

SITE PLAN
SCALE: 3/16"=1'-0"

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016

PROJECT: **1330 Building**
1330 15th Street, Miami Beach, FL 33139
PROJECT OWNER: NOTUS LLC
435 21st Street, Miami Beach, FL 33139
ARCHITECT OF RECORD: 
RD Architects
1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
F: 786.762.2679 P: 305.831.9079 C: 305.282.0005
Email: rda@rda-archint.com
www.rda@rda-archint.com

AA26002510
STRUCTURAL ENGINEER:

CONSULTANT:



SIGNATURE / DATE / SEAL

Victor H. Rodriguez,
Registered Architect
State of Florida # AR0094965
786 . 762 . 2679 vh.rodriguez@rda-archint.com

PERMIT SET

Issue	Issue Date / For
1	12.05.2016 / Revision

DDCI Project #: 1615.00
Drawn by: **URB**
Approved by: **VHR**

SHEET INDEX

SCALE:
SHEET NO.

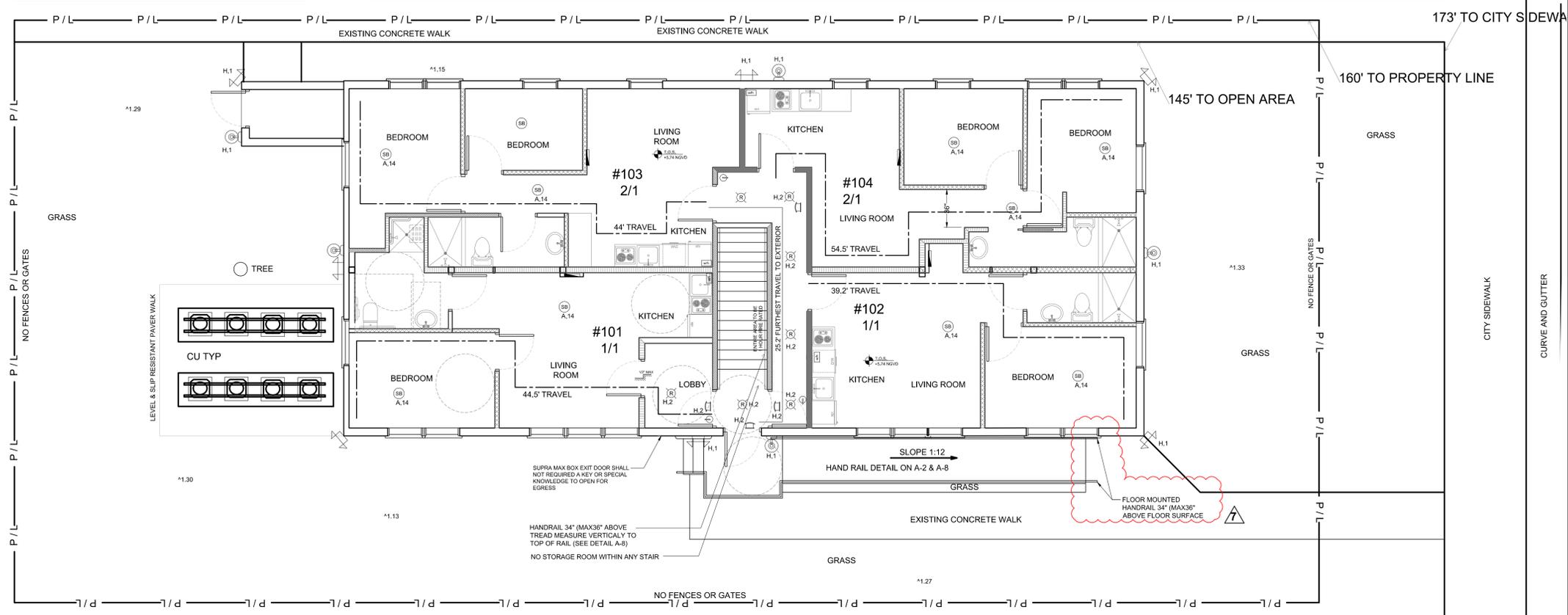
G-1

PROJECT: **1330 Building**
 1330 15th Street, Miami Beach, FL 33139
 PROJECT OWNER: NOTUS, LLC
 435 21st Street, Miami Beach, FL 33139
 ARCHITECT OF RECORD: **RD Architects**
 1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
 P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
 Email: rda@rda-archint.com / AA26002510
 CONSULTANT ENGINEER:

SPRINKLER SYSTEM NOTE:

- BUILDING TO BE PROVIDED WITH AN AUTOMATIC APPROVED FIRE SPRINKLER SYSTEM PER NFPA 13.
- GC TO PROVIDE THE CITY FOR REVIEW AND APPROVAL, ENGINEERED FIRE SPRINKLERS SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER...

FIRE PROTECTION FEATURES	
FIRE SPRINKLES (ALL AREAS)	YES
FIRE ALARM	YES
EMERGENCY LIGHTS	YES
EXIT SIGNS	YES
SMOKE DETECTION	YES
EGREE WINDOW	NOT NECESSARY
NUMBER OF STORIES	2
EXIT STAIRS	1
NUMBER OF UNITS IN BUILDING	8
OCCUPANCY LOAD IN BUILDING 200 SQ. FT. PER OCCUPANT	20
OCCUPANCY LOAD PER FLOOR 200 SQ. FT. PER OCCUPANT	10
PARTY WALL FIRE RATING	1 HOUR MIN.
HEIGHT OF BUILDING	23'
EGRESS DOORS FIRST FLOOR	1
ALTERATION LEVEL AS PER FFPC 5TH EDITION	RENOVATION/CHANGE OF USE
TYPE OF CONSTRUCTION	IV
TOTAL FLOOR AREA PER FLOOR	1,950 sq.ft.
EXTERIOR WALLS	BLOCK/STUCCO
INTERIOR WALLS	WOOD STUD/DRYWALL 5/8"



LIFE SAFETY FIRST (GROUND) FLOOR PLAN

SCALE: 3/16" = 1'-0"

PHOTOMETRIC LEGEND:
 fc= Foot Candle
 fc~ Under Emergency Light Foot Candle
 1.3 fc = # fc = Foot Candles as calculated at floor level

PHOTOMETRIC DESIGN STANDARDS:
 Minimum illumination standards
 (NFPA 14.12.1.3, FBC 1006.1.3):
 Stairwells (measured at walking surface) = 10 Fc (108 Lux)
 Floors and Walking Surfaces (other than stairs) = 1 Fc (10.8 Lux)

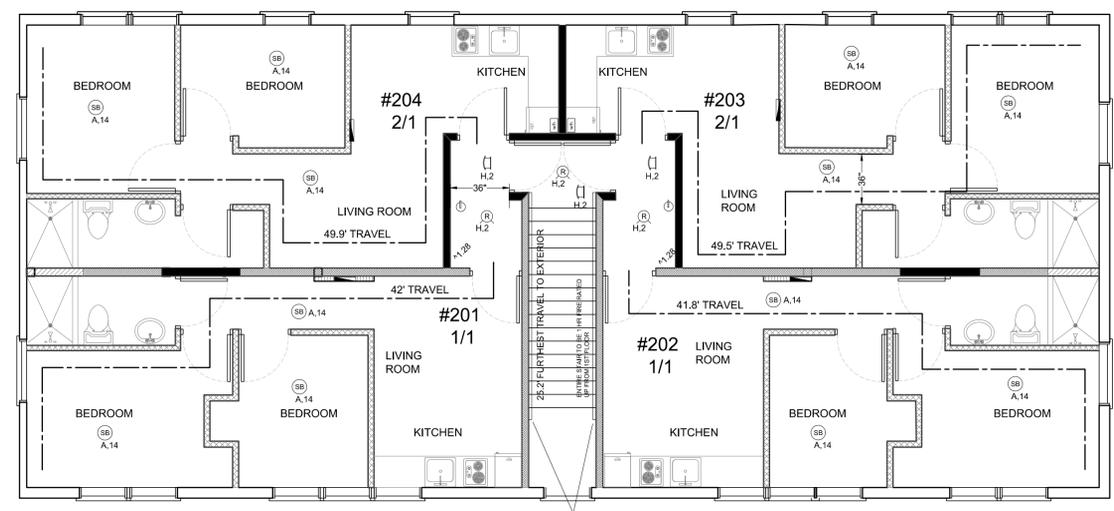
Luminaries:
 Im = Lifetime Lumens Mean 17.50 lumens/watt
 MF = Maintenance Factor = 0.90
 AL = Atmospheric Loss = 0.90
 Output measured in fc = Im x MF x AL = Output Ft-Candles (fc)

The following is the minimum size and output of luminaries to be used at locations listed. Contractor shall confirm that each fixture's luminaire(s) meets or exceeds the Im listed below.

Hallway Luminaries*: Single 60W Incandescent luminaire, or equal w/1050 lm
 Ground floor exterior walkways*: Single 100W Incandescent luminaire, or equal w/1750 lm (MaxLite 35840 - 100 Watt - 5U CFL - 500 W Equal - Mogul Base - E26)

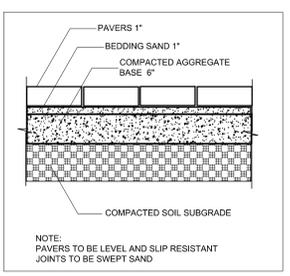
* Required illumination has been arranged so that the failure of any single lighting unit will not result in an illumination level in any designated area of less than 0.2 footcandle
 ** Stairwell lighting designed such that the loss of any one luminaire will not reduce minimum illumination at the floor below 10 fc

LIFE SAFETY LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	METER SOCKET
[Symbol]	PANEL BOX
[Symbol]	HIGH-EFFICACY LAMP
[Symbol]	100V WALL LIGHT FIXTURE
[Symbol]	EMERGENCY LIGHT (90 MINUTE BATTERY BACKUP), THIS LIGHT SHALL BE IN COMPLIANCE WITH NEC 700.12(i)
[Symbol]	EMERGENCY EXIT LIGHT COMBO (90 MINUTE BATTERY BACKUP) IN COMPLIANCE WITH NEC 700.12(i)
[Symbol]	EXHAUST FAN
[Symbol]	SMOKE DETECTOR CONNECTED TO ALARM PANEL. SMOKE DETECTORS SHALL BE INTERCONNECTED FOR SIMULTANEOUS OPERATION.
[Symbol]	FIRE EXTINGUISHER (2PER FLOOR) TYPE ABC & min. 5 lbs as per NFPA 10 2007
[Symbol]	1 HR FIRE RATED PARTITION - ALL PARTY WALLS



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



PAVER DETAIL
SCALE: NTS

Any recessed highhat lighting penetrations into 1 hour fire rated ceiling will require a 1 hour fire cover UL CDHW.R25019

No HVCA duct penetrations in to 1 hour fire rated ceiling without a fire damper.

There shall be no plumbing pipe, electrical pipe, a/c ductwork inside the stair enclosures as per FFPC 5TH edition 7.1.3.2.1
 Interior finish to comply with FFPC 5TH edition 10.2.2.

All smoke alarms within an individual dwelling unit will be interconnected in compliance with FBCE §704.4.3.

The emergency evacuation route will be posted on the back of every unit door, in accordance with FFPC 5th edition Chapter 29.

All upholstered furniture and mattresses will comply with FFPC 5TH edition 29.7.6.2.

Smoke detectors shall be system detectors connected to fire alarm panel, the smoke detectors on this sheet are being shown for location reference only, and are the same ones shown on FA-1.

FFPC 5TH edition 29.2.4.3:

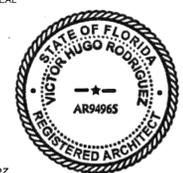
A single exit shall be permitted in buildings where the total number of stories does exceed four, provided that of the following conditions are met:
 (1) There are four or fewer guest rooms or guest suites per story.
 Requirement met, max 4 units per floor.
 (2) The building is protected throughout by an approved, supervised automatic sprinkler, system in accordance with 29.3.5.
 Requirement met, will have new full supervised automatic sprinkler system as per 29.3.5.
 (3) The exit stairways does not serve more than one-half of a story below the level of exit discharge.
 Requirement met, stairs does not serve more than half.
 (4) The travel distance from the entrance door any guest room or guest suite to an exit does not exceed 35 ft (10.7 m)
 Requirement met, 35 ft travel distance not exceeded.
 (5) The exit stairways is completely enclosed or separated from the rest of the building by barriers having a minimum 1-hour fire resistance rating.
 Requirement met, entire stair area is 1 hour fire rated.
 (6) All openings between the exit stairway enclosure and the building are protected with self-closing door assemblies having a minimum 1-hour fire protection rating.
 Requirement met, all doors in common areas are 1 hour rated with self-closers.
 (7) All corridors serving as access to exits have a minimum 1-hour fire resistance rating.
 Requirement met, all corridors are 1 hour fire rated.
 (8) Horizontal and vertical separation having a minimum 1/2 hour fire resistance rating is between guest rooms or guest suites.
 Requirement met, all vertical separations are 1 hour fire rated.



SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE

Victor H. Rodriguez,
 Registered Architect
 State of Florida # AR0094965
 305.282.0005 vhr.rodriguez@rda-archint.com



PERMIT SET

Issue	Issue Date / For
[Symbol]	12.17.2017 / Fire Dept. Comments
[Symbol]	04.20.2018 / Reviewer Comments

DDCI Project #: 1628.00
 Drawn by: VHR
 Approved by: VHR

- Life Safety Plan Level 1

SCALE: 3/16" = 1'-0"

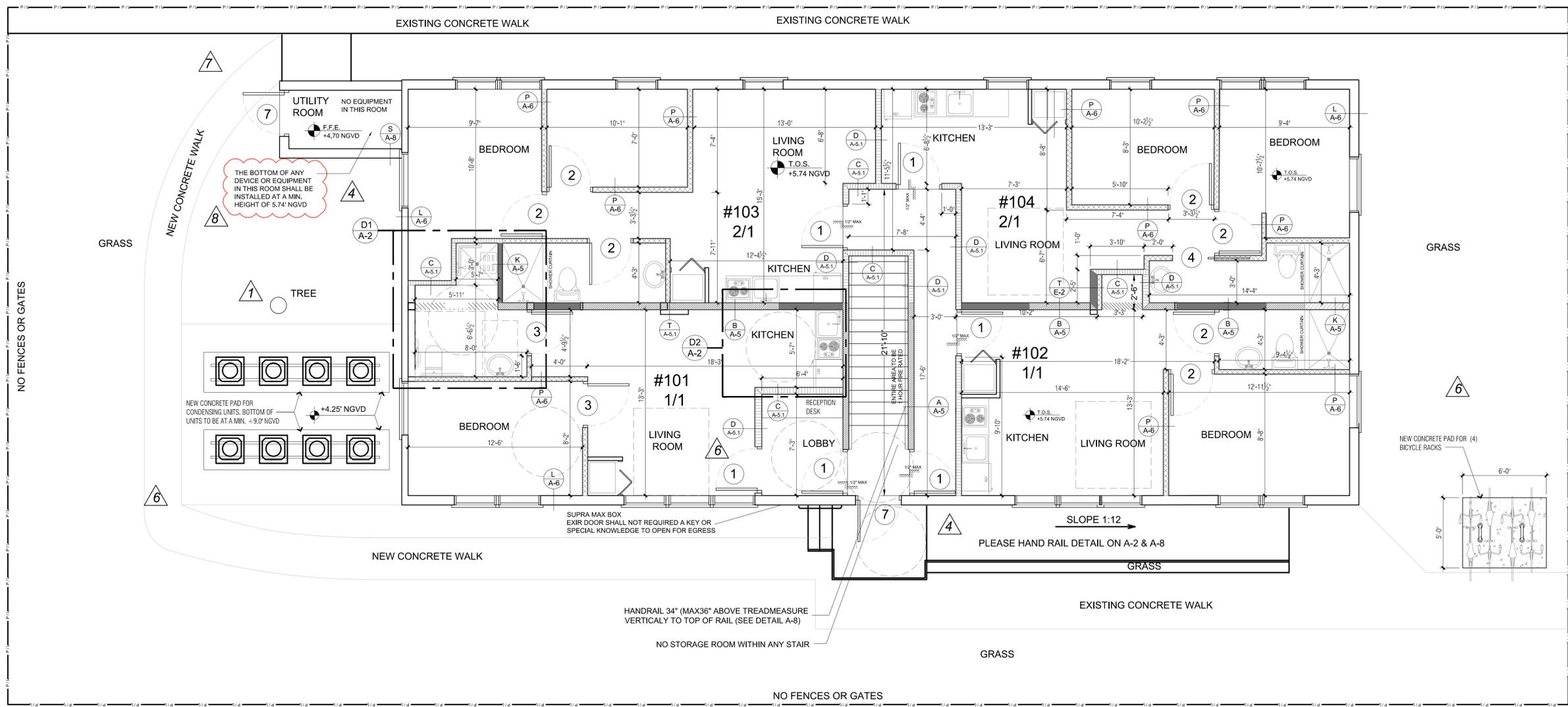
SHEET NO.

LS-1

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016

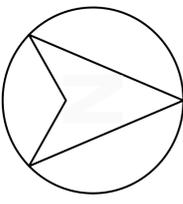
PROJECT: **1330 Building**
 1330 15th Street, Miami Beach, FL 33139
 PROJECT OWNER: NOTUS, LLC
 435 21st Street, Miami Beach, FL 33139
 ARCHITECT OF RECORD: **RD Architects**
 1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
 P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
 Email: rda@rda-archint.com / AA26002510
 CONSULTANT ENGINEER:

1
2
3
4



PROPOSED PLAN FIRST (GROUND) FLOOR
 SCALE: 1/4" = 1'-0"

SITE PLAN
 SCALE: 3/16"=1'-0"



PLAN LEGEND:

DENOTES EXISTING EXTERIOR WALL TO REMAIN	
DENOTES NEW INTERIOR METAL FRAME PARTITION (NOT RATED)	
DENOTES NEW 1 HOUR FIRE RATED METAL FRAME PARTITION	
DENOTES EXISTING WOOD PARTITION TO BE 1 HOUR FIRE RATED	
DENOTES NEW 1 HOUR FIRE RATED WOOD FRAME PARTITION	
SEAL DOOR OPENING W/WOOD TO 1 HOUR FIRE RATED PARTITION	
REMOVE INTERIOR NON BARRING PARTITION	



SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE

Victor H. Rodriguez,
 Registered Architect
 State of Florida # AR0094965
 305.282.0005 vhr.rodriguez@rda-archint.com

PERMIT SET

Issue	Issue Date / For
①	09.12.2016 / Change of Architect
②	12.05.2016 / Owner Revisions
③	12.17.2017 / Fire Dept. Comments
④	02.19.2018 / City Comments
⑤	04.20.2018 / Reviewer Comments
⑥	05.29.2018 / Reviewer Comments

DDCI Project #: 1628.00
 Drawn by: VHR
 Approved by: VHR

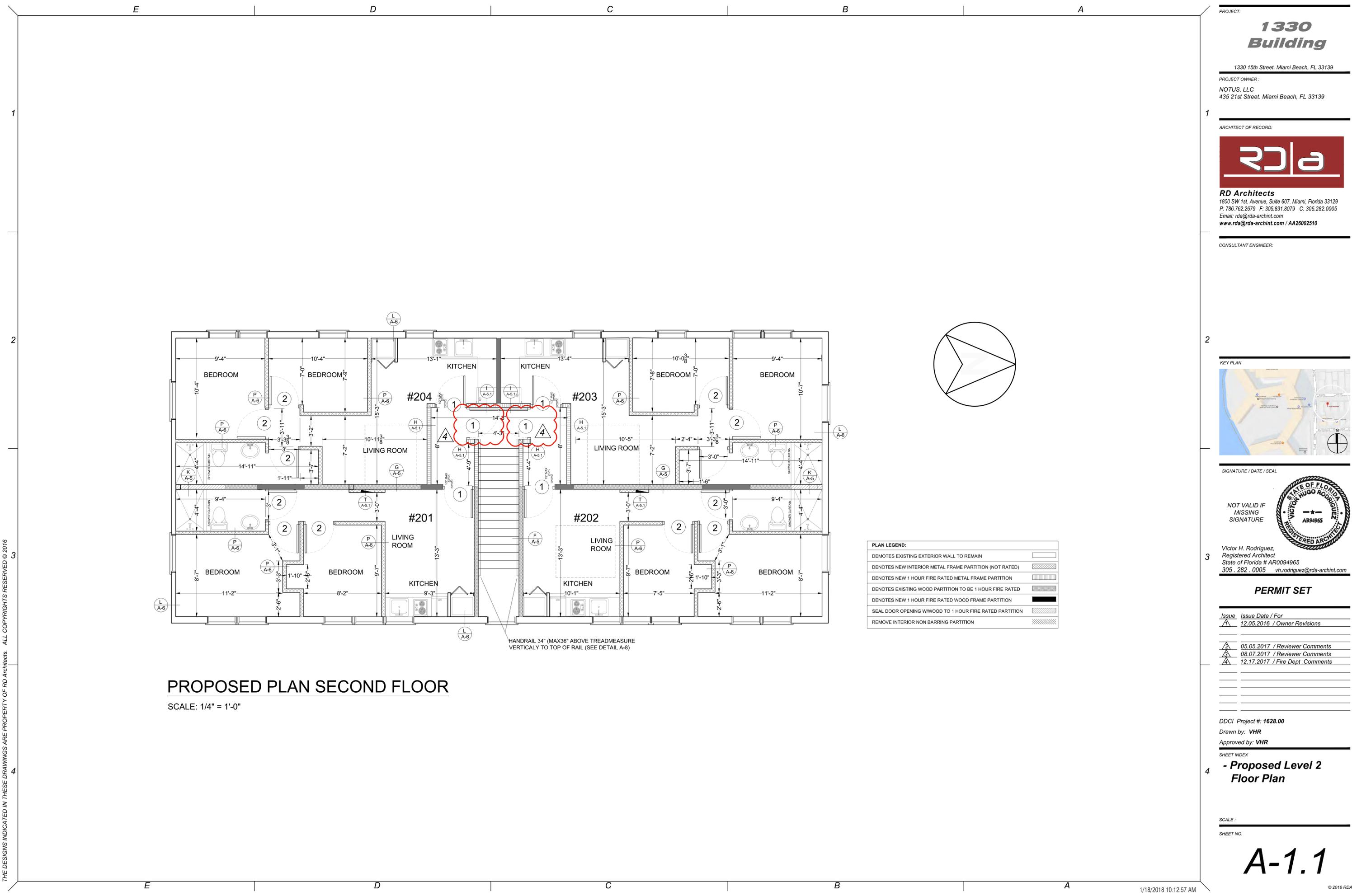
SHEET INDEX

- Proposed Ground Floor Plan

SCALE:
 SHEET NO.

A-1

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016



PROPOSED PLAN SECOND FLOOR

SCALE: 1/4" = 1'-0"

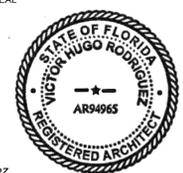
PLAN LEGEND:

DENOTES EXISTING EXTERIOR WALL TO REMAIN	[Symbol]
DENOTES NEW INTERIOR METAL FRAME PARTITION (NOT RATED)	[Symbol]
DENOTES NEW 1 HOUR FIRE RATED METAL FRAME PARTITION	[Symbol]
DENOTES EXISTING WOOD PARTITION TO BE 1 HOUR FIRE RATED	[Symbol]
DENOTES NEW 1 HOUR FIRE RATED WOOD FRAME PARTITION	[Symbol]
SEAL DOOR OPENING W/ WOOD TO 1 HOUR FIRE RATED PARTITION	[Symbol]
REMOVE INTERIOR NON BARRING PARTITION	[Symbol]

HANDRAIL 34" (MAX 36" ABOVE TREADMEASURE VERTICALLY TO TOP OF RAIL (SEE DETAIL A-8)

PROJECT: **1330 Building**
 1330 15th Street, Miami Beach, FL 33139
 PROJECT OWNER: NOTUS, LLC
 435 21st Street, Miami Beach, FL 33139
 ARCHITECT OF RECORD: **RD Architects**
 1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
 P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
 Email: rda@rda-archint.com
 www.rda@rda-archint.com / AA26002510

CONSULTANT ENGINEER:
 KEY PLAN
 SIGNATURE / DATE / SEAL
 NOT VALID IF MISSING SIGNATURE
 Victor H. Rodriguez, Registered Architect
 State of Florida # AR0094965
 305.282.0005 vh.rodriguez@rda-archint.com



PERMIT SET

Issue	Issue Date / For
[Symbol]	12.05.2016 / Owner Revisions
[Symbol]	05.05.2017 / Reviewer Comments
[Symbol]	08.07.2017 / Reviewer Comments
[Symbol]	12.17.2017 / Fire Dept. Comments

DDCI Project #: 1628.00
 Drawn by: VHR
 Approved by: VHR

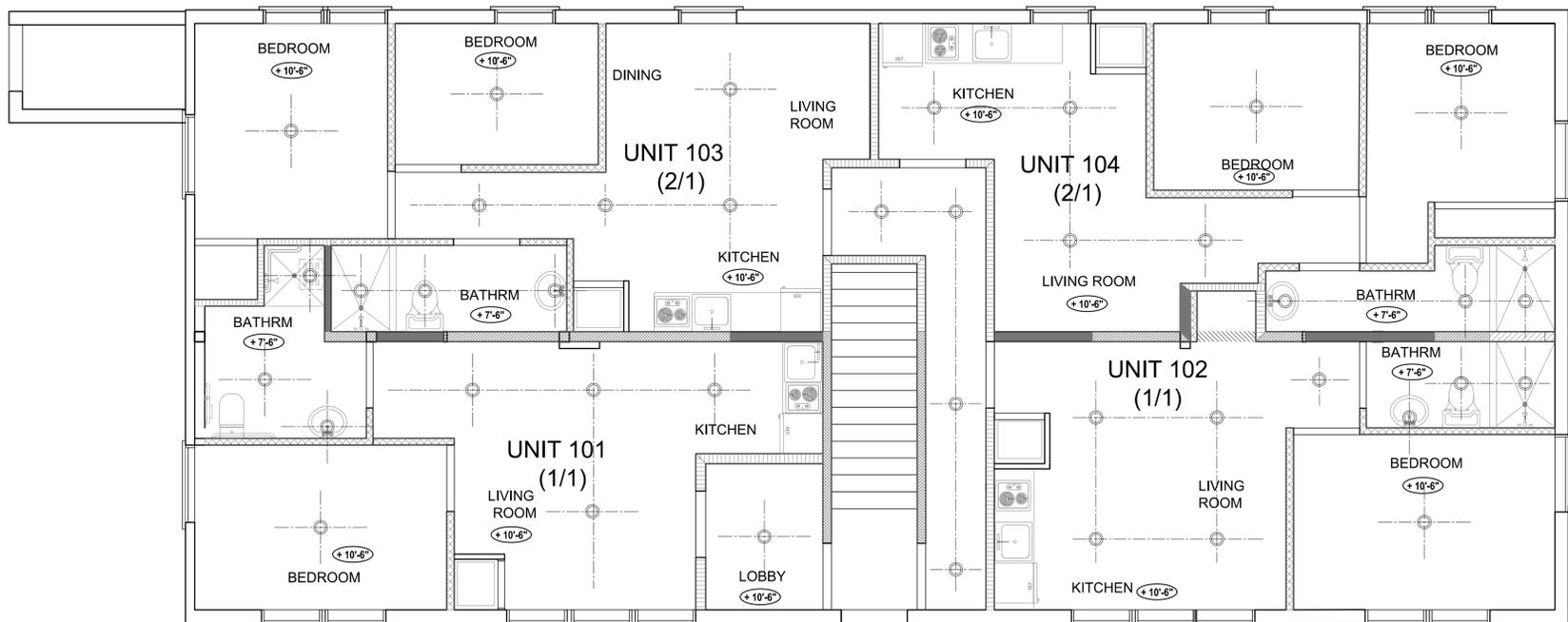
SHEET INDEX
- Proposed Level 2 Floor Plan

SCALE:
 SHEET NO.

A-1.1

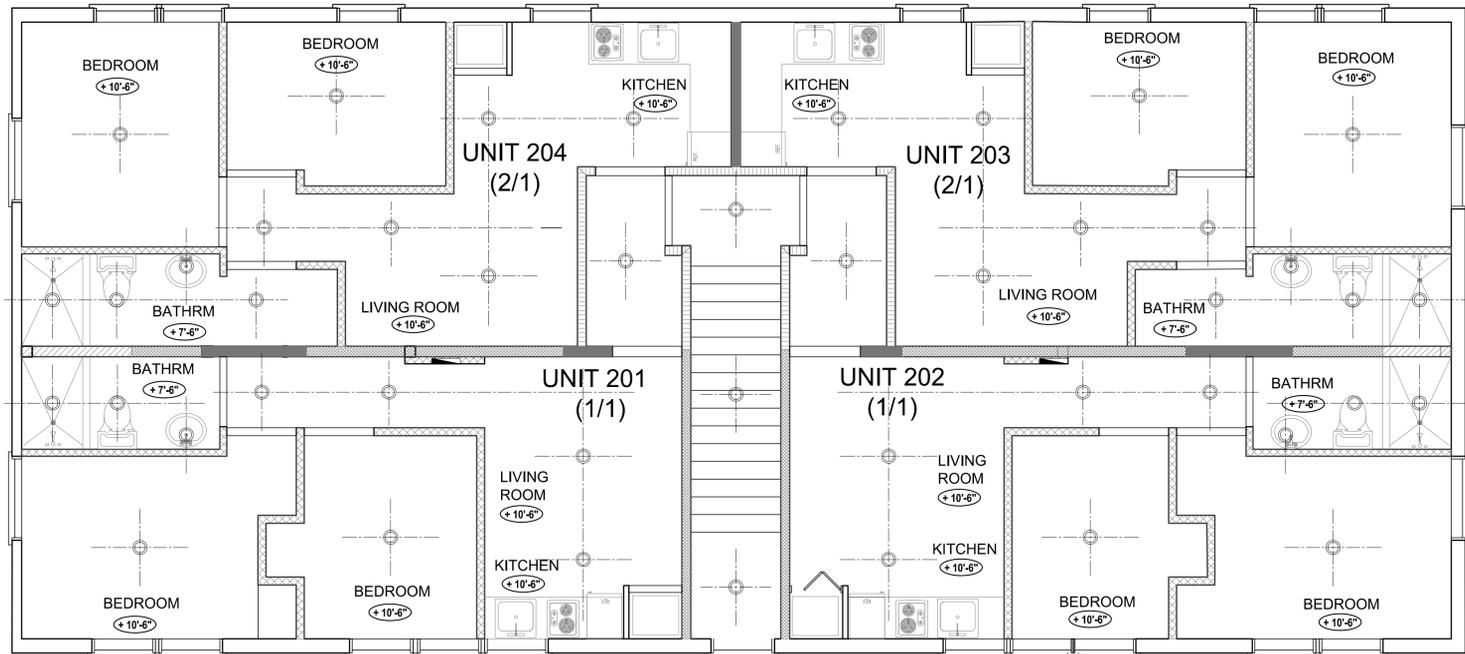
THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016



REFLECTED CEILING PLAN LEVEL 1

SCALE : 1/4"=1'-0"



REFLECTED CEILING PLAN LEVEL 2

SCALE : 1/4"=1'-0"



PROJECT:

1330 Building

1330 15th Street, Miami Beach, FL 33139

PROJECT OWNER:

NOTUS, LLC
435 21st Street, Miami Beach, FL 33139

ARCHITECT OF RECORD:



RD Architects
1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
Email: rda@rda-archint.com
www.rda@rda-archint.com / AA26002510

CONSULTANT ENGINEER:

KEY PLAN



SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE



Victor H. Rodriguez,
Registered Architect
State of Florida # AR0094965
305.282.0005 vh.rodriguez@rda-archint.com

PERMIT SET

Issue	Issue Date / For
▲	12.05.2016 / Owner Revisions
▲	05.05.2017 / Reviewer Comments
▲	08.07.2017 / Reviewer Comments
▲	12.17.2017 / Fire Dept. Comments
▲	12.17.2017 / Fire Dept. Comments
▲	02.19.2018 / City Comments

DDCI Project #: 1628.00

Drawn by: VHR

Approved by: VHR

SHEET INDEX

4 - Proposed Reflected Ceiling Plans Levels 1 and 2

SCALE : 1/4" = 1'-0"

SHEET NO.

A-1.1a



PERMIT SET

Issue	Issue Date / For
△	12.05.2016 / Revision
△	02.19.2018 / City Comments
△	06.25.2018 / City Comments

DDCI Project #: 1615.00
 Drawn by: **URB**
 Approved by: **VHR**

SHEET INDEX

- Existing- Demo Level 1

SCALE:
 SHEET NO.

A-1.2

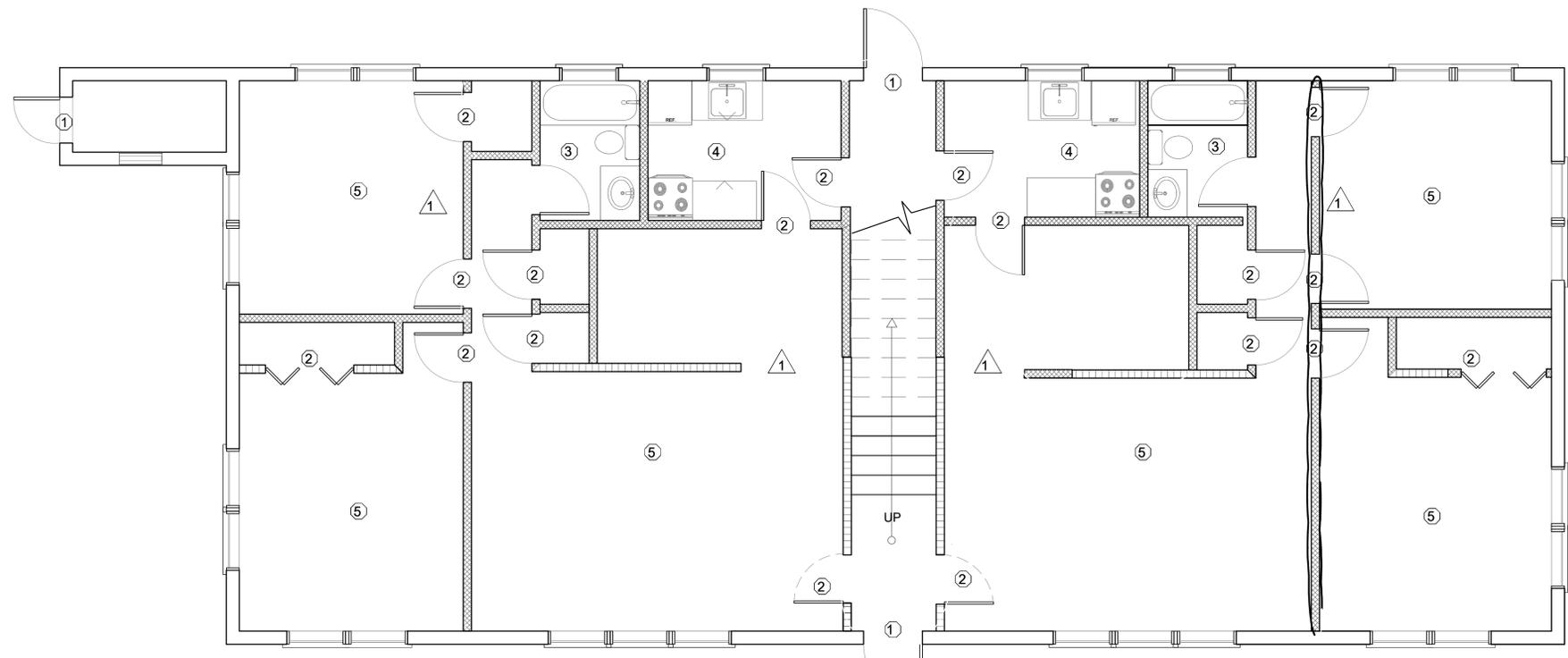
1

2

3

4

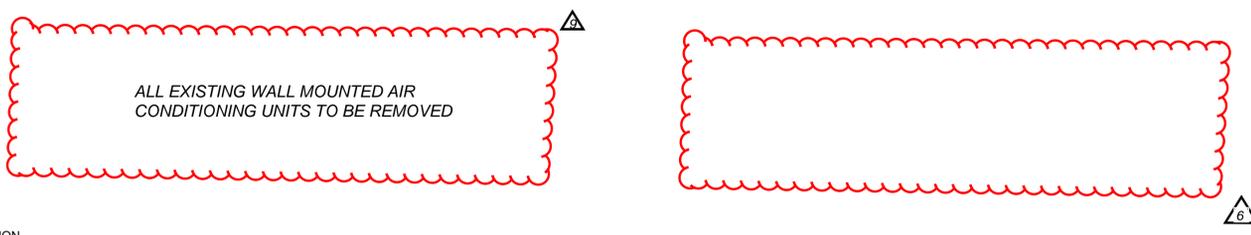
THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016



FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1' - 0"



HANDRAIL 34" (MAX36" ABOVE TREADMEASURE VERTICALLY TO TOP OF RAIL (SEE DETAIL A-8)



PLAN LEGEND:

DEMOTES EXISTING EXTERIOR WALL TO REMAIN	
DEMOTES EXISTING INTERIOR PARTITION FRAMING TO REMAIN	
DEMOTES EXISTING TO BE REMOVED (INTERIOR NON LOAD BARRING PARTITION)	
DEMOTES EXISTING DOOR TO REMAIN	①
DEMOTES EXISTING DOOR TO BE REMOVED	②
REMOVE ALL BATHROOM CABINETS, FIXTURES & TILE	③
REMOVE ALL KITCHEN CABINETS, FIXTURES & APPLIANCES	④
REMOVE ALL FINISH FLOORING & ALL INTERIOR DRYWALL/PLASTER THROUGHOUT THE ENTIRE UNIT	⑤

DEMOLITION NOTES:

THE BUILDING SHALL NOT BE OCCUPIED DURING THE DEMOLITION.
 THE BUILDING IS NOT CURRENTLY APRINKLED.
 THE CONTRACTOR SHALL OBTAIN A PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA.
 THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED.
 THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING DEMOLITION.
 THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
 IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.
 NOTE:
 THE ASBESTOS REPORT IS TO BE PROVIDED BY THE OWNER PRIOR TO PERMIT PROCESSING.
 ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.
 REMOVE EXISTING NON LOAD BEARING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.
 COORDINATE WITH CONSTRUCTION DRAWINGS.
 POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES.
 REMOVE ALL WIRING FROM DEMOLISHED RECEPTACLES TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING.



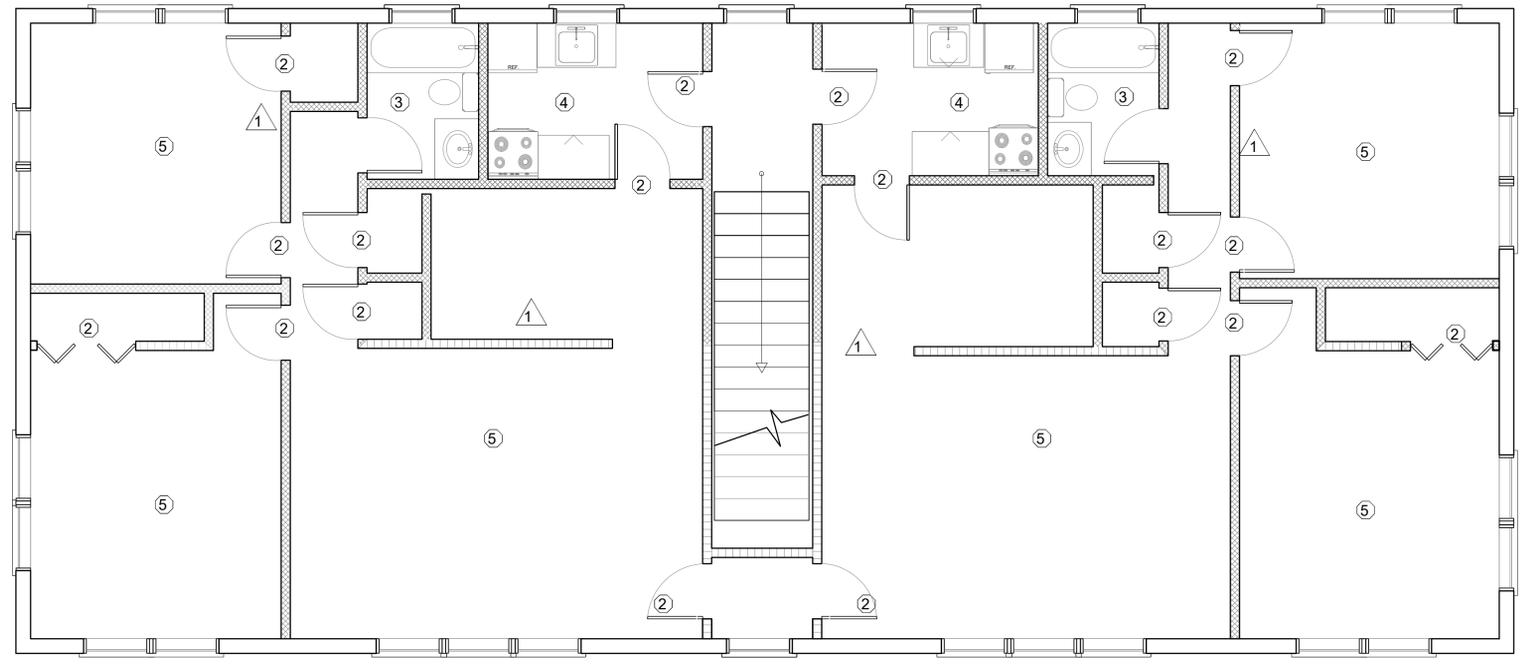
1

2

3

4

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1' - 0"



ALL EXISTING WALL MOUNTED AIR
CONDITIONING UNITS TO BE REMOVED

[Red dashed box containing a triangle symbol with the number 6 inside]

PLAN LEGEND:	
DEMOTES EXISTING EXTERIOR WALL TO REMAIN	
DEMOTES EXISTING INTERIOR PARTITION FRAMING TO REMAIN	
DEMOTES EXISTING TO BE REMOVED (INTERIOR NON LOAD BARRING PARTITION)	
DEMOTES EXISTING DOOR TO REMAIN	①
DEMOTES EXISTING DOOR TO BE REMOVED	②
REMOVE ALL BATHROOM CABINETS, FIXTURES & TILE	③
REMOVE ALL KITCHEN CABINETS, FIXTURES & APPLIANCES	④
REMOVE ALL FINISH FLOORING & ALL INTERIOR DRYWALL/PLASTER THROUGHOUT THE ENTIRE UNIT	⑤

DEMOLITION NOTES:

THE BUILDING SHALL NOT BE OCCUPIED DURING THE DEMOLITION.
 THE BUILDING IS NOT CURRENTLY APRINKLED.
 THE CONTRACTOR SHALL OBTAIN A PERMIT AND ANY OTHER REQUIRED APPROVAL PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA.

LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED.
 R CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM
 NED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
 ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.

NOTE:
 THE ASBESTOS REPORT IS TO BE PROVIDED BY THE OWNER PRIOR TO PERMIT PROCESSING.
 ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.
 REMOVE EXISTING NON LOAD BEARING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN.
 COORDINATE WITH CONSTRUCTION DRAWINGS.
 POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES.
 REMOVE ALL WIRING FROM DEMOLISHED RECEPTACLES TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING.

PROJECT:

1330 Building

1330 15th Street, Miami Beach, FL 33139

PROJECT OWNER:

NOTUS LLC
 435 21st Street, Miami Beach, FL 33139

ARCHITECT OF RECORD:



RD Architects

1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
 P: 786.762.2679 P: 305.831.8079 C: 305.282.0005
 Email: rda@rda-archint.com
 www.rda@rda-archint.com

AA26002510

STRUCTURAL ENGINEER:

CONSULTANT:

KEY PLAN



SIGNATURE / DATE / SEAL

Victor H. Rodriguez,
 Registered Architect
 State of Florida # AR0094965
 786.762.2679 vhr@rda-archint.com

PERMIT SET

Issue: Issue Date / For
 12.05.2016 / Revision

02.19.2018 / City Comments

06.25.2018 / City Comments

DDCI Project #: 1615.00

Drawn by: URB

Approved by: VHR

SHEET INDEX

SCALE:

SHEET NO.

A-1.3

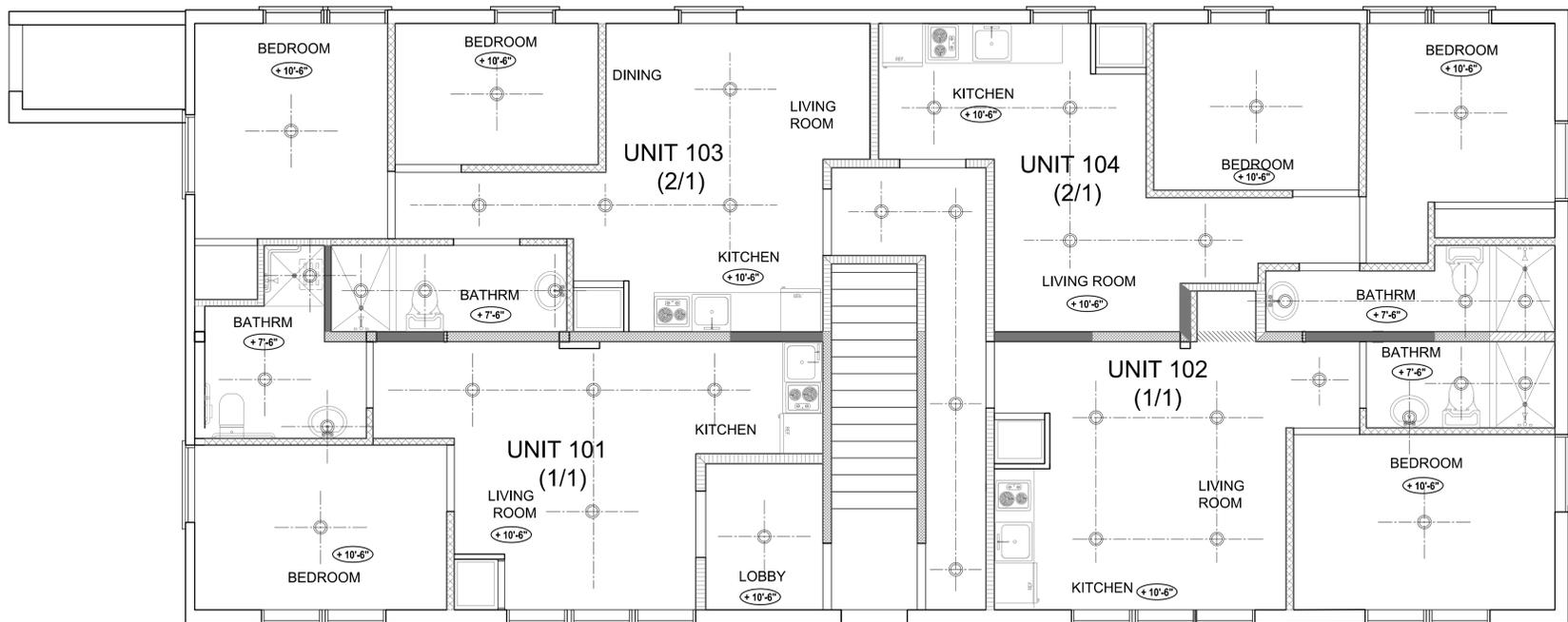
1

2

3

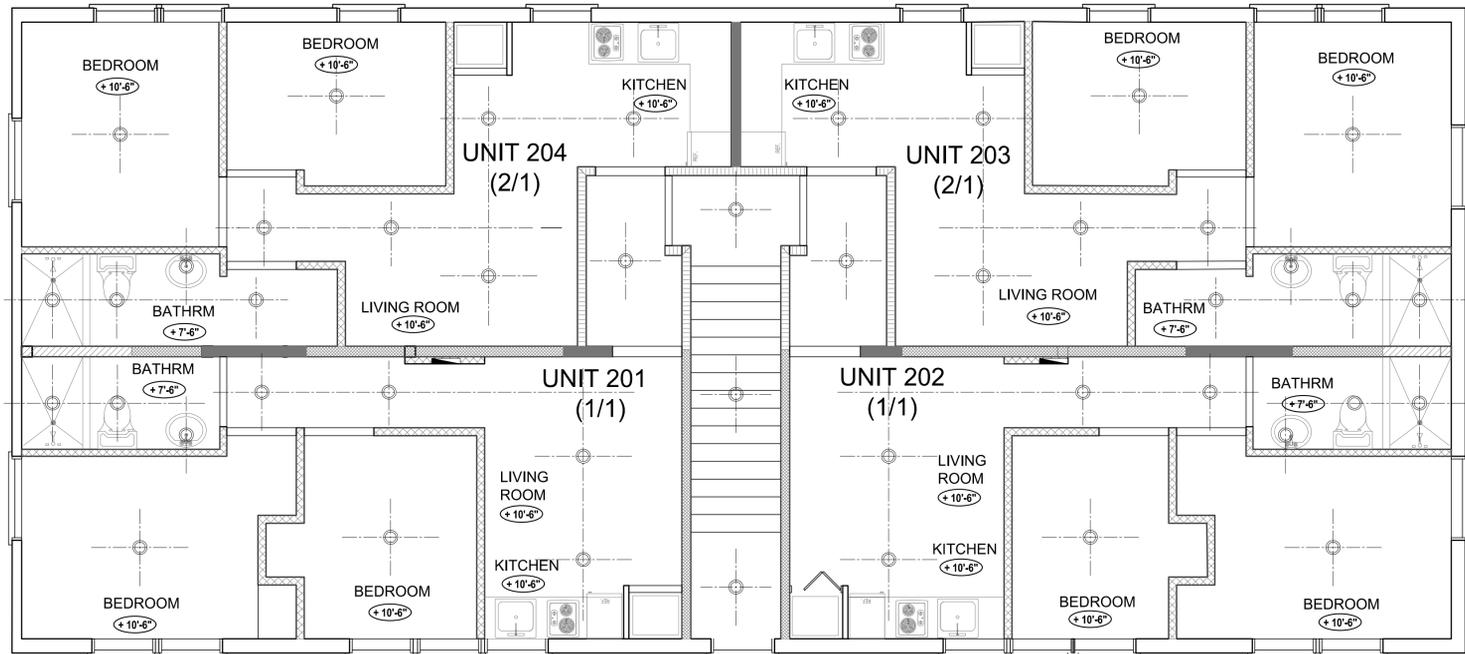
4

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016



REFLECTED CEILING PLAN LEVEL 1

SCALE : 1/4"=1'-0"



REFLECTED CEILING PLAN LEVEL 2

SCALE : 1/4"=1'-0"



PROJECT:

1330 Building

1330 15th Street, Miami Beach, FL 33139

PROJECT OWNER:

NOTUS, LLC
435 21st Street, Miami Beach, FL 33139

ARCHITECT OF RECORD:



RD Architects
1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
Email: rda@rda-archint.com
www.rda@rda-archint.com / AA26002510

CONSULTANT ENGINEER:

KEY PLAN



SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE



Victor H. Rodriguez,
Registered Architect
State of Florida # AR0094965
305.282.0005 vh.rodriguez@rda-archint.com

PERMIT SET

Issue	Issue Date / For
(1)	09.12.2016 / Change of Architect

△	12.17.2017 / Fire Dept. Comments
△	02.19.2018 / City Comments
△	04.20.2018 / Reviewer Comments

DDCI Project #: 1628.00
Drawn by: VHR
Approved by: VHR

SHEET INDEX

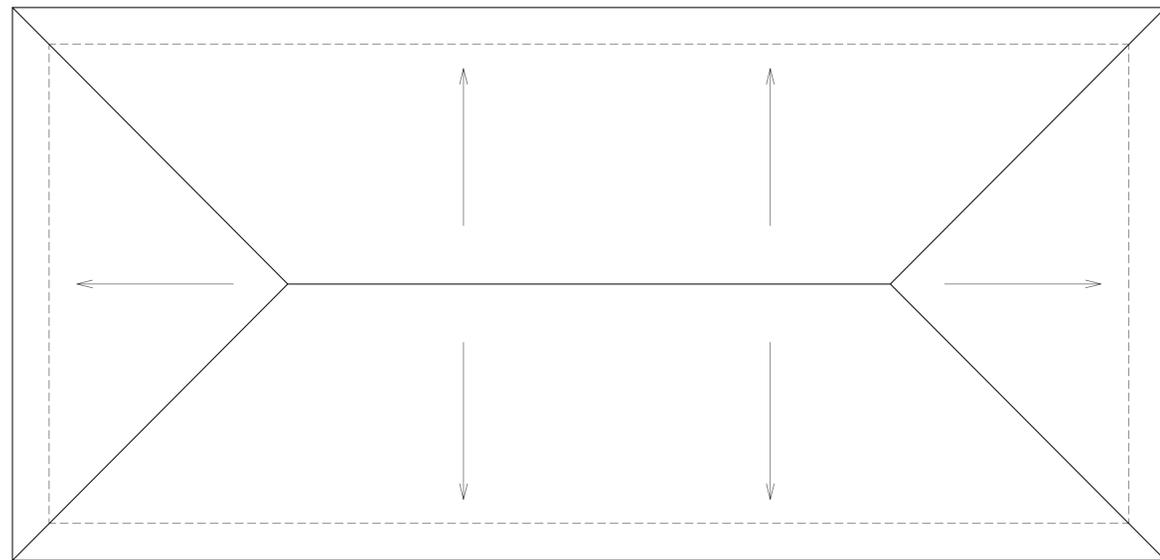
4 - Proposed Reflected Ceiling Plans Levels 1 and 2



SCALE : 1/4" = 1'-0"

SHEET NO.

A-1.1a



EXISTING ROOF PLAN
SCALE: 3/16" = 1'-0"



IMAGES OF EXISTING UTILITY ROOM
NTS

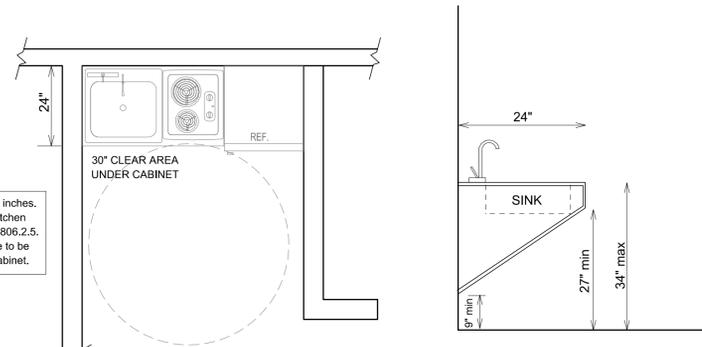
PROJECT: **1330 Building**
1330 15th Street, Miami Beach, FL 33139
PROJECT OWNER: NOTUS, LLC
435 21st Street, Miami Beach, FL 33139
ARCHITECT OF RECORD: **RD Architects**
1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
Email: rda@rda-archint.com / AA26002510
CONSULTANT ENGINEER:



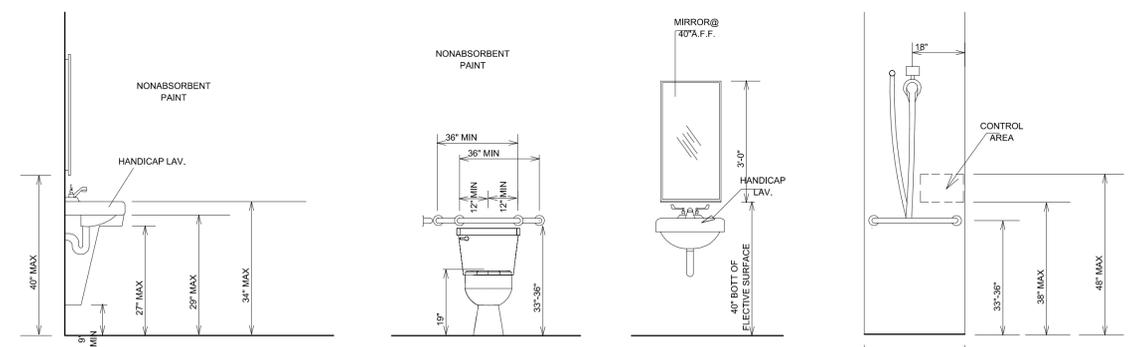
An Accessibility Waiver#VW 2015-068 for vertical accessibility has been approved by the State of Florida

COUNTERTOPS AND SINKS SHALL BE MOUNTED AT A MAXIMUM HEIGHT OF 34" ABOVE FLOOR. WALLS WITHIN 2' OF WATER CLOSETS SHALL HAVE EPOXY PAINT OR OTHER NONABSORBENT FINISH.

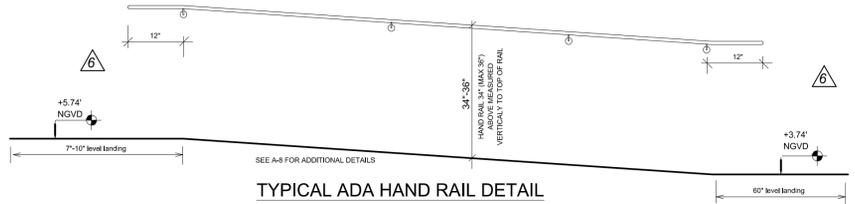
The kitchen work surface shall be 34 inches maximum above the finish floor. Kitchen counter and sink to comply with FAC 806.2.5. Will provide maneuvering clearance to be able to put wheelchair feet under cabinet.



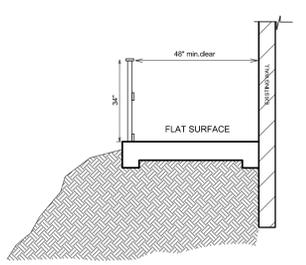
UNIT #102 ACCESSIBLE ROOM (ADA) KITCHEN DETAIL
SCALE: 3/16"=1'-0"



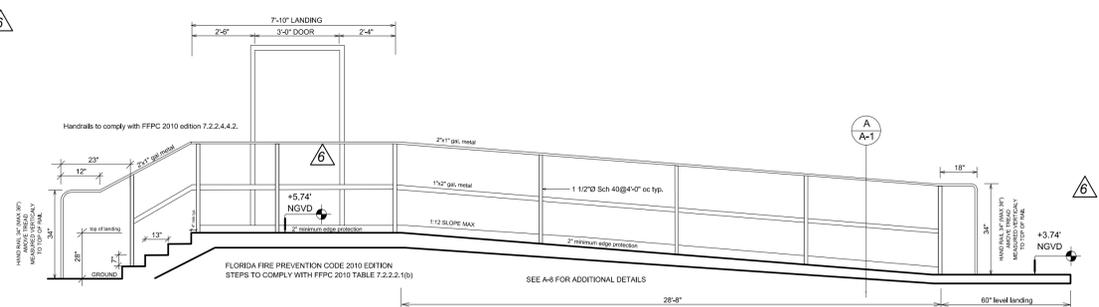
All handrails to return to wall. FFPC 2010 7.2.2.4.4.9.



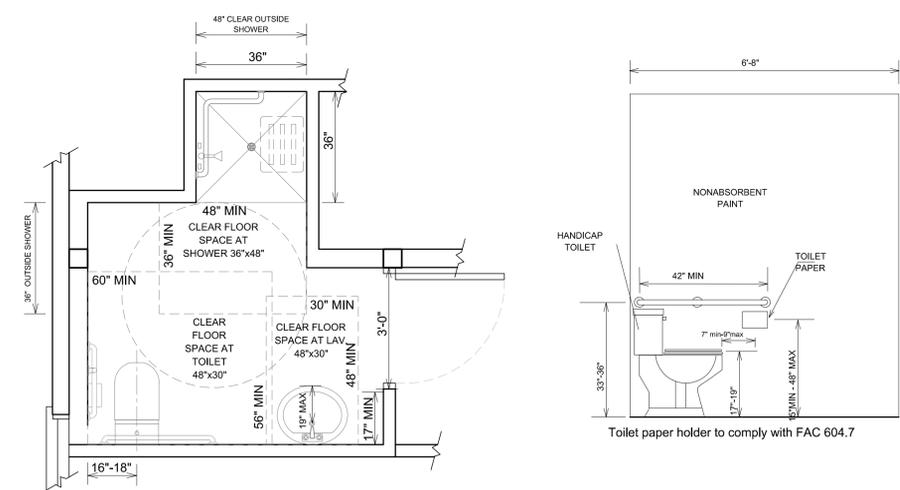
TYPICAL ADA HAND RAIL DETAIL
SCALE: NTS
SEE FLORIDA FIRE PREVENTION CODE 2010 EDITION



ADA RAMP SECTION
SCALE: NTS



ADA RAMP & STAIR EAST ELEVATION
SCALE: NTS



UNIT #101 ACCESSIBLE ROOM (ADA) BATHROOM DETAIL
SCALE: 3/16" = 1'-0"

SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE



Victor H. Rodriguez,
Registered Architect
State of Florida # AR0094965
305.282.0005 v.h.rodriguez@rda-archint.com

PERMIT SET

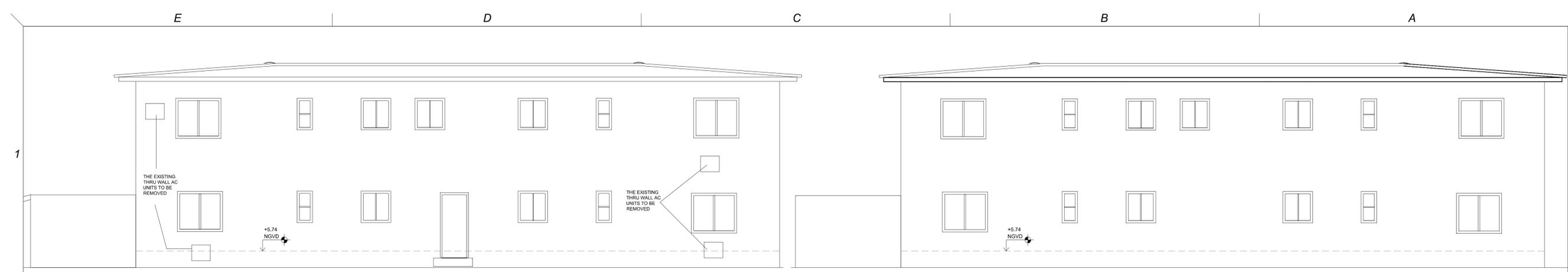
Issue	Issue Date / For
(1)	09.12.2016 / Change of Architect
(2)	02.19.2018 / City Comments
(3)	04.20.2018 / Reviewer Comments

DDCI Project #: 1628.00
Drawn by: VHR
Approved by: VHR

SHEET INDEX
4 - Existing Roof Plan
- Accessible Ramp Details
- ADA bathrooms

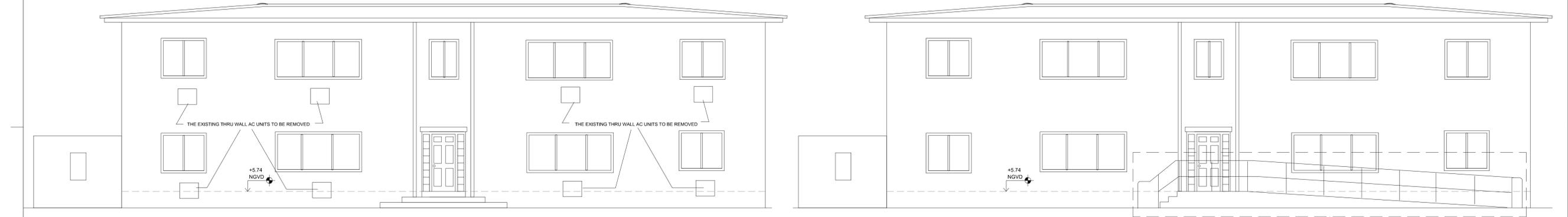
SCALE:
SHEET NO.

A-2



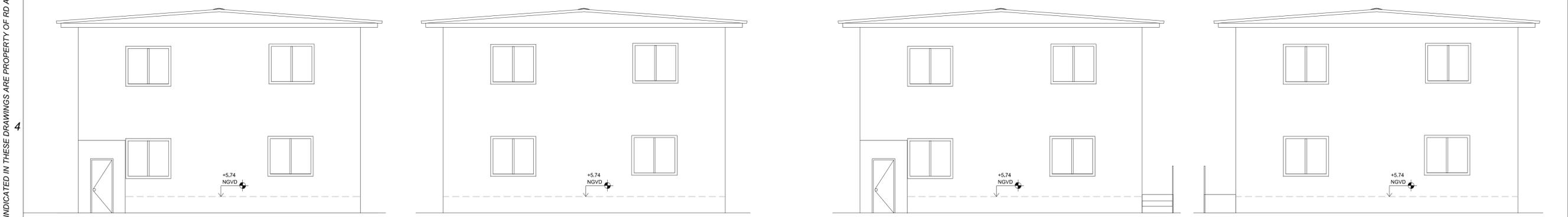
EXISTING WEST ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EXISTING NORTH ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



PROJECT: **1330 Building**
1330 15th Street, Miami Beach, FL 33139
PROJECT OWNER: NOTUS, LLC
435 21st Street, Miami Beach, FL 33139
ARCHITECT OF RECORD: **RD Architects**
1800 SW 1st Avenue, Suite 607, Miami, Florida 33129
P: 786.762.2679 F: 305.831.8079 C: 305.282.0005
Email: rda@rda-archint.com
www.rda@rda-archint.com / AA26002510

CONSULTANT ENGINEER:



SIGNATURE / DATE / SEAL

NOT VALID IF MISSING SIGNATURE
VICTOR H. RODRIGUEZ
REGISTERED ARCHITECT
ARS4965
Victor H. Rodriguez,
Registered Architect
State of Florida # AR0094965
305.282.0005 vh.rodriguez@rda-archint.com

PERMIT SET

Issue	Issue Date / For
1	12.05.2016 / Owner Revisions
2	05.05.2017 / Reviewer Comments
3	08.07.2017 / Reviewer Comments
4	12.17.2017 / Fire Dept. Comments
5	02.19.2018 / City Comments

DDCI Project #: 1628.00
Drawn by: VHR
Approved by: VHR

SHEET INDEX
4 - Existing Elevations
- Proposed Elevations

SCALE:
SHEET NO.

A-3

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016

PROJECT: **1330 Building**
 1330 15th Street, Miami Beach, FL 33139
 PROJECT OWNER:
 NOTUS LLC
 435 21st Street, Miami Beach, FL 33139
 ARCHITECT OF RECORD:



AA26002510
 STRUCTURAL ENGINEER:

CONSULTANT:



SIGNATURE / DATE / SEAL

Victor H. Rodriguez,
 Registered Architect
 State of Florida # AR0094965
 786.762.2679 v.h.rodriguez@rda-archint.com

PERMIT SET

Issue	Issue Date / For
1	12.05.2016 / Revision

DDCI Project #: 1615.00
 Drawn by: **URB**
 Approved by: **VHR**

SHEET INDEX

SCALE:
 SHEET NO.

**AS PER TABLE 803.9 O FLORIDA BUILDING CODE
 INTERIOR WALL AND CEILING FINISH REQUIREMENTS
 SPRINKLERED**

GROUP	Exir enclisures & exit passageways	CORRIDORS	Rooms and enclosed spaces
R-1	B	C	C

ZONING NOTES:
 1- LANDSCAPING IS NOT PART OF THIS PERMIT, BUT LANDSCAPING PLANS WILL BE PROVIDED, APPROVED AND THE WORK COMPLETED BEFORE CO.
 2- FDC WILL BE WILL BE CHROME PLATED.
 3- NEW PAINT PERMIT IS REQUIRED FROM PLANNING DEPARTMENT, AND WILL BE APPROVED AND THE WORK COMPLETED BEFORE CO.
 4- NO EXTERIOR WORK BEING DONE EXCEPT FOR WINDOWS, DOORS, PAINT & HAND RAIL.

UNIT#	SQ.FT	UNIT#	SQ.FT
101	419	201	436
102	400	202	438
103	484	203	476
104	465	204	474
TOTAL	3,592	AVERAGE	449

NEW DOOR SCHEDULE

MARK	TYPE	SINGLE/DOUBLE	MATERIALS	REMARKS	NOTE
1	3'-0"x6'-8"	single	metal	Self closing, self latching, 1 hour B label assembly, 32" clear opening	swing
2	2'-10"x6'-8"	single	wood	32" clear opening - Hollow core interior door	swing
3	3'-0"x6'-8"	single	wood	Hollow core interior door ADA hardware	swing
4	2'-10"x6'-8"	single	wood	32" clear opening - Hollow core interior door	pocket
7	All exterior entry doors are 3'-0"x6'-8" with 32" minimum clear opening. Approved under permit B1505737, not part this permit.				

NEW FINISH SCHEDULE

AREA	FLOOR	BASE	WALLS	CEILING	SILL
Linving	Marble/title	Marble/tile	Drywall	Drywall	Drywall
Dinning	Marble/title	Marble/tile	Drywall	Drywall	Drywall
Kitchen	Marble/title	Marble/tile	Drywall	Drywall	Drywall
Bedroom	Marble/title	Marble/tile	Drywall	Drywall	Drywall
Bathroom	Marble/title	Marble/tile	Cement board*marble/tile	Drywall	Drywall
Hallway	Marble/title	Marble/tile	Drywall	Drywall	Drywall
Stairs	Wood	Wood	Drywall	Drywall	Drywall

ALTERATION LEVEL 3
 GROSS AREA OF CONSTRUCTION 3,960 sq.ft.
 ALL INTERIOR WALLS, CEILINGS, FLOORS, DECORATIONS AND TRIM, SHALL COMPLY WITH FBC CHAPTER 8, AND NFPA 10.2 & 10.3
 ALTERATION SHALL NOT REDUCE THE LEVEL OF SAFETY AND ENERGY EFFICIENCY OF THE BUILDING.
 INTERIOR FINISHED TO COMPLY WITH FLAME SPREAD REQUIREMENTS OF THE FBC.
 ALL ALTERATIONS SAHLL COMPLY WITH FBC CHAPTER 13.
 ALL EXITS AND CORRIDORS SHALL COMPLY WITH FBC E 603.4 AND NFPA 10.2 & 10.3.

NOTES:
 BASE LAYERS 5/8" GYPSUM WALLBOARD APPLIES AT RIGHT ANGLES TO 2x10 WOOD JOISTS 24" O.C. WITH 1 1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS 1 7/8" TYPE S DRYWALL SCREWS 12" O.C. PLACED 2" AT JOISTS AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS JOINTS OFFSET 1/2" PLYWOOD WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS WITH 8d NAILS. CEILING PROVIDES ONE HOUR FIRE RESISTANCE PROTECTION FOR WOOD FRAMING, INCLUDING TRUSSES.

NOTE:
 -WALLS WITHIN 2' OF WATER CLOSETS SHALL HAVE EPOXY PAINT OR OTHER NONABSORBENT FINISH.

GENERAL NOTES:
 1. BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL.
 2. NUMBERS OF ADDRESS SHALL BE PLACED VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL BE 3. INCHES MIN. HEIGHT.
 4. ALL WATER CLOSETS, LAVATORIES, SHOWERHEADS, AND SKINS SHALL COMPLY WITH F.B.C.
 5. ALL GLASS USED INSIDE OF DWELLING SHALL BE TEMPERED.
 6. DISPOSAL OF STORMWATER WILL COMPLY W/F.B.C.
 7. ALL WORK SHALL CONFORM WITH LATEST REQUIREMENT OF FLORIDA BUILDING CODE, NATIONAL, ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION, O.S.H.A. AND ALL OTHER CODES HAVING CONTROL OVER THE PROJECT.

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF RD Architects. ALL COPYRIGHTS RESERVED © 2016

