

NORTH BAY ROAD RESIDENCE

2075 NORTH BAY ROAD. MIAMI BEACH, FLORIDA. 33140
NEW TWO-STORY RESIDENCE WITH UNDERSTORY

FINAL SUBMITTAL

DRB23-0938 / 07.10.2023



ARCHITECTURAL PRESENTATION

- A-0.0 | COVER SHEET / INDEX OF DRAWINGS
- A-0.1 | NEIGHBORHOOD AERIAL VIEWS
- A-0.2 | SURROUNDING PROPERTIES
- A-0.3 | SURROUNDING PROPERTIES
- A-0.4 | 3D VIEW - FRONT & MATERIALS
- A-0.5 | 3D VIEW - REAR & MATERIALS
- A-0.6 | 3D PERSPECTIVE VIEWS
- A-0.7 | CONTEXTUAL ELEVATIONS
- A-0.8 | SURVEY
- A-0.9 | DEMOLITION PLAN

ARCHITECTURAL PLANS

- A-1.0 | ZONING DATA
- A-1.1 | SITE PLAN
- A-1.2 | YARD SECTIONS
- A-1.3 | YARD SECTIONS
- A-1.4 | DIAGRAM - LOT COVERAGE / AXONOMETRIC
- A-1.5 | DIAGRAM - UNIT SIZE
- A-1.6 | DIAGRAM - OPEN SPACE
- A-2.1 | UNDERSTORY PLAN
- A-2.2 | FIRST FLOOR PLAN
- A-2.3 | SECOND FLOOR PLAN
- A-2.4 | ROOF PLAN
- A-3.1 | WEST ELEVATION (FRONT)
- A-3.2 | NORTH ELEVATION (SIDE)
- A-3.3 | SOUTH ELEVATION (SIDE)
- A-3.4 | EAST ELEVATION (REAR)
- A-4.1 | SECTIONS



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

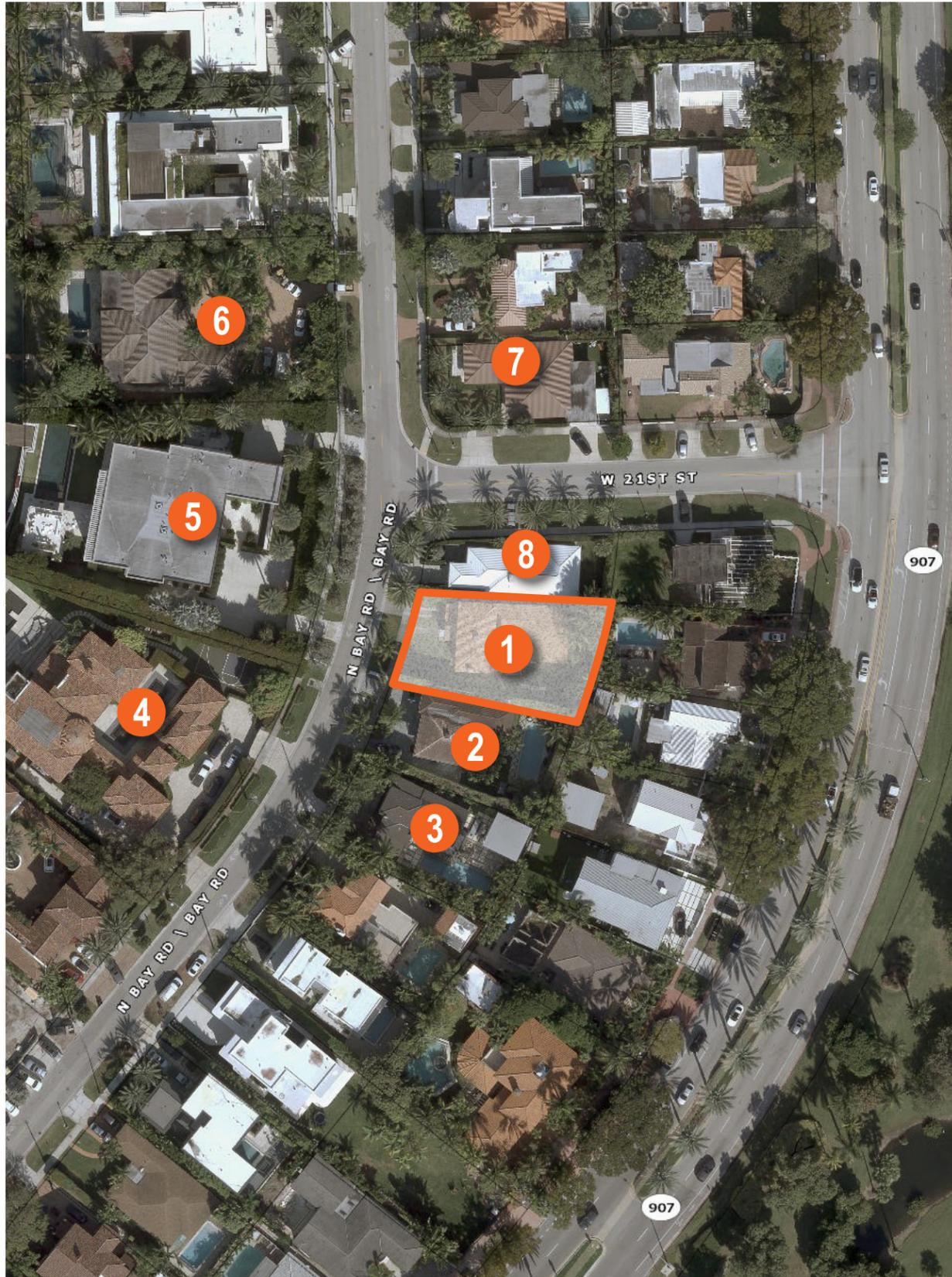
DRAWING TITLE

**COVER SHEET /
INDEX OF
DRAWINGS**

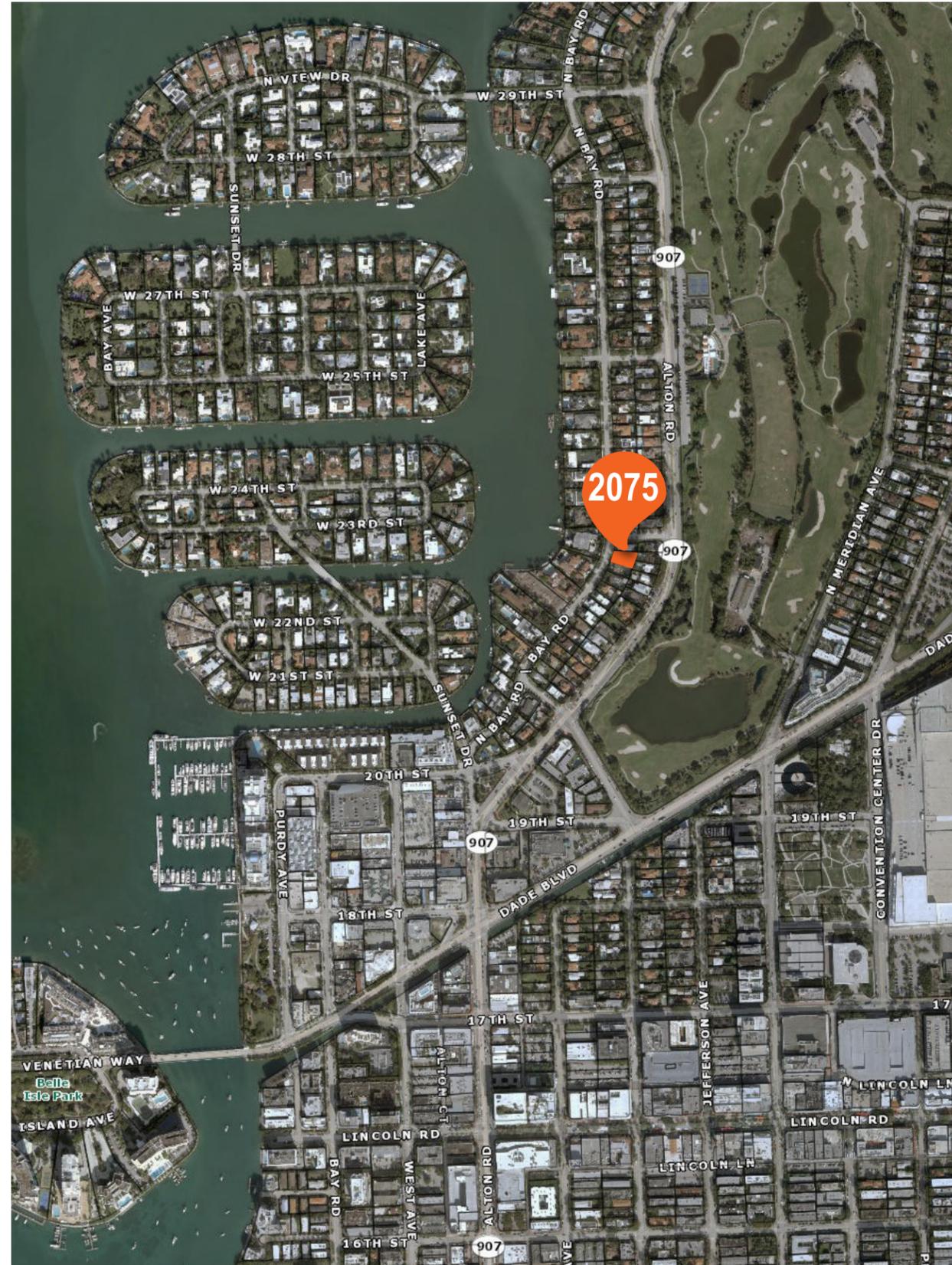
SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-0.0



NEIGHBORHOOD AERIAL VIEW



AERIAL LOCATION MAP



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

NEIGHBORHOOD
AERIAL VIEW

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.1



1 2075 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



2 2065 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



3 2061 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



4 2060 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

SURROUNDING PROPERTIES

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.2



5 2068 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



6 2108 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



7 2101 NORTH BAY ROAD
EXISTING ONE-STORY RESIDENCE



8 1220 W 21ST ST
EXISTING ONE-STORY RESIDENCE



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

SURROUNDING PROPERTIES

SCALE: AS SHOWN

DATE: 07-10-2023

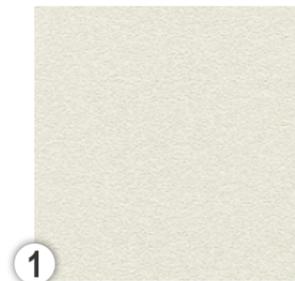
SHEET NUMBER

A-0.3

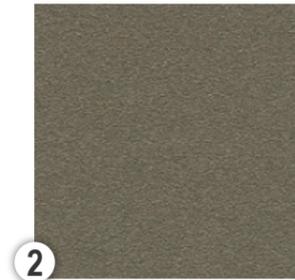


3D VIEW - FRONT

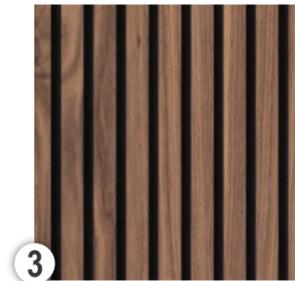
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3
WOOD SIDING
(VERTICAL)



4
CLEAR GLASS W/
BRONZE FRAMES



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
DATE: 07-10-2023

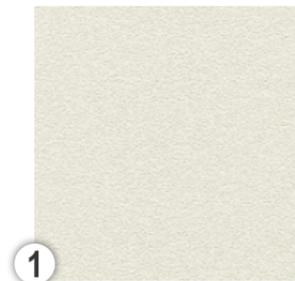
SHEET NUMBER

A-0.4

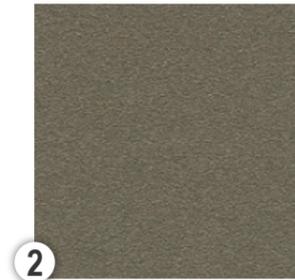


3D VIEW - REAR

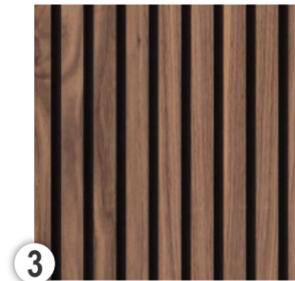
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3
WOOD SIDING
(VERTICAL)



4
CLEAR GLASS W/
BRONZE FRAMES



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.5



PERSPECTIVE VIEW - FRONT 1



PERSPECTIVE VIEW - FRONT 2



PERSPECTIVE VIEW - REAR 1



PERSPECTIVE VIEW - REAR 2

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

**PERSPECTIVE
VIEWS**

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-0.6



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
 OWNER: --

REVISION & DATE

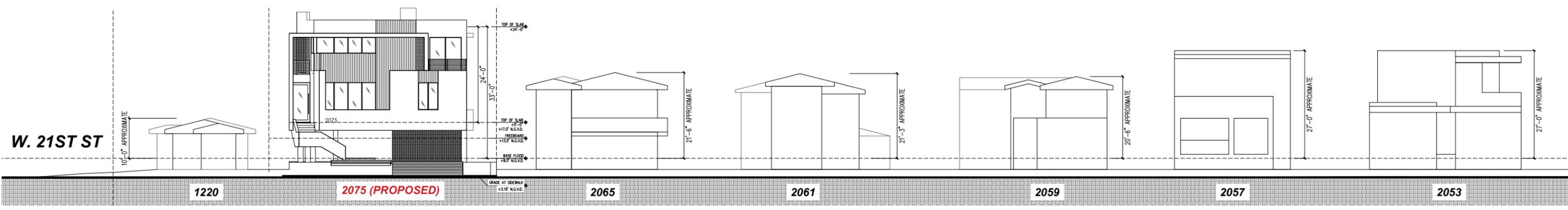
DRAWING TITLE

CONTEXTUAL ELEVATIONS

SCALE: AS SHOWN
 DATE: 07-10-2023

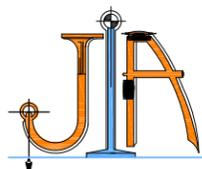
SHEET NUMBER

A-0.7



NORTH BAY ROAD (EAST VIEW)

1 CONTEXTUAL ELEVATIONS
 N.T.S.



JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.
SUITE B
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664



MAP OF TOPOGRAPHIC SURVEY

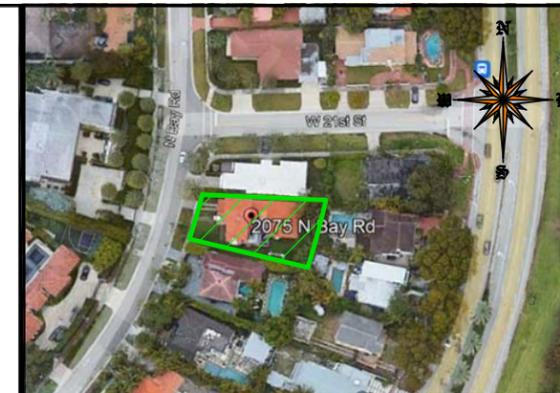
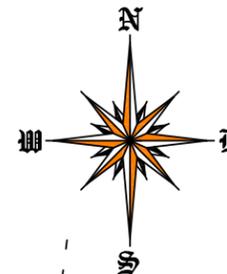
2075 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140

GRAPHIC SCALE



(IN FEET)

1 INCH = 20 FEET



LOCATION SKETCH

SCALE = N.T.S.

ABBREVIATIONS AND MEANINGS

- A = ARC
- AC = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- AR = ALUMINUM ROOF
- AS = ALUMINUM SHED
- ASPH = ASPHALT
- B.C. = BLOCK CORNER
- B.C.R. = BROWARD COUNTY RECORDS
- BUDG = BUILDING
- B.M. = BENCH MARK
- B.O.B. = BASIS OF BEARINGS
- B.S.L. = BUILDING SETBACK LINE
- C = CALCULATED
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CBW = CONCRETE BLOCK WALL
- CH = CHORD
- CH.B. = CHORD BEARING
- CL = CLEAR
- C.L.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENTS
- CONC. = CONCRETE
- C.P. = CONC. POND
- C.S. = CONCRETE SLAB
- C.U.P. = CONC. UTILITY POLE
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
- DRIVE = DRIVEWAY
- * = DISCRETS
- E = EAST
- EB = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.I.D. = FOUND NAIL DISK
- FR = FRAME
- FT = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE
- F.N. = FOUND NAIL
- H. = HIGH (HEIGHT)
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- I.N.E. = INGRESS AND EGRESS EASEMENT
- L.B. = Certificate of Authorization L.B.#7806
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- MIN. = MINUTES
- M. = MEASURED DISTANCE
- MB = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENTS
- MON. = MONUMENT LINE
- MR. = MARIANNE
- ML = MONUMENT LINE
- N.A.P. = NOT A PART OF
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- N. = NORTH
- N.T.S. = NOT TO SCALE
- #NO. = NUMBER
- OS = OFFSET
- O.H. = OVERHEAD
- O.H.L. = OVERHEAD UTILITY LINES
- O.R.L. = OFFICIAL RECORDS BOOK
- OVH = OVERHANG
- PVMT = PAVEMENT
- PL = PLASTER
- PL = PROPERTY LINE
- P.C.C. = POINT OF COMPOUND CURVE
- P.C. = POINT OF CURVE
- PT. = POINT OF TANGENCY
- POC = POINT OF COMMENCEMENT
- POB = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVE
- P.B. = PLAT BOOK
- PG. = PAGE
- P.W.Y. = PARKWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- R. = RECORDED DISTANCE
- RR = RAIL ROAD
- RES. = RESIDENCE
- PROP. COR. = PROPERTY CORNER
- R.W. = RIGHT-OF-WAY
- R.P. = RADIUS POINT
- RGE = RANGE
- SEC. = SECTION
- STY. = STORY
- SWK. = SIDEWALK
- S.I.P. = SET IRON PIPE L.B.#7806
- S.P. = SCREENED PORCH
- S. = SOUTH
- S. = SECONDS
- T = TANGENT
- T.B. = TELEPHONE BOOTH
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP = TOWNSHIP
- UTIL. = UTILITY
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.R. = WOOD ROOF
- W.S. = WOOD SHED
- W. = WEST
- ∠ = CENTER LINE
- ∠ = CENTRAL ANGLE
- ∠ = ANGLE

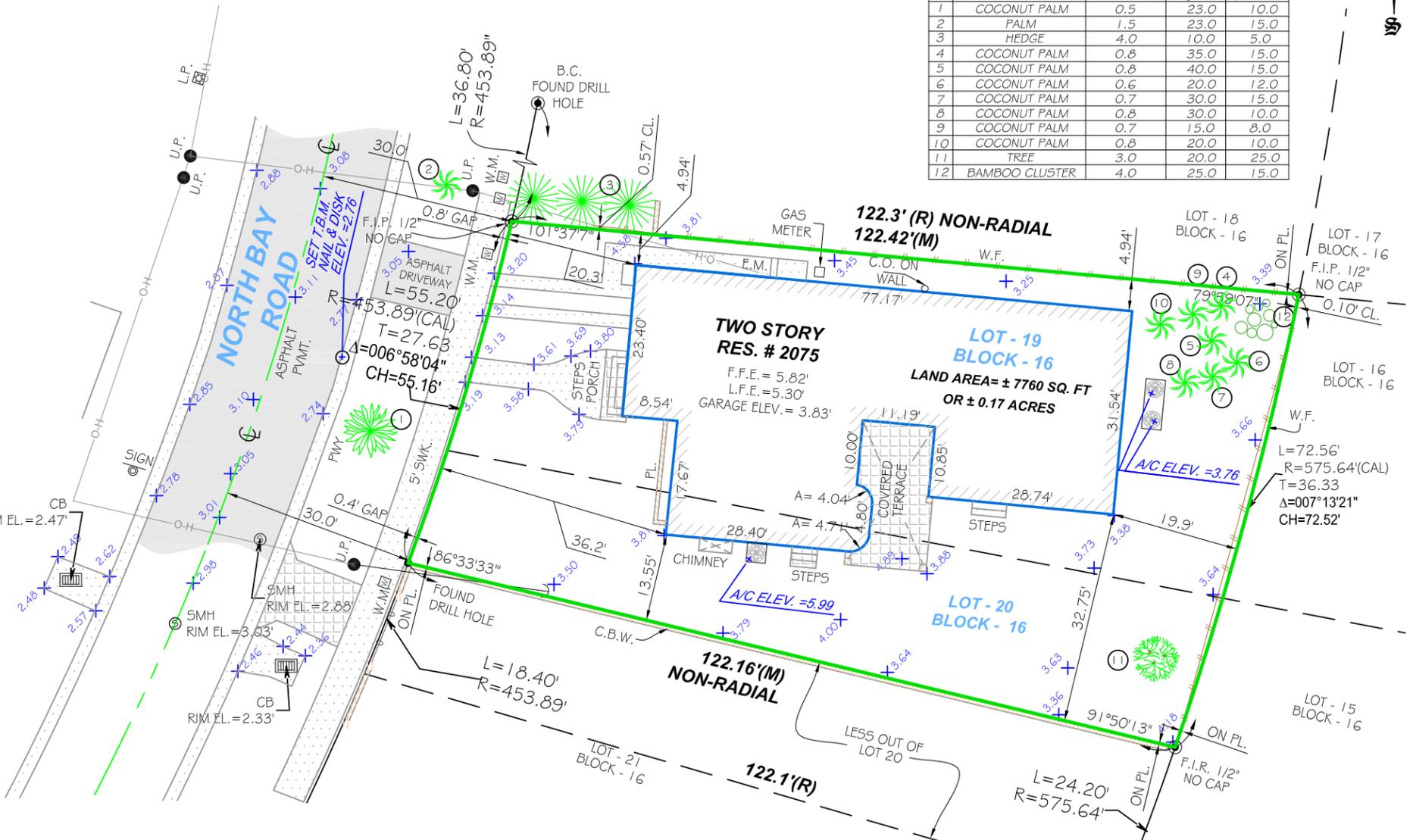
LEGEND

- = OVERHEAD UTILITY LINES
- = CONCRETE BLOCK WALL
- = CHAIN LINK FENCE
- = IRON FENCE
- = WOOD FENCE
- = BUILDING SETBACK LINE
- = UTILITY EASEMENT
- = LIMITED ACCESS RW
- = NON-VEHICULAR ACCESS RW
- = EXISTING ELEVATIONS

LEGAL DESCRIPTION:

LOT 19 AND ALL OF LOT 20 IN BLOCK 16 OF AMENDED PLAY OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; EXCEPT THAT PORTION OF LOT 20 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 20, IN BLOCK 16 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTHERLY ALONG THE WEST BOUNDARY LINE OF SAID LOT 20, A DISTANCE OF 18.4 FEET; THENCE EASTERLY TO A POINT ON THE EAST BOUNDARY LINE OF SAID LOT 20 (WHICH SAID POINT IS 24.2 FEET NORTHERLY FROM THE SOUTHEAST CORNER OF SAID LOT 20, AS MEASURED ALONG THE EAST BOUNDARY LINE OF SAID LOT 20); THENCE SOUTHERLY ALONG EAST BOUNDARY LINE A DISTANCE OF 24.2 FEET TO THE SOUTHEAST CORNER OF SAID LOT 20; THENCE WESTERLY ALONG THE SOUTH BOUNDARY LINE OF SAID LOT 20 TO A POINT OF BEGINNING.

No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	COCONUT PALM	0.5	23.0	10.0
2	PALM	1.5	23.0	15.0
3	HEDGE	4.0	10.0	5.0
4	COCONUT PALM	0.8	35.0	15.0
5	COCONUT PALM	0.8	40.0	15.0
6	COCONUT PALM	0.6	20.0	12.0
7	COCONUT PALM	0.7	30.0	15.0
8	COCONUT PALM	0.8	30.0	10.0
9	COCONUT PALM	0.7	15.0	8.0
10	COCONUT PALM	0.8	20.0	10.0
11	TREE	3.0	20.0	25.0
12	BAMBOO CLUSTER	4.0	25.0	15.0



LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE SPECIFIED.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
 FLOOD ZONE: "AE"
 BASE FLOOD ELEVATION: 8 FT
 COMMUNITY: 120651
 PANEL: 0317
 SUFFIX: L
 DATE OF FIRM: 09/11/2009
 THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929, MIAMI DADE COUNTY BENCH MARK NAME: D-182, LOCATOR NO. 4325 W @ MERIDIAN AVENUE & W 23RD STREET; ELEVATION IS 3.42 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "TOPOGRAPHIC SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: JOHN IBARRA (DATE OF FIELD WORK) **02/24/2023**

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: _____
 REVISED ON: _____

DRAWN BY:	CARLOS D.
FIELD DATE:	02/24/2023
SURVEY NO:	23-000341-1
SHEET:	1 OF 1

praxis.
 architecture . design
 PRAXISARCH.COM

JOSE L. SANCHEZ
 AIA, LEED AP
 278 NW 37TH ST.
 MIAMI, FL 33127
 P 305 576 8063
 FL LIC: AR 0016966
 FL LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
 OWNER: --

REVISION & DATE

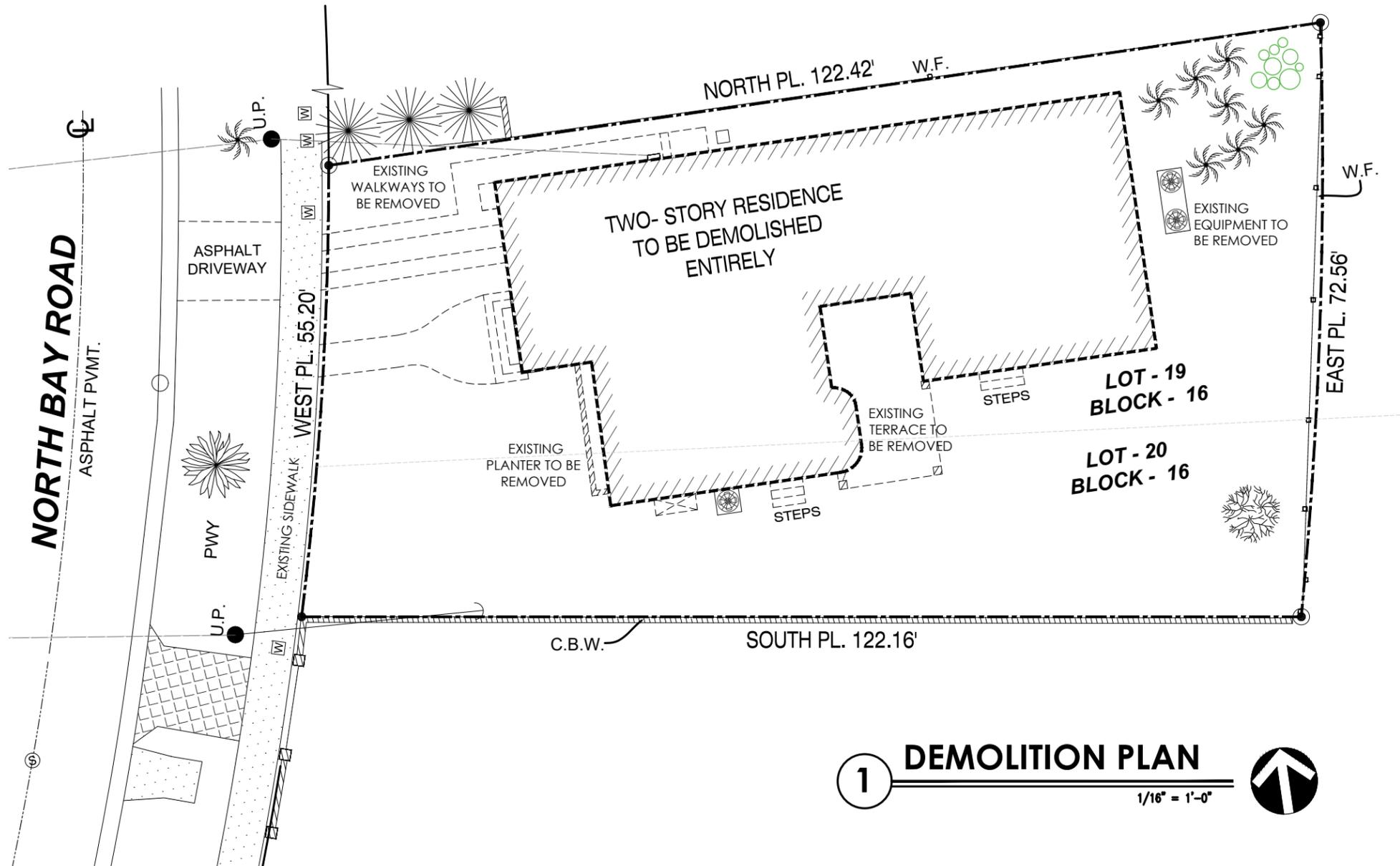
DRAWING TITLE

SURVEY

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-0.8



1 DEMOLITION PLAN
 1/16" = 1'-0"

- SCOPE OF WORK**
- SCOPE OF DEMOLITION ENTAILS ENTIRE BUILDING.
 - REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
 - MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN..

- GENERAL DEMOLITION NOTES**
- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
 - CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
 - CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
 - CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
 - CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
 - MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
 - CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
 - UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
 - CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
 OWNER: --

REVISION & DATE

DRAWING TITLE

DEMOLITION PLAN

SCALE: AS SHOWN
 DATE: 07-10-2023

SHEET NUMBER

A-0.9