

DAYTONIA ROAD RESIDENCE

1810 DAYTONIA ROAD. MIAMI BEACH, FLORIDA. 33141
NEW TWO-STORY RESIDENCE WITH UNDERSTORY



FINAL SUBMITTAL

DRB23-0964 / 10.09.2023

ARCHITECTURAL PRESENTATION

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ARCHITECTURAL PLANS

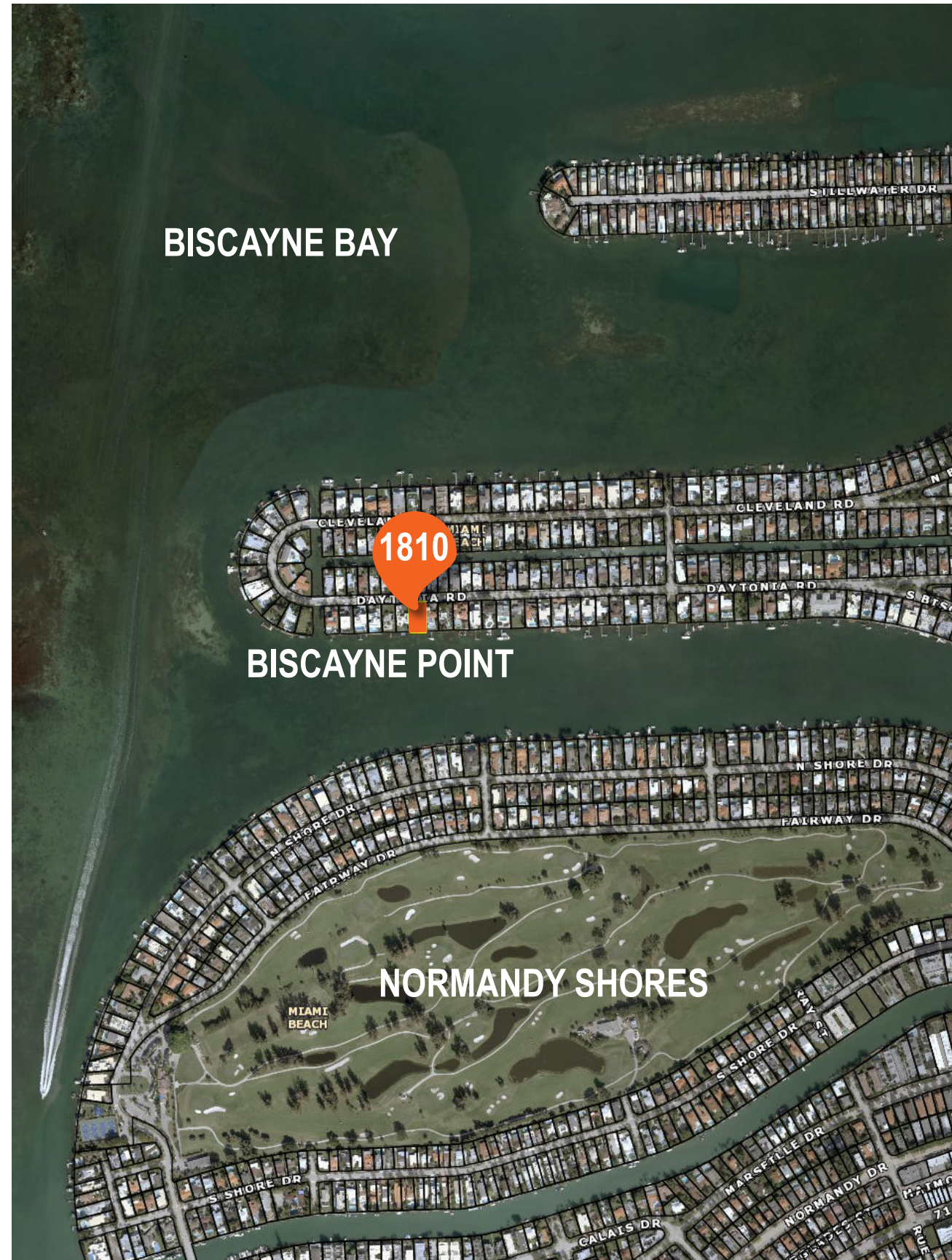
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BISCAYNE BAY

NEIGHBORHOOD AERIAL VIEW



BISCAYNE BAY

BISCAYNE POINT

1810

NORMANDY SHORES

AERIAL LOCATION MAP



JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
1810 DAYTONIA ROAD
MIAMI BEACH, FL. 33141
OWNER: 1810 DAYTONIA ROAD LLC

REVISION & DATE

| | |
|---|----------------------------|
| 1 | DRB COMMENTS 10/09/2023 |
|---|----------------------------|

DRAWING TITLE

**NEIGHBORHOOD
AERIAL VIEW**

SCALE: AS SHOWN

DATE: 09-15-2023

SHEET NUMBER

A-0.1



1 1810 DAYTONIA DRIVE
EXISTING TWO-STORY RESIDENCE



2 1820 DAYTONIA DRIVE
EXISTING ONE-STORY RESIDENCE



3 1830 DAYTONIA DRIVE
VACANT LOT



4 1844 DAYTONIA DRIVE
EXISTING TWO-STORY RESIDENCE



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DRAWING TITLE

**SURROUNDING
PROPERTIES**

SCALE: AS SHOWN

DATE: 09-15-2023

SHEET NUMBER

A-0.2



5 1835 DAYTONIA DRIVE
EXISTING ONE-STORY RESIDENCE



6 1825 DAYTONIA DRIVE
EXISTING TWO-STORY RESIDENCE



7 1815 DAYTONIA DRIVE
EXISTING ONE-STORY RESIDENCE



8 1805 DAYTONIA DRIVE
EXISTING ONE-STORY RESIDENCE



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DRAWING TITLE

**SURROUNDING
PROPERTIES**

SCALE: AS SHOWN

DATE: 09-15-2023

SHEET NUMBER

A-0.3



9 1795 DAYTONIA DRIVE
EXISTING ONE-STORY RESIDENCE



10 1785 DAYTONIA DRIVE
EXISTING TWO-STORY RESIDENCE



11 1780 DAYTONIA DRIVE
EXISTING ONE-STORY RESIDENCE



12 1800 DAYTONIA DRIVE
NEW TWO-STORY RESIDENCE



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SURROUNDING PROPERTIES

SCALE: AS SHOWN

DATE: 09-15-2023

SHEET NUMBER

A-0.4

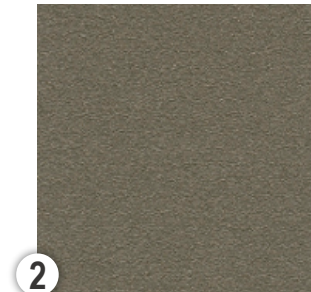


3D VIEW - FRONT

MATERIAL BOARD



1 PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2 PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3 WOOD SIDING
(VERTICAL)



4 CLEAR GLASS W/
BRONZE FRAMES



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**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
DATE: 09-15-2023

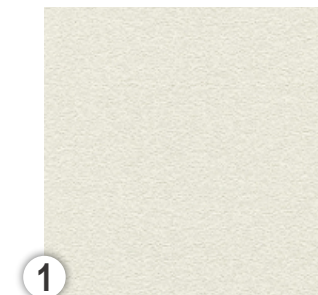
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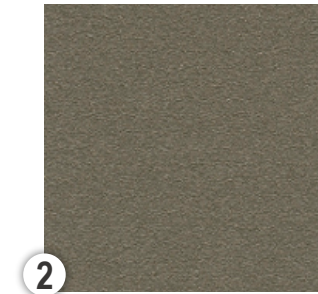


3D VIEW - FRONT

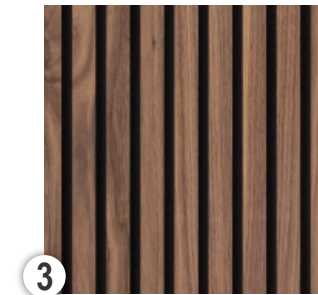
MATERIAL BOARD



PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



WOOD SIDING
(VERTICAL)



CLEAR GLASS W/
BRONZE FRAMES



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**3D VIEW &
MATERIALS**

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DATE: 09-15-2023

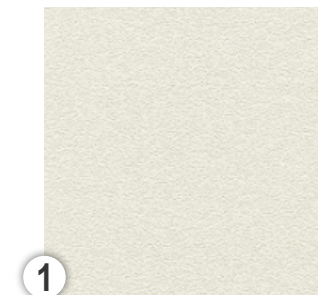
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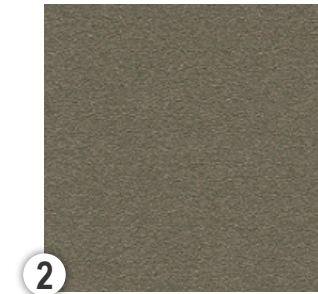


3D VIEW - REAR

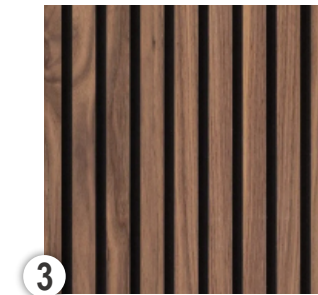
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



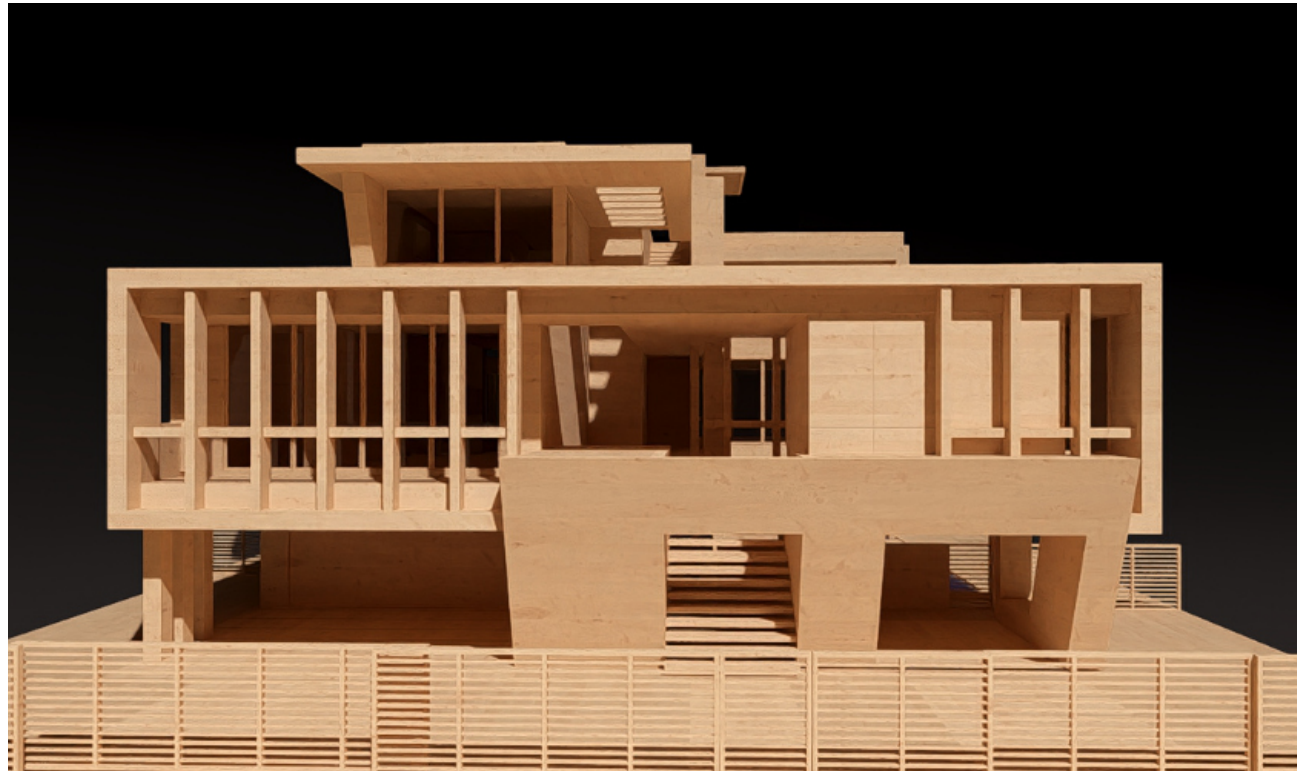
2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3
WOOD SIDING
(VERTICAL)



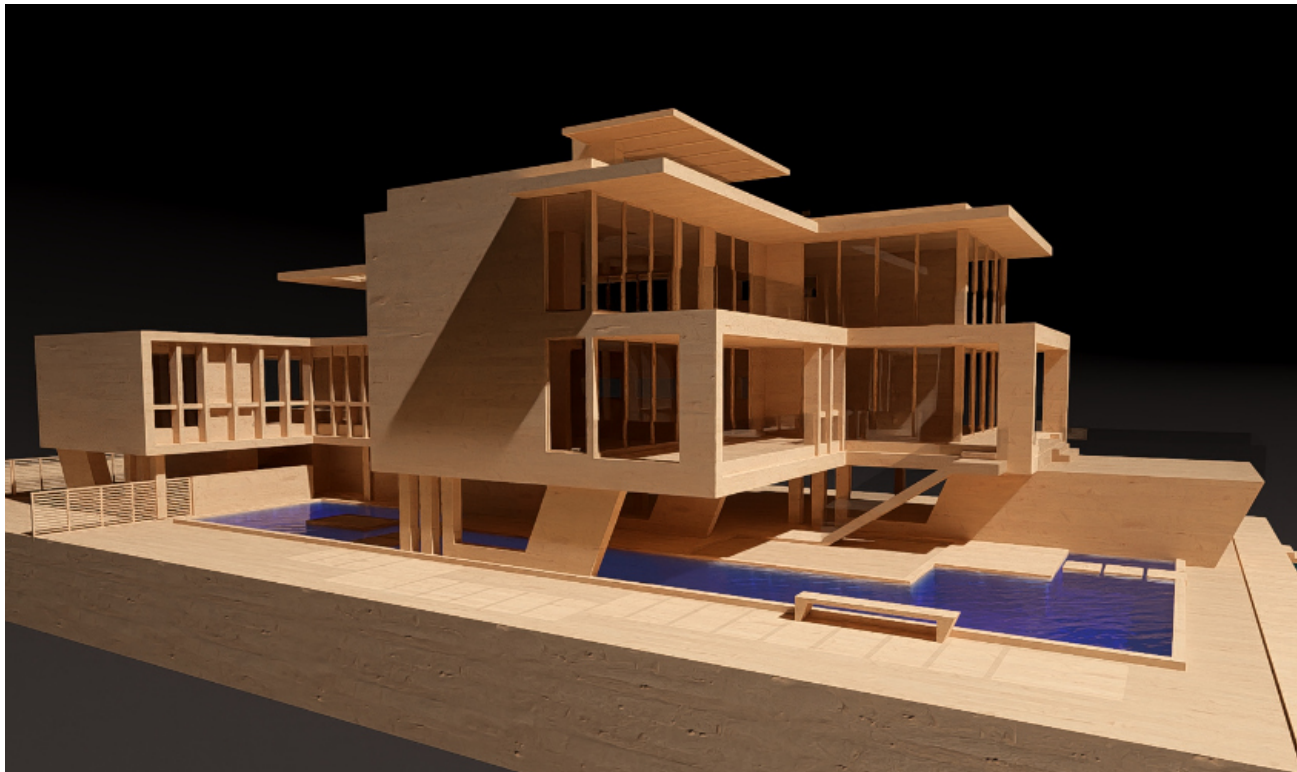
4
CLEAR GLASS W/
BRONZE FRAMES



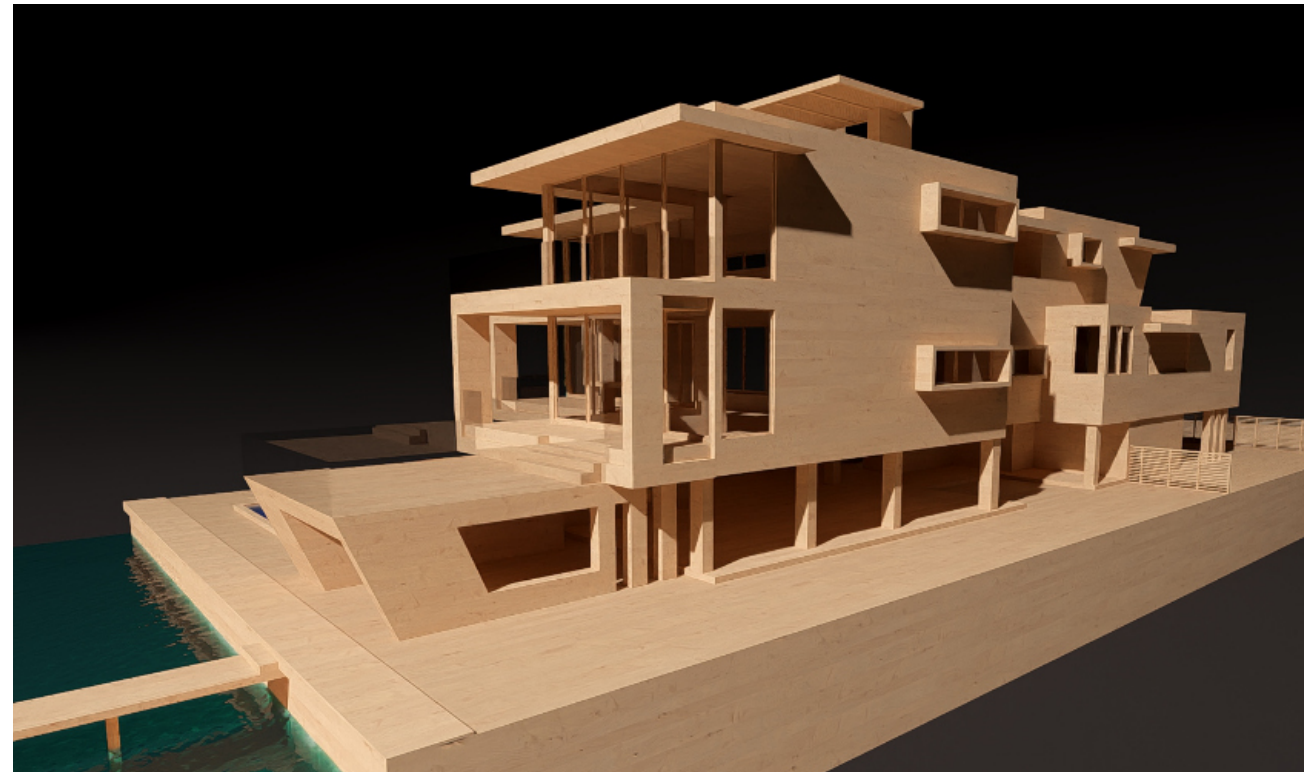
PERSPECTIVE VIEW - FRONT 1



PERSPECTIVE VIEW - FRONT 2



PERSPECTIVE VIEW - REAR 1



PERSPECTIVE VIEW - REAR 2

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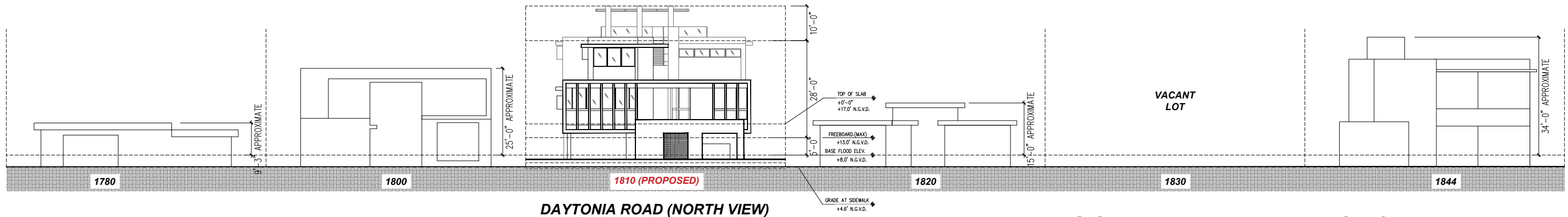
**PERSPECTIVE
VIEWS**

SCALE: AS SHOWN

DATE: 09-15-2023

SHEET NUMBER

A-0.8



DAYTONIA ROAD (NORTH VIEW)

1 CONTEXTUAL ELEVATIONS
N.T.S.

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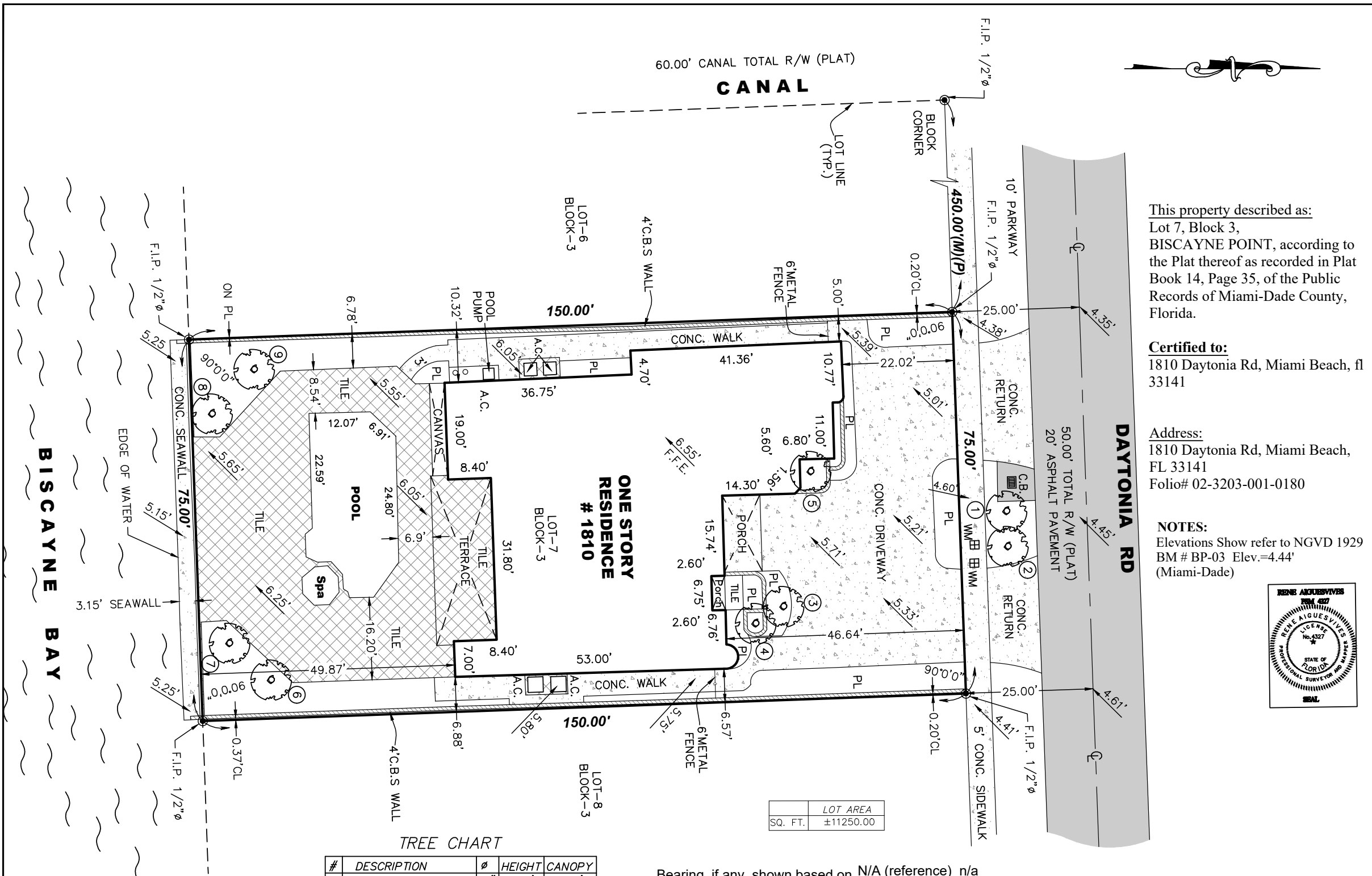
DRAWING TITLE

CONTEXTUAL ELEVATIONS

SCALE: AS SHOWN
DATE: 09-15-2023

SHEET NUMBER

A-0.9



"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

| # | DESCRIPTION | Ø | HEIGHT | CANOPY |
|---|-------------|-----|--------|--------|
| 1 | PALM | 12" | 30' | 20' |
| 2 | PALM | 12" | 30' | 20' |
| 3 | PALM | 7" | 40' | 15' |
| 4 | PALM | 6" | 30' | 10' |
| 5 | PALM | 18" | 30' | 20' |
| 6 | PALM | 12" | 30' | 20' |
| 7 | PALM | 12" | 30' | 20' |
| 8 | PALM | 12" | 30' | 20' |
| 9 | PALM | 12" | 30' | 20' |

| LOT AREA |
|-------------------|
| SQ. FT. ±11250.00 |

Bearing, if any, shown based on N/A (reference) n/a

REVISIONS:
03/9/23 Elevation Datum Revised
06/09/23 Elevations Datum Changed

| | | | | |
|---------------------------|----------------------------|-----------------------------|--------------|---|
| FLOOD ZONE AE | COMM. No. 120659 | PANEL No. 0307 | SUFFIX: L | Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper. |
| F.I.R.M. DATE 09/11/09 | F.I.R.M. INDEX 09/11/09 | BASE ELEV. +8FT N.G.V.D. | | |

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17 Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

René Aiguesvives
RENE AIGUESVIVES 09/08/22
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
9789 Sunset Drive, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

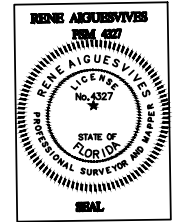
| | | | |
|------------------------|------------------|-------------------|-----------------------|
| Field Date 09/06/22 | Scale: 1"=20' | Drawn by: R.S. | Drwg. No. 22-23900 |
|------------------------|------------------|-------------------|-----------------------|

This property described as:
Lot 7, Block 3,
BISCAYNE POINT, according to
the Plat thereof as recorded in Plat
Book 14, Page 35, of the Public
Records of Miami-Dade County,
Florida.

Certified to:
1810 Daytona Rd, Miami Beach, fl
33141

Address:
1810 Daytona Rd, Miami Beach,
FL 33141
Folio# 02-3203-001-0180

NOTES:
Elevations Show refer to NGVD 1929
BM # BP-03 Elev.=4.44'
(Miami-Dade)



LEGEND

- A = Arc
- A/C = Air conditioner
- BM = Bench Mark
- BRG = Bearing
- CATV = Catch basin
- CB = Catch basin
- CBS = Concrete Block Structure
- CH = Chord
- C.P.P. = Concrete power pole
- CL = Center Line
- CLF = Chain Link Fence
- CL = Clear
- CONC. = Concrete
- C.O. = Clean-out
- D = Deed
- Ø = Diameter
- DH = Drill Hole
- DME = Drainage & Maintenance Easement
- E.B. = Electric Box
- Encl. = Encroachment
- F.F. = Finish Floor
- F.H. = Fire Hydrant
- F.I.R. = Found Iron Rebar
- FPL = Florida Power & Light
- F.I.P. = Found Iron Pipe
- FD. = Found
- LA. = Limited Access
- L.P. = Light Pole
- L.M.E. = Lake Maintenance Easement
- M = Measured
- M.L.P. = Metal Light Pole
- M.H. = Manhole
- M = Monument Line
- MON. = Monument
- N/A = Not Applicable
- ND = Nail & Disc
- NTS = Not to Scale
- O/S = Offset
- O.U.L. = Overhead Utility Lines
- OH = Overhang
- P = Plat
- PB = Plat Book
- PC = Point of Curvature
- P.C.C. = Point of Compound Curvature
- PCP = Permanent Control Point
- PG = Page
- P.I. = Point of Intersection
- PL = Property Line
- PL = Planter
- P.P. = Power Pole
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- P.O.T. = Point of Termination
- P.P. = Power Pole
- P.R.M. = Permanent Reference Monument
- P.R.C. = Point of Reverse Curvature
- PT = Point of Tangency
- R = Radius
- R/R = Railroad
- PSM = Professional Surveyor Mapper
- RW = Right-of-Way
- SWK = Sidewalk
- Sec. = Section
- (TYP) = Typical
- T = Tangent
- U.E. = Utility Easement
- W.F. = Wood Fence
- W.M. = Water Meter
- W.V. = Water Valve
- W.S. = Water Service

NOTE:
a) All clearances and/or encroachments shown hereon are of the apparent, physical use, fence legal ownership not determined.
b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
c) Code restrictions and title search not reflected in this survey.
d) Underground utilities, improvements, footings and encroachments, if any not located.
e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

g) All roads shown hereon are public unless otherwise noted.
h) No identification cap found on property corners unless otherwise noted.
i) Distance along boundary are record and measured unless otherwise noted.
j) The graphic portions of this document are intended to be displayed at the graphic name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.
k) Accuracy: The expected use of land as classified in the minimum technical standards (5J17-FAC) is "Suburban". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
l) Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

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OWNER: 1810 DAYTONIA ROAD LLC

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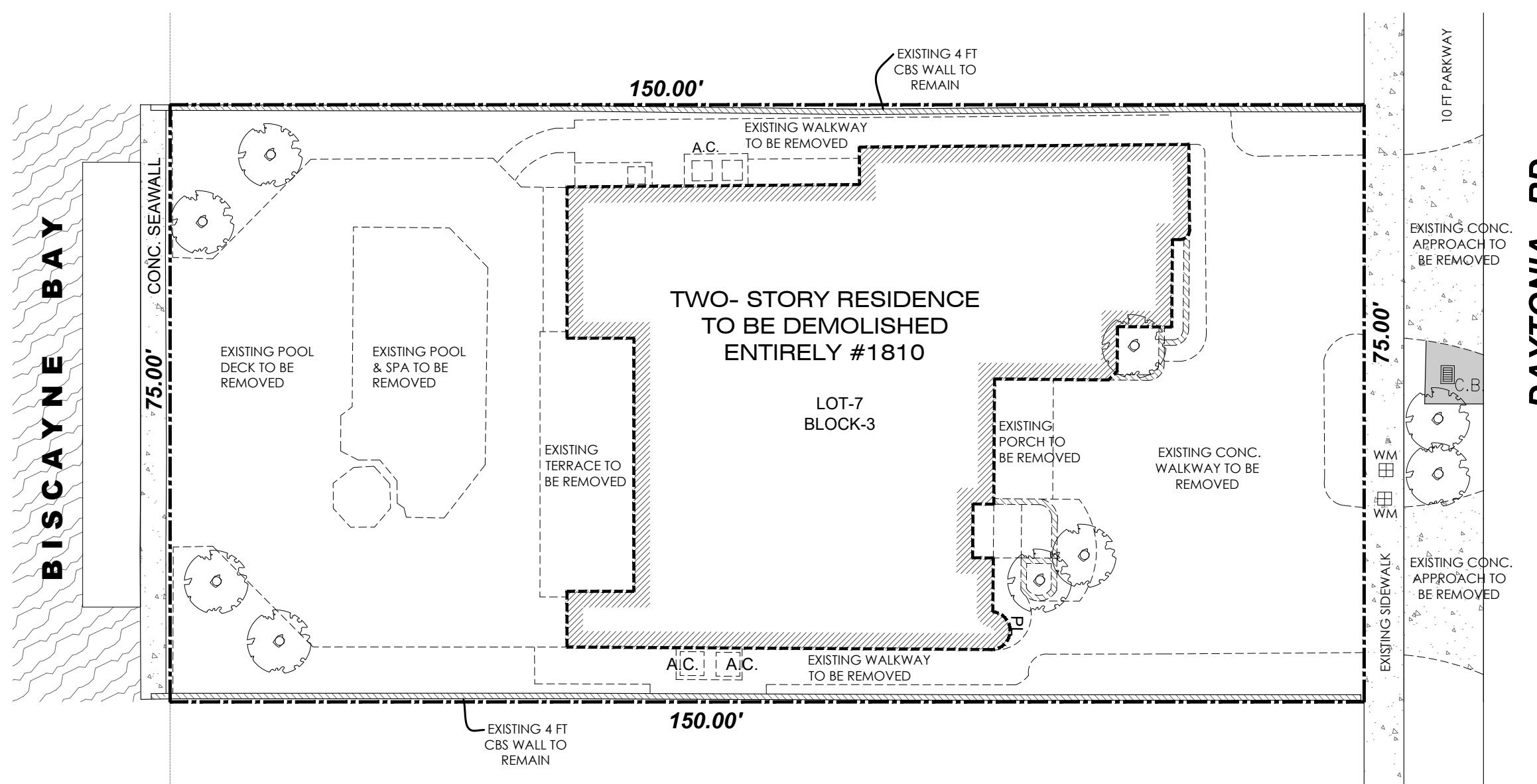
DRAWING TITLE

SURVEY

SCALE: AS SHOWN
DATE: 09-15-2023

SHEET NUMBER

A-0.10



DAYTONIA RD

50.00' TOTAL R/W (PLAT)
20' ASPHALT PAVEMENT

10 FT PARKWAY

EXISTING SIDEWALK

75.00'

150.00'

BISCAYNE BAY

CONC. SEAWALL

75.00'

**TWO-STORY RESIDENCE
TO BE DEMOLISHED
ENTIRELY #1810**

LOT-7
BLOCK-3

EXISTING 4 FT
CBS WALL TO
REMAIN

EXISTING WALKWAY
TO BE REMOVED

EXISTING POOL
DECK TO BE
REMOVED

EXISTING POOL
& SPA TO BE
REMOVED

EXISTING
TERRACE TO
BE REMOVED

EXISTING
PORCH TO
BE REMOVED

EXISTING CONC.
WALKWAY TO BE
REMOVED

EXISTING CONC.
APPROACH TO
BE REMOVED

EXISTING CONC.
APPROACH TO
BE REMOVED

EXISTING 4 FT
CBS WALL TO
REMAIN

150.00'

A.C. A.C.

EXISTING WALKWAY
TO BE REMOVED

1 DEMOLITION PLAN
1/16" = 1'-0"

SCOPE OF WORK

- SCOPE OF DEMOLITION ENTAILS ENTIRE BUILDING.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN..

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

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1 DRB COMMENTS
10/09/2023

DRAWING TITLE

**DEMOLITION
PLAN**

SCALE: AS SHOWN
DATE: 09-15-2023

SHEET NUMBER

A-0.11