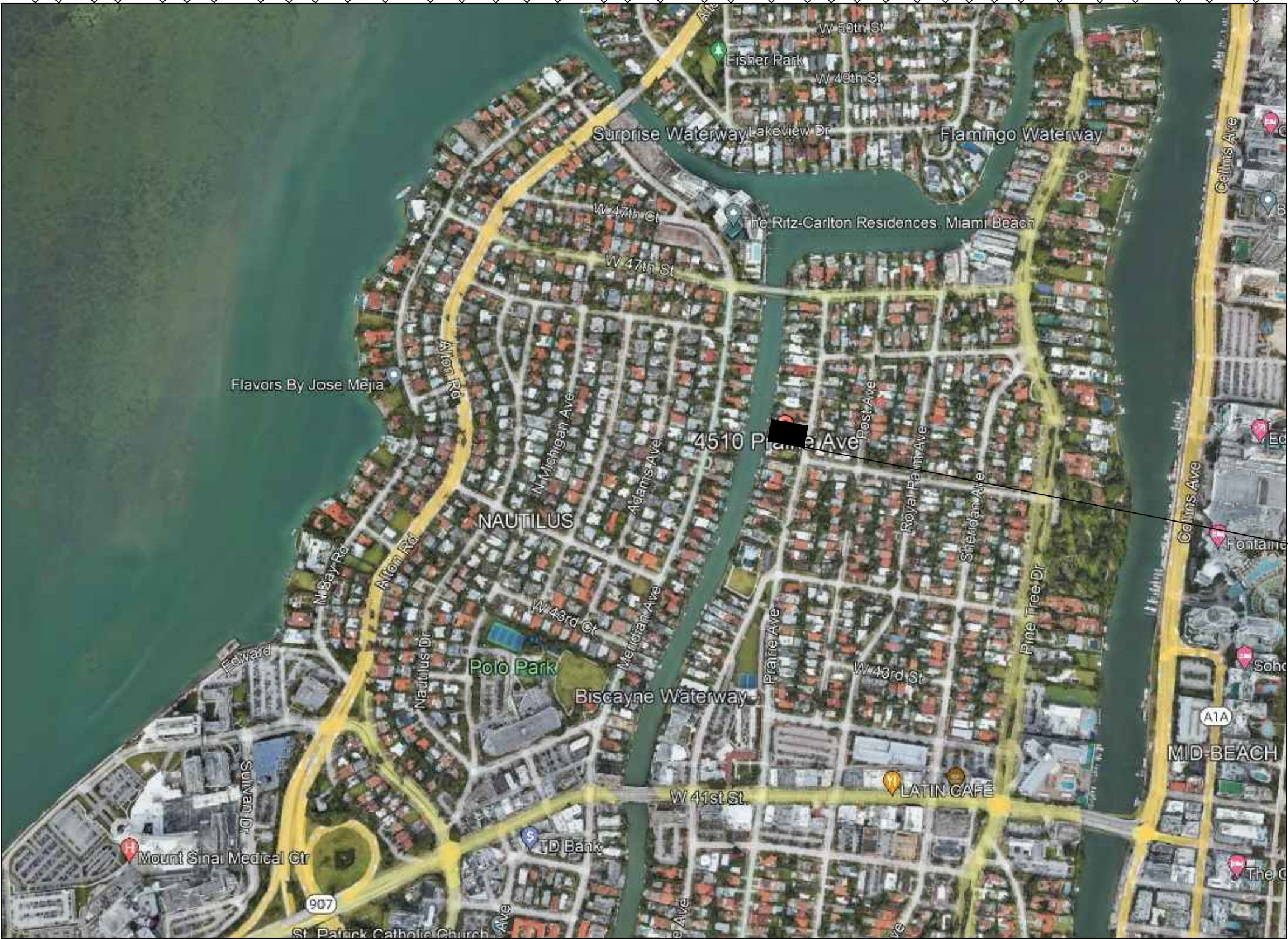


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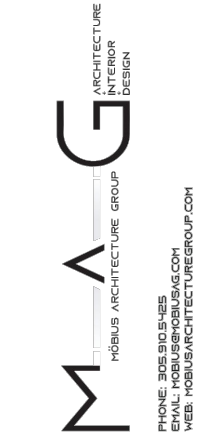
PERMIT SET



MIAMI BEACH, FL 33140

- INDEX OF DRAWINGS**
- A-0 COVER
 - A-0.1 DRAWING INDEX
 - A-0.2 VARIANCE REQUESTED
- ARCHITECTURAL**
- SP-1 SITE PLAN
 - DM-1 DEMOLITION PLAN
 - A-1 EXISTING FIRST FLOOR PLAN
 - A-2 PROPOSED FIRST FLOOR PLAN
 - A-3 PROPOSED SECOND FLOOR PLAN
 - A-4 EXIST. EAST ELEVATION. EXIST. WEST ELEVATION
 - A-5 PROP. NORTH ELEVATION
 - A-6 EXIST. SOUTH ELEVATION
 - A-7 PROP. NORTH RENDERED ELEVATION
 - A-8 EXIST. NORTH ELEVATION
 - A-9 EXIST. NORTH ELEVATION PICTURES
 - A-10 PROP. EAST ELEVATION. PROP. WEST ELEVATION
 - A-11 PROP. SOUTH ELEVATION
 - A-12 SECTION A- EXISTING. SECTION A- PROPOSED

4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140
SITE LOCATION



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Edward Silva
AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

DRAWING INDEX

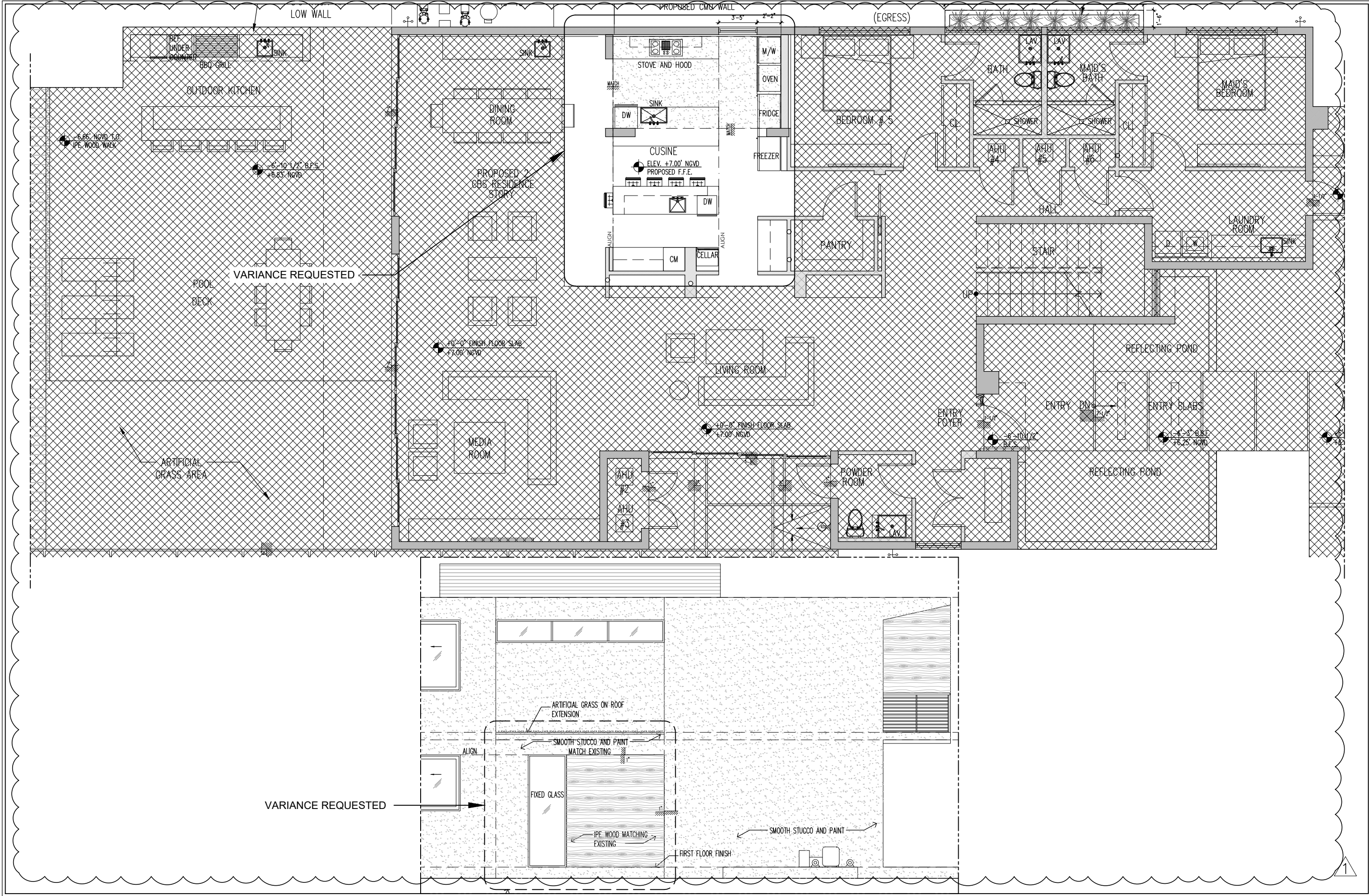
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)

Edward Silva
Date: 07/15/2023
15:56:00

Revisions
REV 1 08-29-23

A-0.1



ARCHITECTURE
INTERIOR
DESIGN

AG

MOBIUS ARCHITECTURE GROUP

PHONE: 305.910.5425
EMAIL: MOBIUS@MOBIUSAG.COM
WEB: MOBIUSARCHITECTUREGROUP.COM

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VARIANCE REQUESTED

Sheet

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

07/14/2023

Professional Seal(s)

Edward Silva

STATE OF FLORIDA

Architect

Digitally signed by Edward Silva

Date: 2023.09.06 15:56:30 -0400

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REV 1 08-29-23

A-0.2

4510 PRAIRIE AVE.

PERMIT SET



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8900 SW 117th Ave #B107
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3059105425

COVER

Sheet

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MIAMI BEACH, FL 33140

07/14/2023

Professional Seal(s)

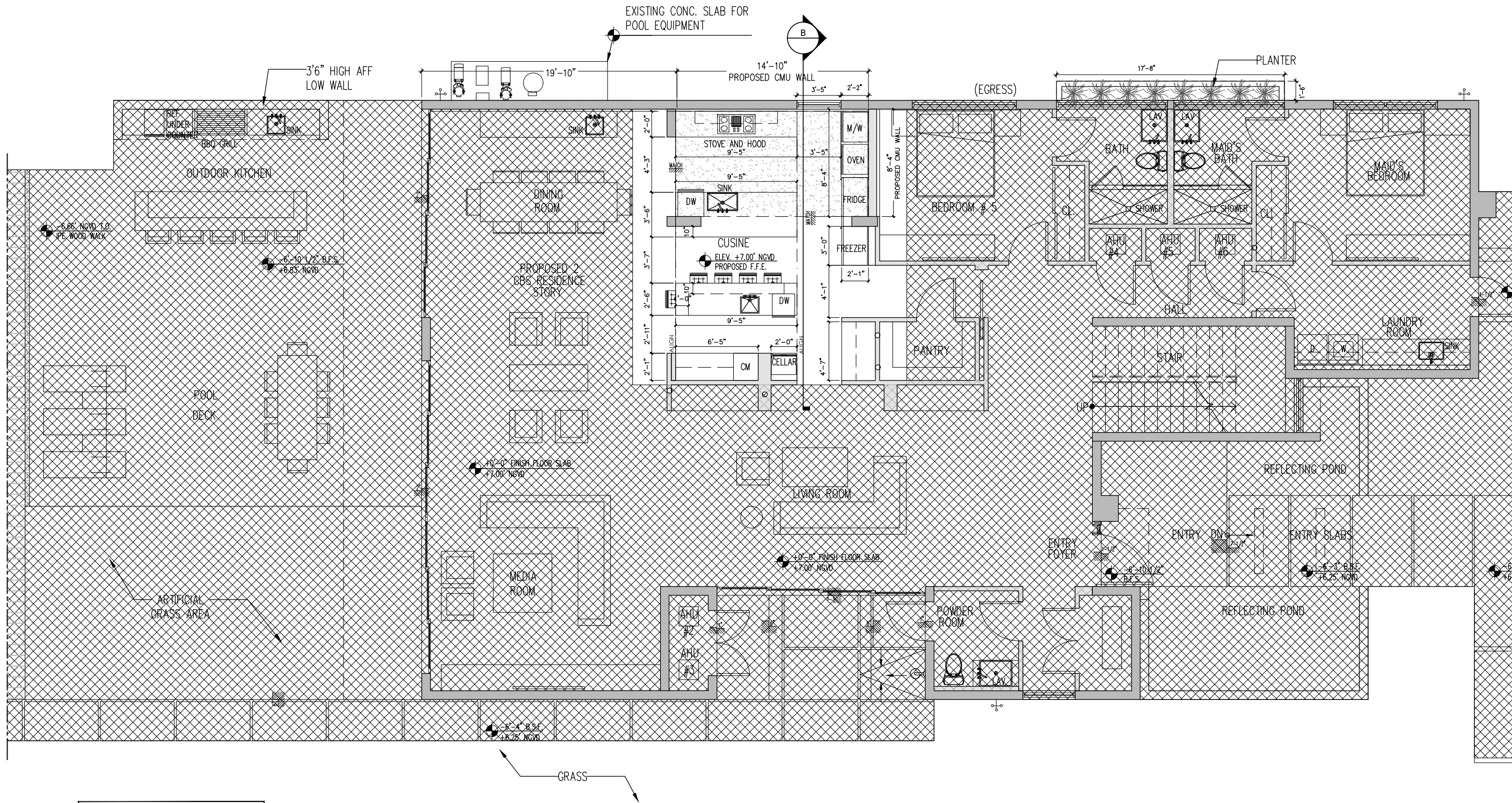
Digitally signed by Edward Silva

DN: cn=Edward Silva, o=Mobius Architecture Group, ou=Architecture Group, email=edward.silva@mobiusarchitecturegroup.com

Reason: I am the Architect

Signature Date: 2023.09.01 15:57:26 -0400

Revisions	
A-0	



LEGEND	
	NO WORK IN THIS AREA
	EXTERIOR WALL
	INTERIOR PARTITION
	NEW STARTER COL.

PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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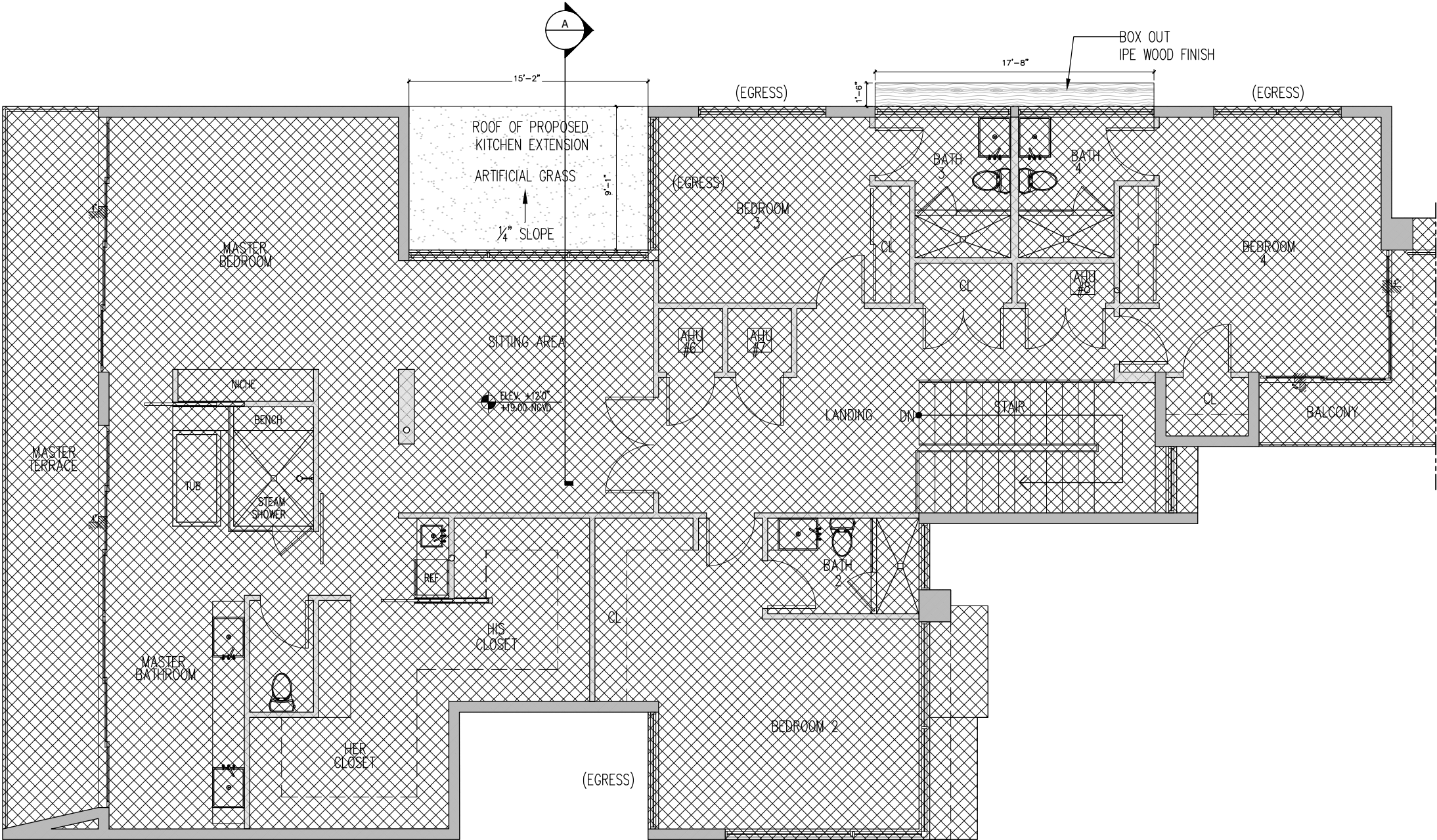
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ARCHITECT
Edward Silva
AR001131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

PROPOSED FIRST
FLOOR PLAN
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Digitally signed by
Edward Silva
Date: 2023.09.03
15:57:55
AR001131

Revisions
REV 1 08-29-23



LEGEND	
	NO WORK IN THIS AREA
	EXTERIOR WALL
	INTERIOR PARTITION
	NEW STARTER COL.

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR PLAN

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

07/14/2023

Professional Seal of Edward Silva, AR0011131

Signature of Edward Silva

2023.09.01

Revisions	
REV 1	08-29-23
A-3	

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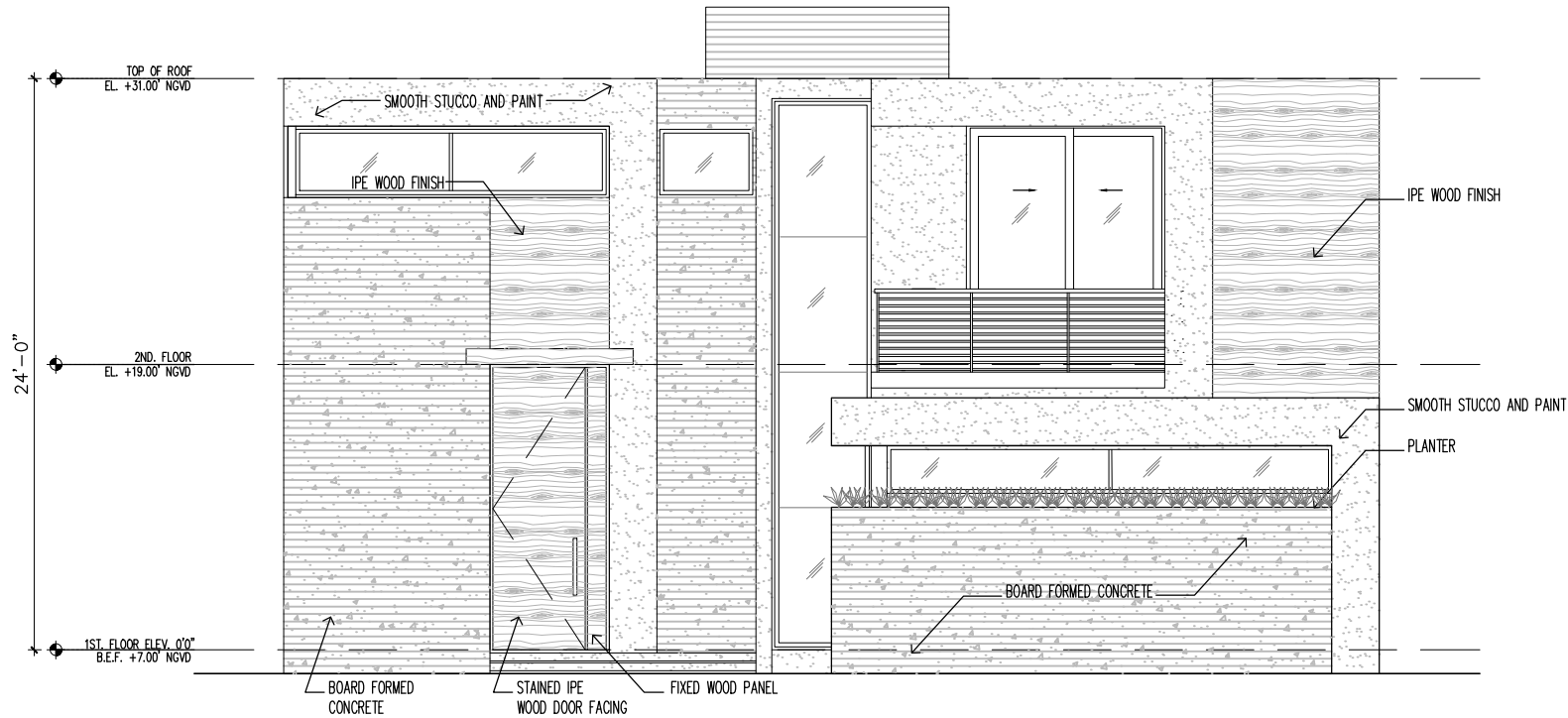
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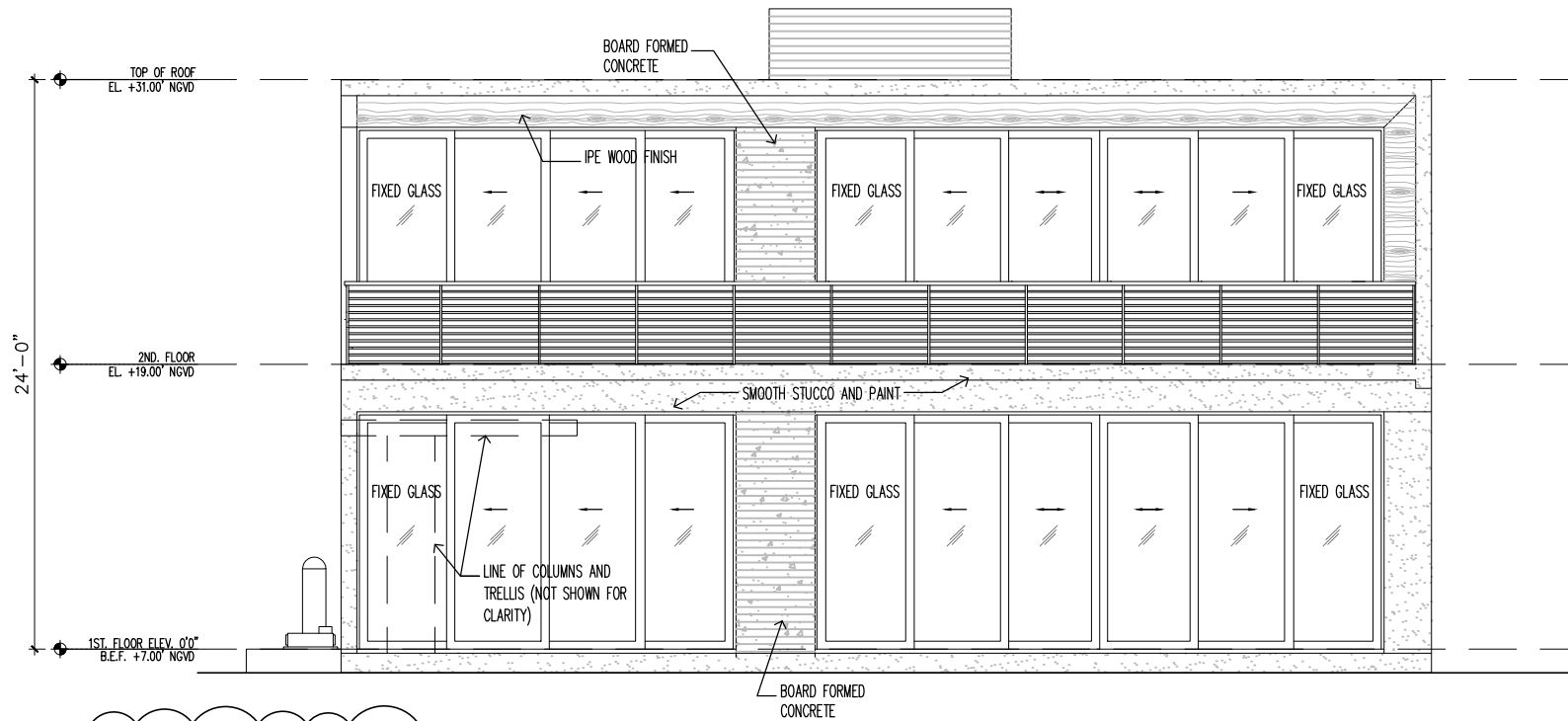
ARCHITECT
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Miami, FL 33186
3059105425

MOBIUS ARCHITECTURE GROUP
ARCHITECTURE
INTERIOR
DESIGN

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EMAIL: MOBIUS@MOBIUSAG.COM
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1 EXISTING EAST ELEVATION (FRONT)
Scale: 1/8" = 1'-0"



2 EXISTING WEST ELEVATION (REAR)
Scale: 1/8" = 1'-0"

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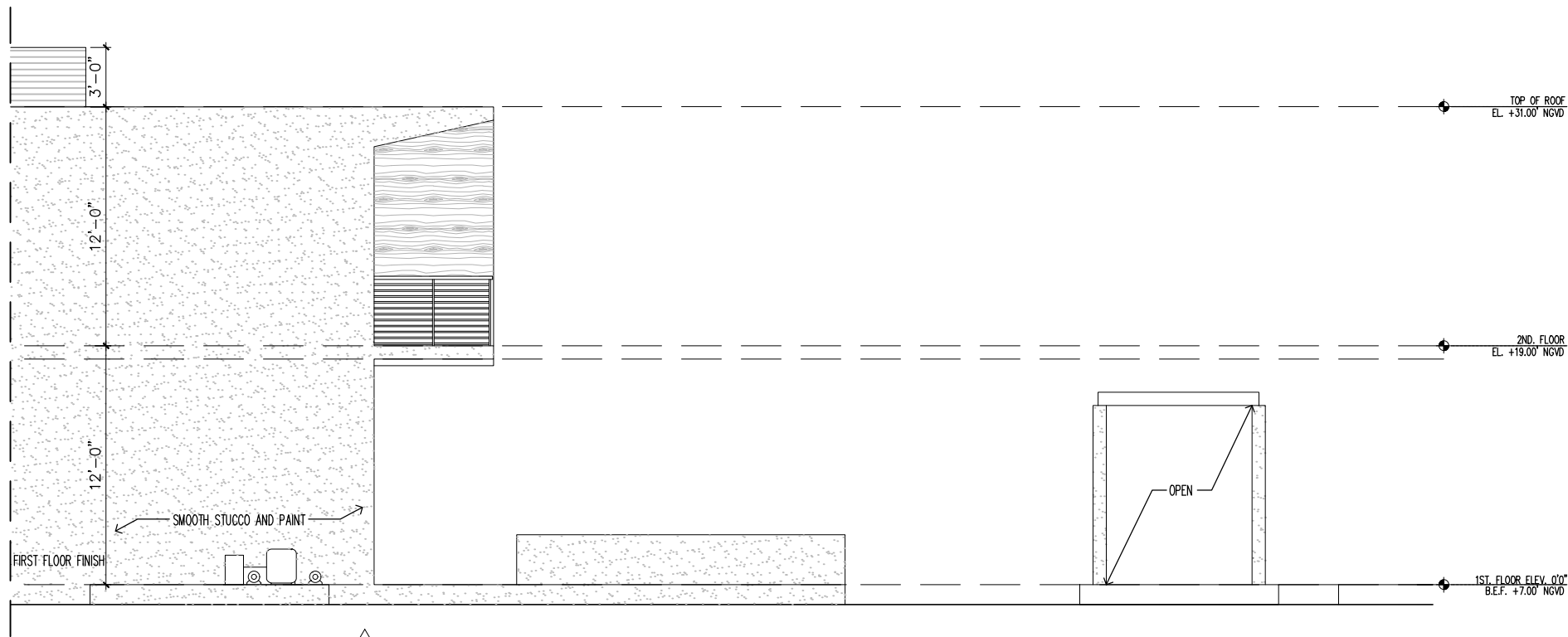
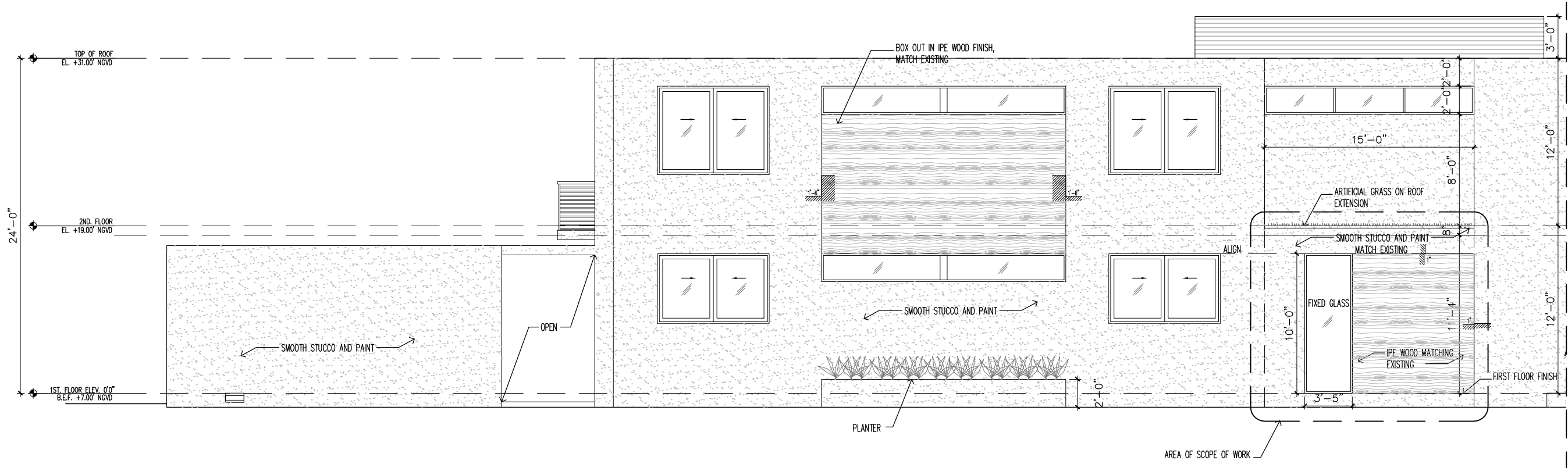
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AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

Sheet
EXIST. EAST ELEVATION
EXIST. WEST ELEVATION
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Edward Silva
Date: 07/14/2023
AR0011131

Revisions
REV 1 08-29-23



1 PROPOSED NORTH ELEVATION (RIGHT)
Scale: 1/8" = 1'-0"

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3059105425

PROP. NORTH ELEVATION

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

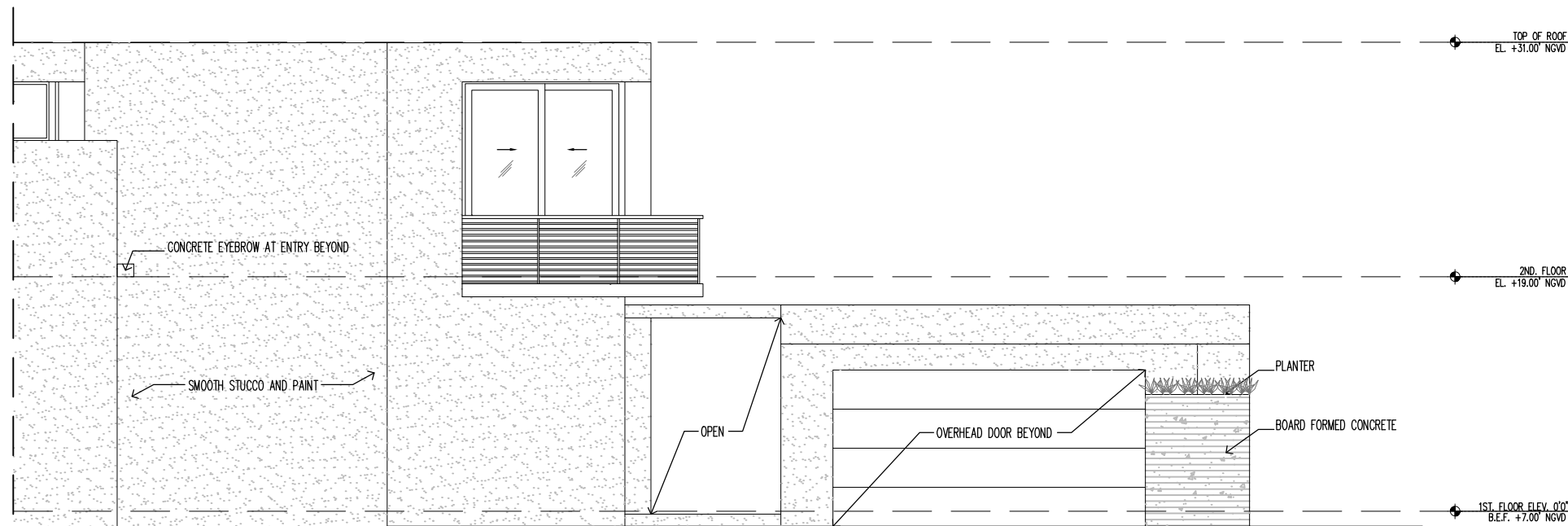
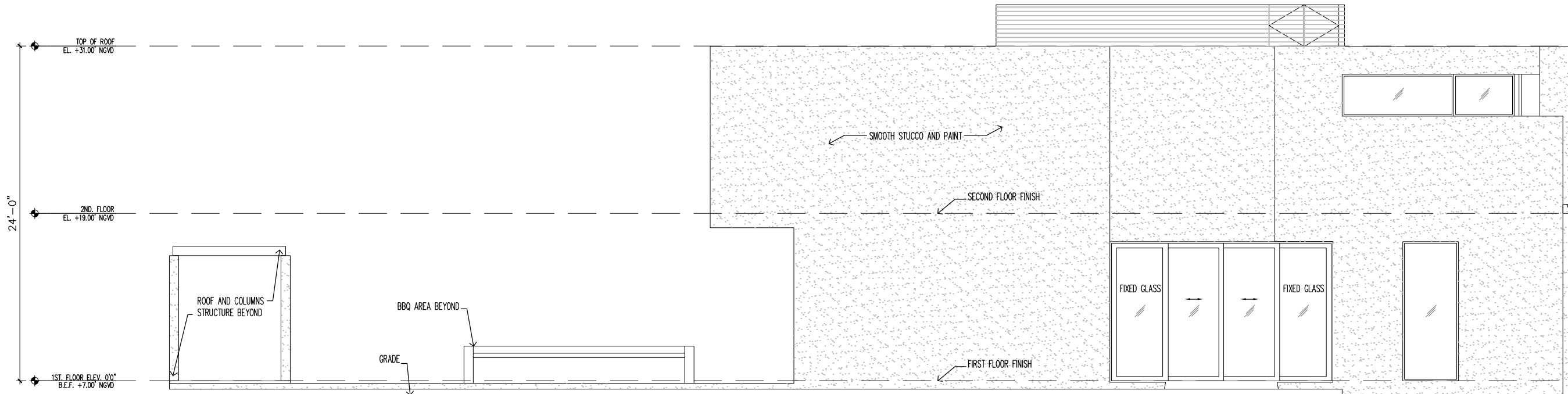
07/14/2023

Professional Seal(s)
Digitally signed by
Edward Silva
Date: 2023.09.08
15:58:57
AR0011131

Revisions

REV 1 08-29-23

A-5



1 EXISTING SOUTH ELEVATION (LEFT)

Scale: 1/8" = 1'-0"



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3059105425

1
EXIST. SOUTH ELEVATION

Sheet

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

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Digitally signed by
Edward Silva
AR0011131
Date: 2023.09.01 15:58:00 -0400

Revisions
REV 1 08-29-23

A-6



1 PROPOSED NORTH RENDERED ELEVATION
Scale: N/S



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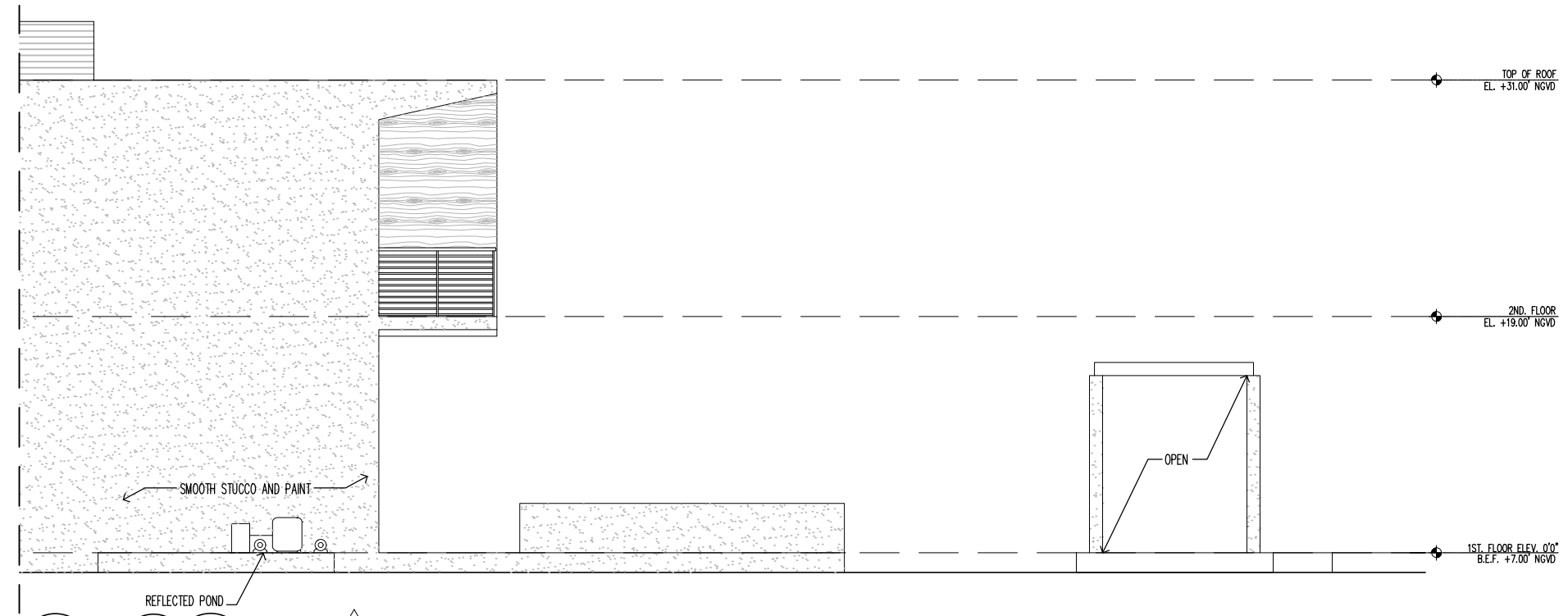
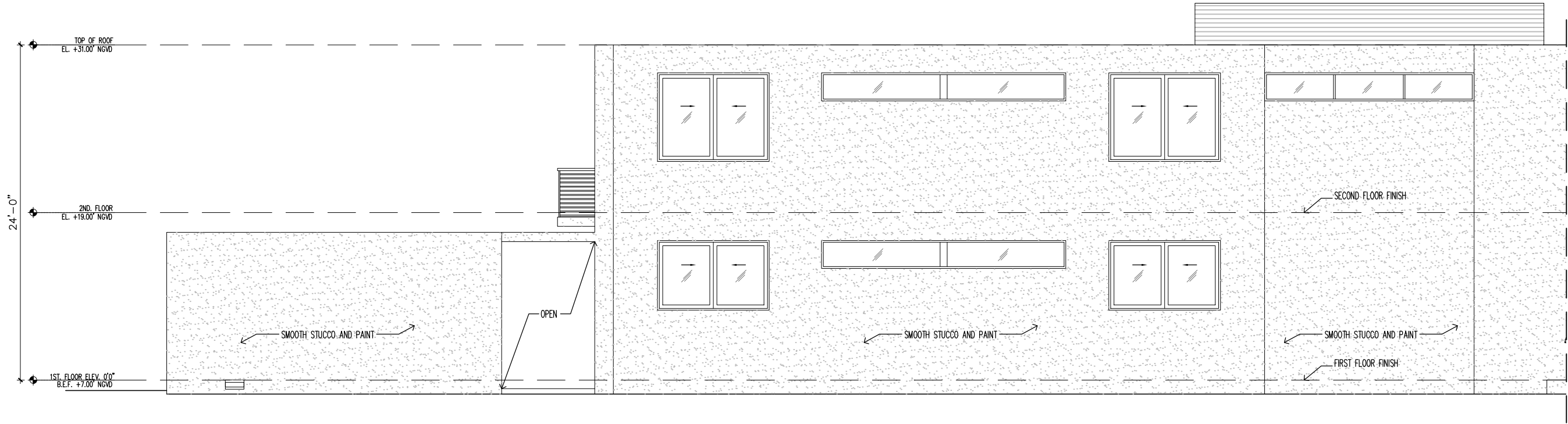
ARCHITECT
Edward Silva
AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

1
PROP. NORTH RENDERED ELEVATION
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4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Digitally signed by
Edward Silva
Date: 2023.09.01
15:59:39
AR0011131

Revisions
REV 1 08-29-23

A-7



1 EXISTING NORTH ELEVATION (RIGHT)
Scale: 1/8" = 1'-0"



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3059105425

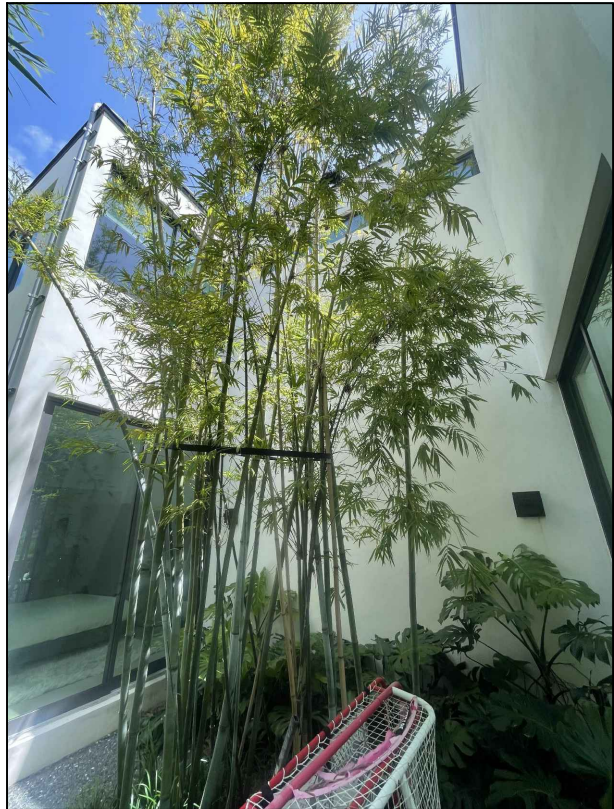
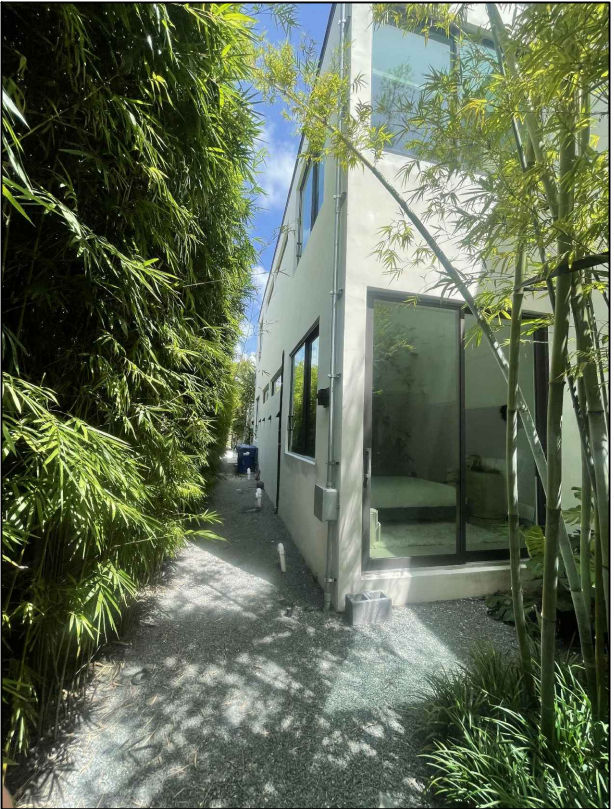
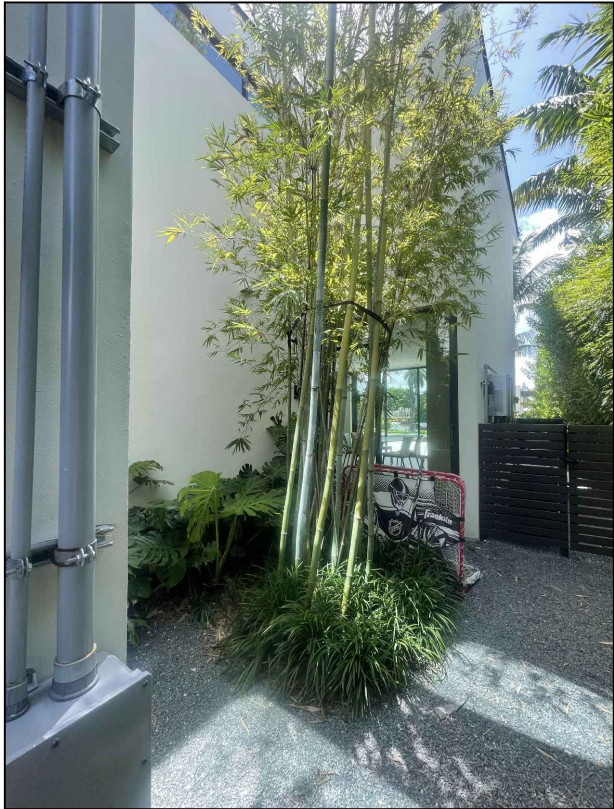
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4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Edward Silva
Architect
State of Florida
by Edward Silva
Date
2023.09.01
ARM 1600:15 (0.00)

Revisions
REV 1 08-29-23

A-8



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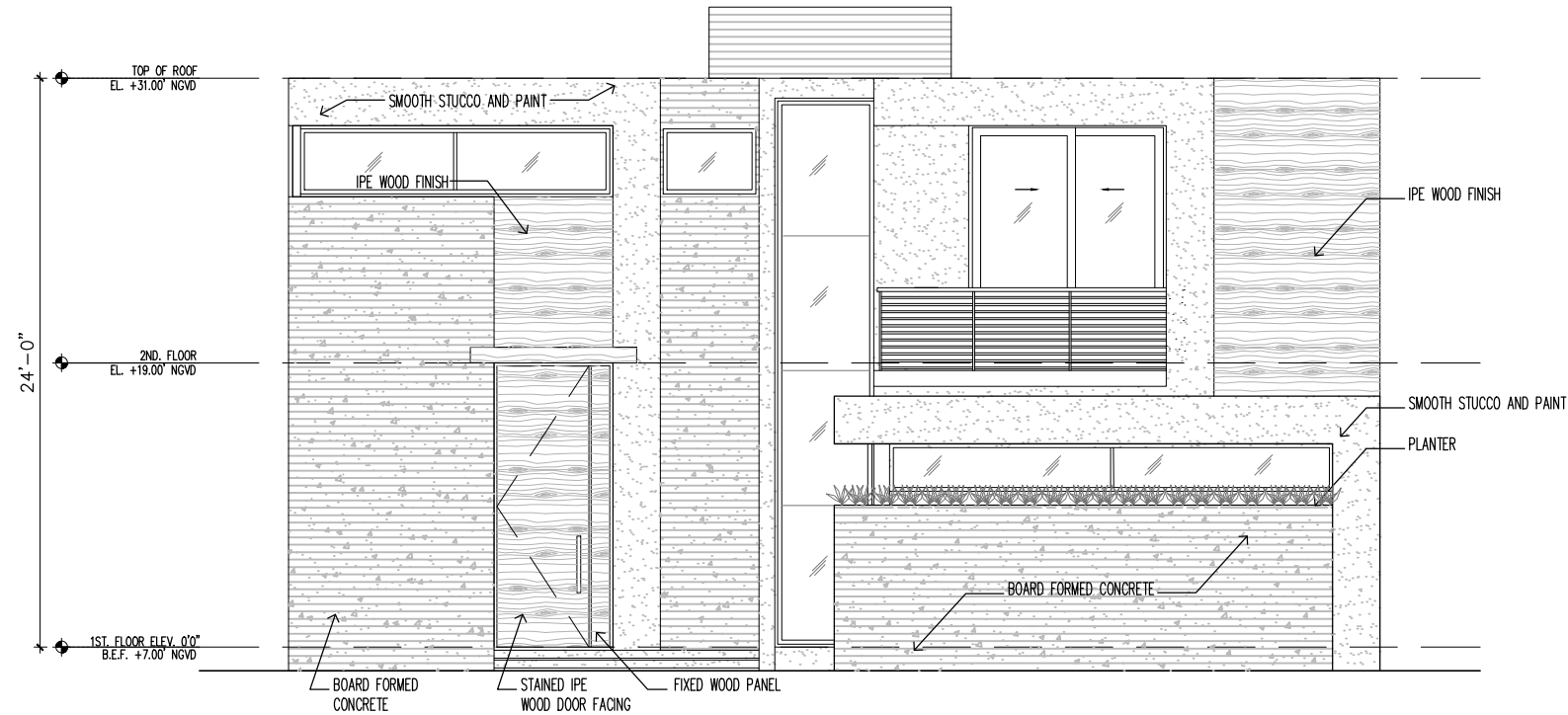
CLIENT - OWNER(S)

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AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

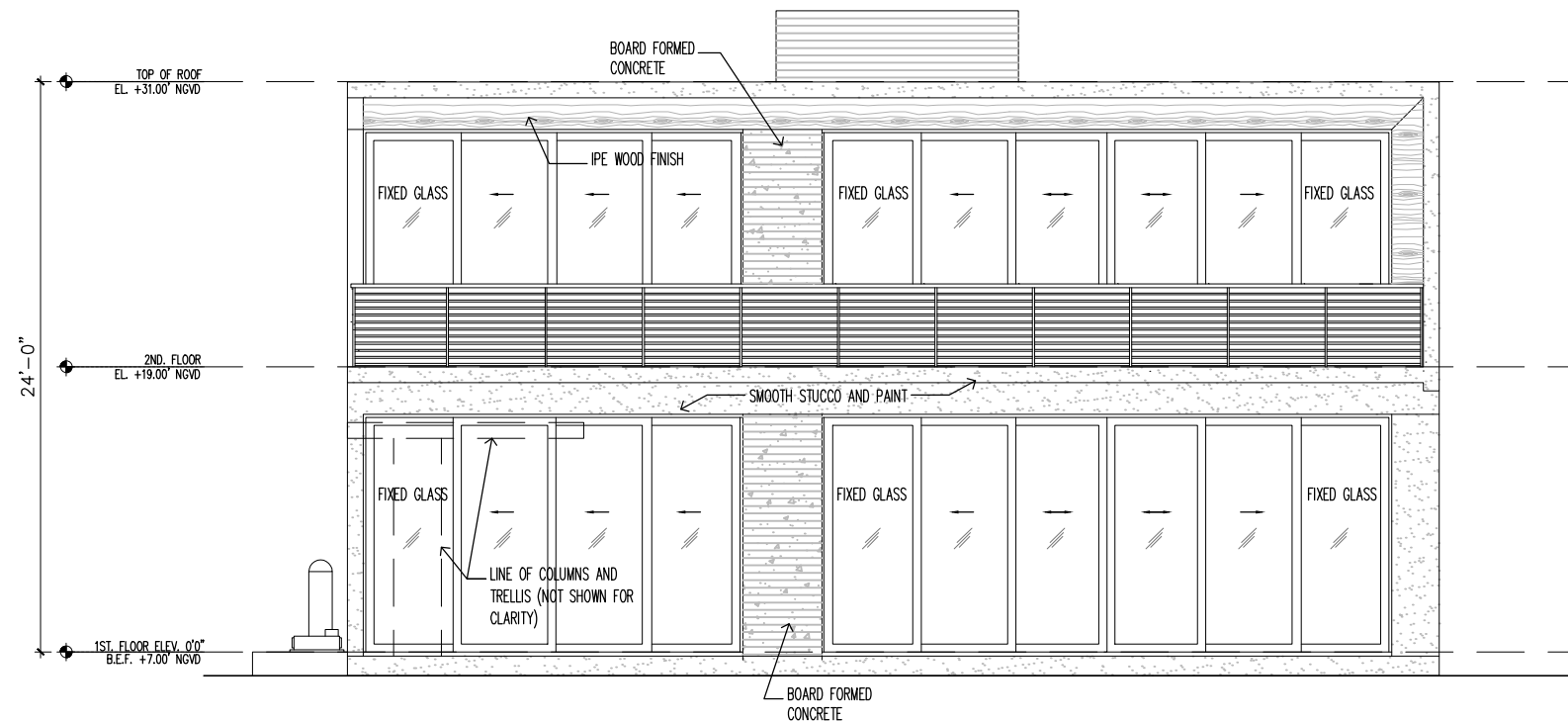
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EXIST. NORTH ELEVATION
PICTURES
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Digitally
Signed by
Edward Silva
Date: 2023.07.14
16:00:23
REVISED AND

Revisions
REV 1 08-29-23



1 PROPOSED EAST ELEVATION (FRONT)
Scale: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION (REAR)
Scale: 1/8" = 1'-0"

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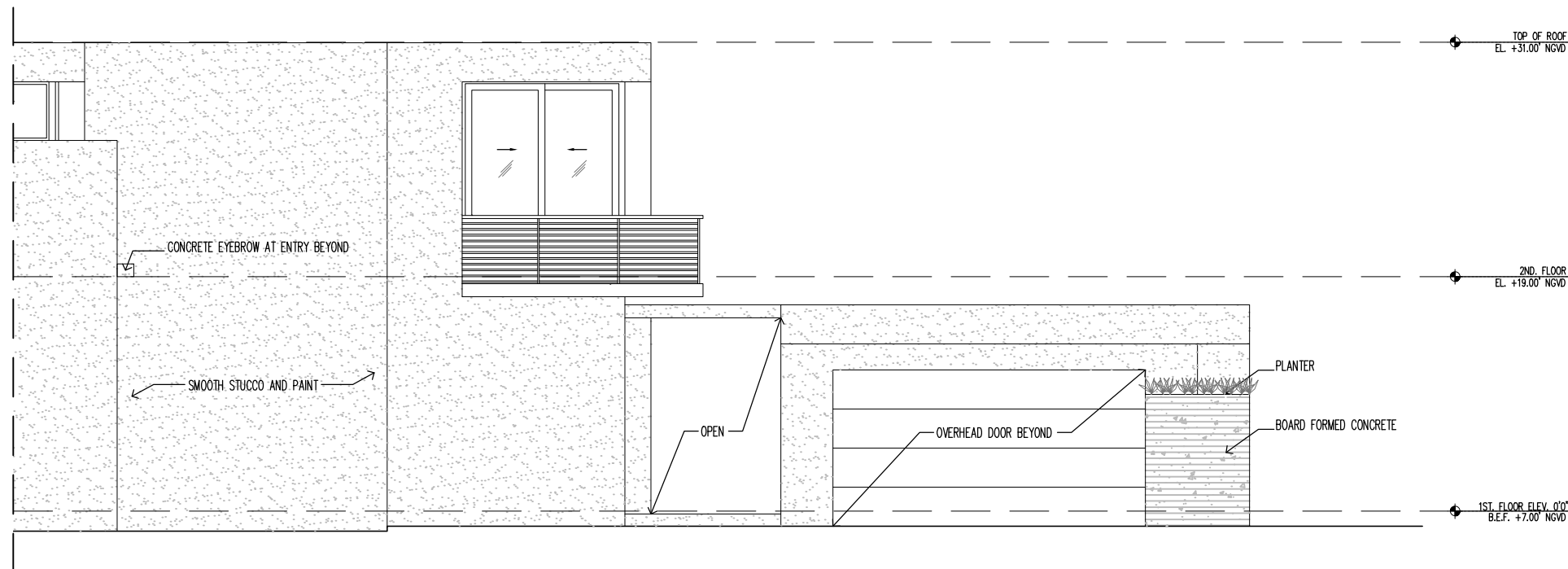
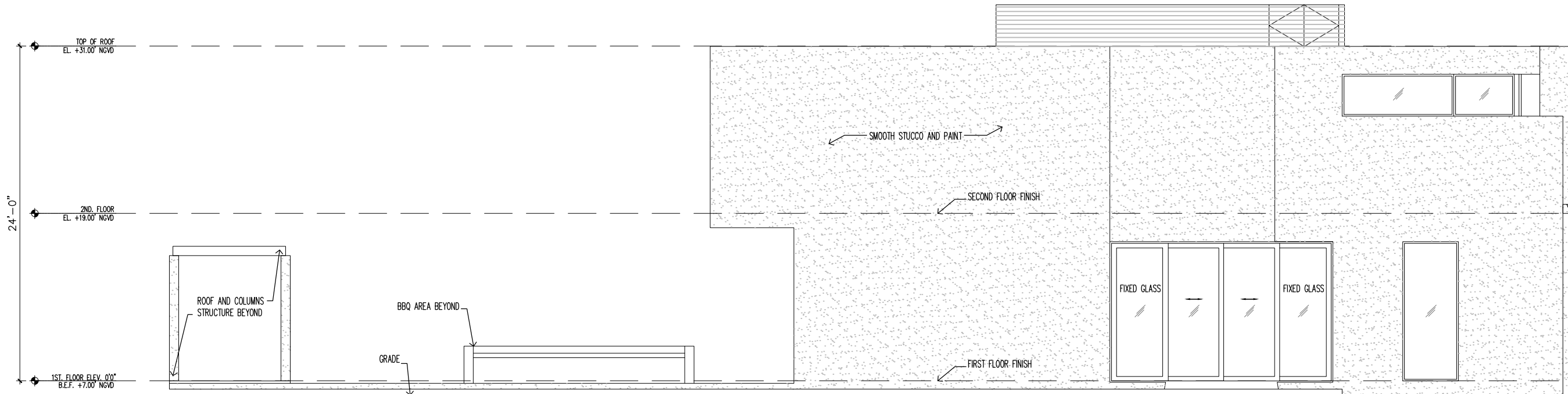
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Edward Silva
AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

PROP. EAST ELEVATION
PROP. WEST ELEVATION
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Digitally signed by
Edward Silva
AR0011131
Date: 2023.09.04 16:00:00
REB 09/04/2023

Revisions
REV 1 08-29-23



1 PROPOSED SOUTH ELEVATION (LEFT)
Scale: 1/8" = 1'-0"



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3059105425

PROP. SOUTH ELEVATION

Sheet

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

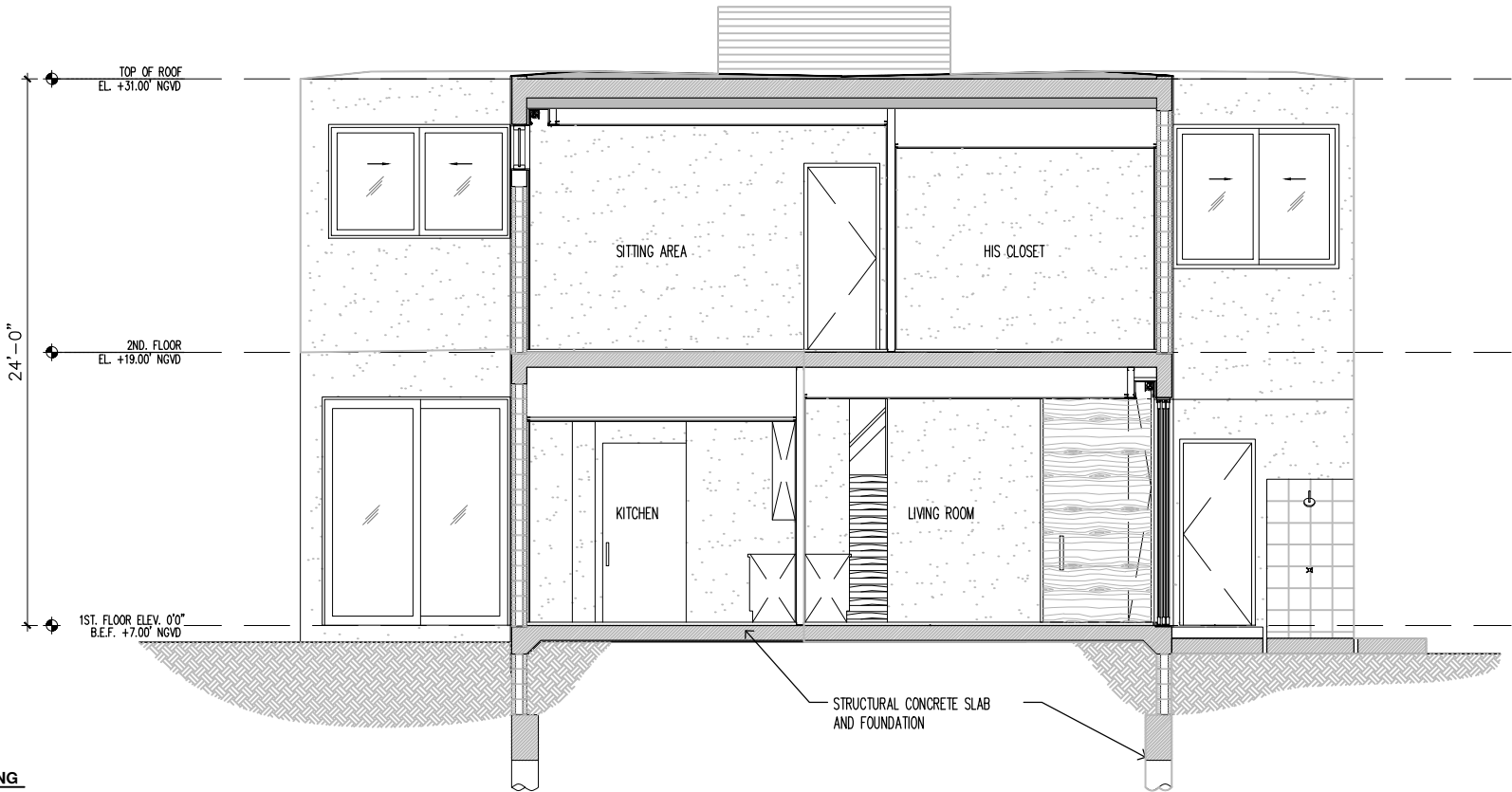
07/14/2023
Professional Seal(s)
Digitally signed by
Edward Silva
DN: cn=Edward Silva,
o=Edward Silva,
ou=Edward Silva,
email=edward@mobiusag.com,
c=US
Date: 2023.09.01
16:08:16 -0400

Revisions
REV 1 08-29-23

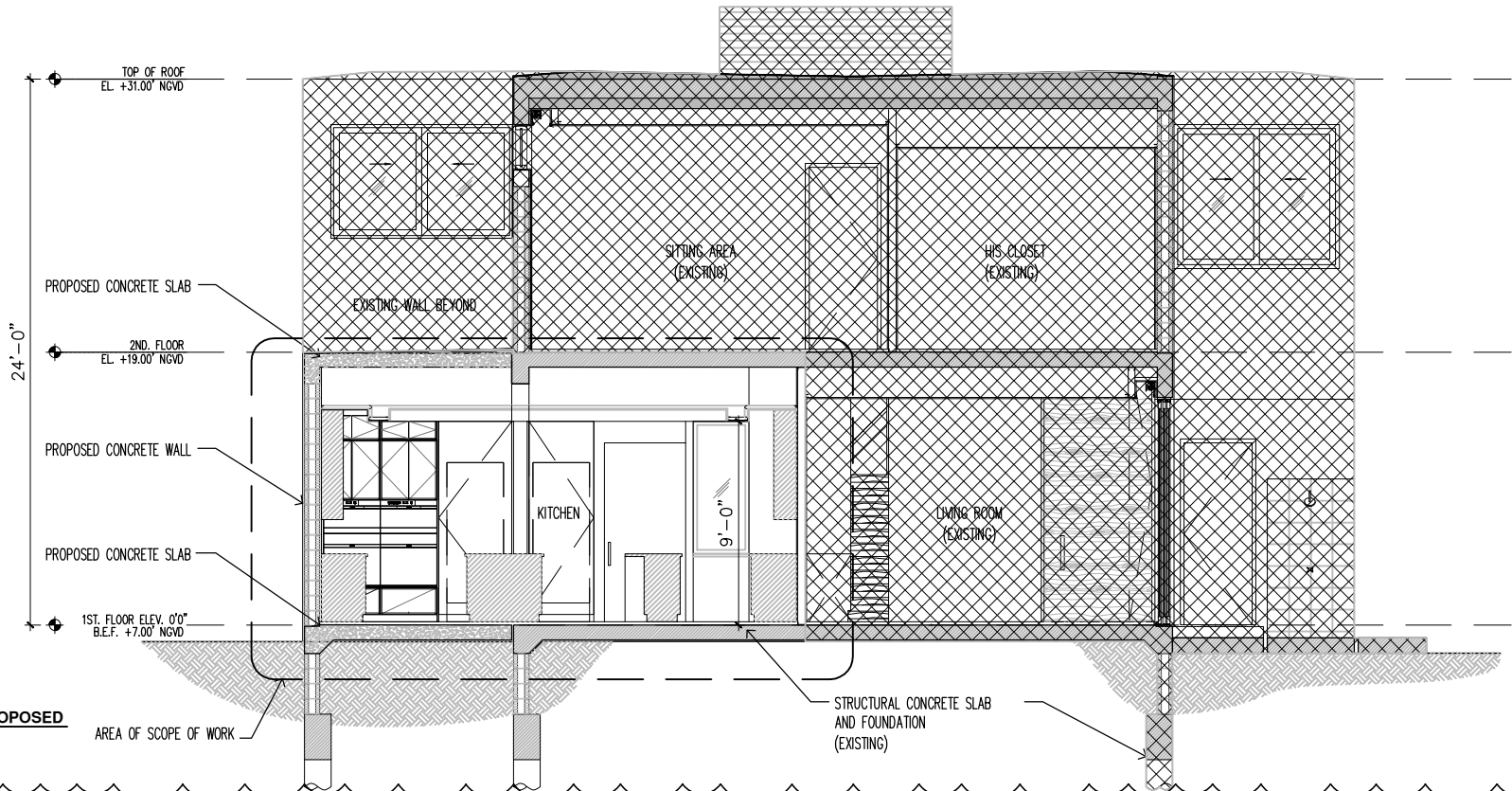
A-6

LEGEND

NO WORK IN THIS AREA



1 SECTION A- EXISTING
Scale: 1/8" = 1'-0"



2 SECTION A- PROPOSED
Scale: 1/8" = 1'-0"

ARCHITECTURE

INTERIOR

DESIGN

MOBIUS ARCHITECTURE GROUP

PHONE: 305.910.5425

EMAIL: MOBIUS@MOBIUSAG.COM

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Miami, FL 33186

3059105425

SECTION A- EXISTING

SECTION A- PROPOSED

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MIAMI BEACH, FL 33140

07/14/2023

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AR0011131

2023.09.01

16:01:36

Revisions

REV 1

08-29-23

A-12

LEGEND

	EXISTING EXTERIOR PARTITION
	EXISTING INTERIOR PARTITION
	EXISTING TO BE DEMOLISHED

SCOPE OF WORK

- DEMOLITION OF EXTERIOR WALL
- REMOVAL OF 2 GLASS DOORS
- REMOVAL OF EXISTENT KITCHEN CABINETS
- ADDITION OF NEW COVERED AREA TO ACCOMMODATE NEW KITCHEN SPACE

ZONING LEGEND:

ZONING: R3-RESIDENTIAL SINGLE FAMILY

LEGAL DESCRIPTION

NAUTILUS ADDN PB 8-130
LOT 13 BLK 9
LOT SIZE 63.92 X 190
FAU 02 3222 014 0530

PROPERTY INFORMATION

FOLIO: 02-3222-014-0531
ADDRESS: 4510 PRAIRIE AVENUE MIAMI BEACH, FL 33140
PA PRIMARY ZONE: 0100 SINGLE FAMILY - GENERAL
PRIMARY LAND USE: 0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
BEDS / BATHS / HALF: 6/6/1
EXISTING LAND USE: 10-SINGLE-FAMILY, MED.-DENSITY (2-5 DU/GROSS ACRE).

NOTES

-THE REMOVAL OF THE INTERIOR WALLS OR WALL SECTIONS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING RAIN WATER LEADERS, PLUMBING VENTS AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL, THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE PRESENT. THERE MAY BE PLUMBING VENT STACKS LOCATED WITHIN THE WALLS TO BE MODIFIED/REMOVED AND THEREFORE THE OWNER MUST BE NOTIFIED OF SUCH SO THAT THE CONFLICT CAN BE OBSERVED BEFORE CONCEALMENT. USE A BORESCOPE CAMERA, IF NECESSARY, TO AVOID ANY POSSIBLE DAMAGE.

-ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS, INCLUDING BUT NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC. ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION. ANY SLAB PENETRATIONS MUST INCLUDE SCANNING OF THE STRUCTURAL SLAB TO LOCATE THE PENETRATION AT A LOCATION WHERE REINFORCEMENT WILL NOT BE COMPROMISED. THE STRUCTURAL ENGINEER OF RECORD FOR THE PROJECT MUST PROVIDE ALL DIRECTION AND DETAILS TO STRUCTURALLY REPAIR THE CONCRETE SLABS AS NEEDED IF PENETRATIONS ARE ABANDONED AND/OR TO PROVIDE SUPPLEMENTARY STRENGTH OF THE STRUCTURE TO COMPENSATE FOR THE MODIFICATION OF THE STRUCTURAL MEMBER. THE LIABILITY OF ANY DAMAGE OR ISSUES RESULTING FROM THE MODIFICATIONS ARE TO BE BORNE BY THE UNIT OWNER.

-THE EXISTING WATERPROOFING MEMBRANE AT THE BALCONIES/TERRACES AND SOUNDPROOFING AT THE UNIT INTERIOR SHALL BE COMPLETELY REMOVED TO EXPOSE THE UNDERLYING STRUCTURAL SLAB. CONTRACTORS SHALL NOTIFY THE ARCHITECT/ENGINEER AND BUILDING MANAGEMENT OF ANY DAMAGE, DEFECTS AND/OR DEFICIENCIES WHICH MAY BE REVEALED ALONG THE STRUCTURAL SLAB OR ANY OTHER BUILDING ELEMENT EXPOSED DURING THE COURSE OF THE PROJECT.

-THE EXISTING/REMAINING SMOKE DETECTORS AS WELLS AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY OTHER TYPE OF DAMAGE DURING CONSTRUCTION.

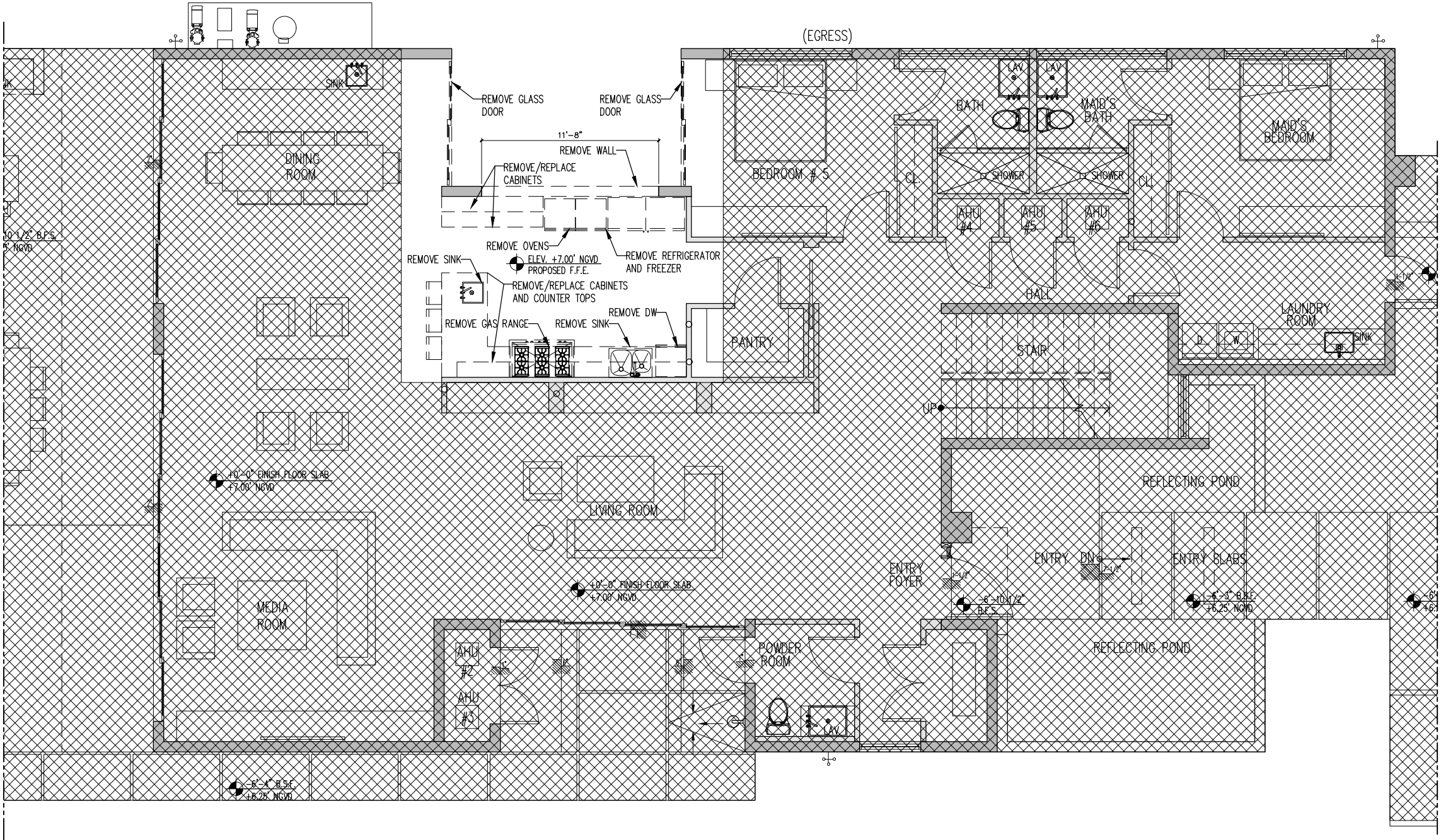
-NOTE - FIRE SPRINKLERS: ANY AND ALL FIRE SPRINKLER SYSTEM WORK MUST BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING-WIDE BASIS.

APPLICABLE CODES

2020 FLORIDA BUILDING CODE 7TH EDITION
F.B.C. EXISTING BUILDING.

DEMOLITION NOTES

- WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND PUBLIC RIGHTS-OF-WAY. FBC EXISTING BUILDING 1501.5



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



DEMOLITION PLAN

Sheet

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

07/14/2023
Professional Seal(s)
Edward Silva
AR0011131
Date: 2023.09.01
16.00.00

Revisions
REV 1 08-29-23

DM-1

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ARCHITECT
Edward Silva
AR0011131
8900 SW 117th Ave #B107
Miami, FL 33186
3059105425

Sheet

4510 PRAIRIE AVE.

MIAMI BEACH, FL 33140

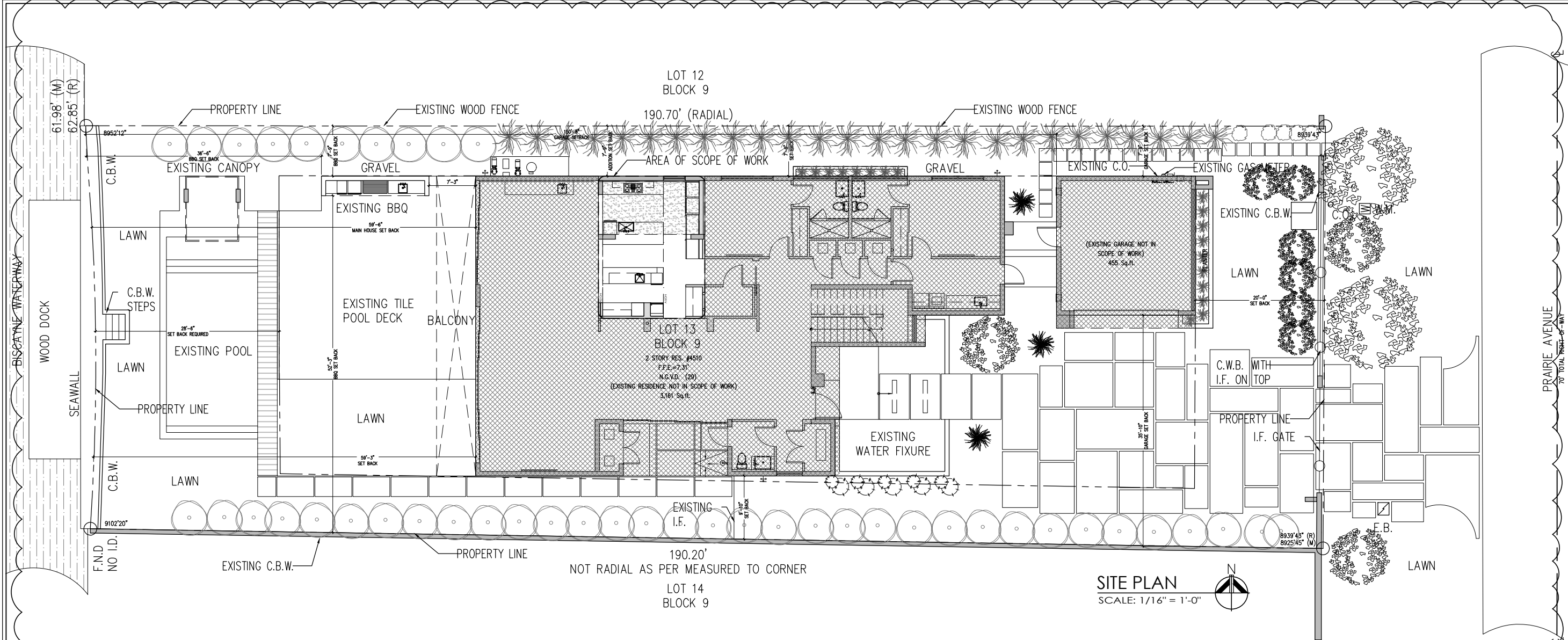
07/14/2023
Professional Seal(s)
Edward Silva
AR0011131
Date: 2023.09.01
16.00.00

Revisions
REV 1 08-29-23

DM-1

MOBIUS ARCHITECTURE GROUP
ARCHITECTURE
INTERIOR
DESIGN

PHONE: 305.910.5425
EMAIL: MOBIUS@MOBIUSAG.COM
WEB: MOBIUSARCHITECTUREGROUP.COM



SCOPE OF WORK

- DEMOLITION OF EXTERIOR WALL
- REMOVAL OF 2 GLASS DOORS
- REMOVAL OF EXISTENT KITCHEN CABINETS
- ADDITION OF NEW COVERED AREA TO ACCOMMODATE NEW KITCHEN SPACE

LEGEND

NO WORK IN THIS AREA

ZONING LEGEND:

ZONING CODE: RS-4-RESIDENTIAL SINGLE FAMILY

	REQUIRED / ALLOWED	PROVIDED
HEIGHT:	24'-0"	24'-0"
LOT AREA		12,008 SQ.FT. 100%
LOT COVERAGE:	3,602 SQ.FT.(29.9%)	3,034 SQ.FT.(25.3%)
UNIT SIZE:	REQUIRED / ALLOWED 6,004 SQ.FT.(50%)	PROVIDED 5,393 SQ.FT.(44.9%)
	ADDITION PROPOSED	138 SQ.FT. (1.2%)
	TOTAL	5,531 SQ.FT.(46.1%)
SETBACKS:	ALL SET BACKS ARE EXISTING TO REMAIN REQUIRED / ALLOWED PROVIDED	
FRONT (WEST)	20'	20'
SIDE (NORTH + SOUTH)	12'-6"	16'-9" (7'-9" & 9'-0")
REAR (EAST)	28'-6"	36'-6"

FLOOD ZONE:

ALL FLOOD ELEVATIONS ARE EXISTING TO REMAIN
AE-7 MINIMUM FLOOD ELEVATION: 7.00' NGVD
ESTABLISHED GRADE: 5.6' NGVD
ADJACENT GRADE 6.3' NGVD

LEGAL DESCRIPTION

NAUTILUS ADDN PB 8-130
LOT 13 BLK 9
LOT SIZE 63.92 X 190
FAU 02 3222 014 0530

PROPERTY INFORMATION

FOLO: 02-3222-014-0531
ADDRESS: 4510 PRAIRIE AVENUE MIAMI BEACH, FL. 33140
PA PRIMARY ZONE: 0100 SINGLE FAMILY - GENERAL
PRIMARY LAND USE: 0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
BEDS / BATHS / HALF: 6/6/1
EXISTING LAND USE: 10-SINGLE-FAMILY, MED.-DENSITY (2-5 DU/GROSS ACRE).

APPLICABLE CODES

2020 FBC 7TH EDITION, RESIDENTIAL EDITION
2020 FBC-EXISTING BUILDING, 7TH EDITION

TYPE OF CONST.: CLASS V B GROUP: R-3

NOTES:

1- THIS PLAN HAS BEEN PREPARED TO SHOW REQ. SET BACKS AND UTILITY ACCESS TO OBTAIN BUILDING PERMIT THE EXACT LOCATION OF BUILDING WITHIN PARTICULAR LOTS SHALL BE MEASURE FROM LAYOUT PREPARED BY A CERTIFIED SURVEYOR.

ARCHITECT'S NOTE: AS PER SECTION 109.3.6.4.4 FBC

IN MY PROFESSIONAL JUDGEMENT AND THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FLORIDA BUILDING CODE.

MEANS AND METHODS OF CONSTRUCTION AND SAFETY PRECAUTION ARE THE RESPONSIBILITIES OF THE CONTRACTOR.

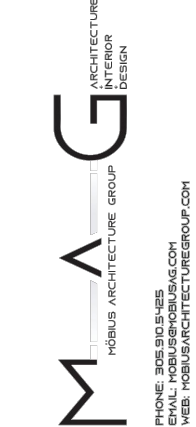
THE CONTRACTOR IS TO BE RESPONSIBLE FOR HIS OR HERS EMPLOYEE'S NEGLIGENT ACTS, ERRORS, OR OMISSIONS.

1-WATER PIPES SHALL BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST SEWER PIPES AS PER F.B.C. 603.2 EXCEPTION 1

2. ALL PENETRATION THRU STRUCTURAL BEARING WALL SHALL BE PROVIDED WITH SLEEVE AS REQUIRED IN COMPLIANCE WITH F.B.C. 305 THRU 305.5

ZONING DATA SHEET

ZONING INFORMATION / CALCULATION			
ITEM #	Project Information	Required	Existing
1	Address: 4510 Prairie Ave Miami Beach	24'-0"	24'-0"
2	Parcel number(s): 02-3222-014-0531	20'-0"	20'-0"
3	Board and File number(s): CMR23-0561	40'-0"	40'-0"
4	Tract description: Existing (2000)	40'-0"	40'-0"
5	Is located within a Local Historic District (Yes or No):	NO	NO
6	Is located within a Local Historic District (Yes or No):	NO	NO
7	Is located within a Local Historic District (Yes or No):	NO	NO
8	Is located within a Local Historic District (Yes or No):	NO	NO
9	Is located within a Local Historic District (Yes or No):	NO	NO
10	Is located within a Local Historic District (Yes or No):	NO	NO
11	Is located within a Local Historic District (Yes or No):	NO	NO
12	Is located within a Local Historic District (Yes or No):	NO	NO
13	Is located within a Local Historic District (Yes or No):	NO	NO
14	Is located within a Local Historic District (Yes or No):	NO	NO
15	Is located within a Local Historic District (Yes or No):	NO	NO
16	Is located within a Local Historic District (Yes or No):	NO	NO
17	Is located within a Local Historic District (Yes or No):	NO	NO
18	Is located within a Local Historic District (Yes or No):	NO	NO
19	Is located within a Local Historic District (Yes or No):	NO	NO
20	Is located within a Local Historic District (Yes or No):	NO	NO
21	Is located within a Local Historic District (Yes or No):	NO	NO
22	Is located within a Local Historic District (Yes or No):	NO	NO
23	Is located within a Local Historic District (Yes or No):	NO	NO
24	Is located within a Local Historic District (Yes or No):	NO	NO
25	Is located within a Local Historic District (Yes or No):	NO	NO
26	Is located within a Local Historic District (Yes or No):	NO	NO
27	Is located within a Local Historic District (Yes or No):	NO	NO
28	Is located within a Local Historic District (Yes or No):	NO	NO
29	Is located within a Local Historic District (Yes or No):	NO	NO
30	Is located within a Local Historic District (Yes or No):	NO	NO



Confidentiality Notice

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CLIENT - OWNER(S)

ARCHITECT
Edward Silva
AR001131
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Miami, FL 33186
3059105425

SITE PLAN
4510 PRAIRIE AVE.
MIAMI BEACH, FL 33140

07/14/2023
Professional Seal
Edward Silva
Date: 2023.07.14
AR001131
Revisions
REV 1 08-29-23

SP-1