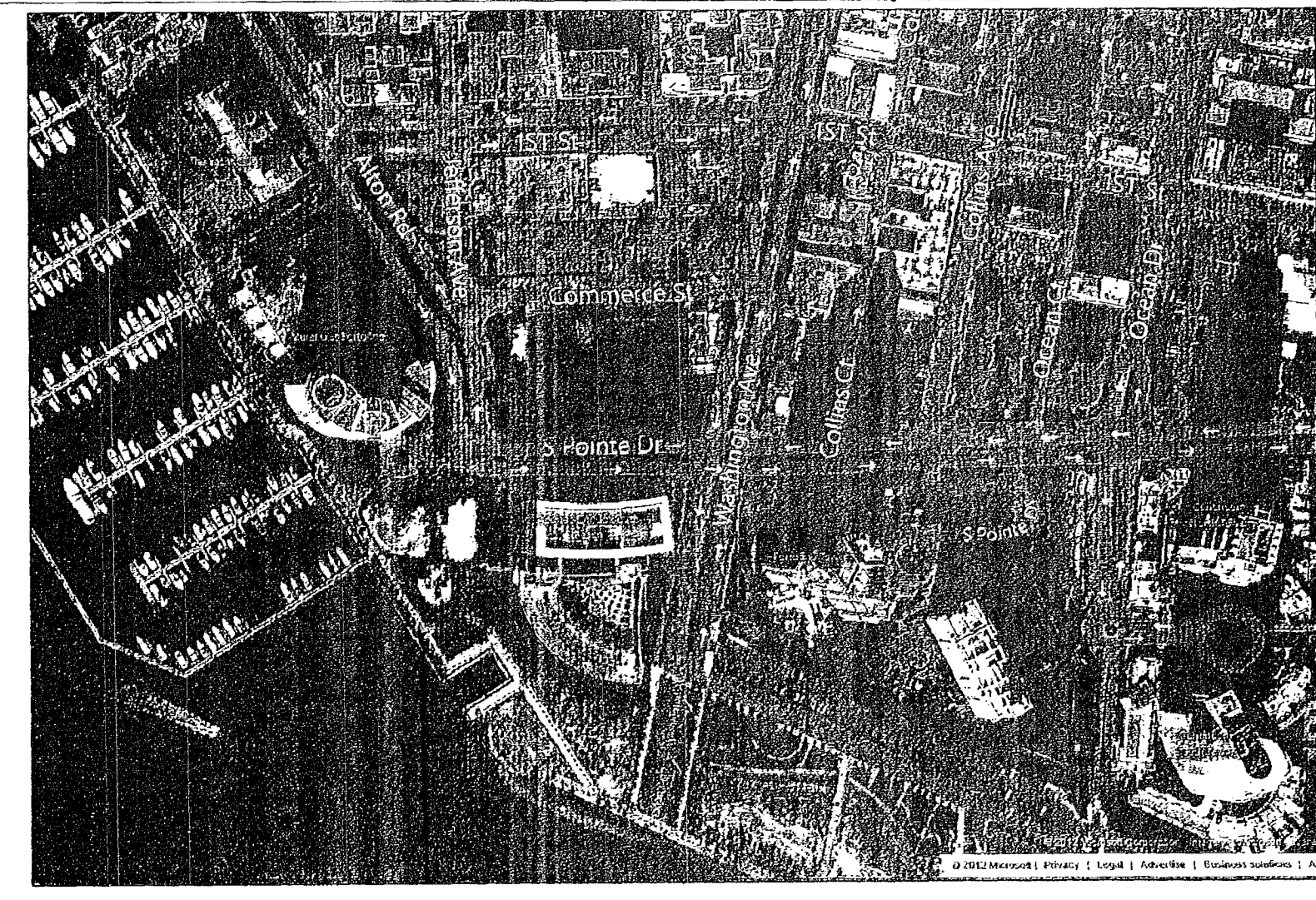
CODES USED

Construction of this building shall comply with:
The Florida Building Code: 2010 edition
Florida Fire Prevention Code: 2010 edition
The Life Safety Code, NFPA 101: 2009 edition
The Fair Housing Act 1988, as amended
The Florida Accessibility Code Chapter 11, FBC 2010 edition
Americans With Disabilities Act (ADA) 2012 edition & ANSI 117.1

Should conflicts arise between codes the General Contractor shall comply with the most stringent requirement or shall receive written authorization from the Building Official for compliance.

ABBREVIATIONS LEGEND

A/C	AIR CONDITIONING
AFB	ABOVE FINISHED FLOOR
AFD	ABOVE FINISHED DECK
ALUM.	ALUMINUM
AP	ACCESS PANEL
BFE	BASE FLOOD ELEVATION
CLG	CEILING
CONC.	CONCRETE
C.U.	CONDENSING UNIT
DIA.	DIAMETER
DW	DISHWASHER
DWG.	DRAWING
ELEV.	ELEVATION
EP	ELECTRICAL PANEL
FAR	FLOOR AREA RATIO
FD	FLOOR DRAIN
FIN.	FINISH
F.P.M.	FEET PER MINUTE
FT.	FEET
GL	GLASS
HC	HANDICAP
LAV	LAVATORY
M.W.O.	MICROWAVE OVEN
OPP HAND	OPPOSITE HAND (REVERSE)
PL	PLANTER
REF	REFRIGERATOR
REINF.	REINFORCED
REQ.	REQUIRED
RD	ROOF DRAIN
RML	ROOM
SH	SHOWER
SIM	SIMILAR
SQ.	SQUARE
TOP	TOP OF CURB
TOP	TOP OF PARAPET
TOS	TOP OF SLAB
TOW	TOP OF WALL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
UR	URINAL
WC	WATER CLOSET
W.I.C.	WALK IN CLOSET



location map n.l.s.

SYMBOLS LEGEND

(Symbol)	STUD PARTITION	(Symbol)	WINDOW SLIDING GLASS DOOR STOREFRONT DETAIL	(Symbol)	DETAIL NUMBER SHEET No. DETAIL IS DRAWN ON
(Symbol)	FIRE RATED STUD PARTITION	(Symbol)	CONCRETE WALL	(Symbol)	DETAIL NUMBER SHEET No. DETAIL IS DRAWN ON
(Symbol)	CONCRETE WALL	(Symbol)	CONCRETE BLOCK WALL 1 HOUR FIRE RATED	(Symbol)	SECTION TITLE SCALE
(Symbol)	CONCRETE BLOCK WALL 1 HOUR FIRE RATED	(Symbol)	CONCRETE BLOCK WALL 2 HOUR FIRE RATED	(Symbol)	DETAIL NUMBER SHEET No. SECTION IS DRAWN ON
(Symbol)	CONCRETE BLOCK WALL 2 HOUR FIRE RATED	(Symbol)	CONCRETE BLOCK WALL 4 HOUR FIRE RATED	(Symbol)	DOOR DESIGNATION CORE AND UNITS
(Symbol)	CONCRETE BLOCK WALL UP TO #4" NGVD AT BLOCK WALLS TO RECEIVE FLOOD PROOFING MEMBRANE	(Symbol)	DOOR DESIGNATION PUBLIC SPACES	(Symbol)	WINDOW DESIGNATION
(Symbol)	STEEL	(Symbol)	BALCONY DIVIDER DESIGNATION	(Symbol)	SLIDING GLASS DOOR DESIGNATION
(Symbol)	FIBERGLASS BATT INSULATION	(Symbol)	STOREFRONT DESIGNATION	(Symbol)	ROOM NUMBER
(Symbol)	RIGID DENSE FOAM W/ MESH & STUCCO FINISH - MOULDING	(Symbol)	WALL ASSEMBLY ON FINISH SCHEDULE	(Symbol)	WALL TYPE DESIGNATION ON PLANS (REFER TO DWG. A.801)
(Symbol)	CORNICES, ETC...	(Symbol)	RECESSED FIRE EXTINGUISHER CABINET (see 1/8" scale drawings)	(Symbol)	CEILING HEIGHTS
(Symbol)	REIN. CONCRETE	(Symbol)	WATER CLOSET	(Symbol)	
(Symbol)	CLEAN COMPACTED FILL	(Symbol)	WALK IN CLOSET	(Symbol)	
(Symbol)	LOOSE FILL OR WALL MOUNTED FIRE EXTINGUISHER	(Symbol)		(Symbol)	
(Symbol)	COLUMN DESIGNATION	(Symbol)		(Symbol)	

MAREA - Units Matrix

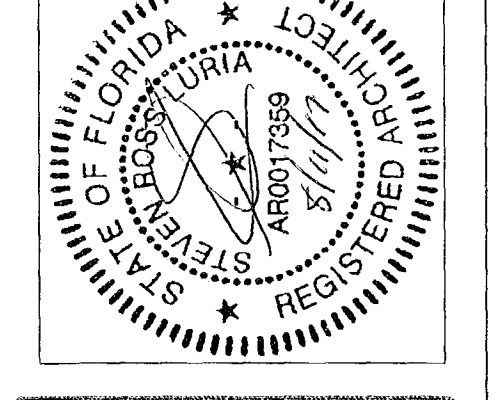
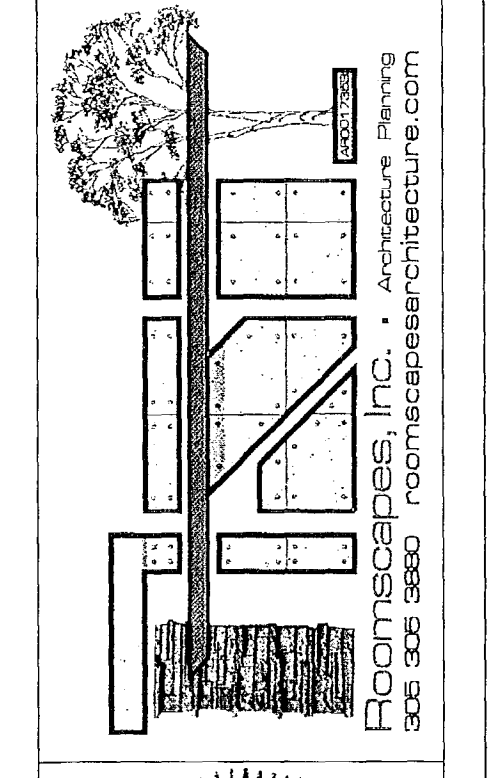
Level	Unit Type	Sell Area	Paint to Paint	Balcony Area	Unit Type	Sell Area	Paint to Paint	Balcony Area	Unit Type	Sell Area	Paint to Paint	Balcony Area	Unit Type	Sell Area	Paint to Paint	Balcony Area
7 (Roof Terrace)	PHA	89	59	2,989	PHB	89	60	1,793	PHC	79	52					
8	PHA	2,332	2,151	3Bed/3.5Bath	522	1,854	1,733	3Bed/3.5Bath	596	1,526	1,388	2Bed/2.5Bath				
5	A	2,332	2,151	3Bed/3.5Bath	522	1,854	1,733	2Bed/2.5Bath	345	1,526	1,388	2Bed/2.5Bath				
4	A	2,332	2,151	3Bed/3.5Bath	522	1,854	1,733	2Bed/2.5Bath	345	1,526	1,388	2Bed/2.5Bath				
3	A	2,332	2,151	3Bed/3.5Bath	522	1,854	1,733	2Bed/2.5Bath	345	1,526	1,388	2Bed/2.5Bath				
2 (Deck Level)	A	2,332	2,151	3Bed/3.5Bath	1,991	1,854	1,733	2Bed/2.5Bath	704	1,526	1,388	2Bed/2.5Bath				
total	A	11,749	10,814	6,168	B	9,359	8,725	4,128	C	7,704	6,992					

floor plan - level 2 (west tower)

REVISED 09/09/2013
REVISED 06/21/2013

PROJECT NAME: **KOSUSHI RESTAURANT**
ADDRESS: 801 SOUTH POINT DR. CITY OF MIAMI BEACH FL, 33139
OWNER: TRG ALASKA III LLC
PROPERTY ID: 02-4203-368-0001

ARCHITECT: **STEVEN LURIA, RA**
9641 SW 100 AVENUE MIAMI, FL 33176
LICENSE NO: AR 0017359 305-305-3880



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREON CONSTITUTE THE DESIGN AND ENGINEERING WORK OF THE ARCHITECT. THE SAME MAY NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

JOB No.: 16.14425.DEM

REVISIONS:
NEW SHEET 08/02/2017

DATE: 04/20/2017
CHECKED BY:
DRAWN BY: LR
PLOT: 100%

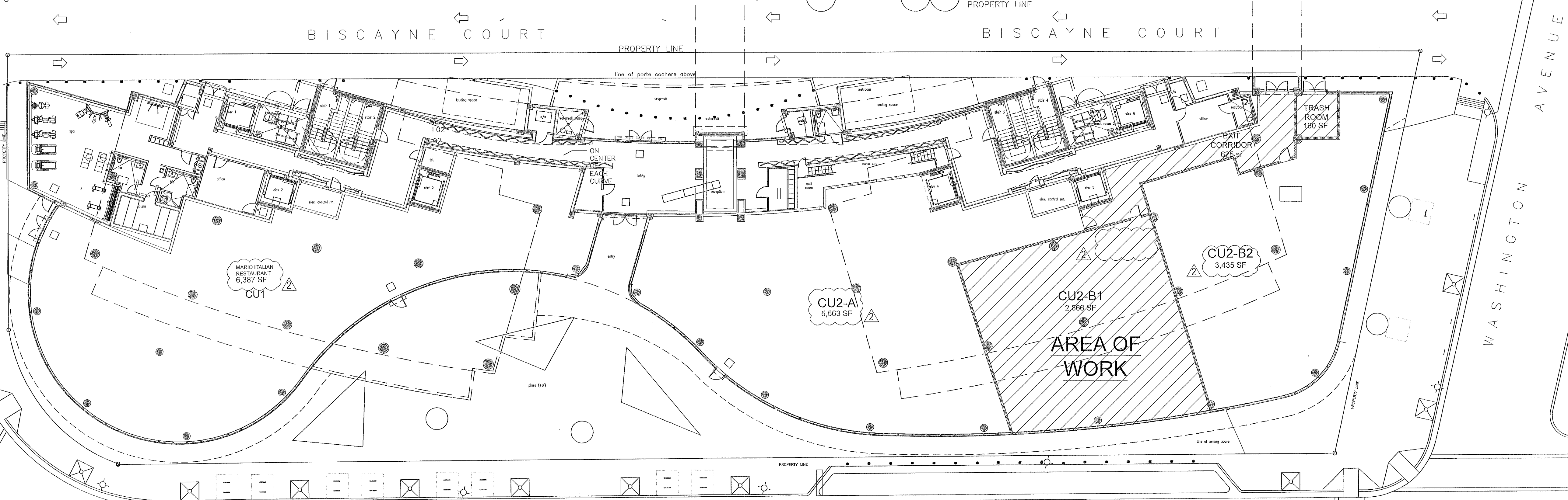
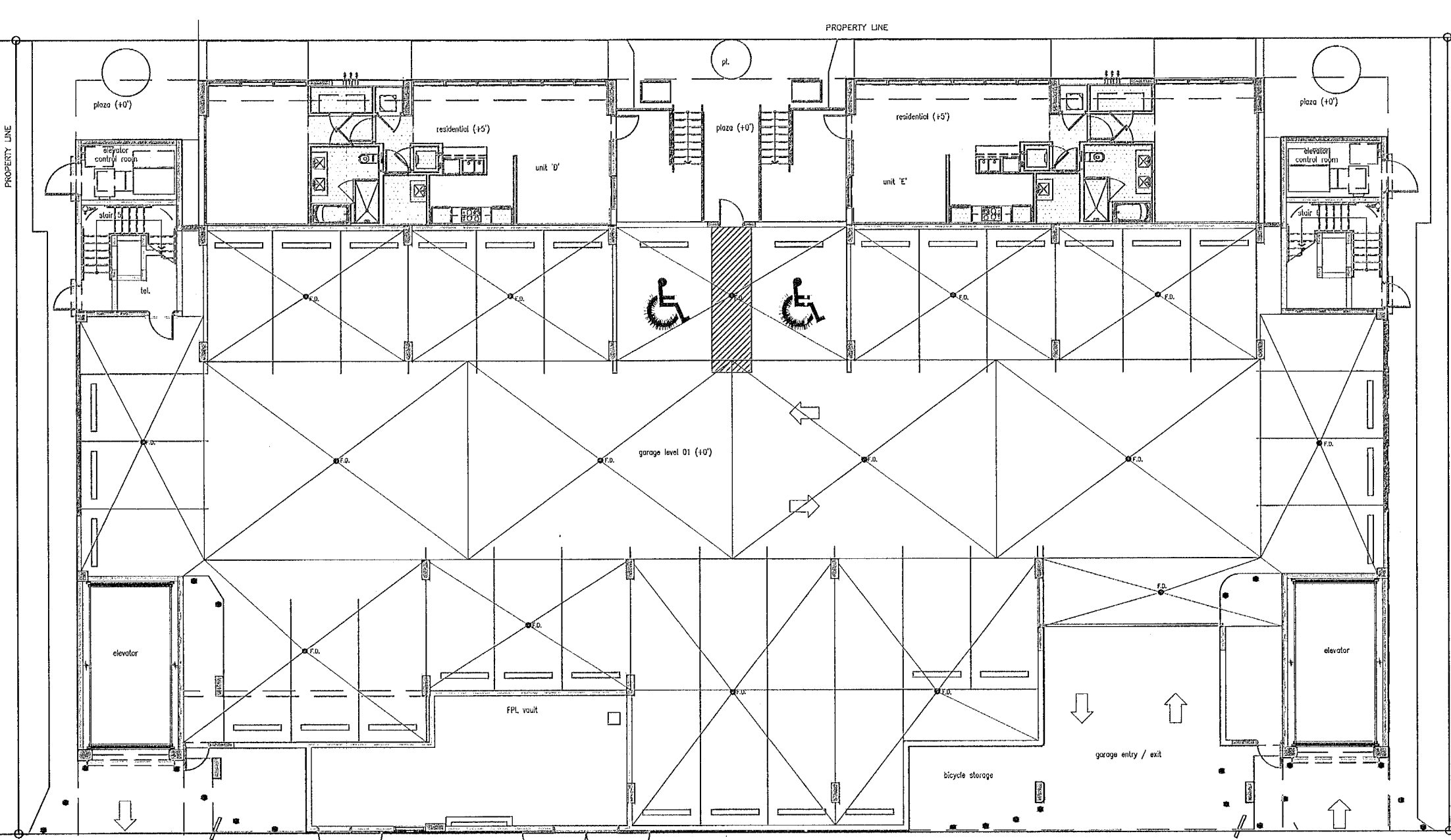
SHEET INDEX:
ZONING DATA, FLOOR PLAN AND DETAILS

SHEET No.: A-1.1

BC1703

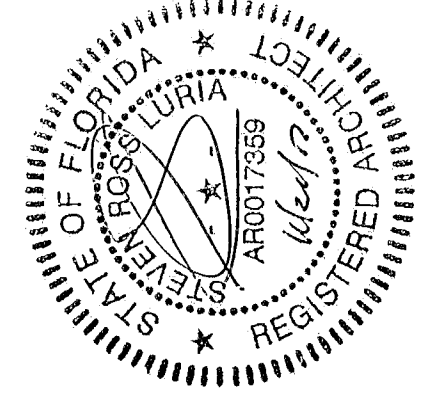
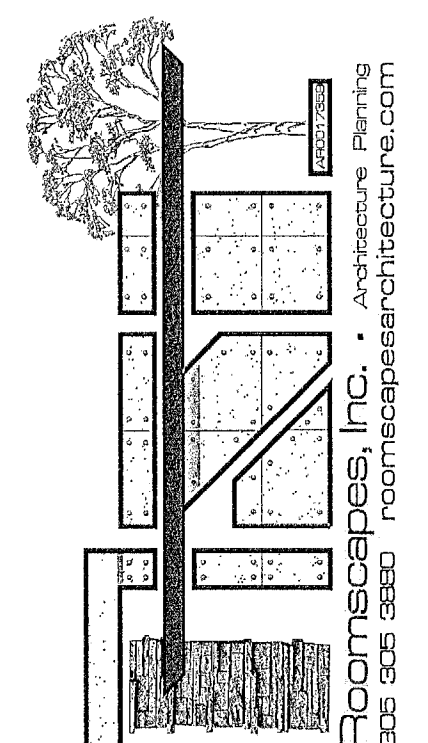
AREA TABULATIONS:

PREVIOUSLY APPROVED FUTURE RESTAURANT AREA:	12,649 SF
CURRENT AND PREVIOUSLY APPROVED TENANT AREAS:	
MARIO'S RESTAURANT: (PERMIT B1602041)	6,387 SF
KOSUSHI RESTAURANT: (PROCESS BC1703799)	2,866 SF
TOTAL EXISTING AND PROPOSED RESTAURANT:	9,253 SF
REMAINING FOR FUTURE RESTAURANT:	3,396 SF



PROJECT NAME: **KOSUSHI RESTAURANT**
 ADDRESS: 801 SOUTH POINT DR
 CITY OF MIAMI BEACH FL,
 OWNER: TRG ALASKA III LLC
 PROPERTY ID: 02-4203-368-0001

ARCHITECT: **STEVEN LURIA, RA**
 9641 SW 100 AVENUE
 MIAMI FL 33176
 LICENSE NO: AR 0017359
 305-305-3880



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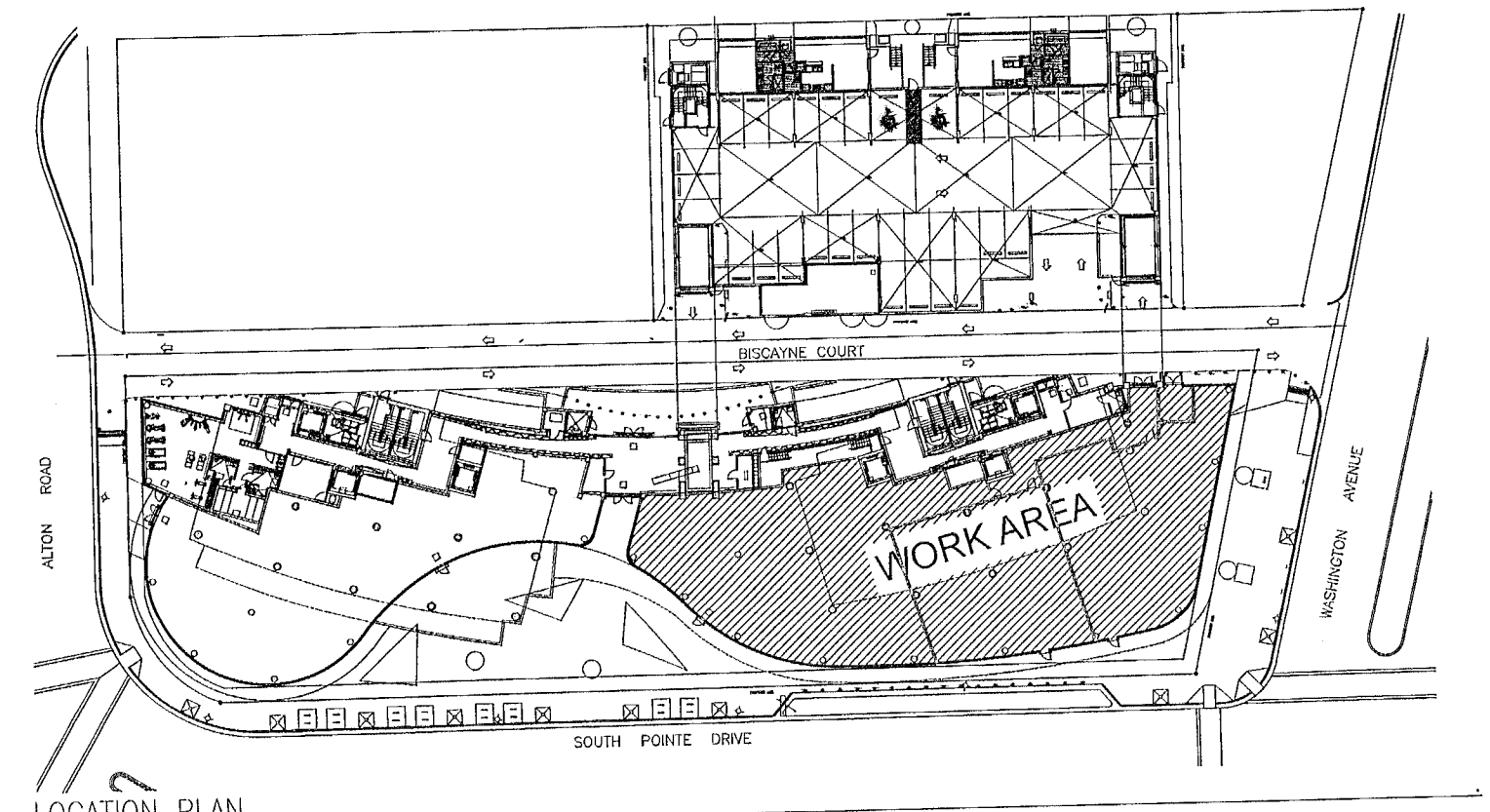
JOB No.:
16.14425.DEM

REVISIONS:
 1. NEW SHEET 09/21/2017
 2. PERMIT REVISIONS 11-21-17

DATE: 04/20/2017
 CHECKED BY:
 DRAWN BY: LR
 PLOT: 100%

SHEET INDEX:
 SITE PLAN

SHEET No.:
A-0



SCOPE OF WORK:

- SUBDIVISION OF 12,451 SF COMMERCIAL SPACE CU-2 & NEW TRASH ROOM
 - NEW 1H FIRE RATED DEMISING WALLS AS PER PLANS
 - NEW FLOOD PANELS FOR GLASS DOORS
 - NEW AND RELOCATED FIRE PROTECTION DEVICES (REFER TO SHEET F-1)
 - NEW EMERGENCY LIGHTING (REFER SHEETS D-E-1 AND F-1)
- NEW RESTAURANT AT TENANT SPACE CU-2B
 - 2,866 SF TOTAL

PROJECT DO NOT INCLUDE REMOVALS OR DEMOLITION

APPROVED PARKING CALCULATION:

PORTOFINO COMMERCIAL 68 SPACES
 FUTURE RETAIL (6,458 SF/300) 22 SPACES
 FUTURE RESTAURANT (12,649 SF/1PER 4 SEATS) 172 SPACES
 RESIDENTIAL LEVEL 1 = 2 TOWNHOUSES 3 SPACES
 RESIDENTIAL LEVELS 2 TO 6 = 30 DWELLING UNITS 45 SPACES
 TOTAL SPACES REQUIRED 310 SPACES

ACTUAL / PROVIDED PARKING:

PORTOFINO COMMERCIAL 68 PARKING SPACES
 LEVEL 1 = 34 STANDARD + 2 ADA = 36 PARKING SPACES
 LEVEL 2 = 33 LIFTS (66 SPACES) + 2 ADA = 68 PARKING SPACES
 LEVEL 3 = 54 LIFTS (108 SPACES) + 2 ADA = 110 PARKING SPACES
 LEVEL 4 = 12 ST. + 41 LIFTS (82 SPACES) + 2 ADA = 86 PARKING SPACES
 TOTAL SPACES PROVIDED = 310 SPACES

PROPERTY INFORMATION:

ADDRESS: 801 S POINTE DR UNIT: CU-2 MIAMI BEACH, FL 33139-7311
 LEGAL DESCRIPTION: MAREA CONDO UNIT CU-2 UNDIV 16.48611 % INT IN COMMON ELEMENTS OF REC 29810-2526
 FOLIO: 02-4203-368-0320
 ZONING: CPS-1
 PROPOSED USE: COMMERCIAL (FUTURE RESTAURANT)
 YEAR BUILT: 2015

TYPE OF CONSTRUCTION: II-A
CLASSIFICATION ON OCCUPANCY: A2
ALTERATION LEVEL: 2
CLASSIFICATION OF REHAB WORK: MODIFICATION (NFPA 101 CHAPTER 43)
-FULL-SPRINKLERED BUILDING W/ FIRE ALARM
BUILDING CODE: FBC EXISTING 2014, FPPC 5TH EDITION

INTERIOR FINISH:
 CLASS B INTERIOR WALL AND CEILING FINISH-FLAME SPREAD 26-75 SMOKE DEVELOPED 0-450 CLASS II INTERIOR FLOOR FINISH-CRITICAL RADIANT FLUX, NOT LES THAN 0.22W/CM² BUT LES THAN 0.45 W/CM²
 ALL INTERIOR FINISHES WILL BE IN ACCORDANCE TO NFPA 101 SECTION 10.2

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- A-2 RESTAURANT & MEZZANINE FLOOR PLAN AND DETAILS
- A-3 REFLECTED CEILING PLAN
- A-4 ADA DETAILS
- A-5 DETAILS
- A-6 PARTIAL EXTERIOR ELEVATION AND PICTURES
- F-1 FIRE PROTECTION & UL DETAILS
- F-2 UL DETAILS
- E-1 ELECTRICAL DETAILS AND NOTES
- M-1 MECHANICAL DETAILS AND NOTES
- M-2 MECHANICAL PLAN
- P-1 PLUMBING DETAILS AND NOTES
- P-2 PLUMBING PLAN
- S-1 STRUCTURAL PLAN DETAILS AND NOTES
- S-2 STRUCTURAL DETAILS

* SEPARATE PERMIT FOR SPRINKLER HEADS, FIRE ALARM, STAIRS STORE FRONT DOOR

NEW PARKING CALCULATION:

PORTOFINO COMMERCIAL 68 SPACES
 FUTURE RETAIL (6,458 SF/300) 22 SPACES
 MARIO'S RESTAURANT (6,387 SF) SEATS 298/4 75 SPACES (PER B1602041)
 KOSUSHI RESTAURANT (2,866) SEATS 87/4 22 SPACES
 REMAINING FOR FUTURE RESTAURANT (3,396 SF) 75 SPACES
 RESIDENTIAL LEVEL 1 = 2 TOWNHOUSES 3 SPACES
 RESIDENTIAL LEVELS 2 TO 6 = 30 DWELLING UNITS 45 SPACES
 TOTAL SPACES REQUIRED 310 SPACES

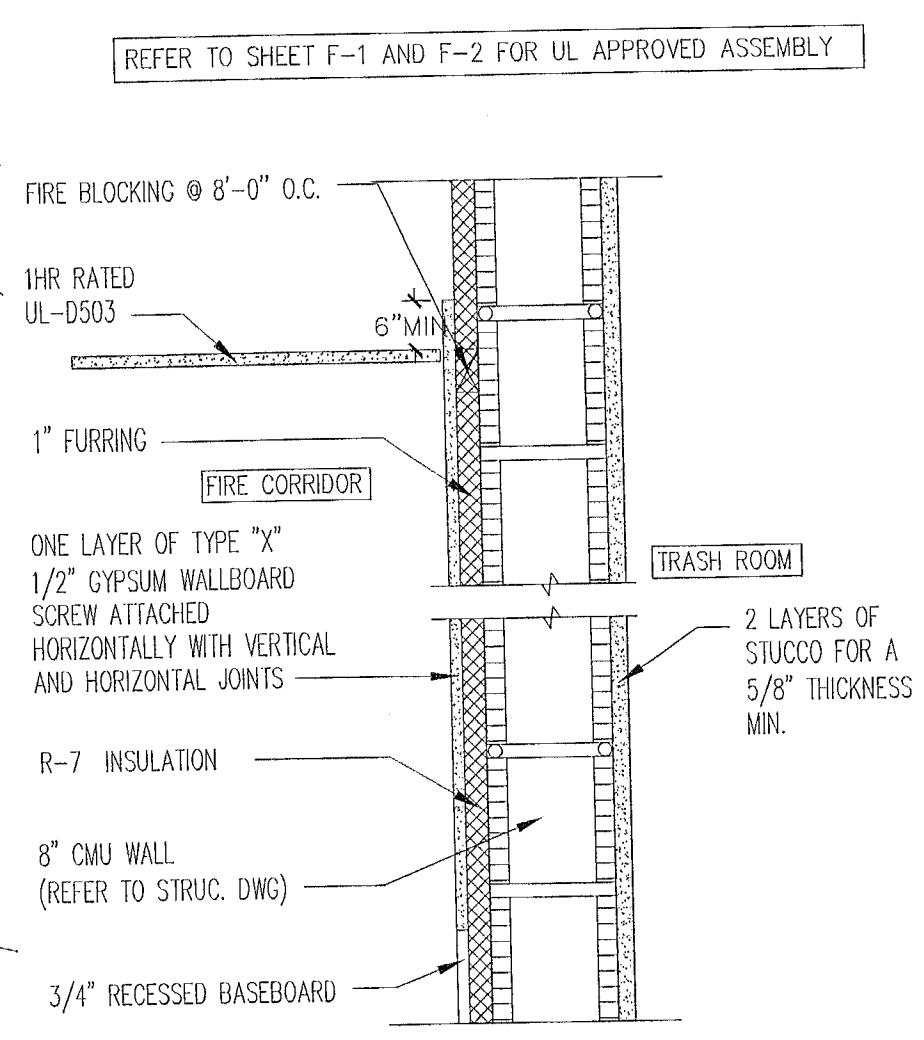
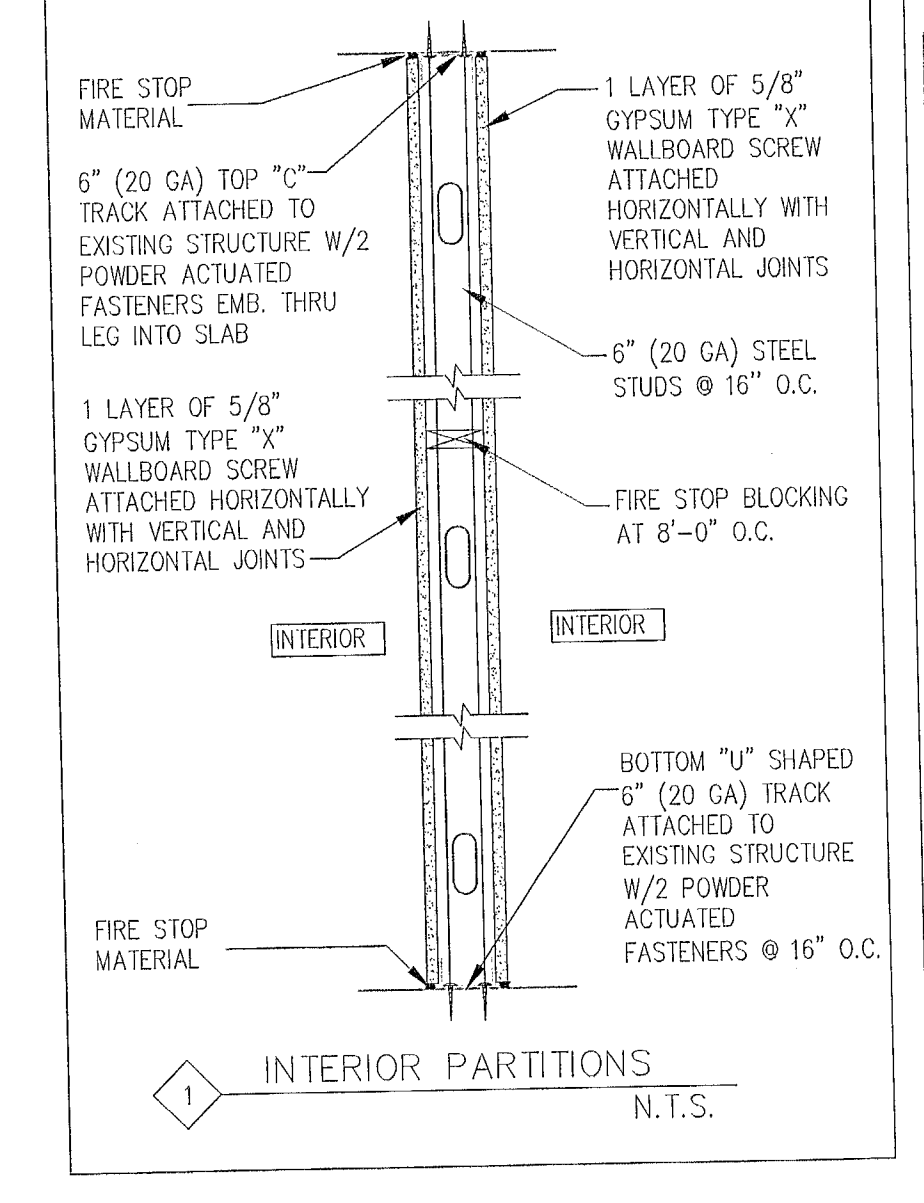
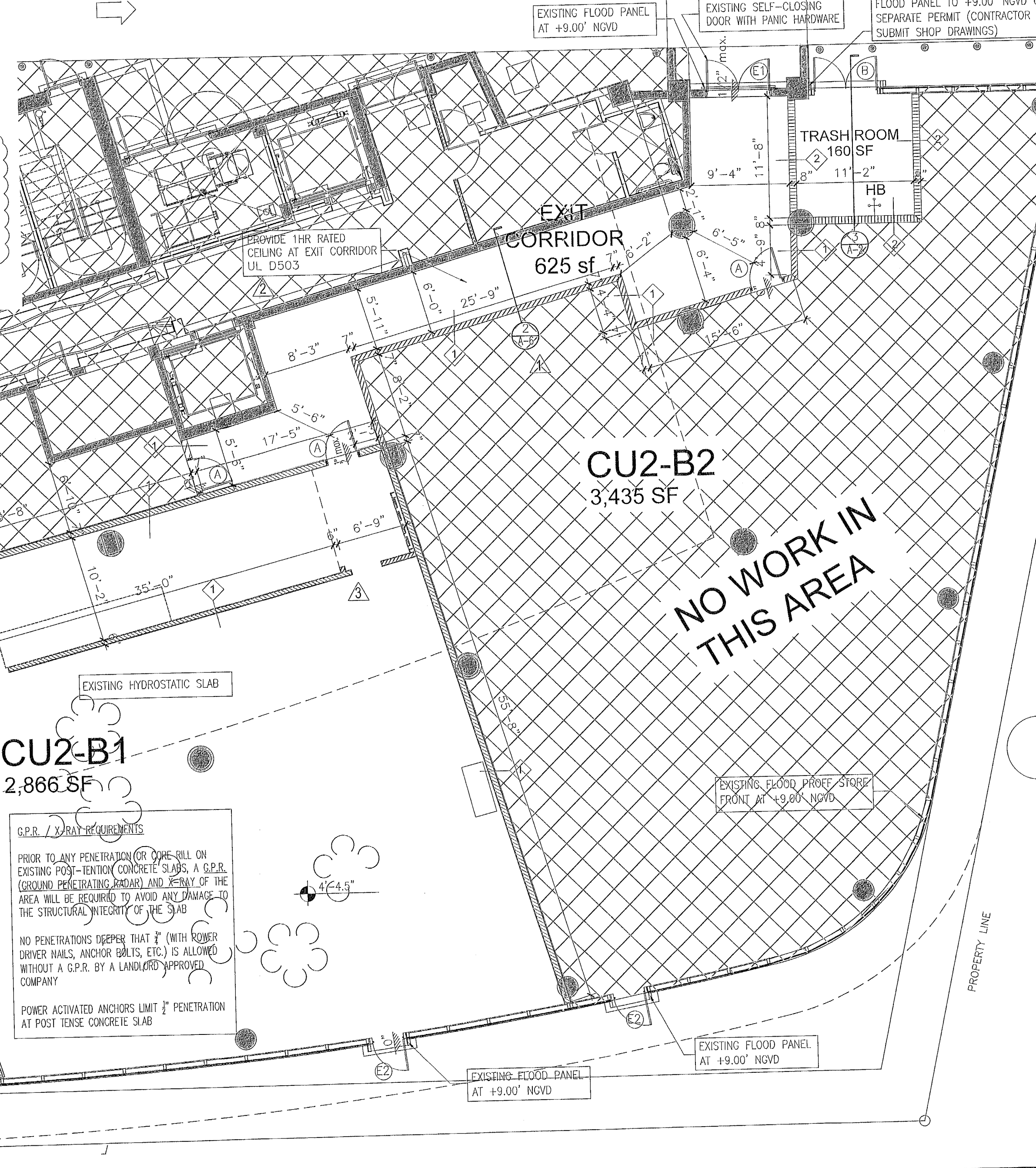
GENERAL NOTES:

ALL WORK SHALL BE IN CONFORMANCE WITH THE FLORIDA BUILDING CODE 2014

- TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND LIFE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES.
- PERMITS SHALL BE POSTED ON A VISIBLE PLACE AT THE JOBSITE AT ALL TIMES.
- ALL WORK MATERIALS AND EQUIPMENT UTILIZED IN THE PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- CONTRACTOR SHALL VISIT THE JOBSITE PRIOR TO BIDDING AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES ON AND OFF THE SITE.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACT DOCUMENTS, AND ANY ERRORS OR OMISSIONS IN THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES IN THE DRAWINGS BETWEEN DISCIPLINES (A/E, MEP, CIVIL, ETC.).
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT PRIOR TO ANY CHANGES OR DEVIATIONS FROM CONTRACT DOCUMENTS. CHANGE ORDERS WILL NOT OTHERWISE BE ALLOWED.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AND SURROUNDING AREAS FREE OF DEBRIS AND/OR HAZARDOUS MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EQUIPMENT OR MATERIALS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIALS FROM THE SITE AND FOR PROPERLY CLEANING ALL AREAS, SURFACES AND EQUIPMENT PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- DO NOT SCALE THE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE BASED ON NOMINAL MEMBER SIZES AND ARE GIVEN TO OUTSIDE FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
- SUBMITTALS THAT PERTAIN TO ADA REQUIREMENTS SHALL CLEARLY INDICATE THOSE REQUIREMENTS AND COMPLIANCE THEREOF.
- CONTRACTOR SHALL PROVIDE SEPARATE PERMITS, SHOP DRAWINGS AND PRODUCT APPROVALS FOR ALL ITEMS REQUIRED BY THE SOUTH FLORIDA BUILDING CODE INCLUDING WINDOWS, STOREFRONT, EXTERIOR DOORS AND LOUVERS. CALCULATIONS BY A SPECIALTY ENGINEER SHALL ALSO BE PROVIDED AS REQUIRED.
- ALL WOOD FRAMING AND PLYWOOD CONCEALED WITHIN WALLS, PARTITIONS, CEILINGS, ETC. OR USED FOR THEIR SUPPORT SHALL BE FIRE-RETARDANT.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
- ALL PIPING THAT PENETRATES CONCRETE SLABS BETWEEN FLOORS SHALL BE FULLY SEALED WITH 2-HOUR U.L. APPROVED FIRE-RESISTIVE MATERIAL COMPLYING WITH ASTM E-119 OR APPROVED EQUAL.
- ALL PENETRATIONS THROUGH FIRE-RATED WALLS SHALL BE PROTECTED TO MAINTAIN THE INTEGRITY OF THE WALL'S FIRE-RATING.
- ALL SHAFTS SHALL BE 2-HOUR FIRE-RATED UNLESS OTHERWISE NOTED. U.L. DESIGN NO. U-505 OR APPROVED EQUAL AND SHALL BE CONTINUOUS FROM FLOOR TO FLOOR.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL METAL AND/OR WOOD BLOCKING, BACKING AND SUPPORTS REQUIRED BY WALL-MOUNTED FIXTURES, MILLWORK, SHELVES, EQUIPMENT, ETC.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS THE LOCATION OF ALL ACCESS PANELS AND DOORS TO ALLOW FOR PROPER ACCESS TO EQUIPMENT FOR MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS WHETHER OR NOT INDICATED IN THE DRAWINGS. COORDINATE LOCATION OF ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PAINT ALL READILY VISIBLE SURFACES AND FACTORY PRIMED EQUIPMENT (PIPES, DUCTS, ETC.). COLORS TO BE CONSISTENT WITH ADJACENT FINISHES AND SPECIFIED BY ARCHITECT.
- ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE CONTINUOUS SEALANT, COLOR TO MATCH ADJACENT MATERIALS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN A SET OF "AS-BUILT" DRAWINGS. INFORMATION SHALL BE MAINTAINED DURING CONSTRUCTION AND UPON COMPLETION SHALL GIVE THE OWNER A COMPLETE SET ALONG WITH WRITTEN GUARANTEES FOR ALL INSTALLED EQUIPMENT AS WELL AS OPERATION AND MAINTENANCE MANUALS.
- ALL EXPOSED INTERIOR SURFACES SHALL BE FINISHED UNLESS OTHERWISE NOTED.
- C.G. TO DETERMINE LOCATION OF EXISTING POST TENSION REINFORCING PRIOR TO INSTALLING ANY ANCHORS IN EXISTING CONCRETE SLAB CEILING.

DOOR SCHEDULE

NO.	LOCATION	SIZE			TYPE	MATERIAL	FINISH	FRAME		REMARKS
		WIDTH	HEIGHT	THICKNESS				MAT'L	FINISH	
A	EXIT CORRIDOR	3'-0"	6'-8"	1 3/4"	FLUSH	SC STEEL	PAINTED	STL	PAINTED	NEW 3/4 HR RATED W/ CLOSER, PANIC HARDWARE & SELF LATCHING
B	TRASH ROOM	(2)3'-4"	6'-8"	1 3/4"	STORE FRONT	ALUM/GLASS	PAINTED	ALUMINUM	PAINTED	SELF CLOSING DOOR. PROVIDE OBSCURE FILL AT GLASS
C	NOT USED									
D	EXIT CORRIDOR	3'-0"	6'-8"	1 3/4"	FLUSH	SC STEEL	PAINTED	STL	PAINTED	NEW 3/4 HR RATED W/ CLOSER & LATCH
E1	EXISTING	(2)3'-0"	6'-8"	1 3/4"	FLUSH	SC STEEL	PAINTED	STL	PAINTED	DR W/ CLOSER & PANIC HARDWARE
E2	EXISTING	3'-0"	9'-6"	1 3/4"	FLUSH	ALUM/GLASS	PAINTED	ALUMINUM	PAINTED	STORE FRONT DR W/ CLOSER & PANIC HARDWARE
F	BATHROOM	2'-10"	6'-8"	1 3/4"	FLUSH	WOOD	PAINTED	WOOD	PAINTED	NON RATED DOOR W/ CLOSER & LATCH

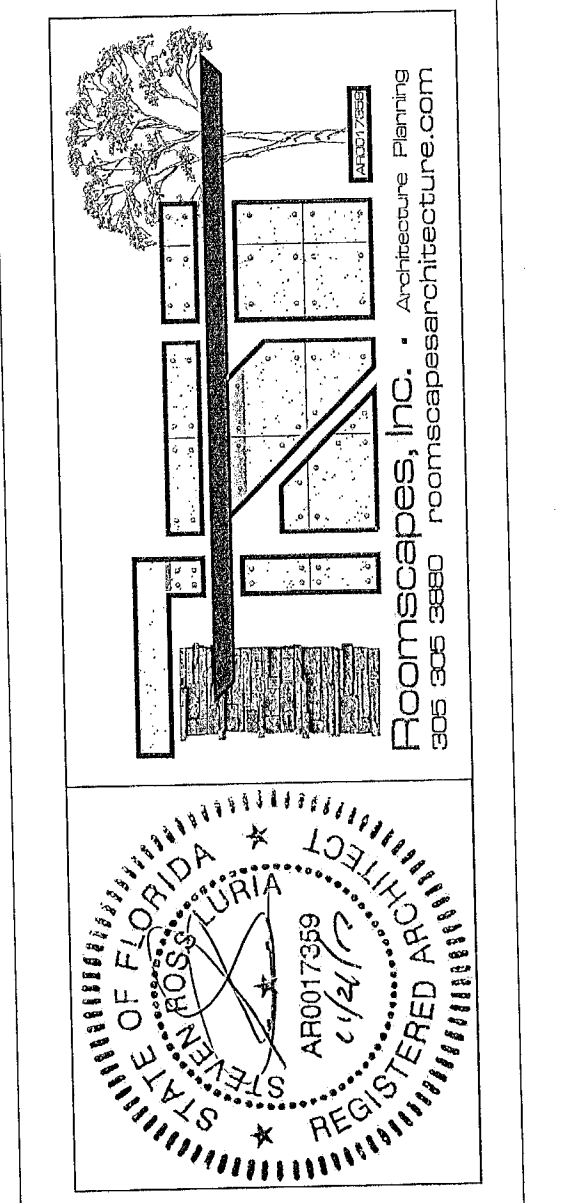


WALL LEGEND

- NEW 6" (20 GA) STUDS WITH 1 LAYER OF 5/8" GYPSUM TYPE "X" WALLBOARD SCREW ATTACHED HORIZONTALLY WITH VERTICAL AND HORIZONTAL JOINTS LAYER SEE UL 495 ON SHEET L-1
- NEW 8" CMU WALL W/ 1 LAYER OF TYPE "X" 5/8" GYPSUM WALLBOARD AT CORRIDOR AND 5/8" SMOOTH STUCCO AT TRASH ROOM SEE UL 495 ON SHEET L-1
- NEW FIRE TREATED DECORATIVE CLADDING WOOD
- EXISTING STRUCTURAL CONCRETE WALL
- EXISTING 8" CMU WALL
- STORE FRONT

PROJECT NAME: KOSUSHI RESTAU
ADDRESS: 801 SOUTH POIN
 CITY OF MIAMI BEACH F
OWNER: TRG ALASKA III LLC
PROPERTY ID: 02-4203-368-0001

ARCHITECT: STEVEN LURIA, RA
 9641 SW 100 AVENUE
 MIAMI, FL 33176
 LICENSE NO.: AR 0017359
 305-305-3880



JOB No.: 16.14425.DEM

REVISIONS:

- Revision 06/30/2017
- Revision 08/02/2017
- Revision 09/21/2017
- Revision 11/21/2017

DATE: 04/20/2017
CHECKED BY:
DRAWN BY: LR
PLOT: 100%

SHEET INDEX:
 ZONING DATA, FLOOR
 PLAN AND DETAILS

SHEET No.:
 A-1

PROPOSED DIVISION PLAN
 SCALE: 1/8" = 1'-0"