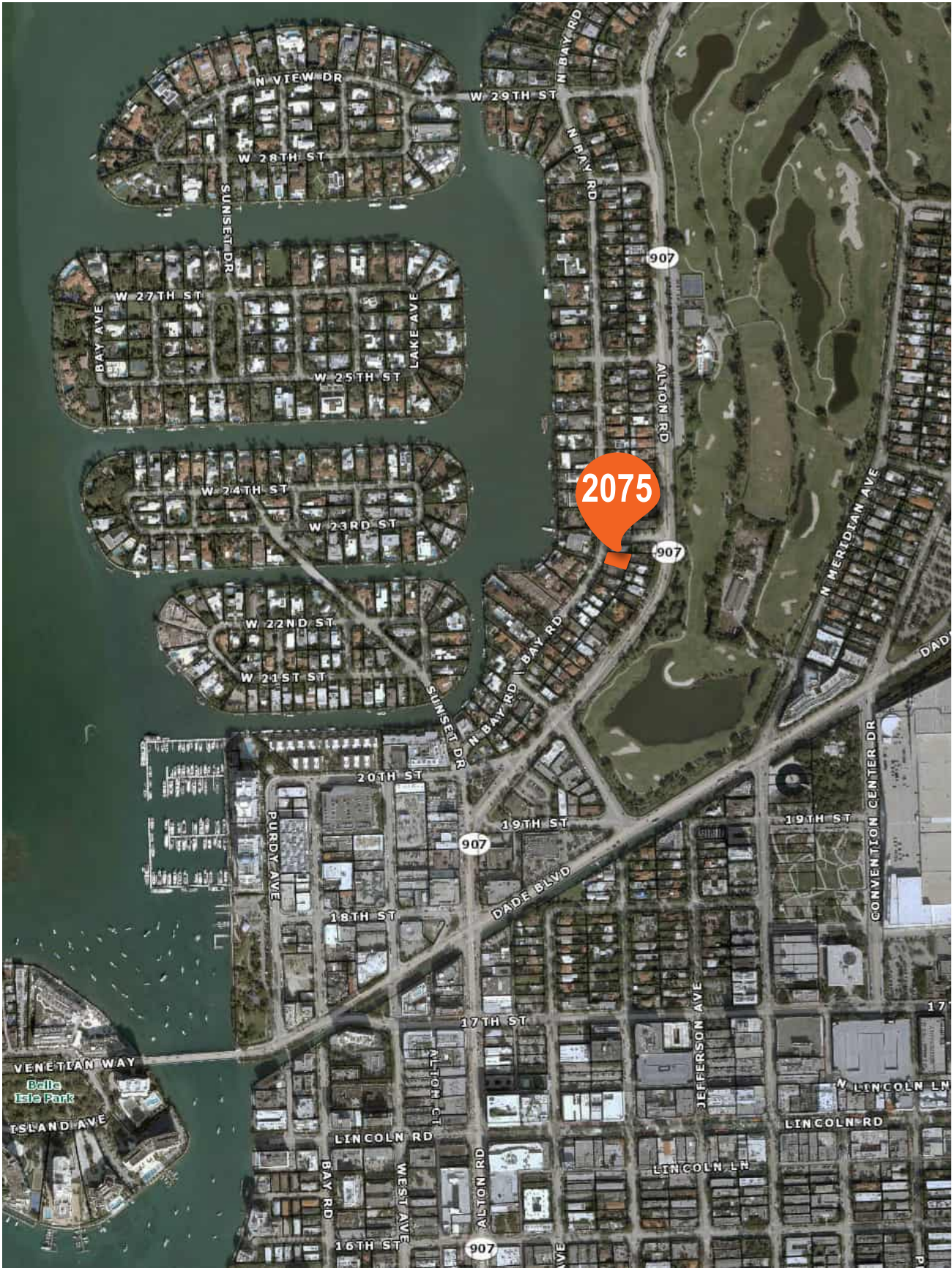


NEIGHBORHOOD AERIAL VIEW



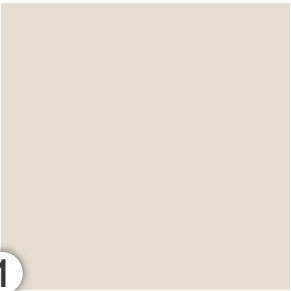
AERIAL LOCATION MAP





3D VIEW - FRONT

MATERIAL BOARD



PAINTED STUCCO
WALLS & CEILING
(AESTHETIC WHITE
SW 7035)



PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



WOOD SIDING
(VERTICAL)



CLEAR GLASS W/
BRONZE FRAMES



CORTEN STEEL

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

3D VIEW & MATERIALS

SCALE: AS SHOWN

DATE: 07-10-2023

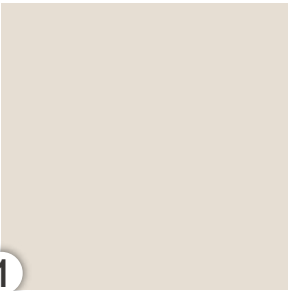
SHEET NUMBER

A-0.4

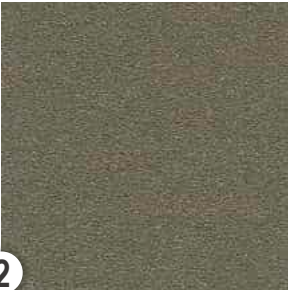


3D VIEW - REAR

MATERIAL BOARD



PAINTED STUCCO
WALLS & CEILING
(AESTHETIC WHITE
SW 7035)



PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



WOOD SIDING
(VERTICAL)



CLEAR GLASS W/
BRONZE FRAMES

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

3D VIEW & MATERIALS

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.5



PERSPECTIVE VIEW - FRONT 1



PERSPECTIVE VIEW - FRONT 2



PERSPECTIVE VIEW - REAR 1



PERSPECTIVE VIEW - REAR 2

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

JOSE L. SANCHEZ

AR 10000

REGISTERED ARCHITECT

Jose L Sanchez

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=Praxis Architecture, Inc., email=jlsanchez@praxisarch.com, c=US
Date: 2023.10.10 10:07:25 -0400

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

PERSPECTIVE VIEWS

SCALE: AS SHOWN

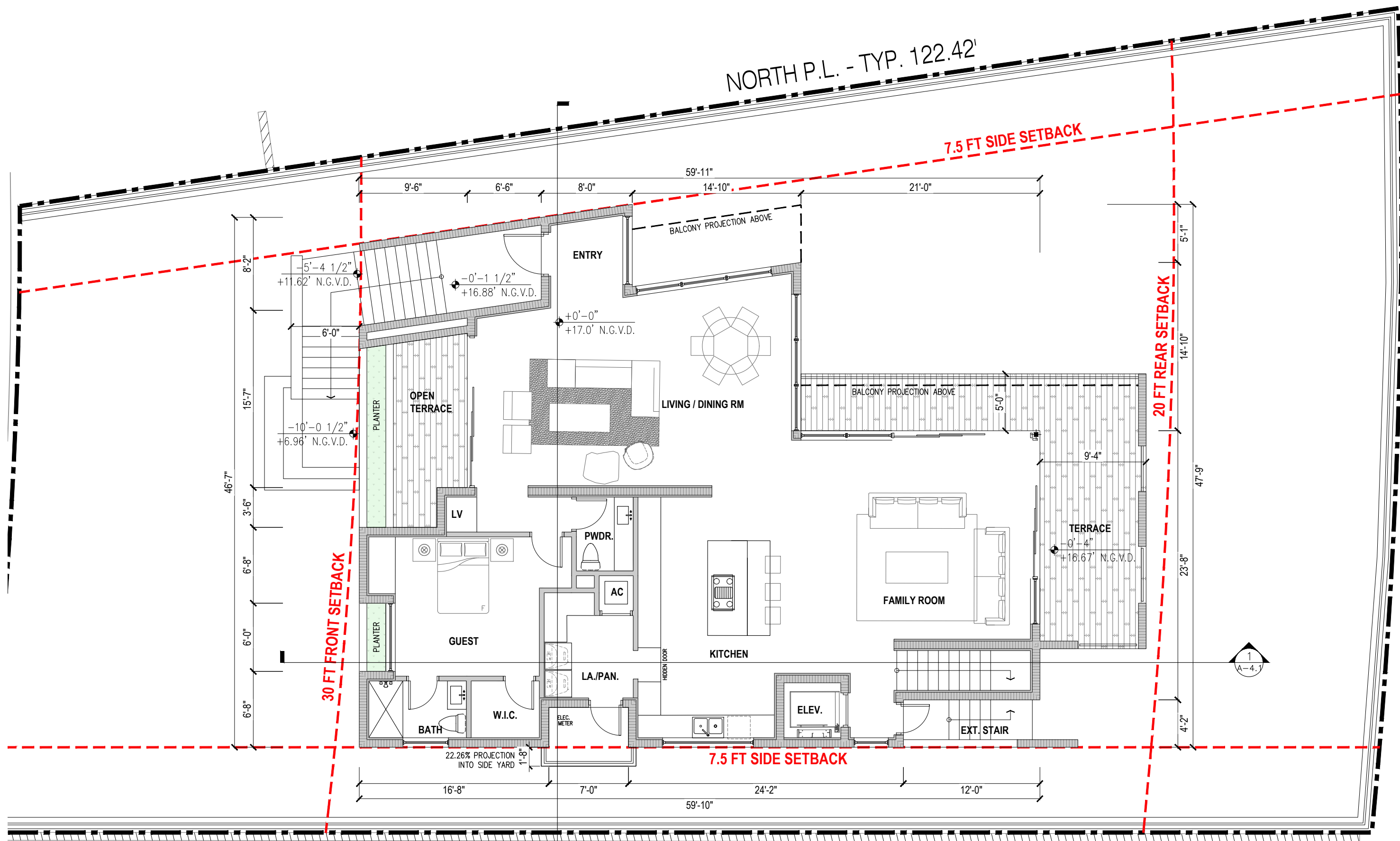
DATE: 07-10-2023

SHEET NUMBER

A-0.6



A-2.1



praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837

Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=sanchez@praxisarch.com, c=US
Date: 2023.07.10 10:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE
SECOND FLOOR PLAN

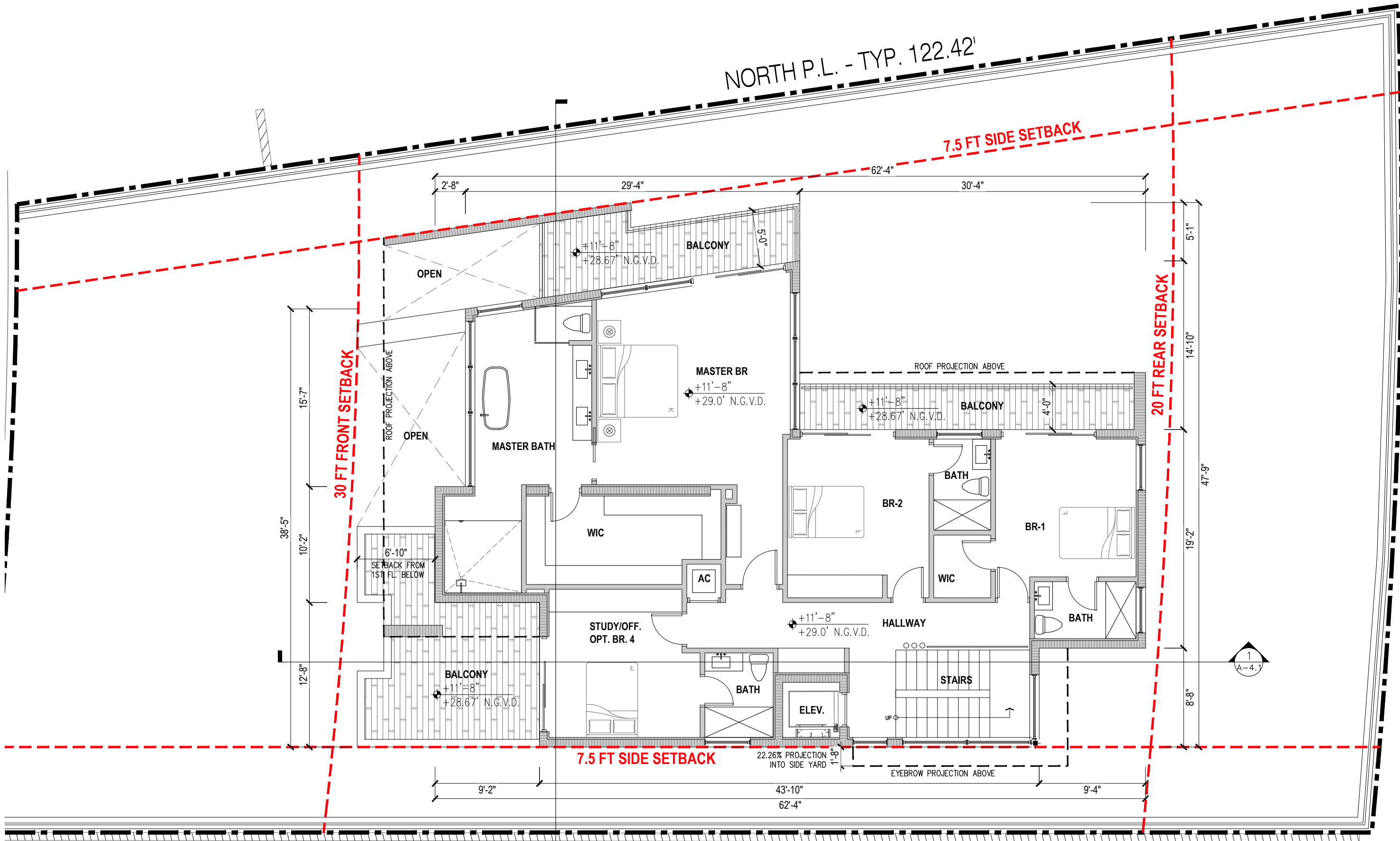
SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER
A-2.2

1 FIRST FLOOR PLAN

1/8"=1'-0"

COPYRIGHT © 2023. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTIONS OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



praxis.
architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837

STATE OF FLORIDA
REGISTERED ARCHITECT
AR 10000

Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, ou=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 10:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

SECOND FLOOR PLAN

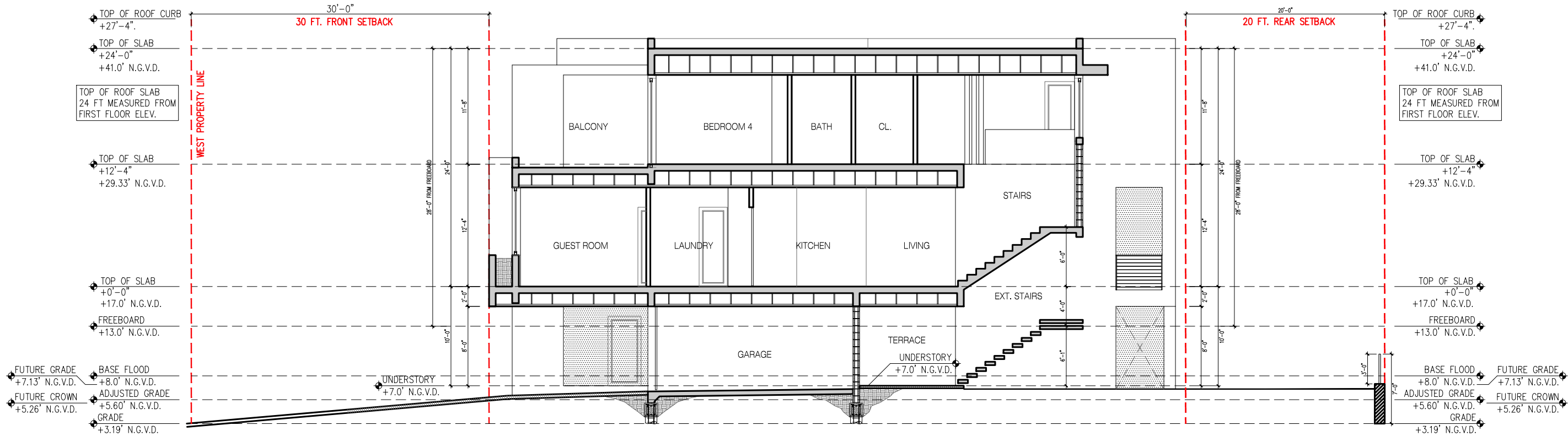
SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

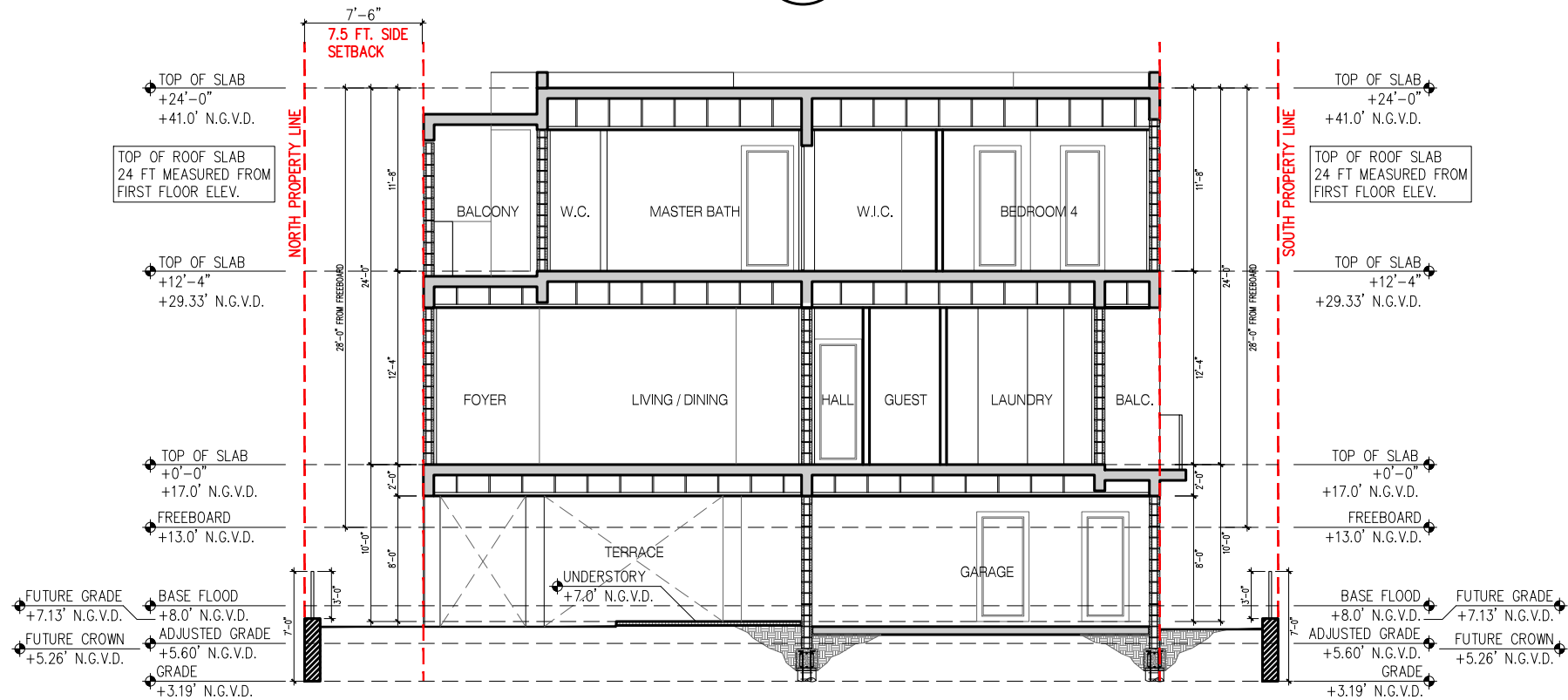
A-2.3

1 SECOND FLOOR PLAN

1/8"=1'-0"



1 SECTION
3/32"=1'-0"



2 SECTION
3/32"=1'-0"

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jsanchez@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

SECTION

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-4.1

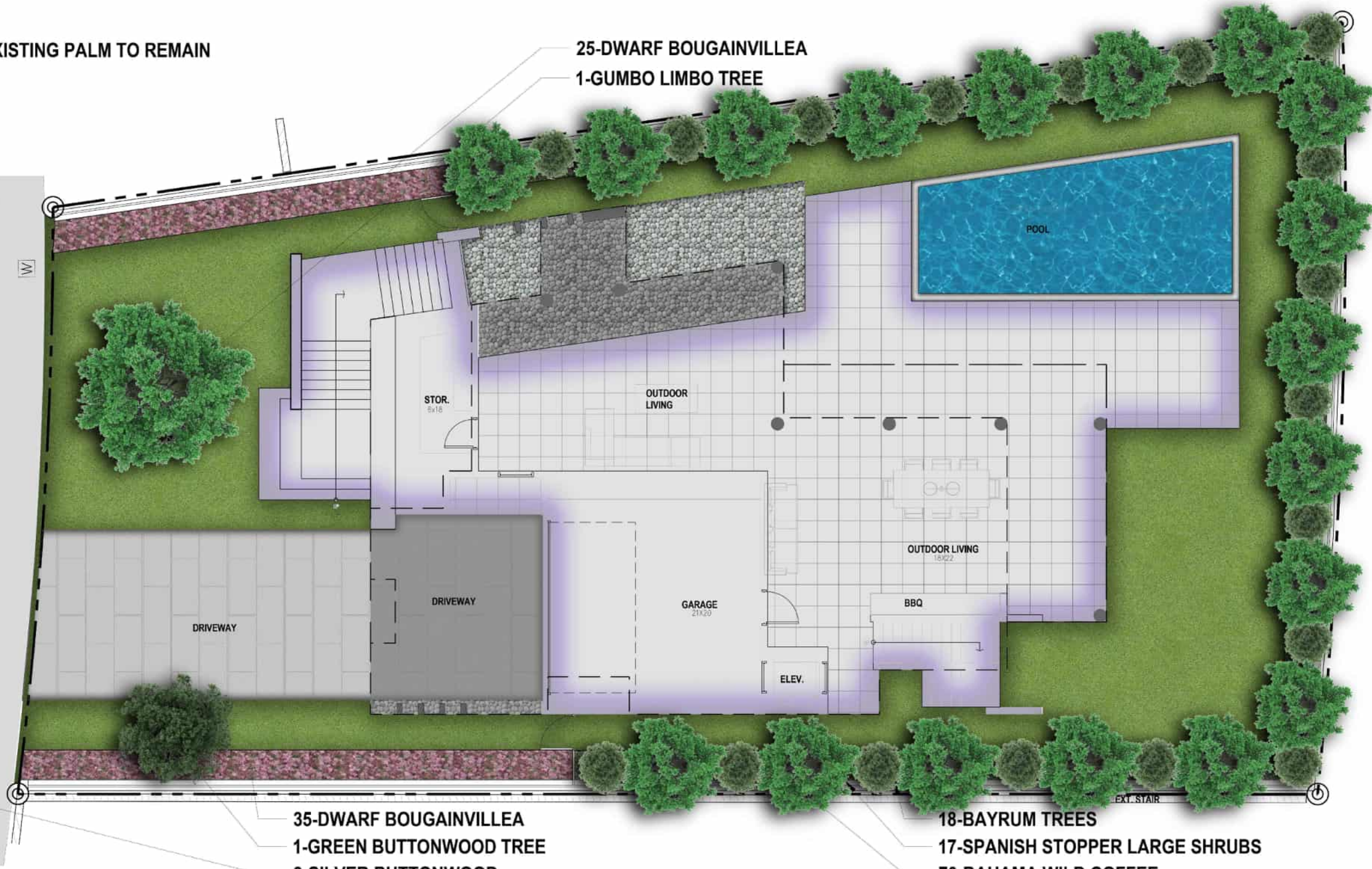
NORTH BAY ROAD

EXISTING PALM TO REMAIN

25-DWARF BOUGAINVILLEA
1-GUMBO LIMBO TREE

35-DWARF BOUGAINVILLEA
1-GREEN BUTTONWOOD TREE
3-SILVER BUTTONWOOD
STREET TREES

18-BAYRUM TREES
17-SPANISH STOPPER LARGE SHRUBS
70-BAHAMA WILD COFFEE



PROJECT TITLE:
2075 N BAY ROAD TREE PROTECTION PLAN

PROJECT ADDRESS:
2075 N Bay Rd, Miami Beach, FL 33140

REV	DATE	DESCRIPTION



PROJECT NO: 05_23
PHASE: CONSTRUCTION
DATE: 06/01/2023
DRAWN: M.V.
CHECKED: P.S.

SHEET TITLE:
**SITE
RENDERING**

SHEET NO.
L.04

NORTH BAY ROAD RESIDENCE

2075 NORTH BAY ROAD. MIAMI BEACH, FLORIDA. 33140

NEW TWO-STORY RESIDENCE WITH UNDERSTORY



FINAL SUBMITTAL

DRB23-0938 / 07.10.2023

ARCHITECTURAL PRESENTATION

- A-0.0 |

COVER SHEET / INDEX OF DRAWINGS
- A-0.1 |

NEIGHBORHOOD AERIAL VIEWS
- A-0.2 |

SURROUNDING PROPERTIES
- A-0.3 |

SURROUNDING PROPERTIES
- A-0.4 |

3D VIEW - FRONT & MATERIALS
- A-0.5 |

3D VIEW - REAR & MATERIALS
- A-0.6 |

3D PERSPECTIVE VIEWS
- A-0.7 |

CONTEXTUAL ELEVATIONS
- A-0.8 |

SURVEY
- A-0.9 |

DEMOLITION PLAN

ARCHITECTURAL PLANS

- A-1.0 |

ZONING DATA
- A-1.1 |

SITE PLAN
- A-1.2 |

YARD SECTIONS
- A-1.3 |

YARD SECTIONS
- A-1.4 |

DIAGRAM - LOT COVERAGE / AXONOMETRIC
- A-1.5 |

DIAGRAM - UNIT SIZE
- A-1.6 |

DIAGRAM - OPEN SPACE
- A-2.1 |

UNDERSTORY PLAN
- A-2.2 |

FIRST FLOOR PLAN
- A-2.3 |

SECOND FLOOR PLAN
- A-2.4 |

ROOF PLAN
- A-3.1 |

WEST ELEVATION (FRONT)
- A-3.2 |

NORTH ELEVATION (SIDE)
- A-3.3 |

SOUTH ELEVATION (SIDE)
- A-3.4 |

EAST ELEVATION (REAR)
- A-4.1 |

SECTIONS

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

JOSE L. SANCHEZ

AR 10000

REGISTERED ARCHITECT

Jose L

Sanchez

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, c=US
email=jlsanchez@praxisarch.com
Date: 2023.07.10 16:07:25 -0400

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

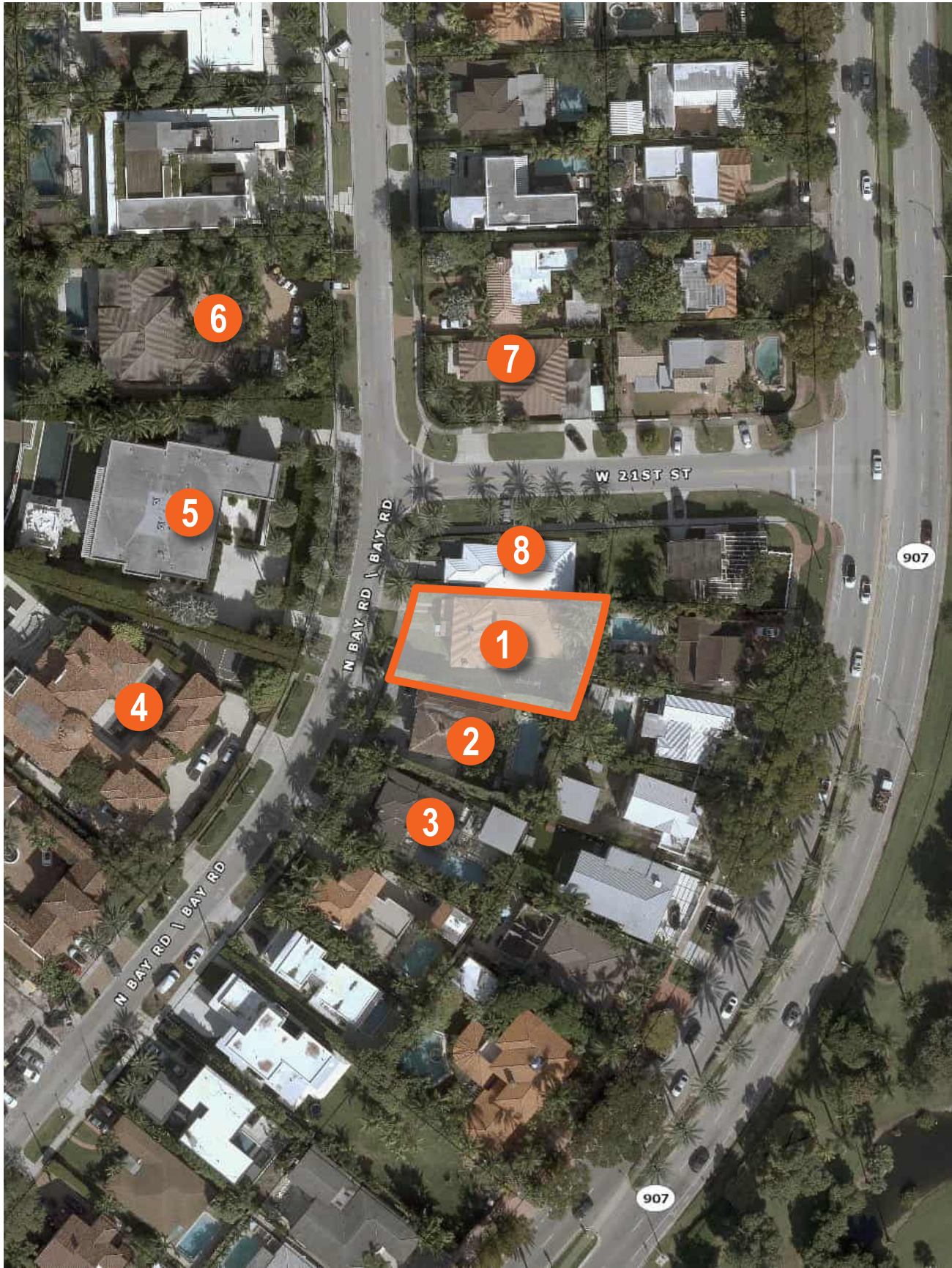
COVER SHEET / INDEX OF DRAWINGS

SCALE: AS SHOWN

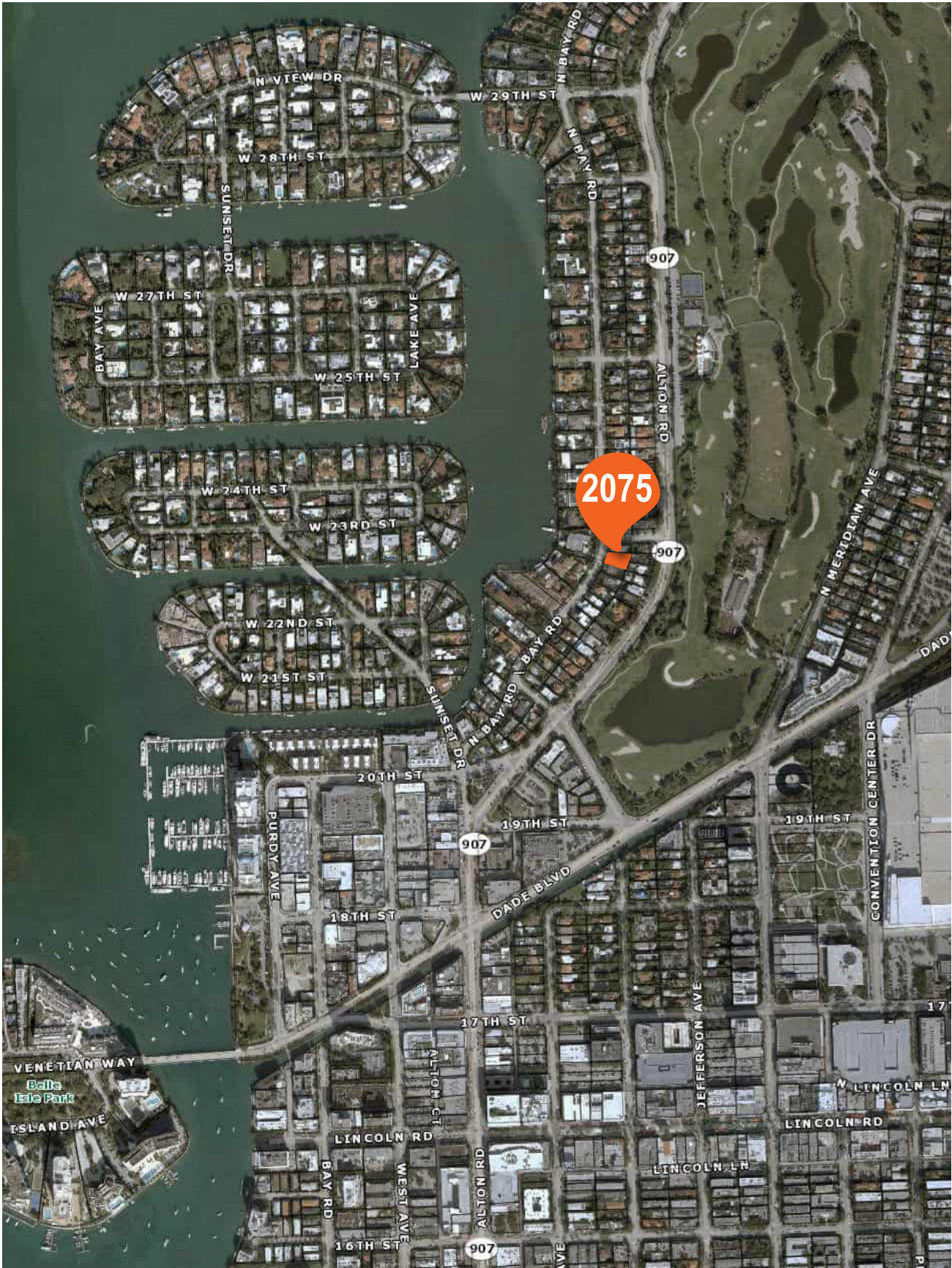
DATE: 07-10-2023

SHEET NUMBER

A-0.0



NEIGHBORHOOD AERIAL VIEW



AERIAL LOCATION MAP





1 2075 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



2 2065 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



3 2061 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



4 2060 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE





5 2068 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



6 2108 NORTH BAY ROAD
EXISTING TWO-STORY RESIDENCE



7 2101 NORTH BAY ROAD
EXISTING ONE-STORY RESIDENCE



8 1220 W 21ST ST
EXISTING ONE-STORY RESIDENCE

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE
SURROUNDING PROPERTIES

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-0.3

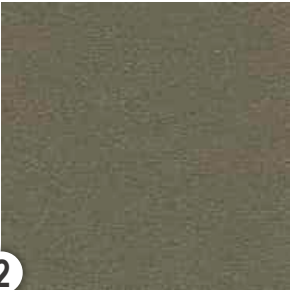


3D VIEW - FRONT

MATERIAL BOARD



PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



WOOD SIDING
(VERTICAL)



CLEAR GLASS W/
BRONZE FRAMES

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837

STATE OF FLORIDA

Professional Seal

AR 10000

REGISTERED ARCHITECT

Jose L Sanchez

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=Praxis Architecture, Inc., email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 16:07:29 -0400

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

3D VIEW & MATERIALS

SCALE: AS SHOWN

DATE: 07-10-2023

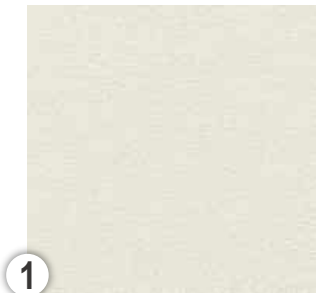
SHEET NUMBER

A-0.4

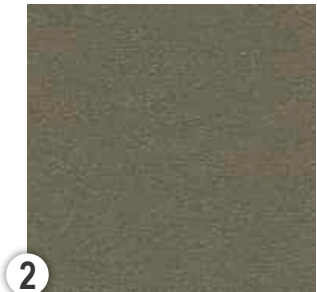


3D VIEW - REAR

MATERIAL BOARD



PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



WOOD SIDING
(VERTICAL)



CLEAR GLASS W/
BRONZE FRAMES

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

JOSE L. SANCHEZ

REGISTERED ARCHITECT

AR 10866

Jose L Sanchez

Digitally signed by Jose L. Sanchez

DN: cn=Jose L. Sanchez, o=Praxis Architecture, Inc., email=jlsanchez@praxisarch.com, c=US

Created: 2023.10.10 10:07:28 -0400

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

3D VIEW & MATERIALS

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.5



PERSPECTIVE VIEW - FRONT 1



PERSPECTIVE VIEW - FRONT 2



PERSPECTIVE VIEW - REAR 1



PERSPECTIVE VIEW - REAR 2

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

JOSE L. SANCHEZ

AR 10000

REGISTERED ARCHITECT

Jose L Sanchez

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=Praxis Architecture, Inc., email=jlsanchez@praxisarch.com, c=US
Date: 2023.10.10 10:07:25 -0400

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

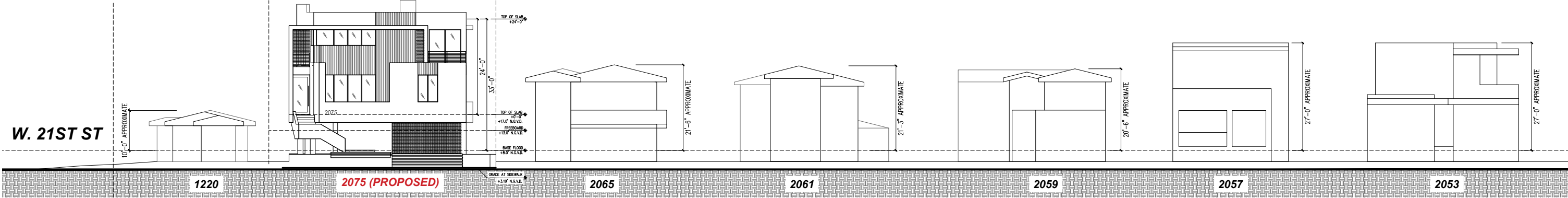
PERSPECTIVE VIEWS

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.6



NORTH BAY ROAD (EAST VIEW)

1

CONTEXTUAL ELEVATIONS

N.T.S.

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837

STATE OF FLORIDA

REGISTERED ARCHITECT

AR 10000

Jose L Sanchez

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, c=US,
email=joseluis@praxisarch.com,
serial=2023.07.10.10:07:20.449000

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

CONTEXTUAL ELEVATIONS

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-0.7

JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX : (305) 262-0401

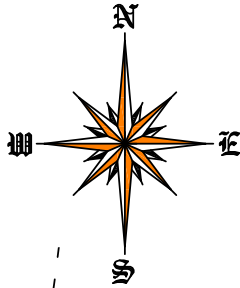
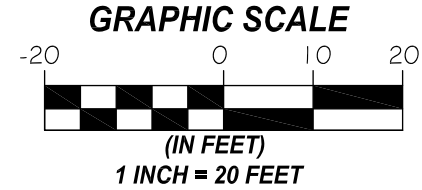
3725 DEL PRADO BLVD. S.
SUITE B
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664

ABBREVIATIONS AND MEANINGS

- A = ARC
AC = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
AR = ALUMINUM ROOF
AS = ALUMINUM SHED
ASPH = ASPHALT
B.C. = BLOCK CORNER
B.C.R. = BROWARD COUNTY RECORDS
BLDG. = BUILDING
B.M. = BENCH MARK
B.O.B. = BASIS OF BEARINGS
B.S.L. = BUILDING SETBACK LINE
C = CALIBRATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
CBW = CONCRETE BLOCK WALL
CH. = CHORD
CH.B. = CHORD BEARING
CL = CLEAR
C.L.P. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENTS
CONC. = CONCRETE
C.P. = CONC. PORCH
C.S. = CONCRETE SLAB
C.U.P. = CONC. UTILITY POLE
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
DRIVE = DRIVEWAY
° = DEGREES
E = EAST
EB = ELECTRIC BOX
E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.M.D. = FOUND MAIL & DISK
FR = FRAME
FT = FEET
FNIP = FEDERAL NATIONAL INSURANCE
F.N. = FOUND NAIL
H = HIGH (HEIGHT)
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
I.N.E.G. = INGRESS AND EGRESS EASEMENT
L.B. = Certificate of Authorization L.B.#7806
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
M = MINUTES
M. = MEASURED DISTANCE
MB = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENTS
MON. = MONUMENT LINE
M.M. = MANHOLE
M.L. = MONUMENT LINE
N.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N. = NORTH
N.T.S. = NOT TO SCALE
#NO. = NUMBER
O.S. = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
OVH = OVERHANG
P.V.M.T. = PAVEMENT
P.L. = PLASTER
P.L. = PROPERTY LINE
P.C.C. = POINT OF COMPOUND CURVE
P.C. = POINT OF CURVE
P.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVE
P.B. = PLAT BOOK
P.G. = PAGE
P.W.Y. = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
R. = RECORDED DISTANCE
RR = RAIL ROAD
RES. = RESIDENCE
PROP. COR. = PROPERTY CORNER
R.W. = RIGHT-OF-WAY
R.P. = RADIUS POINT
RGE = RANGE
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.I.P. = SET IRON PIPE L.B.#7806
S.P. = SCREENED PORCH
S. = SOUTH
S. = SECONDS
T = TANGENT
TB = TELEPHONE BOOTH
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP = TOWNSHIP
UTIL. = UTILITY
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.R. = WOOD ROOF
W.M. = WATER METER
W.F. = WOOD FENCE
W.R. = WOOD ROOF
W.S. = WOOD SHED
W. = WEST
C = CENTER LINE
A = CENTRAL ANGLE
X = ANGLE
- LEGEND**
- OH— = OVERHEAD UTILITY LINES
—X—X—X— = CONCRETE BLOCK WALL
—X—X—X— = CHAIN LINK FENCE
—O—O—O— = IRON FENCE
—//—//—//— = WOOD FENCE
—//—//—//— = BUILDING SETBACK LINE
—//—//—//— = UTILITY EASEMENT
—//—//—//— = LIMITED ACCESS R/W
—//—//—//— = NON-VEHICULAR ACCESS R/W
—//—//—//— = EXISTING ELEVATIONS
x 0.00

MAP OF TOPOGRAPHIC SURVEY

2075 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140



LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 8 FT
COMMUNITY: 120651
PANEL: 0317
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI DADE COUNTY BENCH MARK NAME: D-182. LOCATOR NO. 4325 W @ MERIDIAN AVENUE & W 23RD STREET; ELEVATION IS 3.42 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "TOPOGRAPHIC SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: **JOHN IBARRA** (DATE OF FIELD WORK) **02/24/2023**

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: _____
REVISED ON: _____

DRAWN BY:	CARLOS D.
FIELD DATE:	02/24/2023
SURVEY NO:	23-000341-1
SHEET:	1 OF 1

LEGAL DESCRIPTION:

LOT 19 AND ALL OF LOT 20 IN BLOCK 16 OF AMENDED PLAY OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OD MIAMI-DADE COUNTY, FLORIDA; EXCEPT THAT PORTION OF LOT 20 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 20, IN BLOCK 16 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OD MIAMI-DADE COUNTY , FLORIDA; THENCE NORTHERLY ALONG THE WEST BOUNDARY LINE OF SAID LOT 20, A DISTANCE OF 18.4 FEET; THENCE EASTERLY TO A POINT ON THE EAST BOUNDARY LINE OF SAID LOT 20 (WHICH SAID POINT IS 24.2 FEET NORTHERLY FROM THE SOUTHEAST CORNER OF SAID LOT 20, AS MEASURED ALONG THE EAST BOUNDARY LINE OF SAID LOT 20); THENCE SOUTHERLY ALONG EAST BOUNDARY LINE A DISTANCE OF 24.2 FEET TO THE SOUTHEAST CORNER OF SAID LOT 20; THENCE WESTERLY ALONG THE SOUTH BOUNDARY LINE OF SAID LOT 20 TO A POINT OF BEGINNING.

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L Sanchez

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

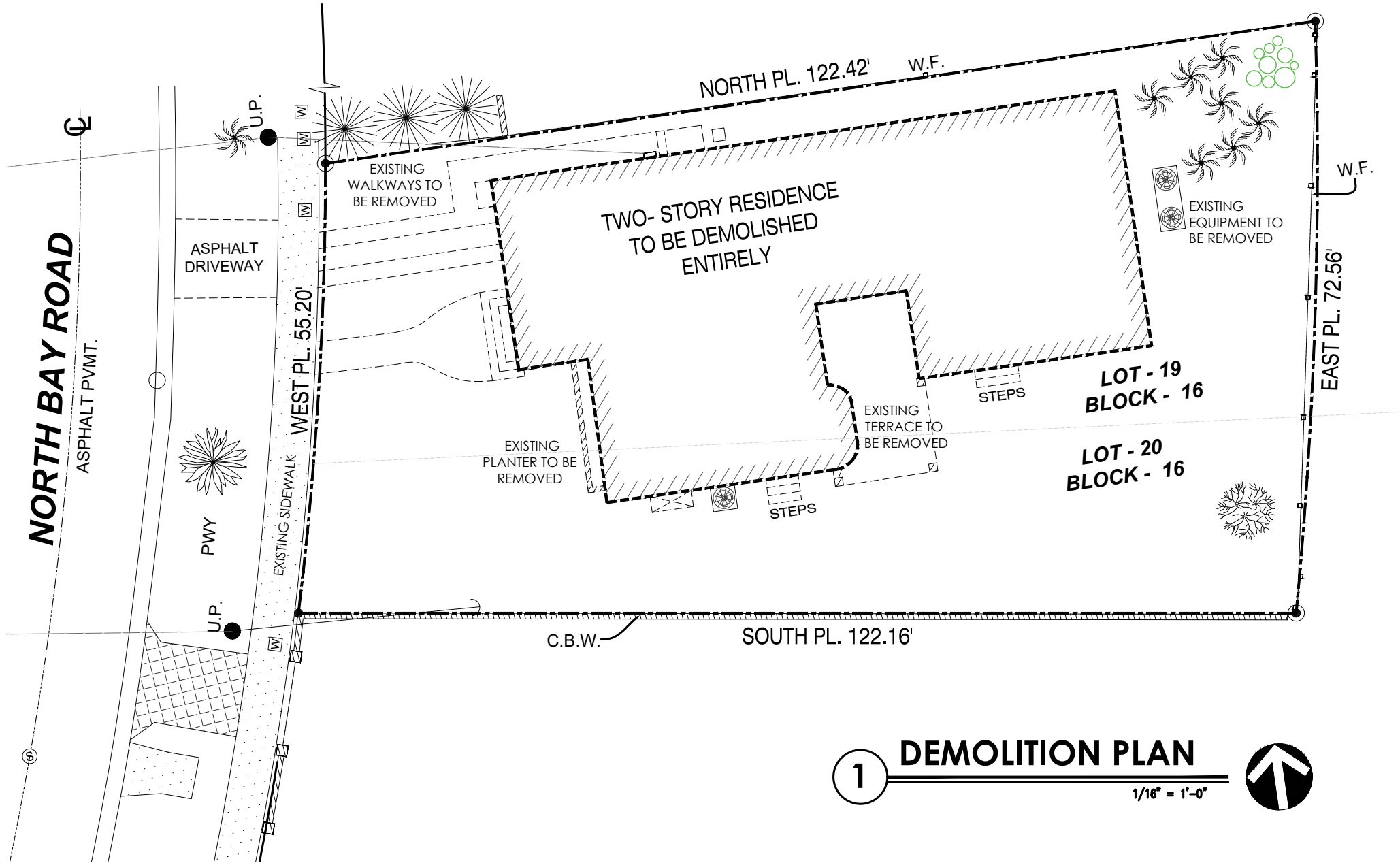
DRAWING TITLE

SURVEY

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-0.8



1 DEMOLITION PLAN
1/16" = 1'-0"

SCOPE OF WORK

- SCOPE OF DEMOLITION ENTAILS ENTIRE BUILDING.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN..

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

praxis.
architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837

STATE OF FLORIDA
REGISTERED ARCHITECT
AR 10966

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, c=US
email=jose.l.sanchez@praxisarch.com,
serialNumber=1.2.840.113549.1.41995

Jose L
Sanchez

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

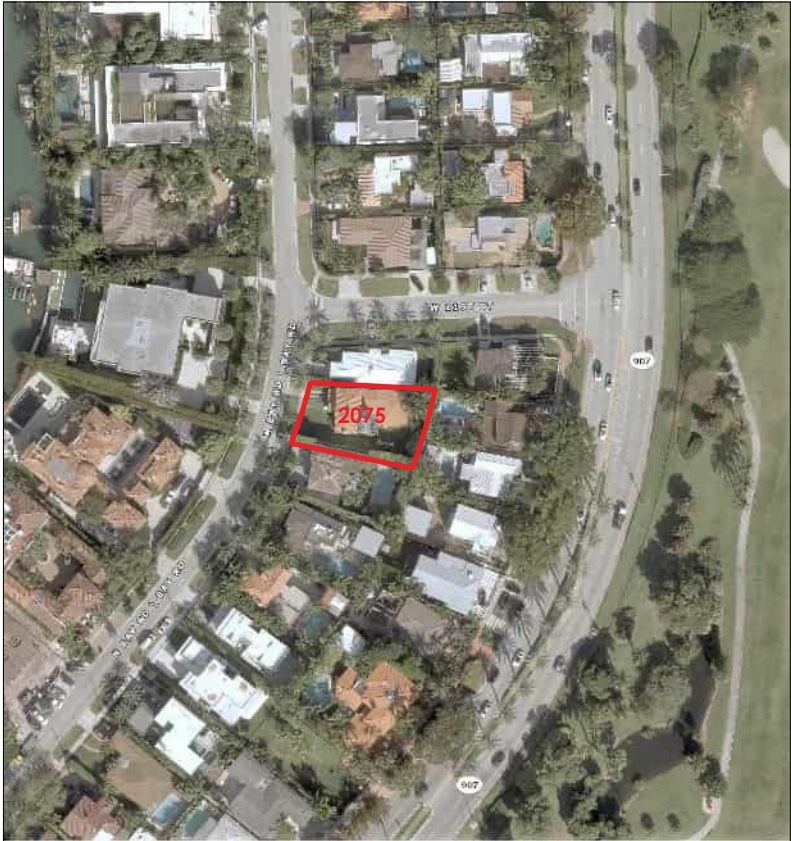
DEMOLITION
PLAN

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-0.9

COPYRIGHT © 2023. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTIONS OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE WITH UNDERSTORY, REPLACING EXISTING BUILDING.

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020, 7TH EDITION – RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS–4)

LEGAL DESCRIPTION

LOT 19 AND ALL OF LOT 20 IN BLOCK 16 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; EXCEPT THAT PORTION OF LOT 20 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 20, IN BLOCK 16 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTHERLY ALONG THE WEST BOUNDARY LINE OF SAID LOT 20, A DISTANCE OF 18.4 FEET; THENCE EASTERLY TO A POINT ON THE EAST BOUNDARY LINE OF SAID LOT 20 (WHICH SAID POINT IS 24.2 FEET NORTHERLY FROM THE SOUTHEAST CORNER OF SAID LOT 20, AS MEASURED ALONG THE EAST BOUNDARY LINE OF SAID LOT 20); THENCE SOUTHERLY ALONG EAST BOUNDARY LINE A DISTANCE OF 24.2 FEET TO THE SOUTHEAST CORNER OF SAID LOT 20; THENCE WESTERLY ALONG THE SOUTH BOUNDARY LINE OF SAID LOT 20 TO A POINT OF BEGINNING.

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION					
1	ADDRESS:	2075 NORTH BAY ROAD. MIAMI BEACH. 33140				
2	FOLIO NUMBER(S):	02-3227-008-1570				
3	BOARD AND FILE NUMBERS:					
4	YEAR BUILT:	1940	ZONING DISTRICT:		RS-4	
5	BASED FLOOD ELEVATION:	+8.0' NGVD	GRADE VALUE IN N.G.V.D:		+3.19' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+5.60' NGVD	FREE BOARD:		+13.0' NGVD (+5')	
7	LOT AREA:	7,760 S.F.				
8	LOT WIDTH:	55'-2"	LOT DEPTH:		122'-2"	
9	MAX. LOT COVERAGE SF AND %:	2,328 SF (30%)	PROPOSED LOT COVERAGE SF AND %:		2,177 SF (28.05%)	
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:			
11	FRONT YARD OPEN SPACE SF AND %:	1,209 SF (70.25%)	REAR YARD OPEN SPACE SF AND %:		1,213 SF (85.30%)	
12	MAX. UNIT SIZE SF AND %:	3,880 SF (50%)	PROPOSED UNIT SIZE SF AND %:		3,880 SF (50%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR UNIT SIZE:		1,936 SF (24.95%)	
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):		N/A	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:		1,897 SF (24.45%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):		N/A	
16A			GROSS AREA:		6,426 SF	
			REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.			24'-0"	SEE ELEVATION SHEETS
18	SETBACKS:					
19	FRONT FIRST LEVEL:	30 FT.		N/A	30'-8"	
20	FRONT SECOND LEVEL:	30 FT.		N/A	37'-6"	
21	SIDE 1 - NORTH:	7'-6"			7'-6"	
22	SIDE 2 - SOUTH:	7'-6"			7'-6"	
23	REAR:	20'-0"			21'-1"	
24	ACCESSORY STRUCTURE SIDE 1:	N/A		N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A		N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A		N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?		NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?		NO			
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?		NO			

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis architecture, ou=praxis architecture, email=jose@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

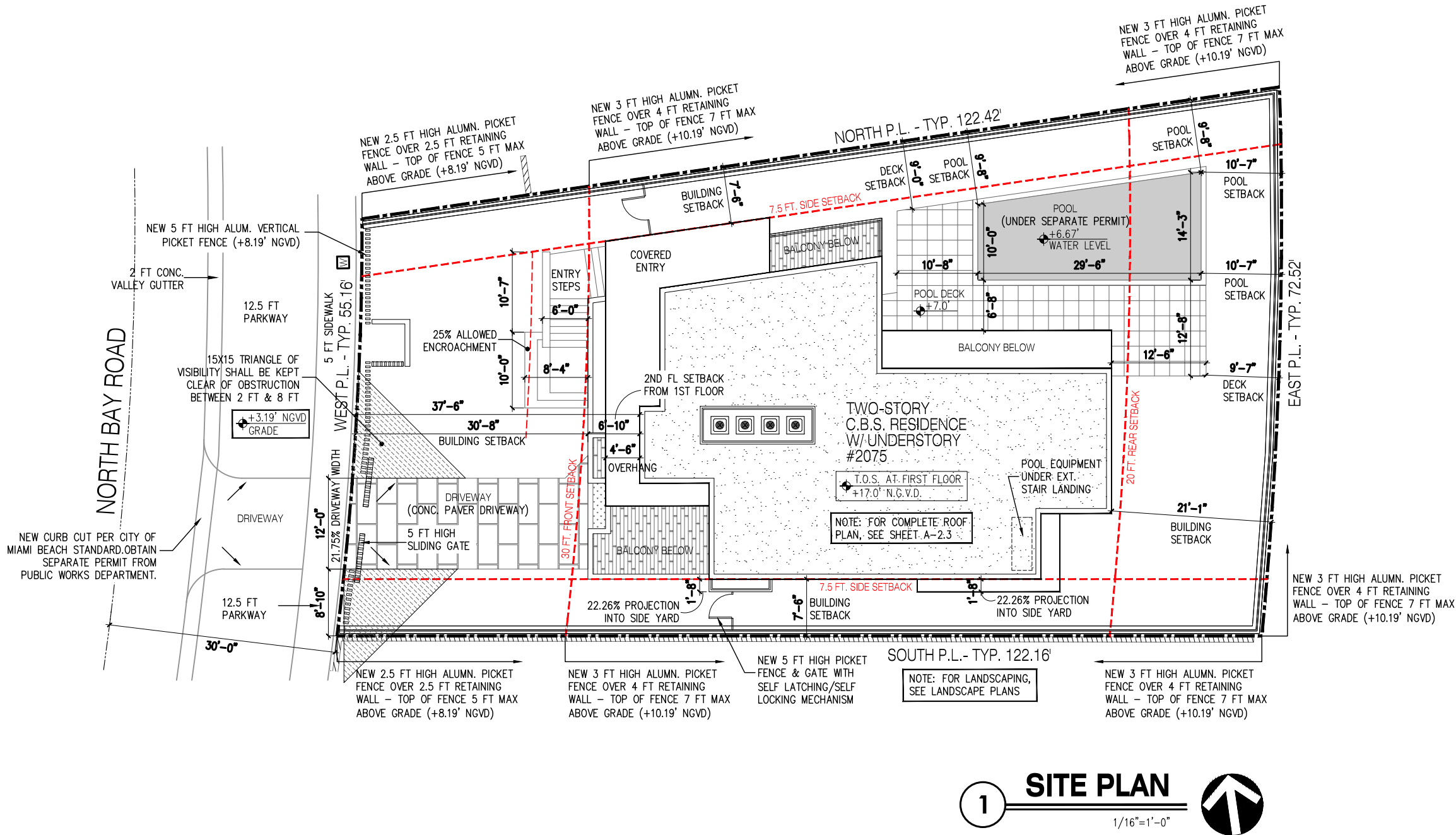
REVISION & DATE

DRAWING TITLE
ZONING DATA
/ LOCATION
PLAN

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-1.0



JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

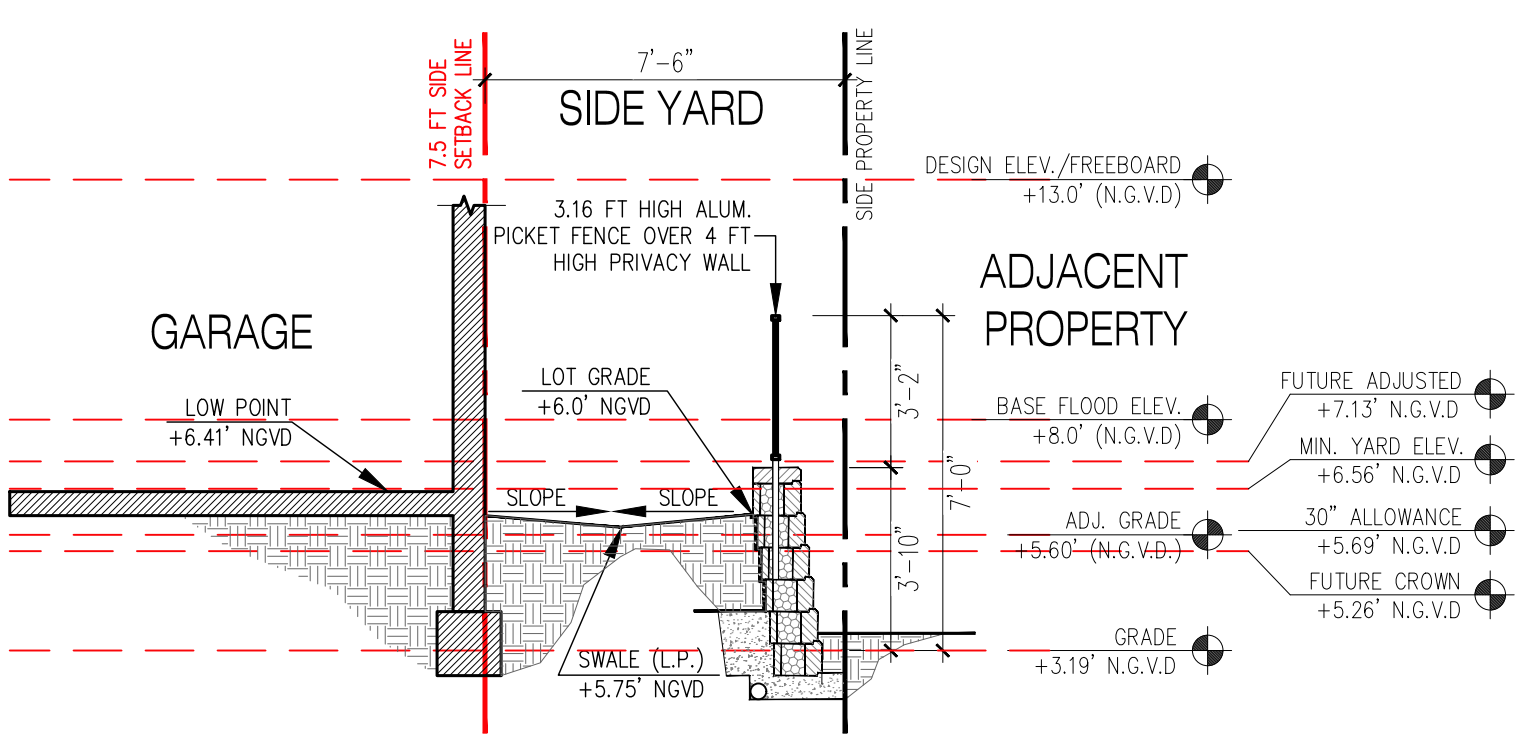
DRAWING TITLE

YARD SECTIONS

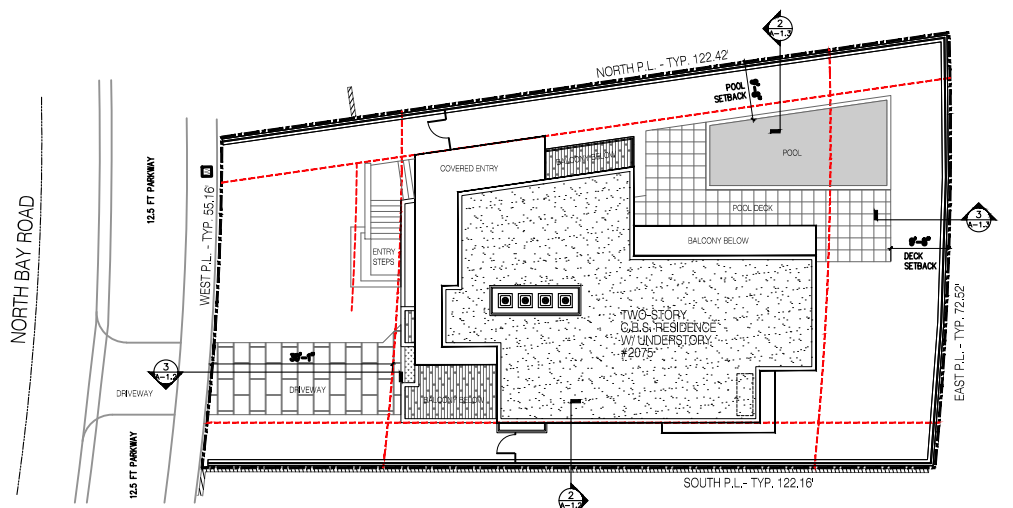
SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

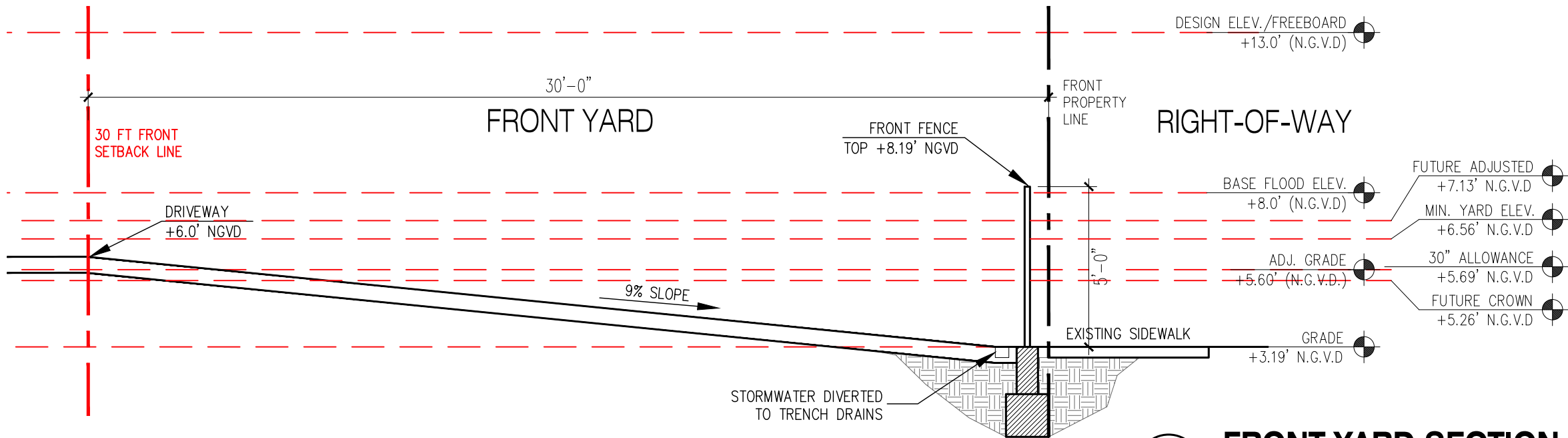
A-1.2



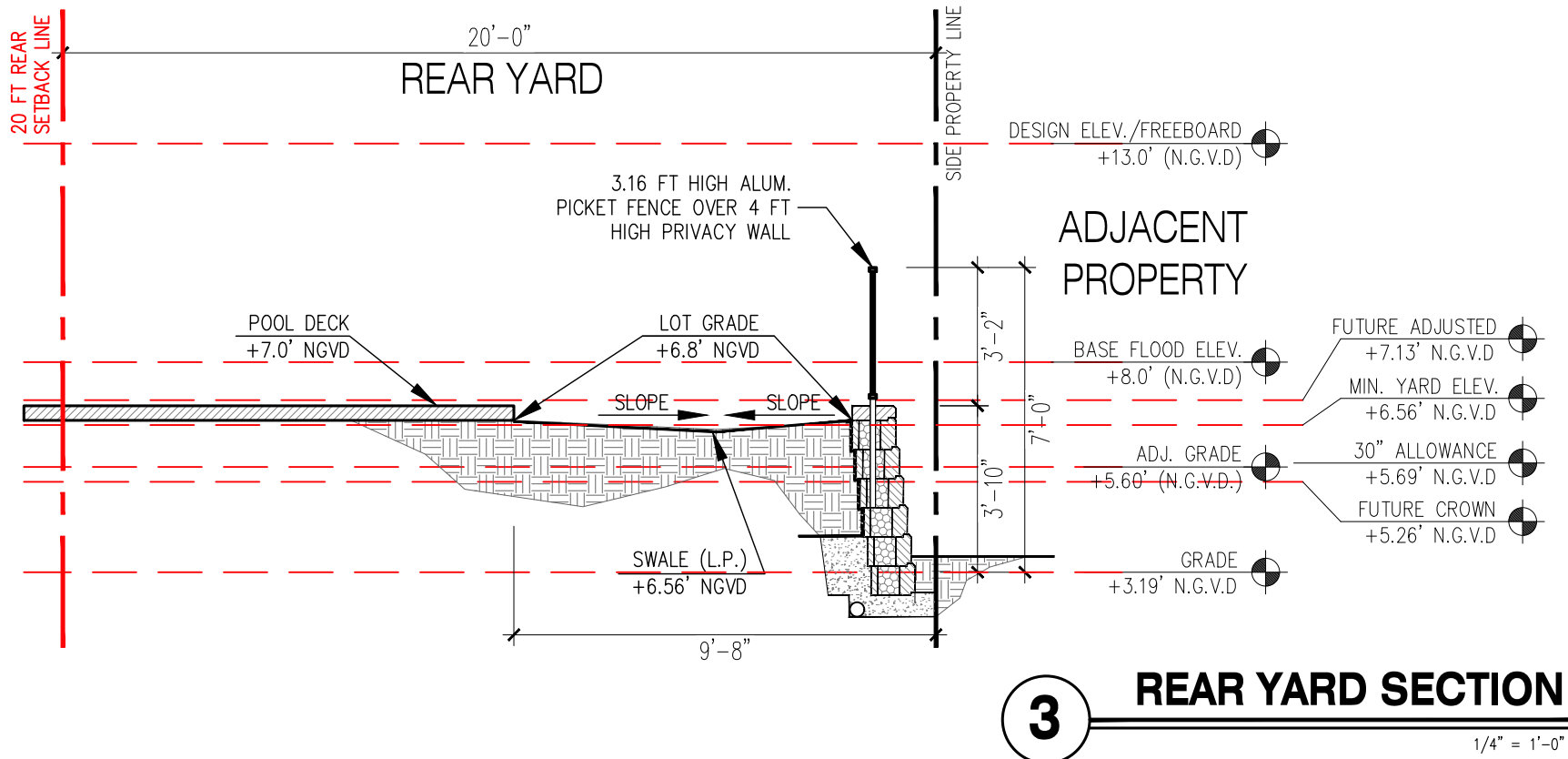
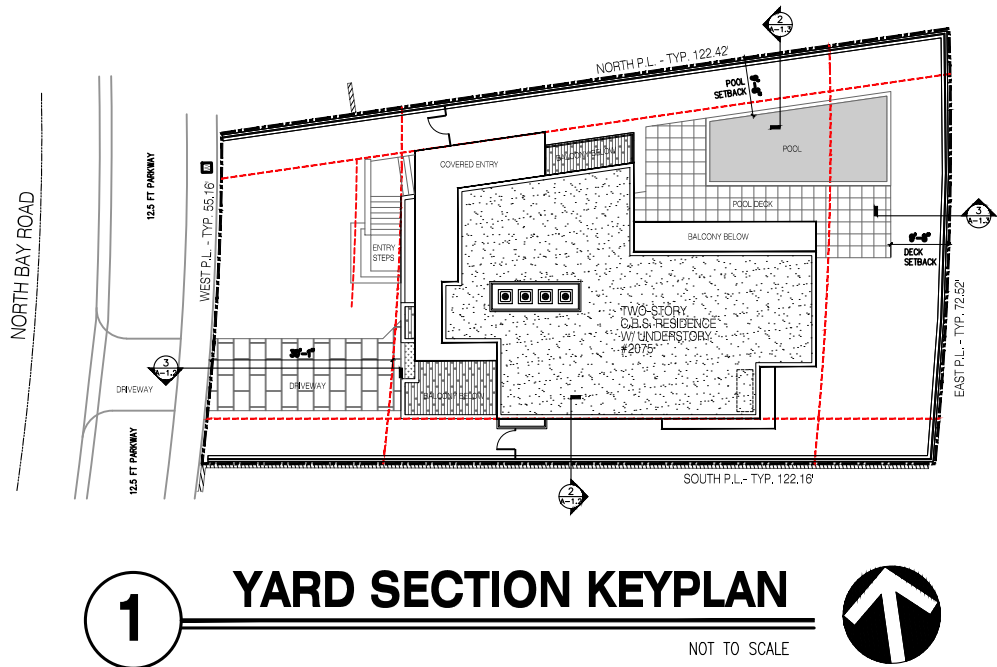
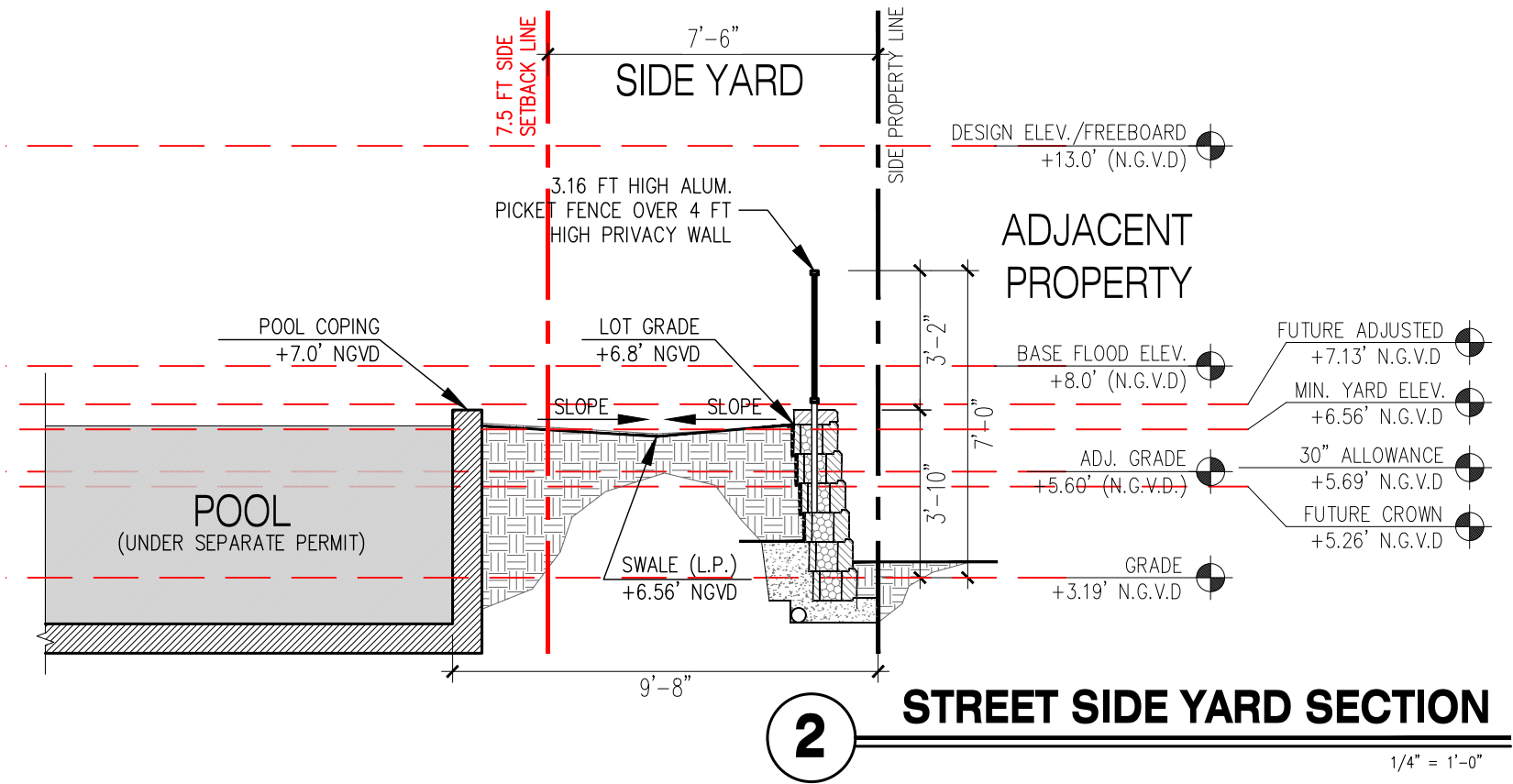
2 INTERIOR SIDE YARD SECTION
1/4" = 1'-0"



1 YARD SECTION KEYPLAN
NOT TO SCALE



3 FRONT YARD SECTION
1/4" = 1'-0"



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

YARD SECTIONS

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-1.3

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, ou=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 10:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

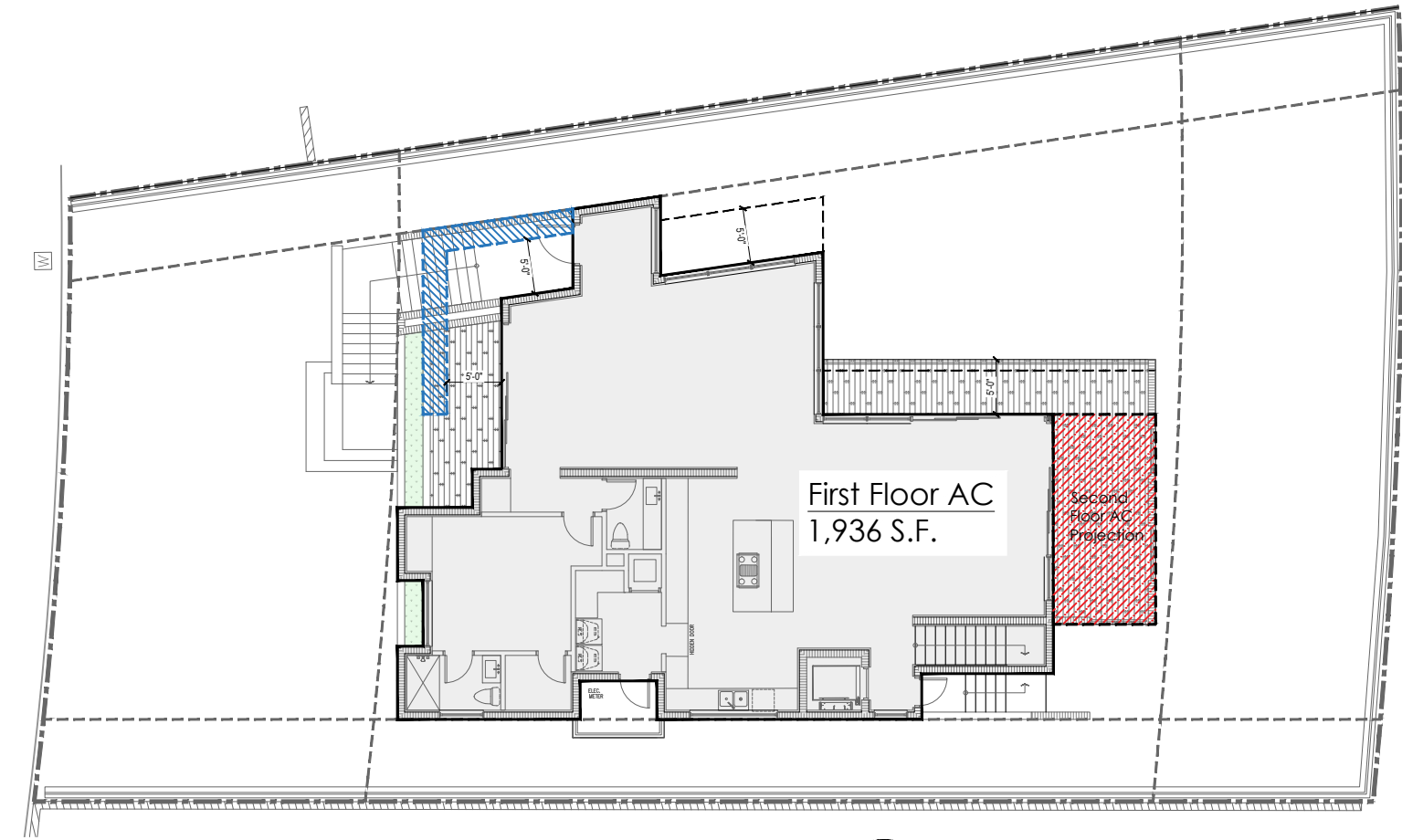
REVISION & DATE

DRAWING TITLE
**LOT
COVERAGE
DIAGRAM**

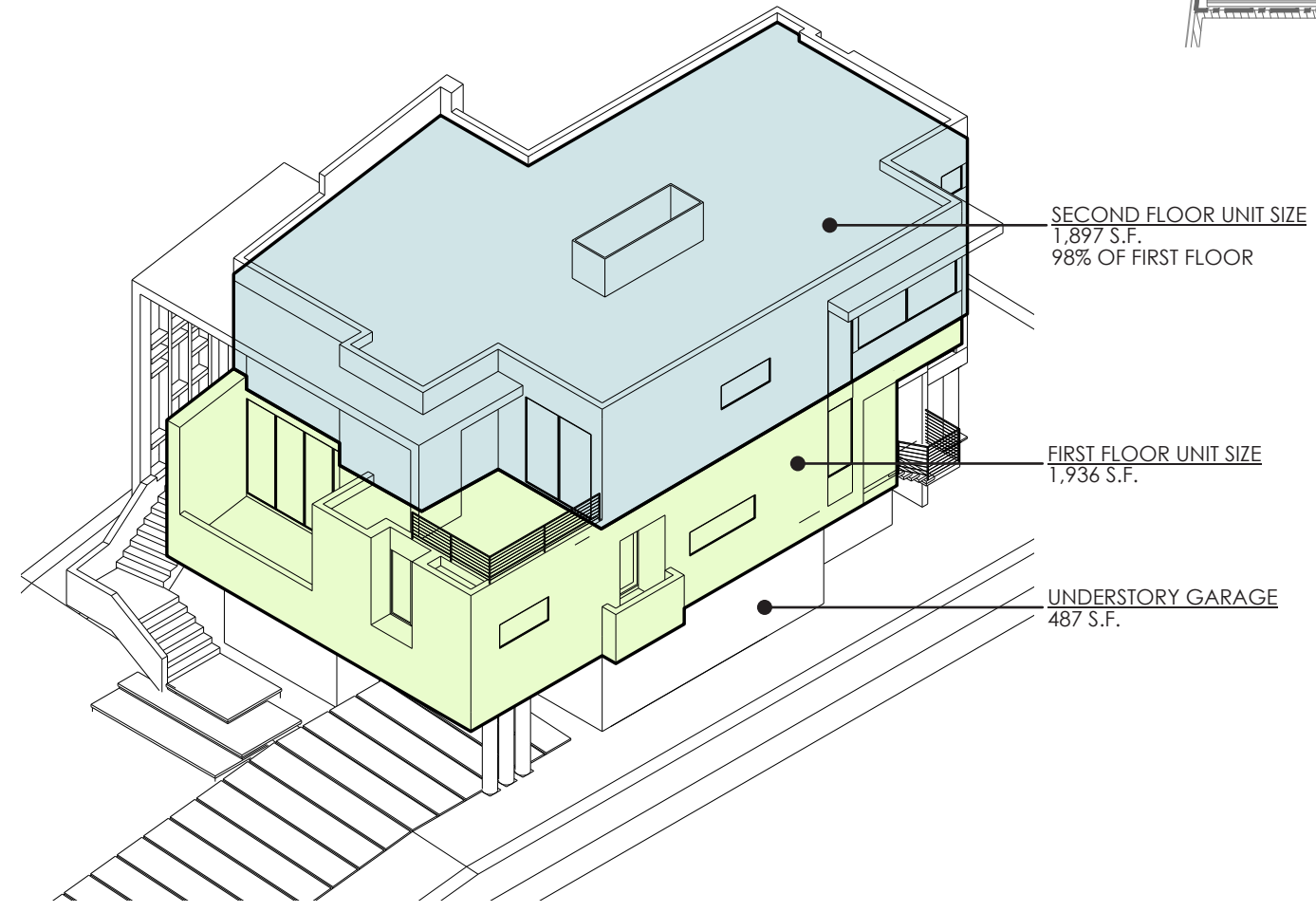
SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-1.4



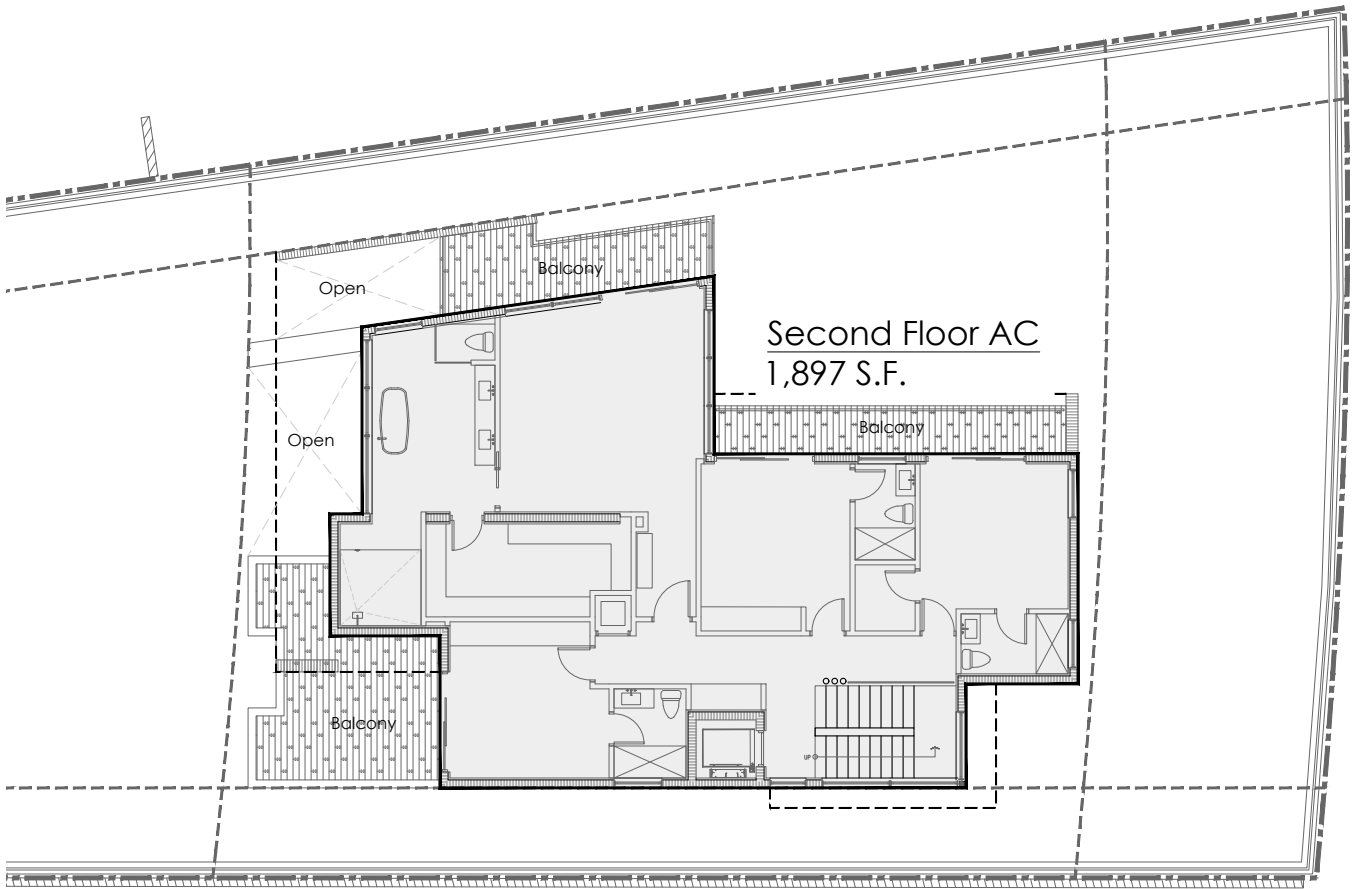
1 LOT COVERAGE
1/16" = 1'-0"



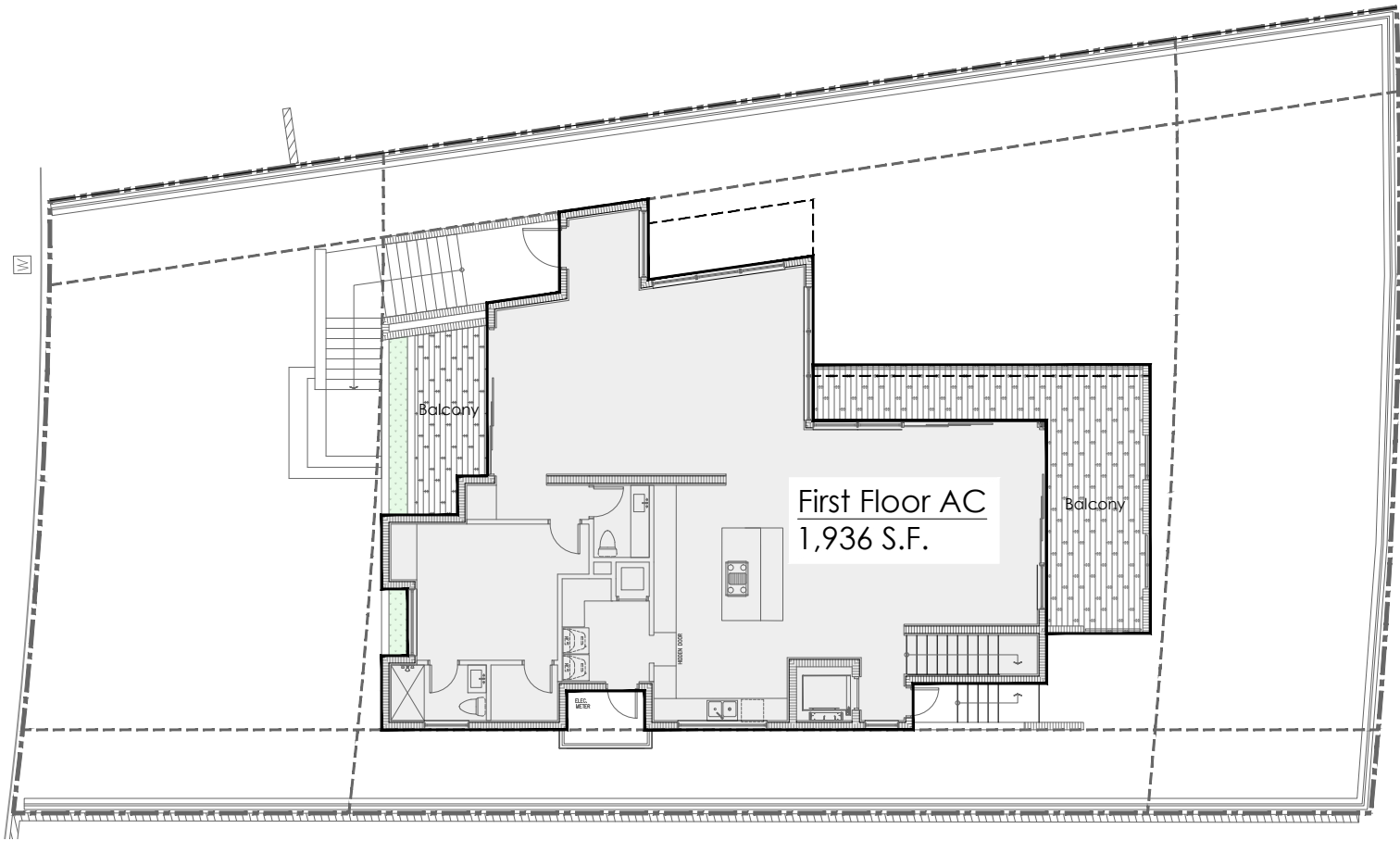
2 AXONOMETRIC

LOT COVERAGE CALCULATION	
LOT AREA	7,760 S.F.
MAX ALLOWED (30%)	2,328 S.F.
FIRST FL. AC	1,936 S.F.
SECOND FL. AC PROJECTION	179 S.F.
COVERED PROJECTIONS	62 S.F.
GARAGE (UNDER 500 S.F.)	0 S.F.
TOTAL COVERAGE	2,177 S.F.
	28.05%

- FIRST FL. AREA COUNTED COVERAGE
- SECOND FL. (AC) PROJECTION COUNTED IN COVERAGE
- COVERED AREA PROJECTING MORE THAN 5 FT FROM EXTERIOR WALL



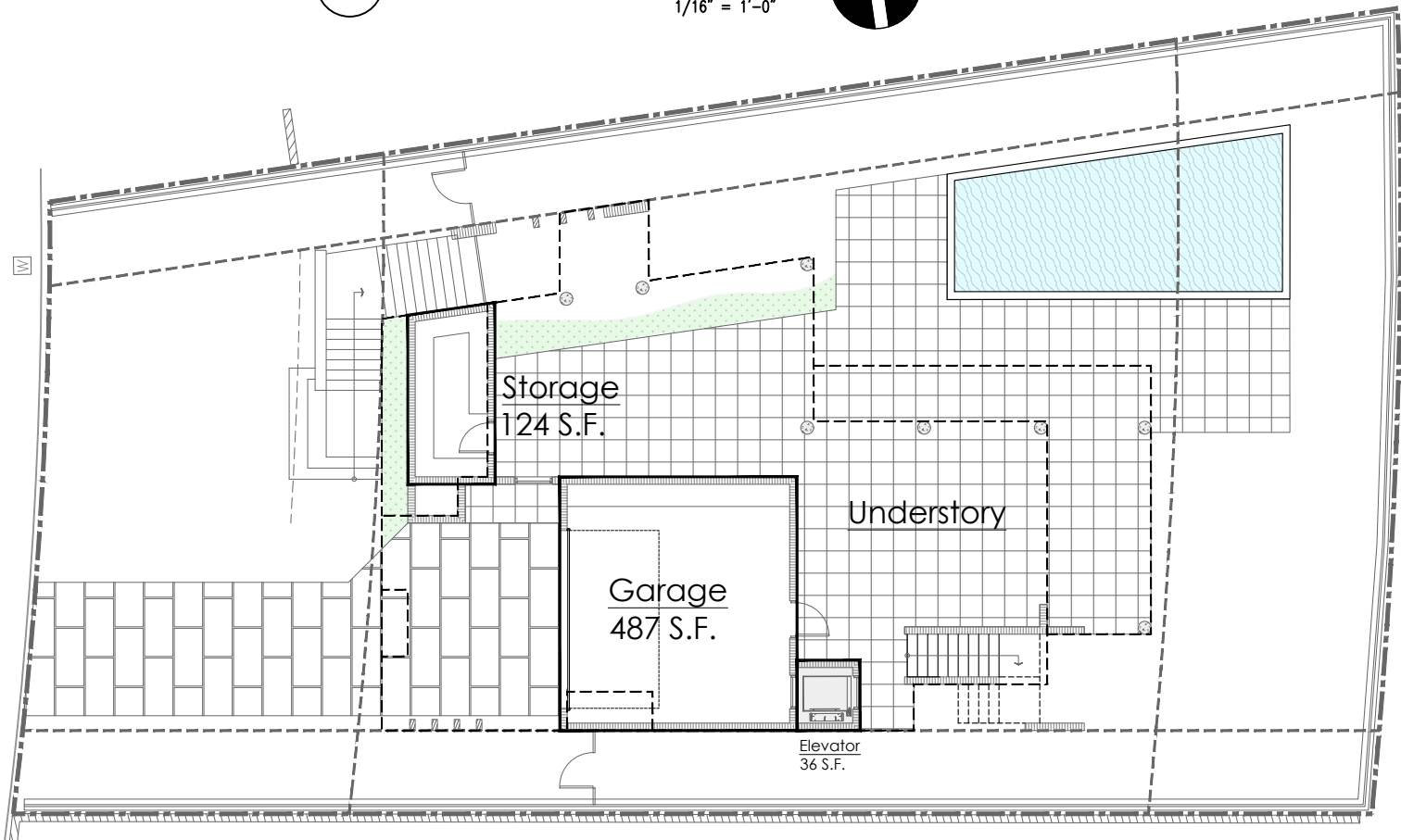
3 SECOND FLOOR UNIT SIZE
1/16" = 1'-0" 



2 FIRST FLOOR UNIT SIZE
1/16" = 1'-0" 

UNIT SIZE CALCULATION	
LOT AREA	7,760 S.F.
MAX ALLOWED (50%)	3,880 S.F.
UNDERSTORY ELEVATOR	36 S.F.
UNDERSTORY STORAGE	11 S.F.
FIRST FL. AC	1,936 S.F.
SECOND FL. AC	1,897 S.F.
TOTAL UNIT SIZE	3,880 S.F.
	50.00%

 AREA COUNTED IN UNIT SIZE



1 UNDERSTORY UNIT SIZE
1/16" = 1'-0" 



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 10:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

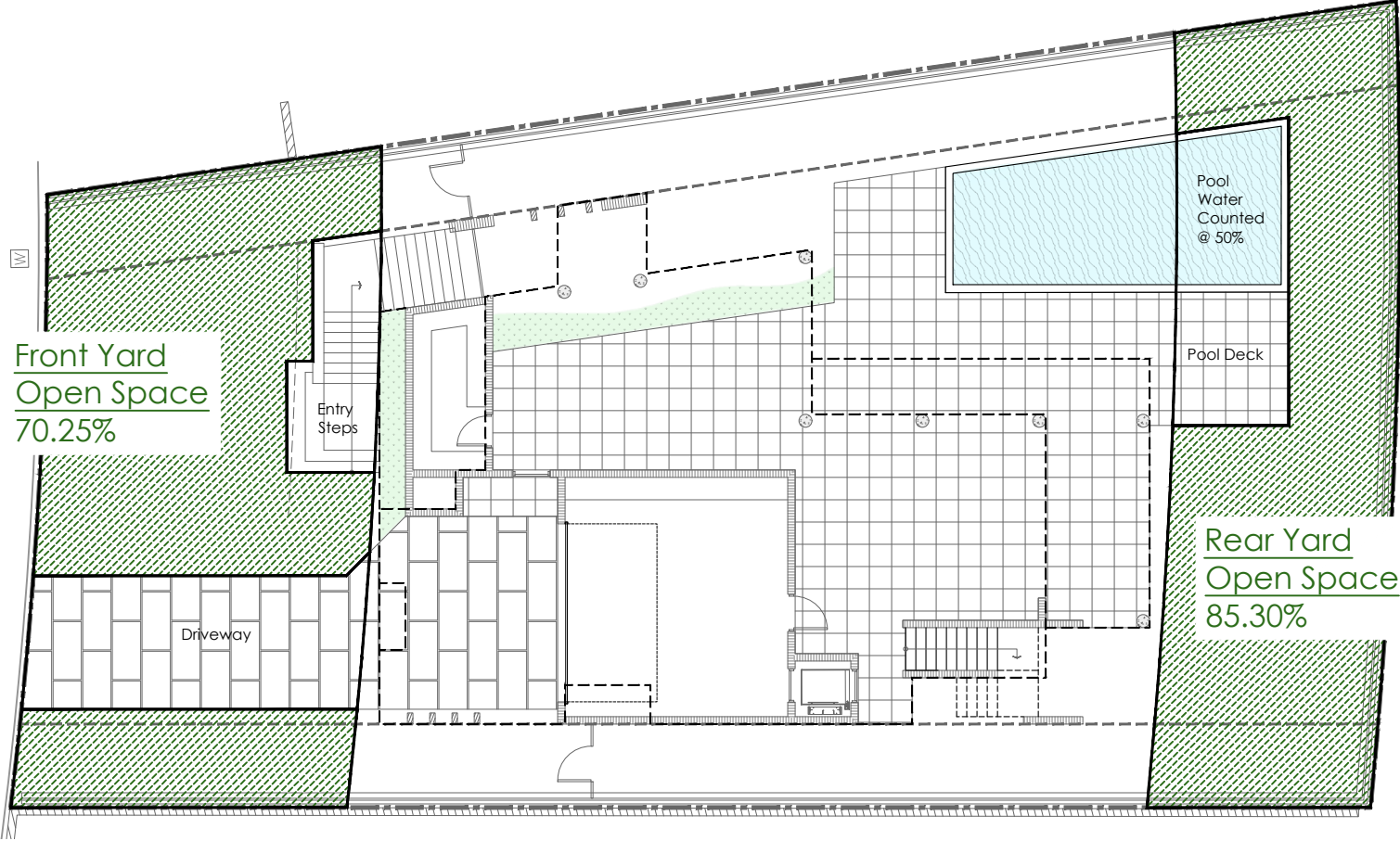
DRAWING TITLE

UNIT SIZE
DIAGRAM

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-1.5



1 FRONT/REAR YARD OPEN SPACE
1/16" = 1'-0"

FRONT YARD OPEN SPACE	
FRONT YARD AREA	1,721 S.F.
DRIVEWAY	- 363 S.F.
ENTRY STEPS	- 149 S.F.
MINIMUM OPEN SPACE (70%)	1,205 S.F.
OPEN SPACE PROVIDED	1,209 S.F.
	70.25%

 OPEN SPACE

REAR YARD OPEN SPACE	
REAR YARD AREA	1,422 S.F.
POOL DECK	- 145 S.F.
POOL (128 S.F. @ 50%)	- 64 S.F.
MINIMUM OPEN SPACE (70%)	995 S.F.
OPEN SPACE PROVIDED	1,213 S.F.
	85.30%

 OPEN SPACE

 POOL WATER COUNTED @ 50%

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837

Jose L. Sanchez
Architect

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 10:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

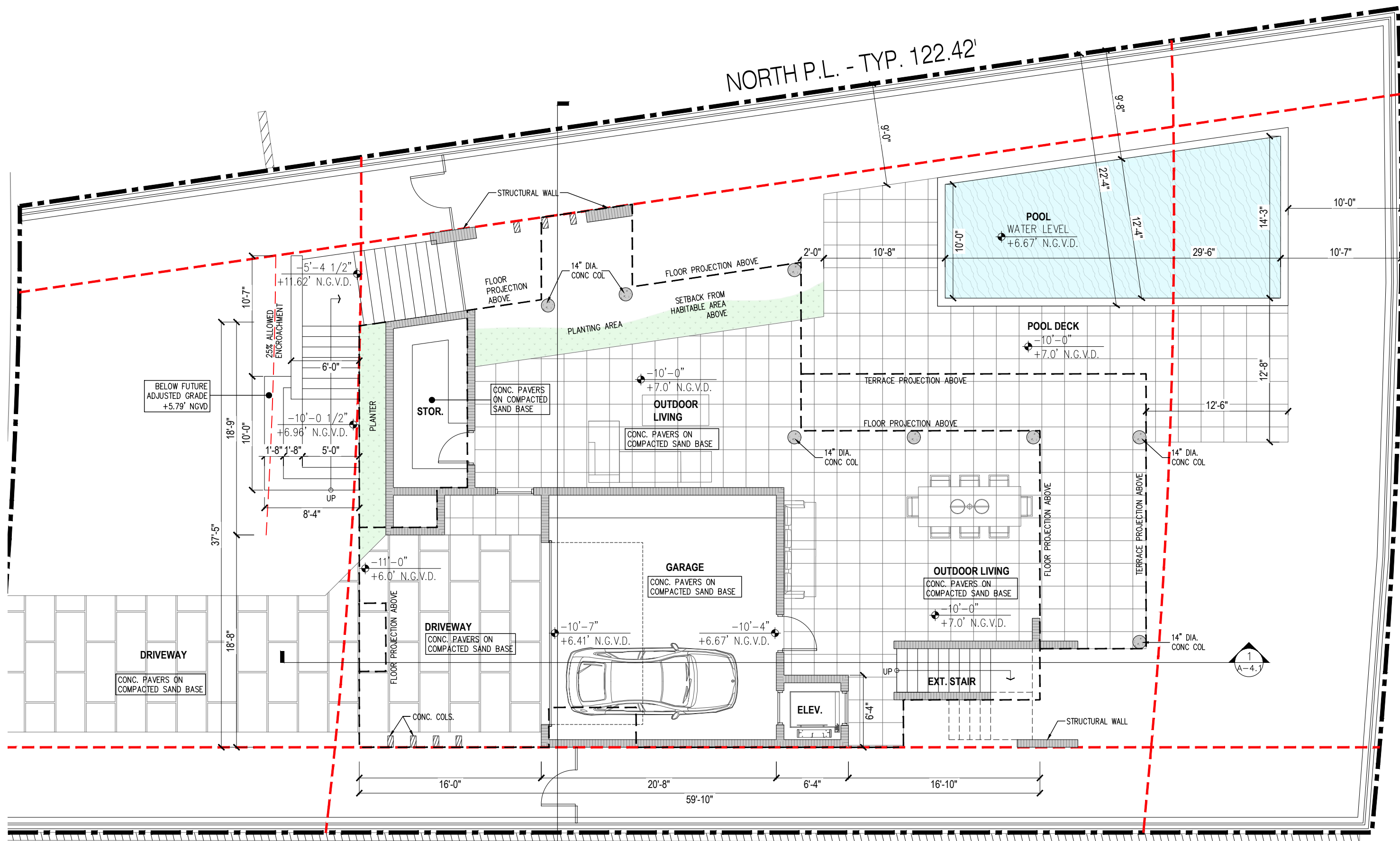
DRAWING TITLE

**OPEN SPACE
DIAGRAM**

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-1.6



praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

REGISTERED ARCHITECT

AR 10886

Jose L Sanchez

Digitally signed by Jose L Sanchez

DN: cn=Jose L Sanchez, o=praxisarch, ou=praxisarch, email=sanchez@praxisarch.com, serial=1023071010, c=US

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

UNDERSTORY PLAN

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

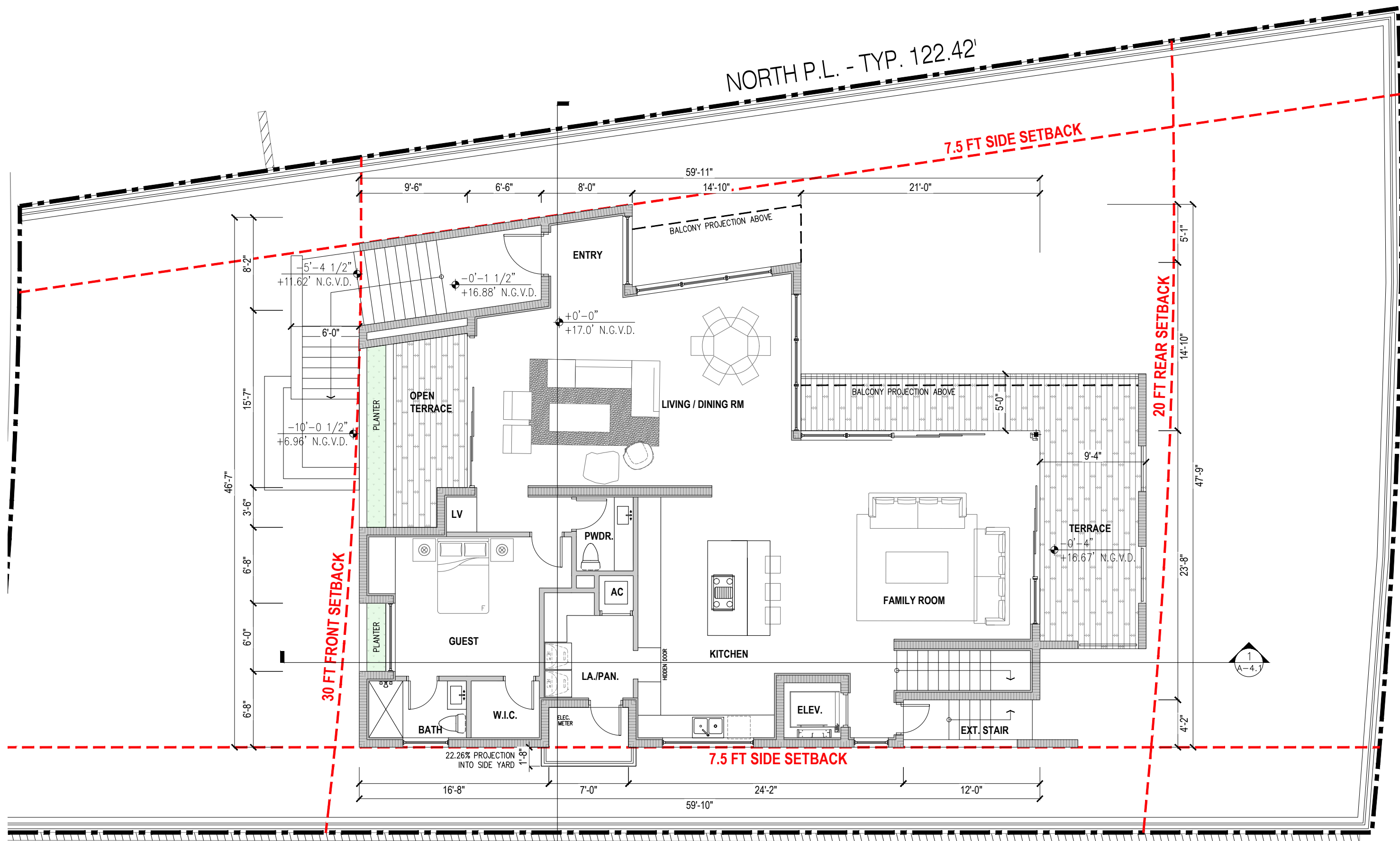
A-2.1

1

UNDERSTORY PLAN

1/8"=1'-0"

COPYRIGHT © 2023. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTIONS OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



SOUTH P.L.- TYP. 122.16'

1 FIRST FLOOR PLAN
1/8"=1'-0"

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL LIC: AR 0016966
FL LIC: AA 26000837

Jose L Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=sanchez@praxisarch.com, c=US
Date: 2023.07.10 10:00:50 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

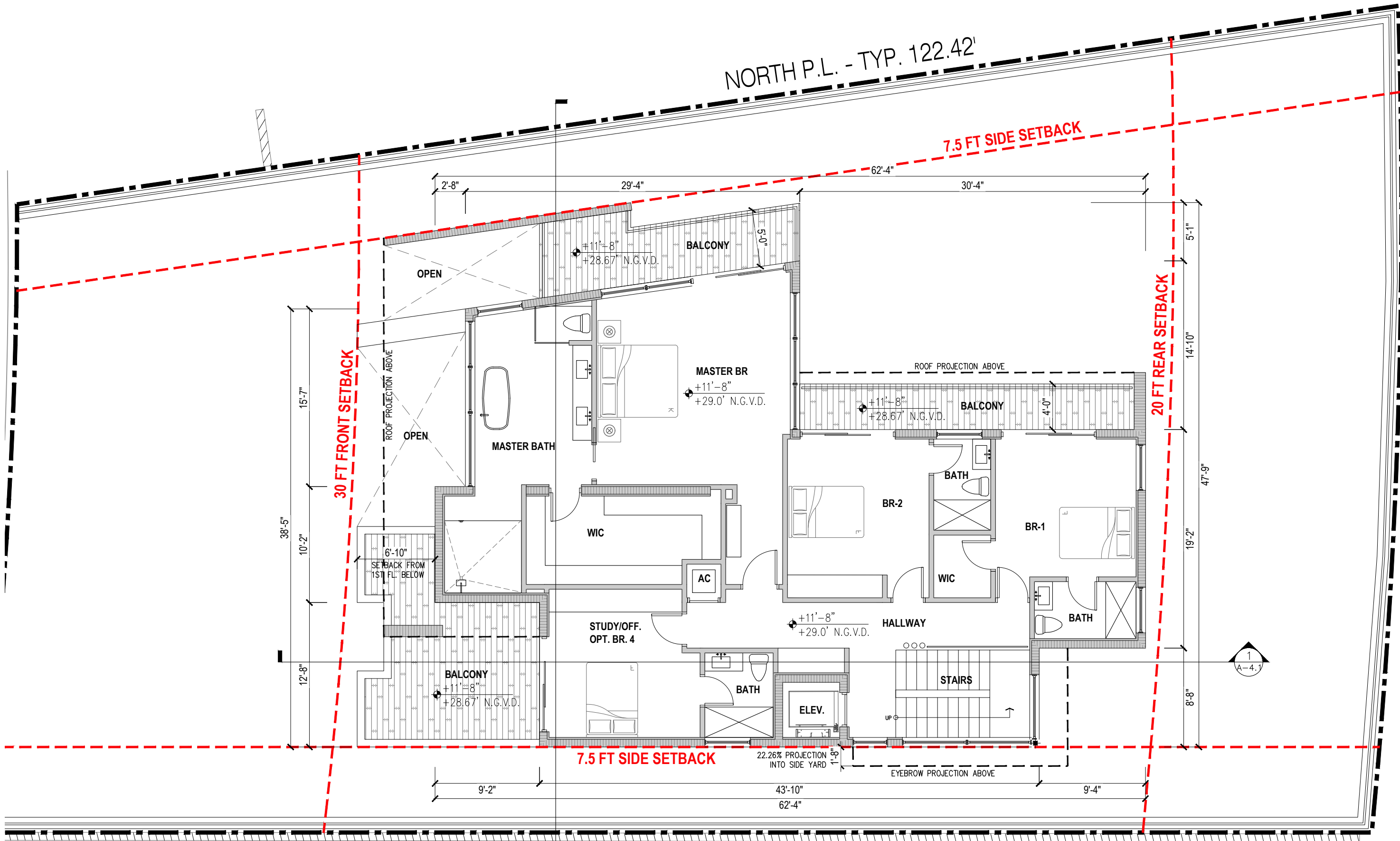
REVISION & DATE

DRAWING TITLE
SECOND FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER
A-2.2

COPYRIGHT © 2023. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN, WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAXIS ARCHITECTURE + DESIGN. REPRODUCTIONS OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



SOUTH P.L.- TYP. 122.16'

1 SECOND FLOOR PLAN

1/8"=1'-0"



praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

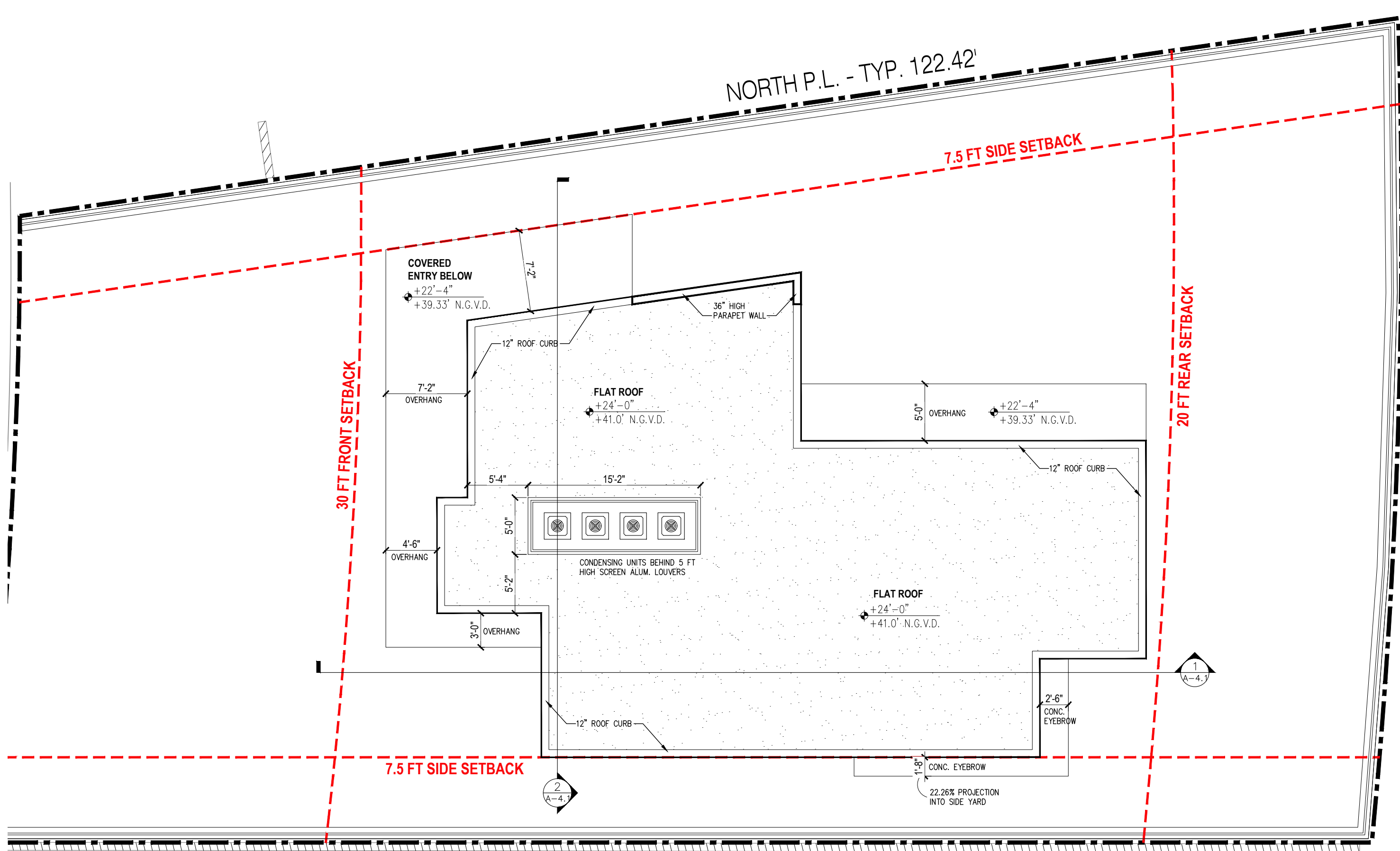
DRAWING TITLE

SECOND FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-2.3



SOUTH P.L. - TYP. 122.16'

1

ROOF PLAN

1/8"=1'-0"

↑

praxis.

architecture . design

PRAXISARCH.COM

JOSE L. SANCHEZ

AIA, LEED AP

278 NW 37TH ST.

MIAMI, FL. 33127

P 305 576 8063

FL. LIC: AR 0016966

FL. LIC: AA 26000837

STATE OF FLORIDA

REGISTERED ARCHITECT

AR 10000

Jose L Sanchez

Digitally signed by Jose L Sanchez

DN: cn=Jose L Sanchez, o=praxis architecture, ou=praxis architecture, email=jlsanchez@praxisarch.com

2023.07.10 10:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE

2075 NORTH BAY ROAD

MIAMI BEACH, FL. 33140

OWNER: --

REVISION & DATE

DRAWING TITLE

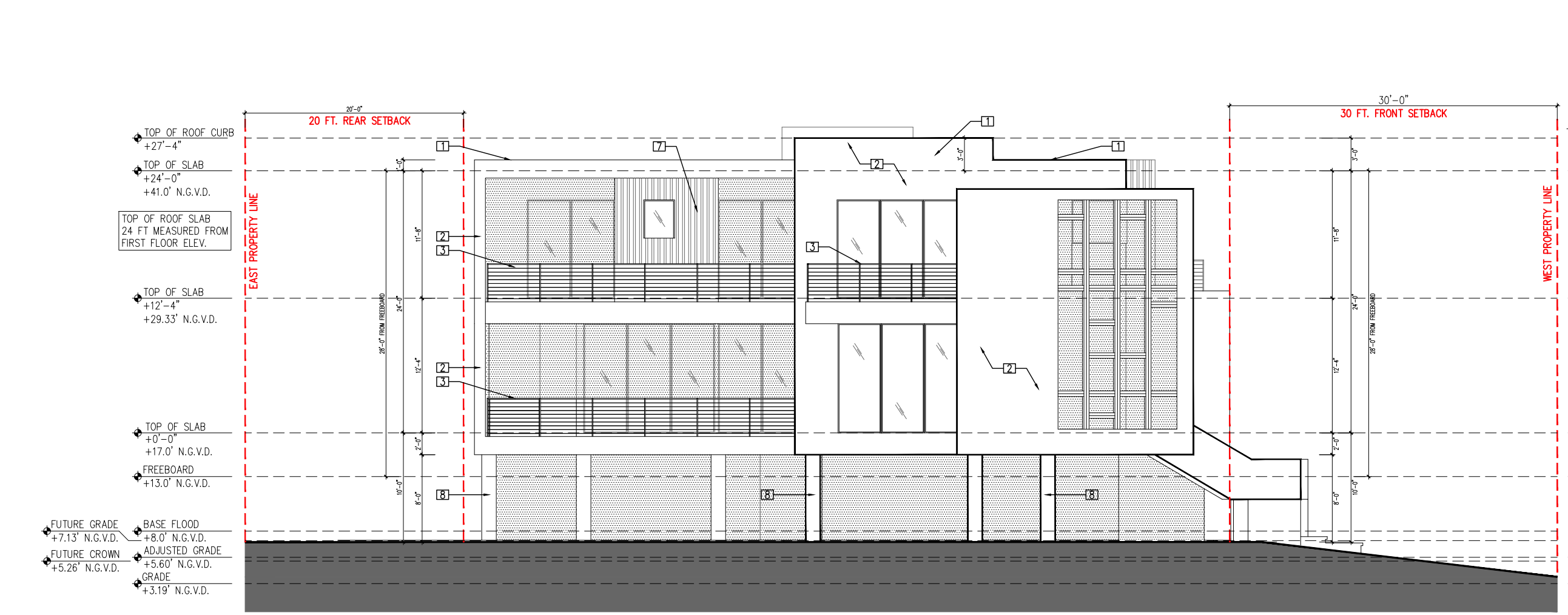
ROOF PLAN

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-2.4



TOP OF ROOF CURB
+27'-4"

TOP OF SLAB
+24'-0"
+41.0' N.G.V.D.

TOP OF ROOF SLAB
24 FT MEASURED FROM
FIRST FLOOR ELEV.

TOP OF SLAB
+12'-4"
+29.33' N.G.V.D.

TOP OF SLAB
+0'-0"
+17.0' N.G.V.D.

FREEBOARD
+13.0' N.G.V.D.

BASE FLOOD
+8.0' N.G.V.D.

ADJUSTED GRADE
+5.60' N.G.V.D.

GRADE
+3.19' N.G.V.D.

FUTURE GRADE
+7.13' N.G.V.D.

FUTURE CROWN
+5.26' N.G.V.D.

TOP OF ROOF CURB
+27'-4"

TOP OF SLAB
+24'-0"
+41.0' N.G.V.D.

TOP OF ROOF SLAB
24 FT MEASURED FROM
FIRST FLOOR ELEV.

TOP OF SLAB
+12'-4"
+29.33' N.G.V.D.

TOP OF SLAB
+0'-0"
+17.0' N.G.V.D.

FREEBOARD
+13.0' N.G.V.D.

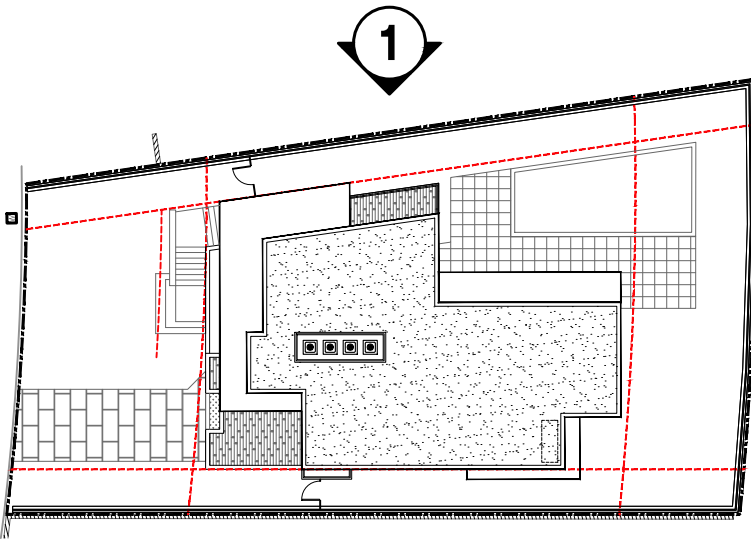
BASE FLOOD
+8.0' N.G.V.D.

ADJUSTED GRADE
+5.60' N.G.V.D.

GRADE
+3.19' N.G.V.D.

FUTURE GRADE
+7.13' N.G.V.D.

FUTURE CROWN
+5.26' N.G.V.D.



ELEVATION KEYPLAN

NOT TO SCALE

1 NORTH ELEVATION (SIDE)

3/32"=1'-0"

ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
6. ALUM. LOUVER
7. WOOD/SIMULATED WOOD CLADDING
8. CONCRETE COLUMN.

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

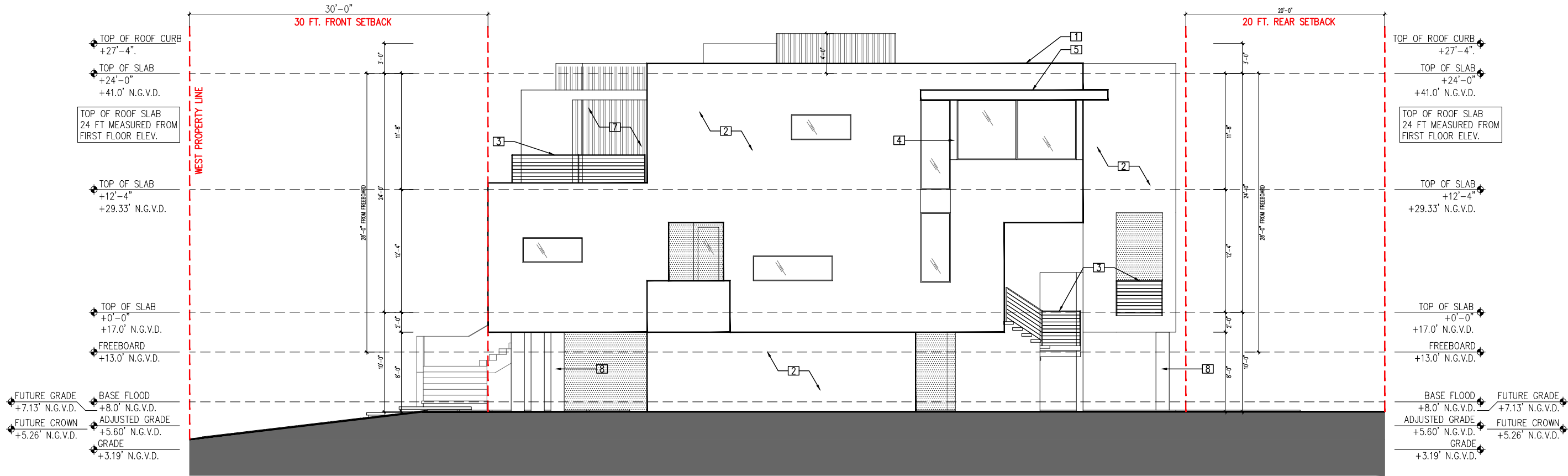
REVISION & DATE

DRAWING TITLE
**NORTH
ELEVATION
(SIDE)**

SCALE: AS SHOWN
DATE: 07-10-2023

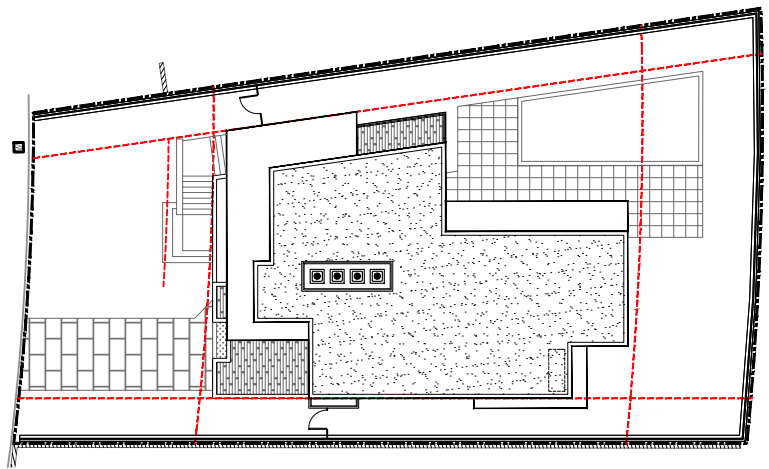
SHEET NUMBER

A-3.2



1 SOUTH ELEVATION
(SIDE)

3/32"=1'-0"



1

ELEVATION KEYPLAN

NOT TO SCALE

ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
6. ALUM. LOUVER
7. WOOD/SIMULATED WOOD CLADDING
8. CONCRETE COLUMN.

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

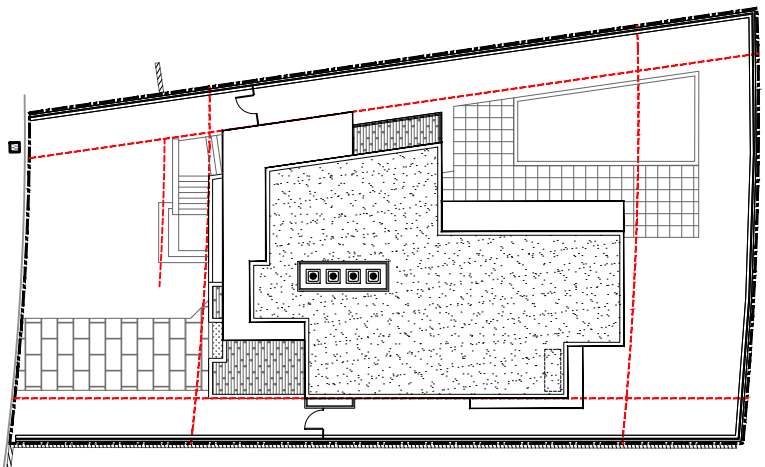
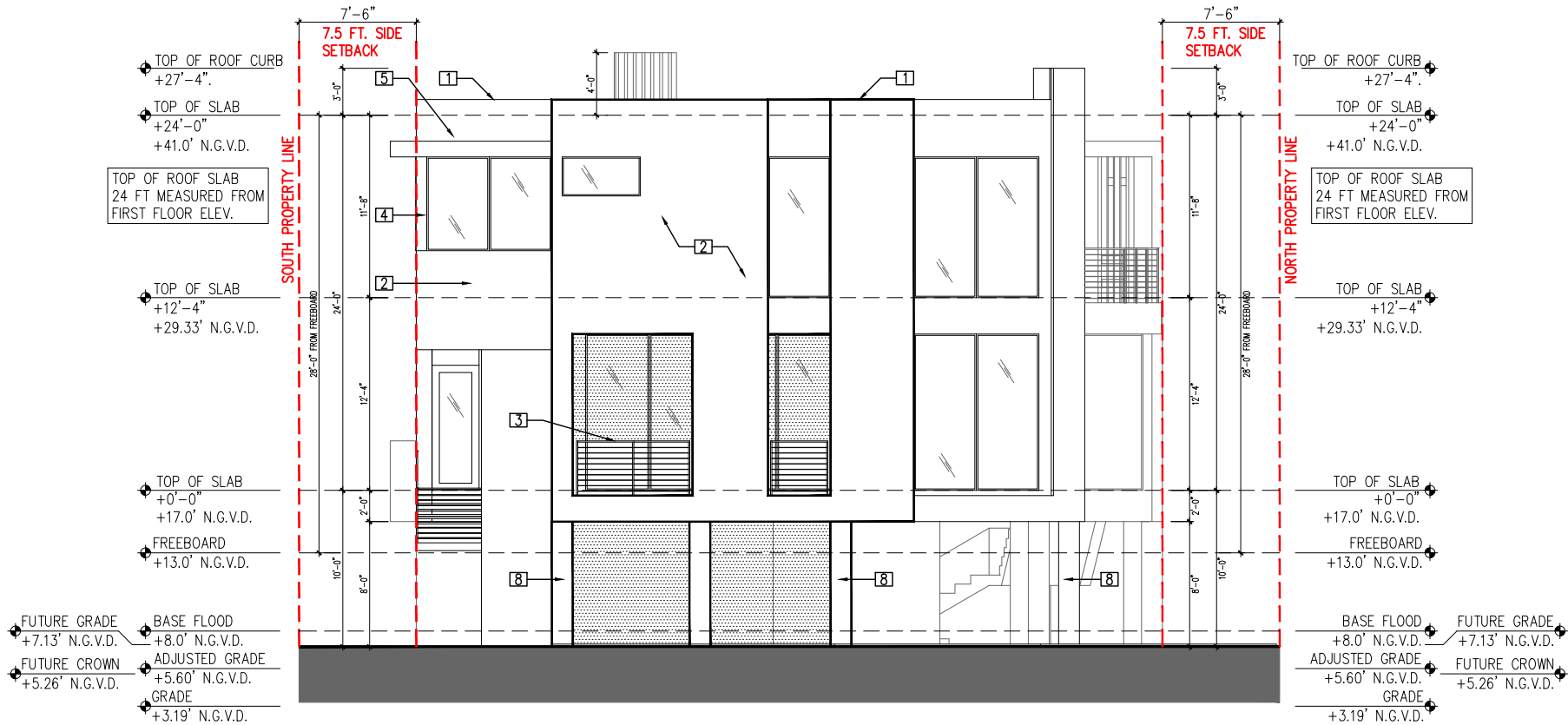
REVISION & DATE

DRAWING TITLE
SOUTH
ELEVATION
(SIDE)

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-3.3



ELEVATION KEYPLAN

NOT TO SCALE

1 EAST ELEVATION (REAR)

3/32"=1'-0"

ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
6. ALUM. LOUVER
7. WOOD/SIMULATED WOOD CLADDING
8. CONCRETE COLUMN.

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=praxis, email=jlsanchez@praxisarch.com, c=US
Date: 2023.07.10 09:00:00 -0400

ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

**EAST
ELEVATION
(REAR)**

SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-3.4

