

JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72nd AVENUE SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

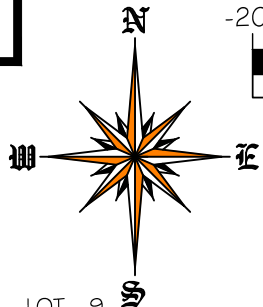
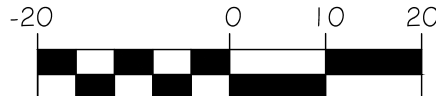
3725 DEL PRADO BLVD. S. SUITE B
CAPE CORAL, FL 33904
PHONE: (239) 540-2660
FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

725 71st STREET, MIAMI BEACH, FLORIDA 33141

GRAPHIC SCALE



LOT - 9
BLOCK - 2

ABBREVIATIONS AND MEANINGS

A = ARC
A/C = AIR CONDITIONER PAD.
A.E. = ANCHOR EASEMENT.
AR = ALUMINUM ROOF.
AS = ALUMINUM SHED.
ASPH = ASPHALT.
B.C. = BLOCK CORNER.
B.C.R. = BROWARD COUNTY RECORDS
BLDG. = BUILDING.
B.M. = BENCH MARK.
B.O.B. = BASIS OF BEARINGS.
B.S.L. = BUILDING SETBACK LINE.
C = CALCULATED.
C.B. = CATCH BASIN.
C.B.S. = CONCRETE BLOCK STRUCTURE.
CBW = CONCRETE BLOCK WALL.
CH = CHORD.
CH.B. = CHORD BEARING.
CL = CLEAR.
C.L.F. = CHAIN LINK FENCE.
C.M.E. = CANAL MAINTENANCE EASEMENTS.
CONC. = CONCRETE.
C.P. = CONC. PORCH.
C.S. = CONCRETE SLAB.
C.U.P. = CONC. UTILITY POLE.
C.W. = CONCRETE WALK.
D.E. = DRAINAGE EASEMENT.
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS.
DRIVE = DRIVEWAY.
° = DEGREES.
E = EAST.
EB = ELECTRIC BOX.
E.T.P. = ELECTRIC TRANSFORMER PAD.
ELEV. = ELEVATION.
ENC. = ENCROACHMENT.
F.H. = FIRE HYDRANT.
F.I.P. = FOUND IRON PIPE.
F.I.R. = FOUND IRON ROD.
F.F.E. = FINISHED FLOOR ELEVATION.
F.N.D. = FOUND NAIL & DISK.
FR = FRAME.
FT = FEET.
F.N.P. = FEDERAL NATIONAL INSURANCE.
F.N. = FOUND NAIL.
H. = HIGH (HEIGHT).
I.C.V. = IRRIGATION CONTROL VALVE.
I.F. = IRON FENCE.
IN.4 EG. = INGRESS AND EGRESS EASEMENT.
L.B. = Certificate of Authorization L.B.#7806.
L.P. = LIGHT POLE.
L.F.E. = LOWEST FLOOR ELEVATION.
L.M.E. = LAKE MAINTENANCE EASEMENT.
M. = MINUTES.
M. = MEASURED DISTANCE.
MB = MAIL BOX.
M.D.C.R. = MIAMI DADE COUNTY RECORDS.
M.E. = MAINTENANCE EASEMENTS.
MON. = MONUMENT LINE.
MH = MANHOLE.
ML = MONUMENT LINE.
N.A.P. = NOT A PART OF.
NGVD = NATIONAL GEODETIC VERTICAL DATUM.
N. = NORTH.
N.T.S. = NOT TO SCALE.
#NO. = NUMBER.
OS = OFFSET.
O.H. = OVERHEAD.
O.H.L. = OVERHEAD UTILITY LINES.
O.R.B. = OFFICIAL RECORDS BOOK.
OVH = OVERHANG.
P.V.M.T. = PAVEMENT.
PL = PLANTER.
PL = PROPERTY LINE.
P.C.C. = POINT OF COMPOUND CURVE.
P.C. = POINT OF CURVE.
PT. = POINT OF TANGENCY.
POC. = POINT OF COMMENCEMENT.
POB. = POINT OF BEGINNING.
P.R.C. = POINT OF REVERSE CURVE.
P.B. = PLAT BOOK.
PG. = PAGE.
P.W. = PARKWAY.
PRM. = PERMANENT REFERENCE MONUMENT.
P.L.S. = PROFESSIONAL LAND SURVEYOR.
R. = RECORDED DISTANCE.
RR. = RAIL ROAD.
RES. = RESIDENCE.
PROP. COR. = PROPERTY CORNER.
RW = RIGHT-OF-WAY.
R.P. = RADIUS POINT.
RGE. = RANGE.
SEC. = SECTION.
STY. = STORY.
SWK. = SIDEWALK.
S.I.P. = SET IRON PIPE L.B. #7806.
S.P. = SCREENED PORCH.
S. = SOUTH.
" = SECONDS.
T = TANGENT.
TB = TELEPHONE BOOTH.
T.U.E. = TECHNOLOGY UTILITY EASEMENT.
TSB = TRAFFIC SIGNAL BOX.
T.S.P. = TRAFFIC SIGNAL POLE.
TWP. = TOWNSHIP.
UTIL. = UTILITY.
U.P. = UTILITY POLE.
W.M. = WATER METER.
W.F. = WOOD FENCE.
W.R. = WOOD ROOF.
W.M. = WATER METER.
W.F. = WOOD FENCE.
W.R. = WOOD ROOF.
W.S. = WOOD SHED.
W. = WEST.
E = CENTER LINE.
Δ = CENTRAL ANGLE.
∠ = ANGLE.



LOCATION SKETCH

SCALE = N.T.S.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: N/A.
COMMUNITY: 120651
PANEL: 0307
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: JULIO E. PEREZ 08/08/2023
(DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR AND MAPPER NO.: 6029 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____
REVISED ON: _____

DRAWN BY: LJB

FIELD DATE: 08/08/2023

SURVEY NO: 23-001210-2

SHEET: 1 OF 1

L.B.# 7806

SEAL

ADJACENT FOUR STORY COMMERCIAL BUILDING

LOT - 4
BLOCK - 2

GRASS

Folio:02-3211-002-0080
OWNER: CITY OF MIAMI BEACH
(NOT A PART OF THIS LEGAL DESCRIPTION)

TICKET DISPENSING MACHINE
LOT - 5
BLOCK - 2

7 PARKING SPACES

COMMERCIAL ONE STORY BUILDING # 725

LOT - 8
BLOCK - 2

ADJACENT ONE STORY COMMERCIAL BUILDING

LOT - 7
BLOCK - 2

LOT - 6
BLOCK - 2

ENCROACHMENT NOTES:

- SOUTH SIDE OF THE SUBJECT PROPERTY, CONCRETE BRICK WALL AND OVERHANG ARE ENCROACHING INTO THE RIGHT OF WAY OF 71st STREET.
- EAST SIDE OF THE SUBJECT PROPERTY, BUILDING, OVERHANG, A/C PADS, CLEANOUT AND CHAIN LINK FENCE IS ENCROACHING INTO THE 10 FEET UTILITY EASEMENT, UTILITY POLE LIES IN 10 FOOT UTILITY EASEMENT AND SUBJECT PROPERTY.
- CONCRETE DECK AND TOP OF THE COLUMNS SUPPORT ARE ENCROACHING INTO THE CITY OF MIAMI LAND AREA.

LEGAL DESCRIPTION:

THE EASTERLY 30 FEET OF LOTS 5 AND 6, BLOCK 2, LEASS THE SOUTHERLY 30 FEET THEREOF, NORMANDY BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, AT PAGE 54 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID EASTERLY 30 FEET BEING MEASURED AT RIGHT ANGLES TO EAST LINES OF LOTS 5 AND 6 AND THE SOUTHERLY 30 FEET BEING MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF LOT 6.

CERTIFICATION:

DOMENICO D'ADDIO

71st. STREET
TOTAL RIGHT-OF-WAY (VARIES)

LEGEND

- O-H = OVERHEAD UTILITY LINES
- CONC. BLOCK WALL = CONCRETE BLOCK WALL
- CHAIN LINK FENCE = CHAIN LINK FENCE
- IRON FENCE = IRON FENCE
- WOOD FENCE = WOOD FENCE
- BUILDING SETBACK LINE = BUILDING SETBACK LINE
- UTILITY EASEMENT = UTILITY EASEMENT
- LIMITED ACCESS R/W = LIMITED ACCESS R/W
- NON-VEHICULAR ACCESS R/W = NON-VEHICULAR ACCESS R/W
- EXISTING ELEVATIONS = EXISTING ELEVATIONS