

LOT 6020-6030 LEGAL DESCRIPTION

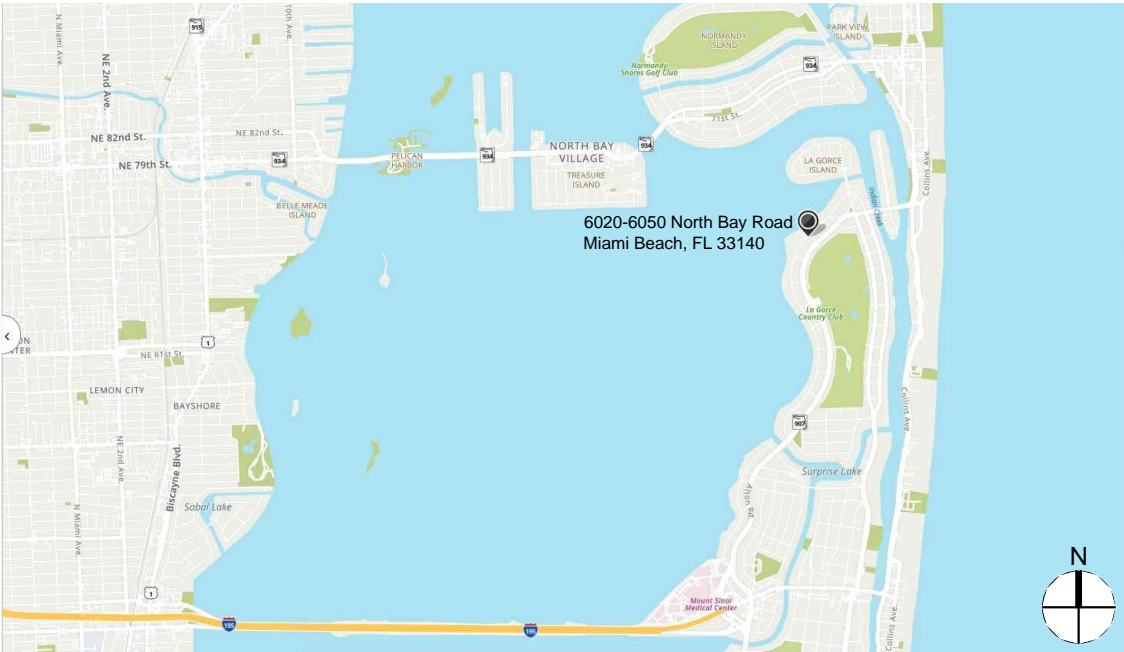
LATITUDE 25° 47' 28.35"N
LONGITUDE 80° 09' 29.93" W

LOTS 16, 17, and Northeasterly 15' of LOT 18 BLOCK 1, LA GORCE GOLF SUBDIVISION PLAT BOOK 14, PAGE 43; LOT SIZE 175' x 258.7' OR 20804-0203 10 2002 1 COC 23254-1290 04 2005 1

LOT 6050 LEGAL DESCRIPTION

LATITUDE 25° 50' 37"N
LONGITUDE 80° 07' 52" W

LOT 15 BLOCK 1, LA GORCE GOLF SUBDIVISION PLAT BOOK 14, PAGE 43; LOT SIZE 77.5' x 254' OR 20291-1542-1544 03 2002 1



ARCHITECTURAL DRAWINGS

- A.00 Project Location, Notes
- A.01 Copy of Recent Survey
- A.02 Zoning Data
- A.03 Existing Lot Coverage
- A.04 Demolition Plan
- A.05 Architectural Site Plan
- A.06 Understory Unit Size & Setbacks
- A.07 1st Floor Unit Size & Setbacks
- A.08 2nd Floor Unit Size & Setbacks
- A.09 Proposed Lot Coverage
- A.10 Understory Plan
- A.11 Main House 1st Floor Plan
- A.12 Main House 2nd Floor Plan
- A.13 Guest House Plans; Gym 1st Floor Plan
- A.14 Roof Plans
- A.15 MH North & South Elevations
- A.16 MH East & West Elevations
- A.17 Guest House & Gym Elevations
- A.18 Main House Sections
- A.19 Guest House, Side Yard Sections
- A.20 Property & Context Photos
- A.21 Property & Context Photos
- A.22 Property & Context Photos
- A.23 Property & Context Photos
- A.24 Property & Context Photos
- A.25 Property & Context Photos
- A.25.a Contextual Elevation Drawing

GENERAL SCOPE OF WORK

- Demolition of existing structures within property boundary
 - Construction of single-family residence & accessory structures
 - Site work, stormwater management and landscaping
- Docks and seawalls are separate projects under separate permits

ARCHITECTURAL RENDERINGS

- A.26 Aerial Looking North
- A.27 Aerial Looking South
- A.28 Aerial Looking East
- A.29 Entrance Drive
- A.30 Drive to Guest Court
- A.31 Main Entrance From Guest Court
- A.32 Pool Terrace Looking East
- A.33 Pool Terrace Looking South
- A.34 View From Main Dock
- A.35 Decorative Garage Gate
- A.36 Aerial Looking North, No Planting
- A.37 Axonometric Main House
- A.38 Axonometric Guest House
- A.39 Aerial South

LANDSCAPE DRAWINGS

- L.000 Cover Sheet
- L.020 Tree Disposition Plan
- L.021 Tree Disposition Schedule
- L.022 Tree Disposition Notes, Details
- L.100 Hardscape Plan
- L.300 Grading Plan
- L.400 Site Sections & Elevations
- L.401 Site Sections & Elevations
- L.402 Site Sections & Elevations
- L.403 Site Sections & Elevations
- L.404 Site Sections & Elevations
- L.600 Canopy Planting Plan
- L.610 Understory Planting Plan
- L.620 Landscape Legend
- L.630 Planting Schedule
- L.640 Planting Details
- L.650 Planting Notes & Specifications
- L.700 Landscape Lighting Specifications

FINAL SUBMITTAL
DRB22-0894

6020-6050 NORTH BAY ROAD
Peter Marino Architect, PLLC

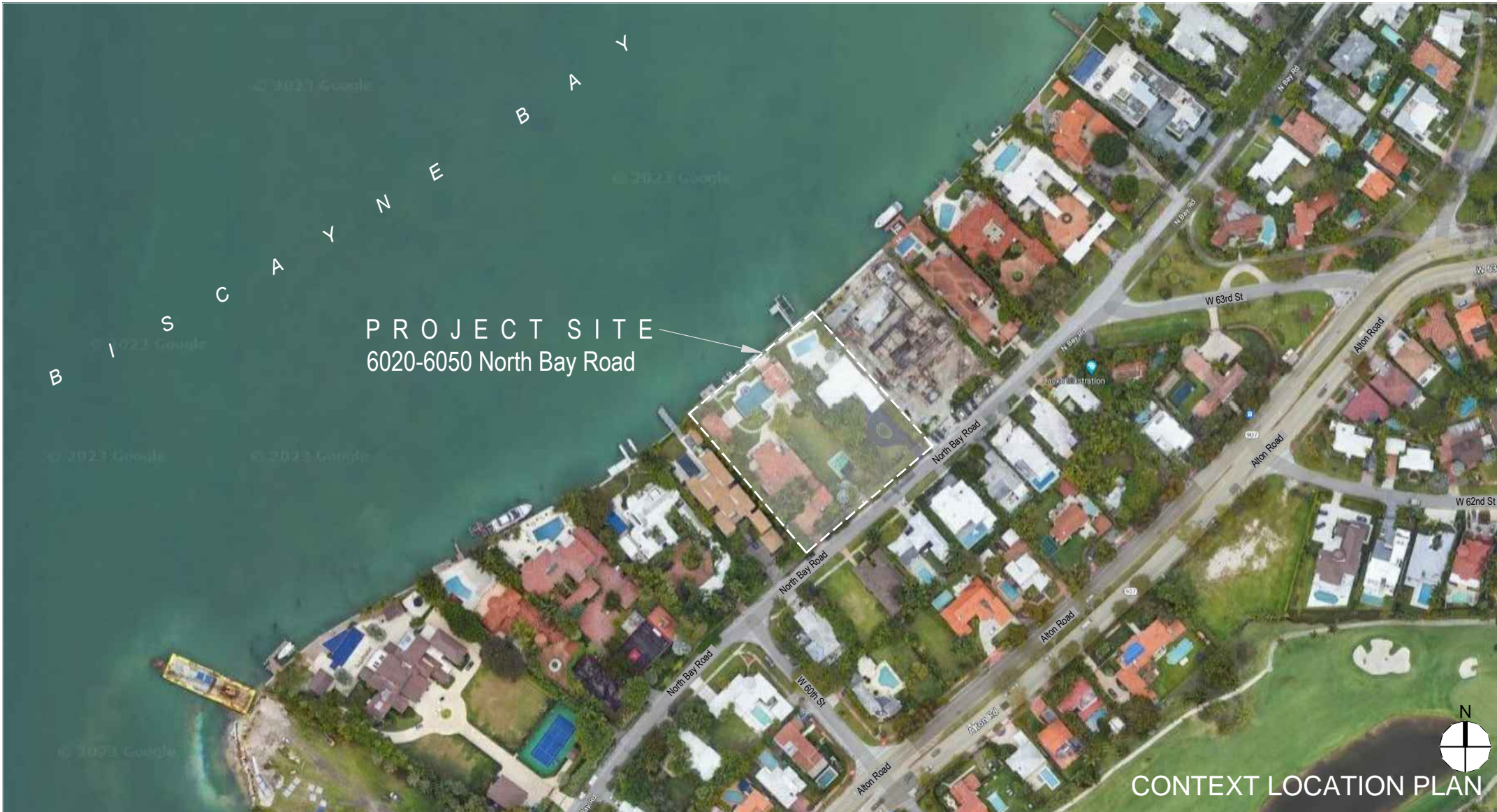
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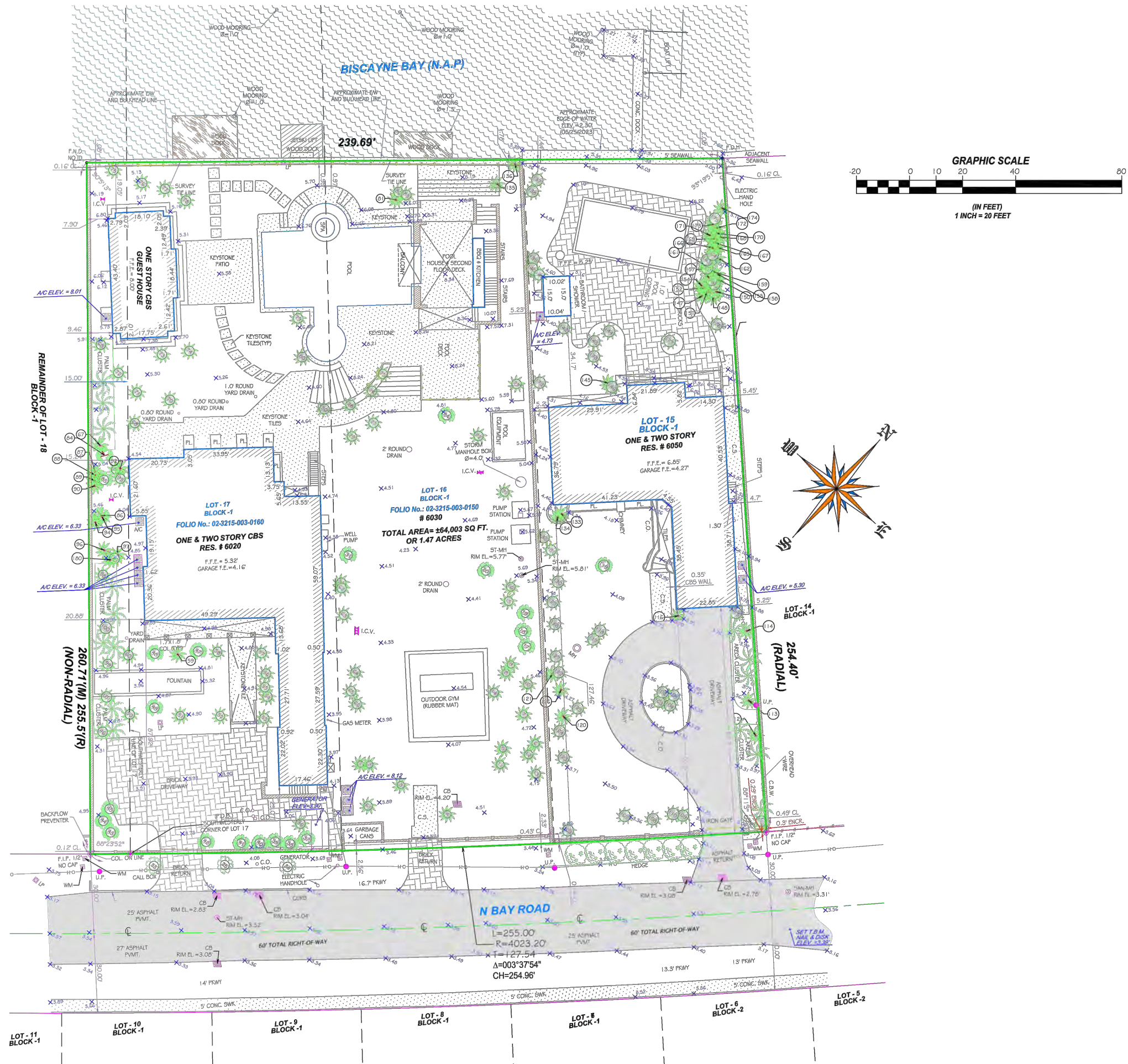
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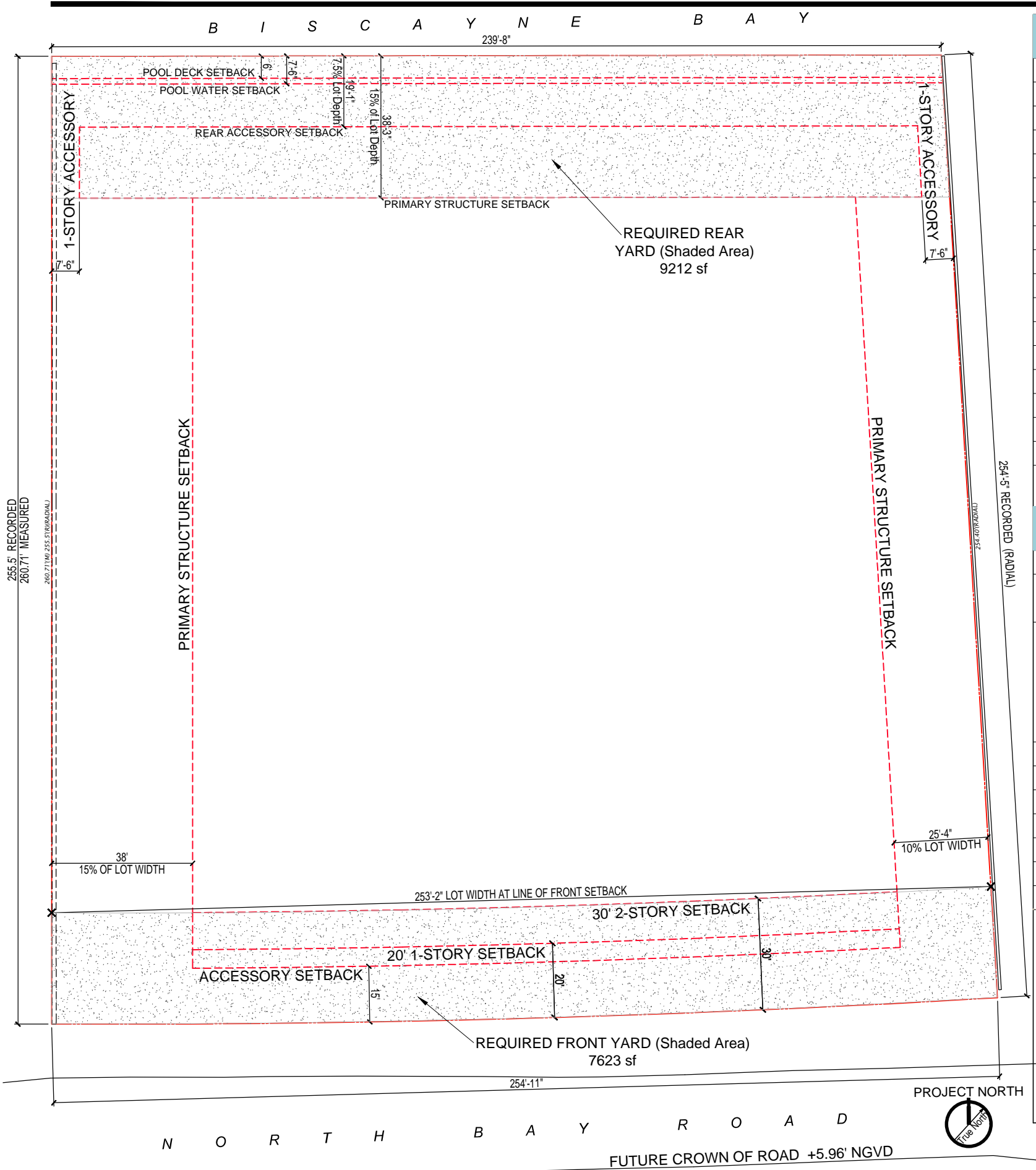
PROJECT LOCATION
AND NOTES

Drawing Number PMA Project 4141.0

A.00







P R O J E C T I N F O R M A T I O N				
1	Address	6020-6050 North Bay Road, Miami Beach FL 33140		
2	Folio numbers	02-3215-003-0160; 02-3215-003-0150; 02-3215-003-0140		
3	Board and file numbers	DRB22-0894		
4	Year Built	1935, 1951	Zoning District	RS-2
5	Located within a Local Historic District?	No		
6	Individual Historic Single Family Residence Site?	No		
7	Home determined Architecturally Significant by CMB?	No		
8	Base Flood Elevation	+8.00' NGVD	Grade Value per Public Works, NGVD	+5.96' NGVD
9	Adjusted Grade [(Base Flood+1') + Grade Value] / 2	+7.48' NGVD	Freeboard	1' Min, 5' Max
10	30" Above Grade	+9.98' NGVD	Lot Area	64,003 sf
11	Lot Width at Line of Required 30' Front Yard	253'-2"	Average Lot Depth	255'
12	Max Lot Coverage SF and %	19,201 sf; 30%	Proposed Lot Coverage SF and %:	11,054 sf; 17.2%
13	Existing Lot Coverage SF and %	12,441 sf; 19.6%	Net Lot Coverage (garage-storage)	11,054 sf; 17.2%
14	Front Yard Open Space SF and %	4,256 sf; 55.8%	Rear Yard Open Space SF and %:	5183 sf; 56%
15	Max Unit Size SF and %	32,001 sf; 50%	Proposed Unit Size SF and %:	27,689 sf; 43.3%
16	Existing First Floor Unit Size	10,980 sf	Proposed First Floor Unit Size	8,630 sf
17	Proposed Roof Deck Area SF and %	N/A	Proposed Second Floor Unit Size	7,472 sf
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, & Irrigation Plan)?	Refer to L-drawings in this submittal		

ZONING INFORMATION / CALCULATION		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
19	Height Above BFE (8.00') plus freeboard (5')	31' Maximum	N/A	31'-0"	N/A
20	Front Setback First Level	20'	25'	75'-1"	N/A
	Front Setback Second Level	30'	25'	75'-1"	N/A
21	Front Second Level for lot coverage 25% or greater: a) At least 35% of the front façade shall be set back 35 feet (5' more than minimum required setback)	35%	N/A	100%	N/A
	b) At least 50% of a 2nd floor side elevation facing a street shall be set back 5' more than required setback	50%	N/A	100%	N/A
22	Sum of Side Yards: Minimum 25% of Lot Width	63'-4"; 25%	N/A	63'-4"; 25%	N/A
23	Side 1 (East): Minimum 10% of Lot Width	25'-4" ; 10%	N/A	25'-4" ; 10%	N/A
24	Side 2 (West): Minimum 15% of Lot Width	38'-0" ; 15%	N/A	38'-0" ; 15%	N/A
25	Rear Yard: Minimum 15% of Lot Depth	38'-3" ; 15%	83'-8" ; 32.8%	41'-10" ; 16.4%	N/A
26	1-Story Accessory Structure Side 1 (East)	7'-6"	N/A	8'-6"	N/A
27	1-Story Accessory Structure Side 2 (West)	7'-6"	N/A	7'-6"	N/A
28	Accessory Structure Rear: Minimum 7.5% of Lot Depth	19'-1" ; 7.5%	19'-3" ; 7.54%	19'-1" ; 7.5%	N/A

30	ADDITIONAL DATA AND INFORMATION APPLICABLE TO THE PROJECT ARE PROVIDED IN THE FIELDS BELOW:	
	Understory Building Access:	Maximum Allowable 5% of Lot Area (3,200 sf) Proposed: 4.0% of Lot Area (2,582 sf)
	Understory Unit Size:	Bldg Access 2,582; Unconditioned Storage Spaces 7,905; Mechanical 1,100 Total 11,587 sf
	Sum of Driveway Widths at Property Line:	Maximum Allowable 30% of Lot Width (75'-11") Proposed: 18' + 15' = 33'-0"
	Main House and Guest House are proposed as primary structures. Elevations shown are referred to National Geodetic Vertical Datum (NGVD).	

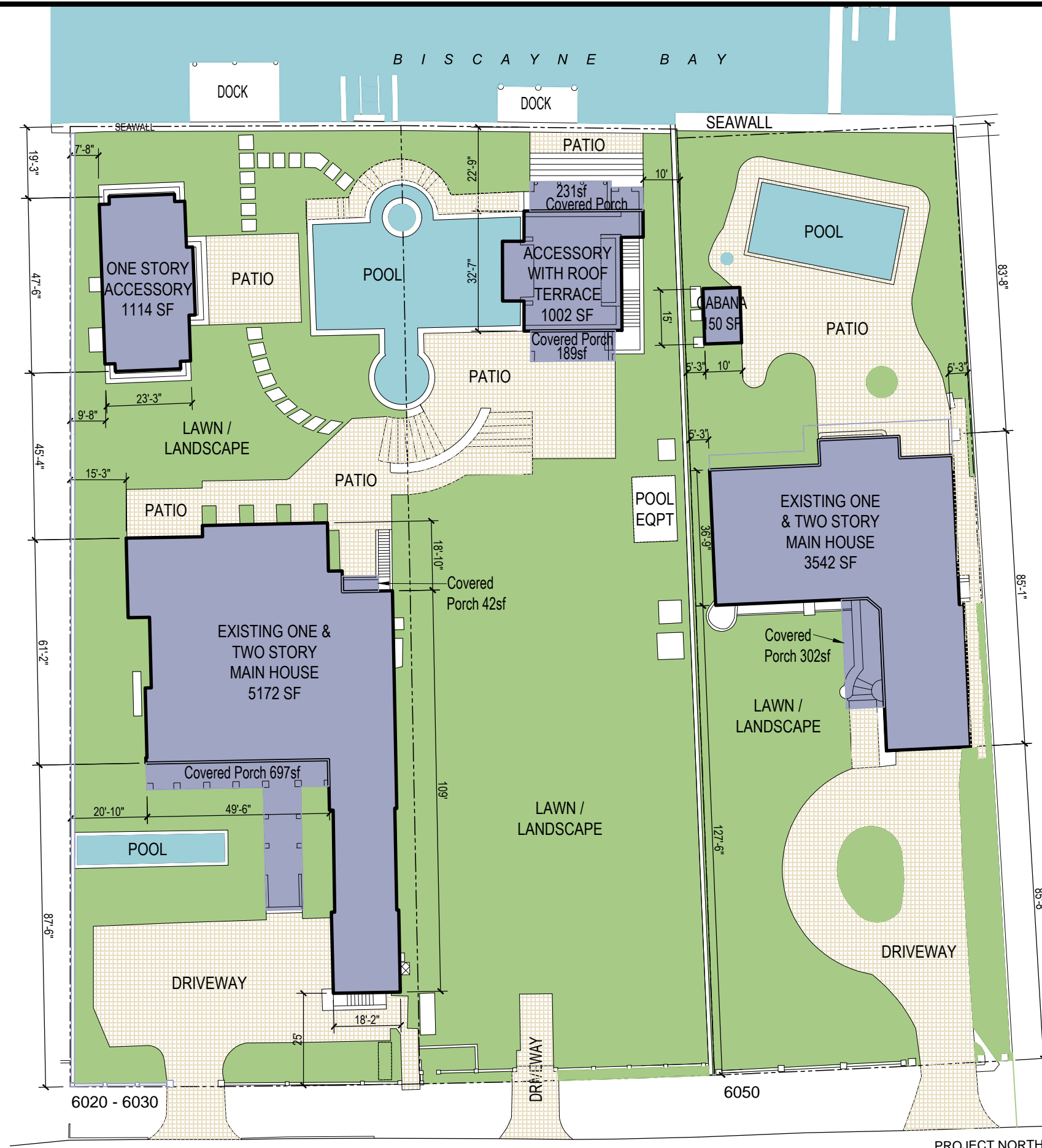
6020-6050 NORTH BAY ROAD
Peter Marino Architect, PLLC

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ZONING INFORMATION
BOUNDARY AND SETBACKS
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PROPERTY BOUNDARY AND REQUIRED SETBACKS



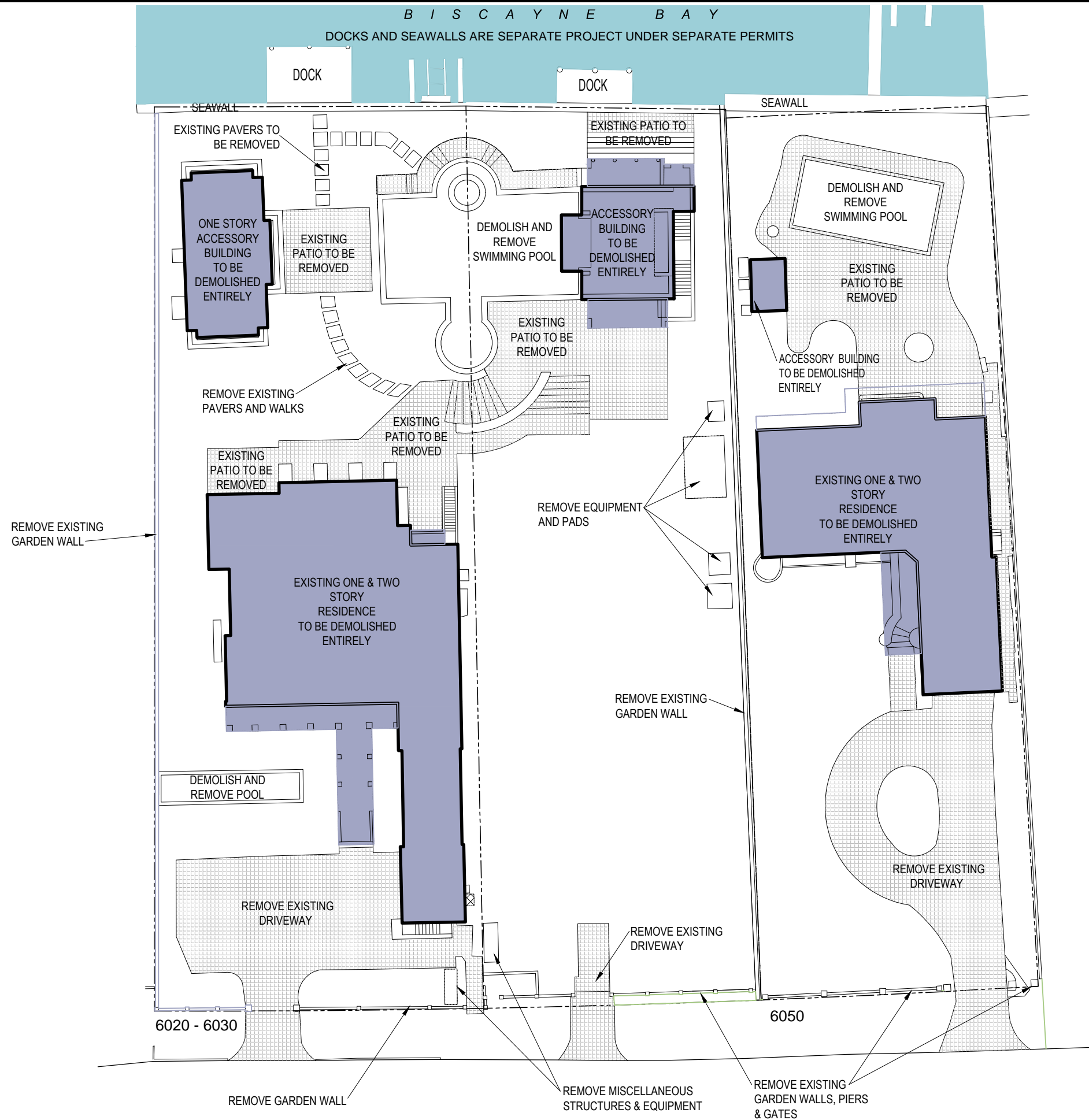
- GROUND FLOOR AREA OF BUILDINGS, INCLUDING COVERED PIORCHES
- OPEN LANDSCAPED AREA
- PAVED AREA

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EXISTING UNIT SIZE AND LOT COVERAGE
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GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES
2. CONTRACTOR SHALL OBTAIN ALL PERMITS WITH THE CITY OF MIAMI BEACH AND COMPLY WITH APPLICABLE REQUIREMENTS; CONTRACTOR SHALL PROVIDE REQUIRED NOTIFICATIONS AND PERFORM WORK IN COMPLIANCE WITH LOCAL ORDINANCES
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN; RESPONSIBILITY MEANS REPLACEMENT OF, OR RESTORATION TO ORIGINAL CONDITION OF DAMAGED ITEMS
4. CONTRACTOR SHALL REMOVE DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS, AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER
5. CONTRACTOR SHALL PERFORM INSECT & RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION
6. CONDUCT OPERATIONS SO AS NOT TO INTERFERE WITH ADJACENT ROADS, STREETS, DRIVES, WALKS AND UTILITIES
7. MAINTAIN PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. LEGALLY DISPOSE ALL MATERIALS AFTER DEMOLITION
8. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHERE PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING DEMOLITION AND MOVING OF MATERIALS; PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH, AND DEBRIS
9. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT; BESIDES THE REMOVAL OF WASTE MATERIALS, THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM REMAINING SURFACES, STRUCTURAL ELEMENTS AND UTILITIES
10. CONTRACTOR SHALL PERFORM NECESSARY TESTING FOR ASBESTOS-CONTAINING MATERIAL AND SHALL RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ASBESTOS-CONTAINING MATERIAL IN ACCORDANCE WITH REGULATIONS OF THE STATE OF FLORIDA

SCOPE OF WORK

1. SCOPE OF DEMOLITION INCLUDES ALL RESIDENCES AND STRUCTURES ON SITE
2. REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL DECKS, DRIVERS, AND FENCES AS INDICATED ON PLAN
3. MAINTAIN AND PROTECT ALL EXISTING TREES

TREE PROTECTION

PROVIDE 8'x8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'x12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER

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DEMOLITION PLAN

Drawing Number

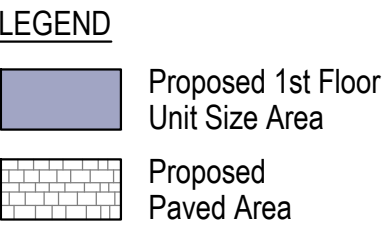
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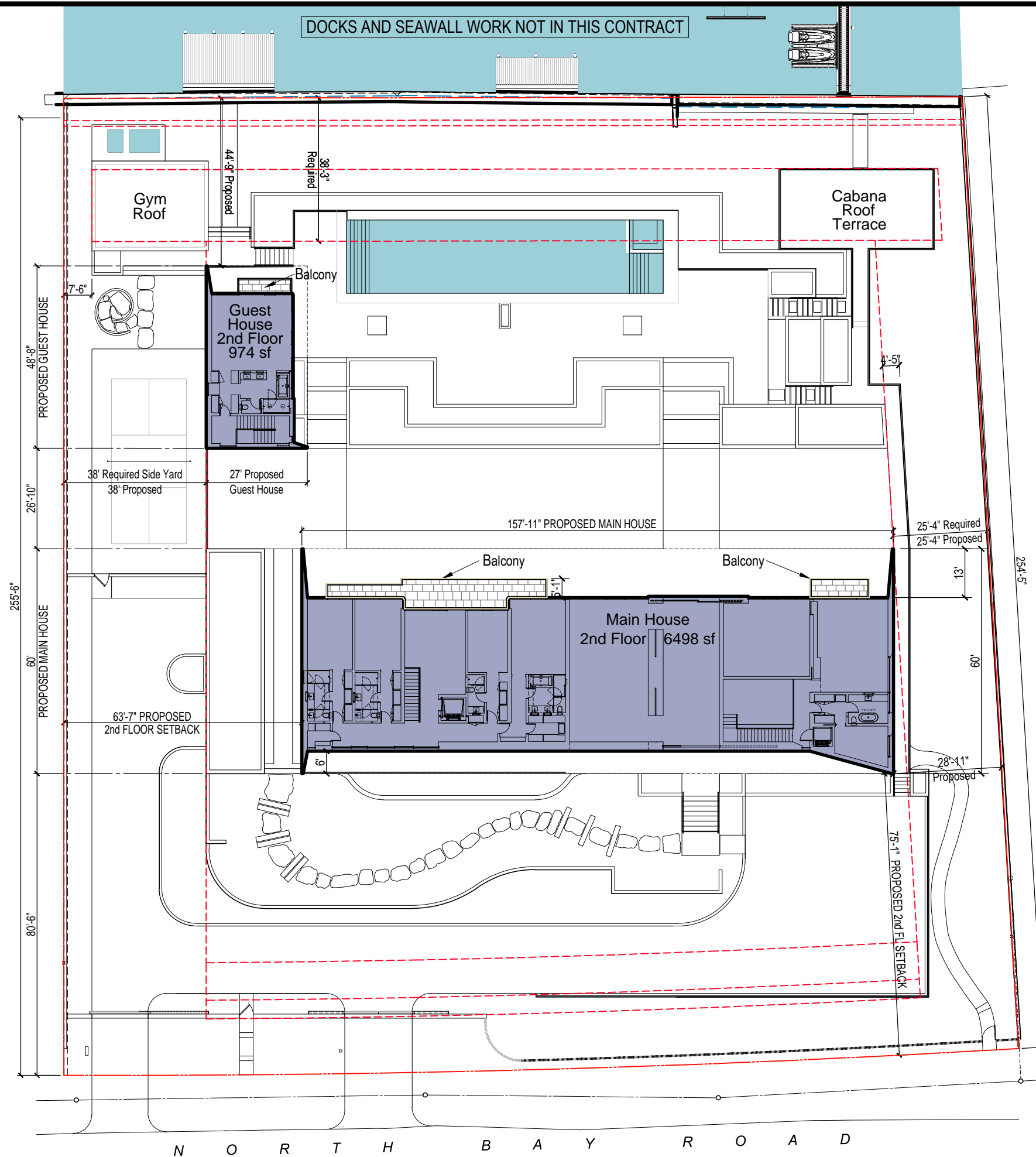
PROJECT NORTH





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LEGEND

- Proposed Unit Size Area
- Proposed Balcony

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SECOND FLOOR UNIT SIZE
AND SETBACKS
Drawing Number: PMA Project 4141.0

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Proposed Pervious Rear Yard
Open Area:

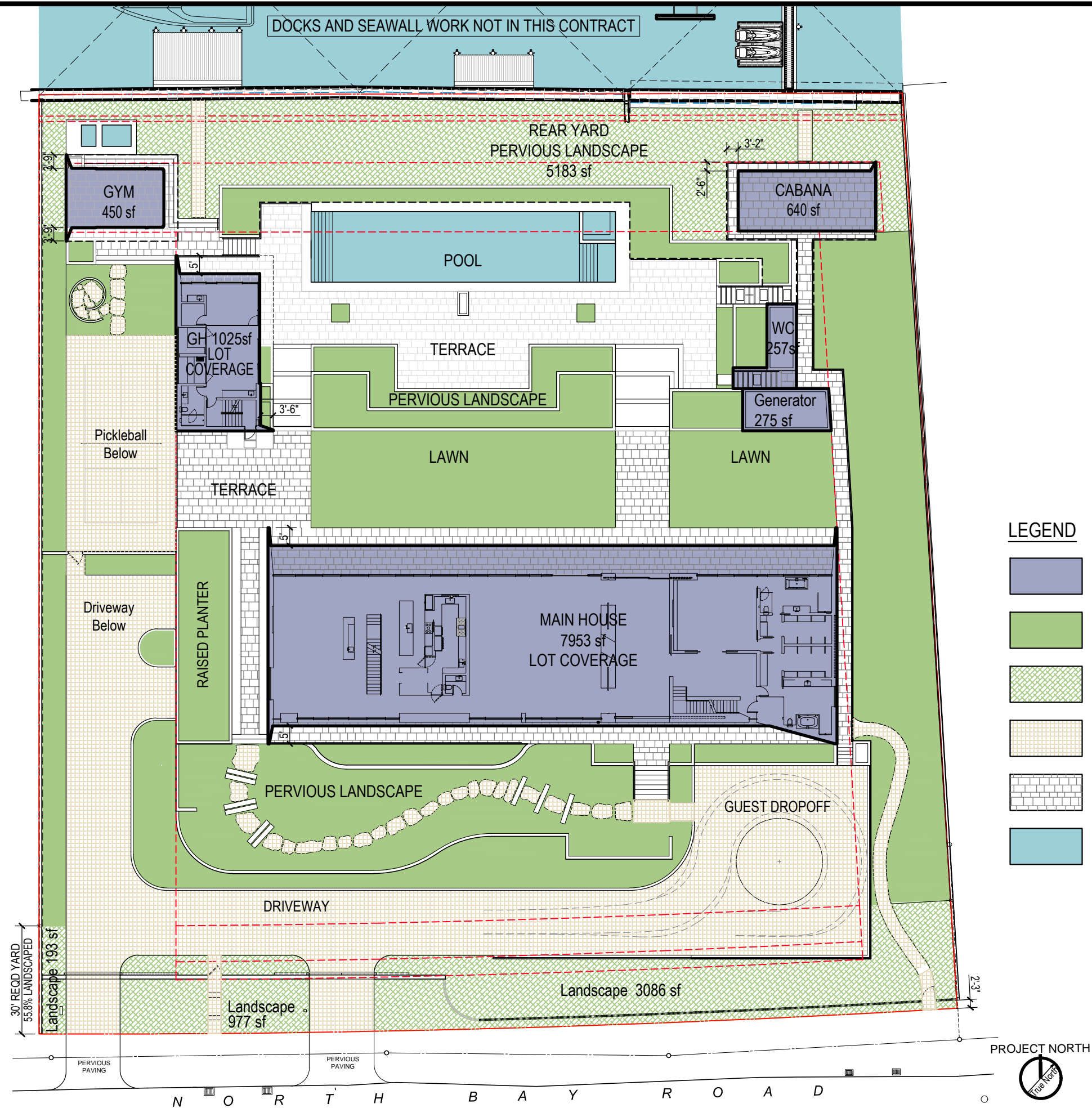
Total Required Rear Yard Area
(per plan, sheet A.02): 9,212 sf

Total Proposed Rear Yard Open
Area, This Sheet: 5,183 sf (56%)

Proposed Pervious Front Yard
Open Area:

Total Required Front Yard Area
(per plan, sheet A.02): 7,623 sf

Total Proposed Front Yard Open
Area, This Sheet: 4,256 sf (55.8%)



LEGEND

- Proposed Lot Coverage
- Proposed Pervious Open Space
- Front & Rear Yard Pervious Open Space
- Proposed Semi-Pervious Paving
- Proposed Impervious Open Space
- Water

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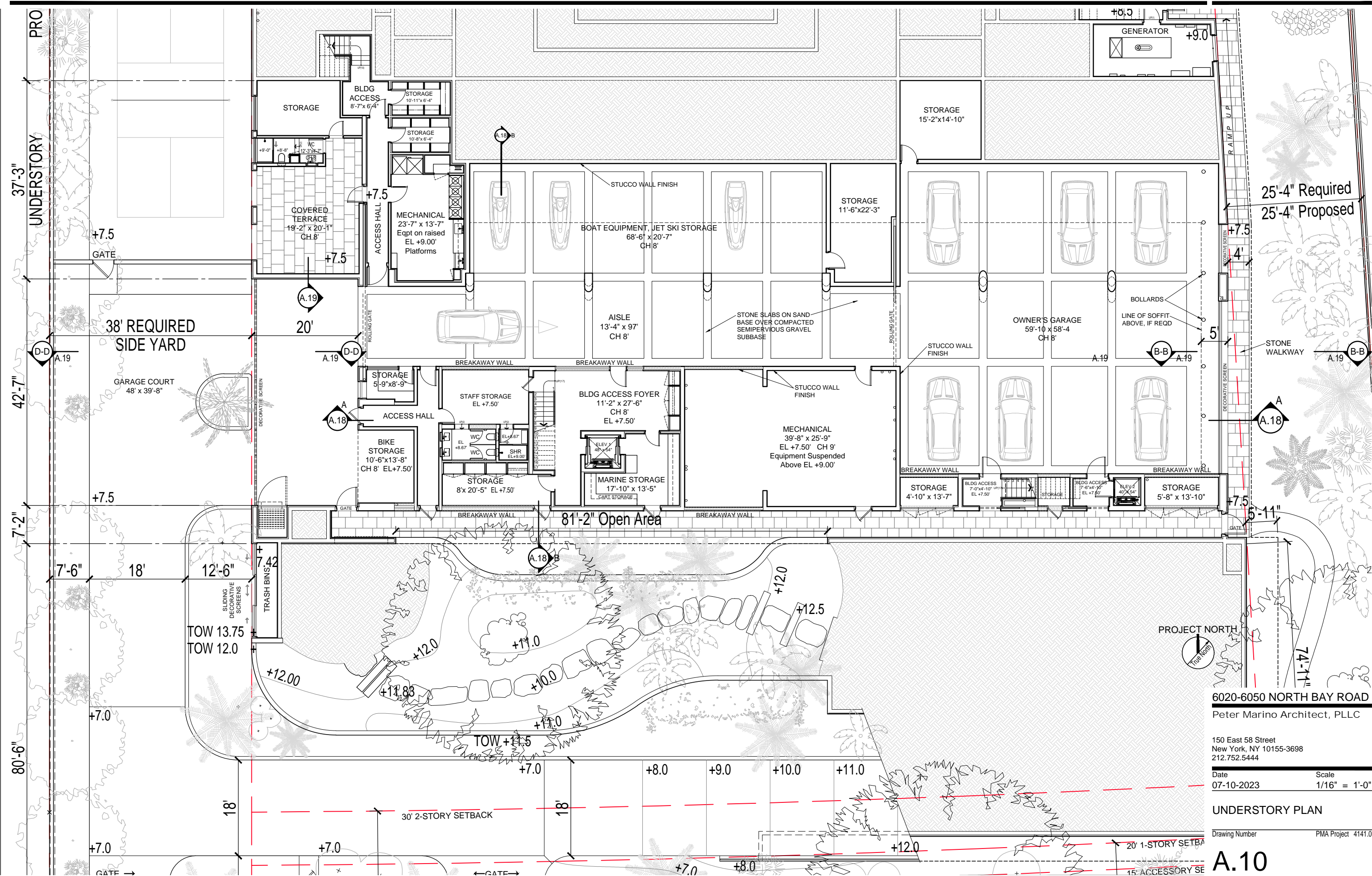
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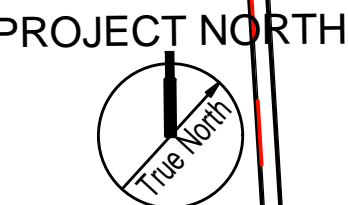
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PROPOSED LOT COVERAGE

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A.09
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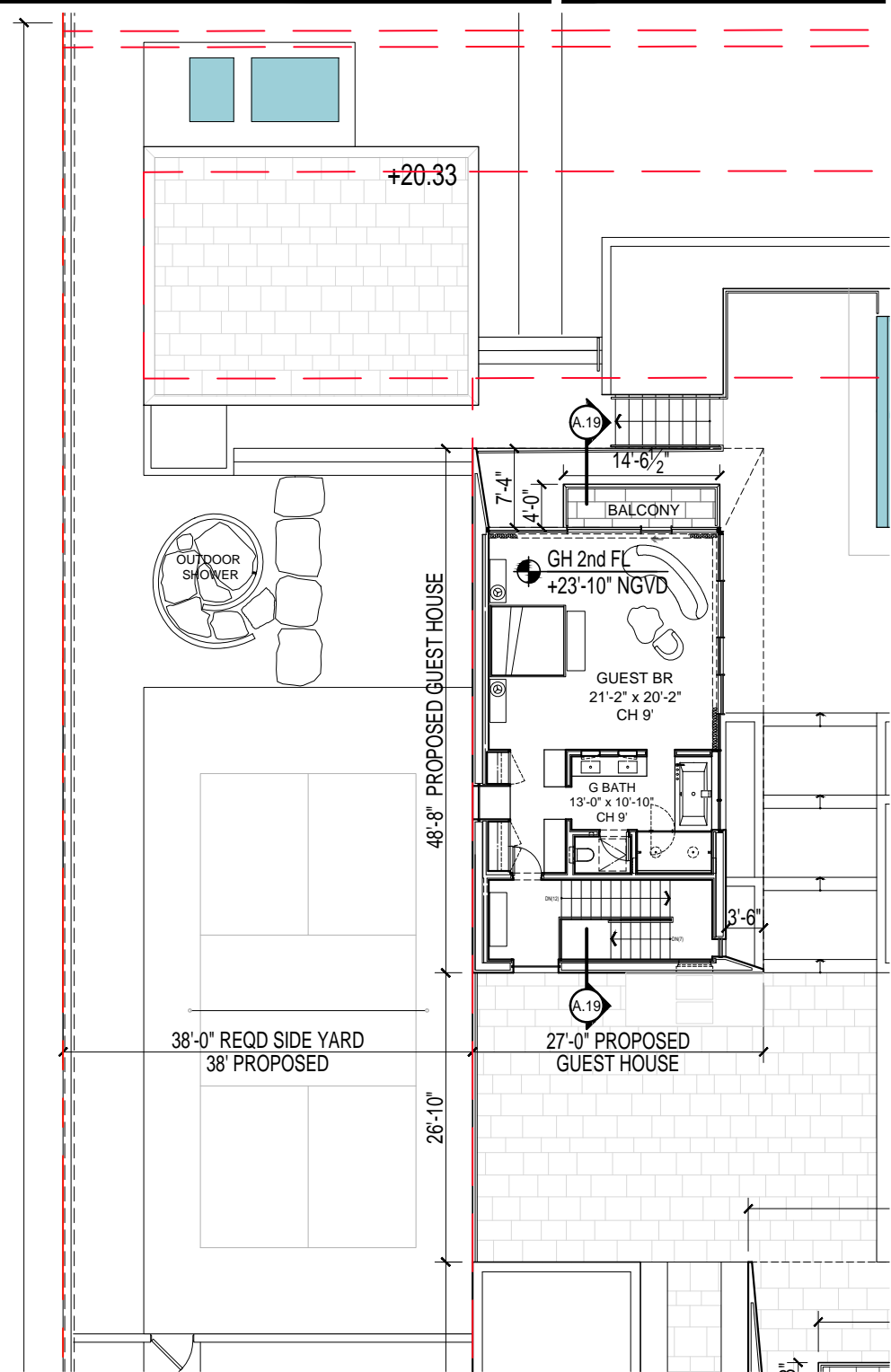
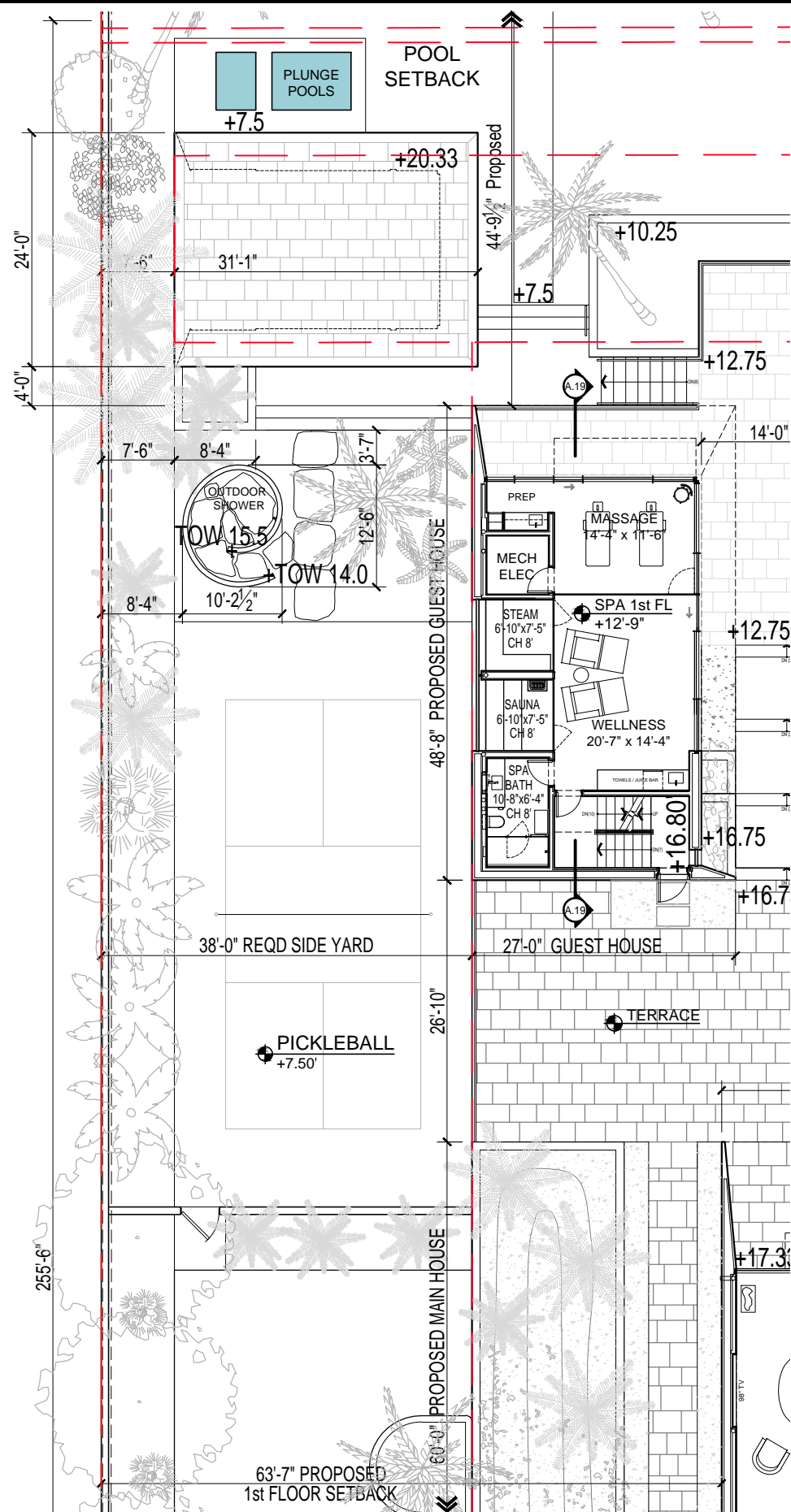
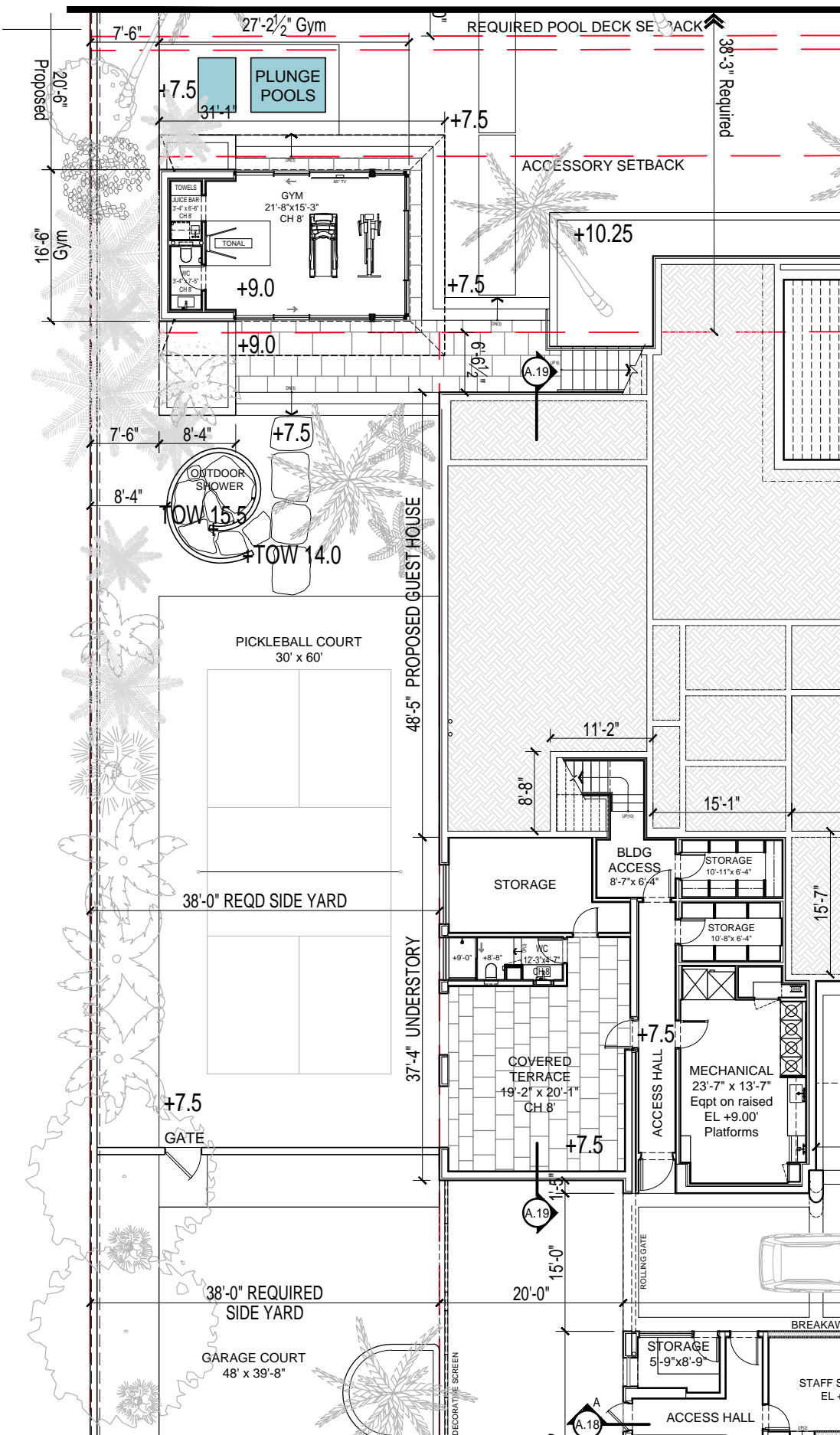
MAIN HOUSE

SECOND FLOOR PLAN

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A.12

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GH SECOND FLOOR

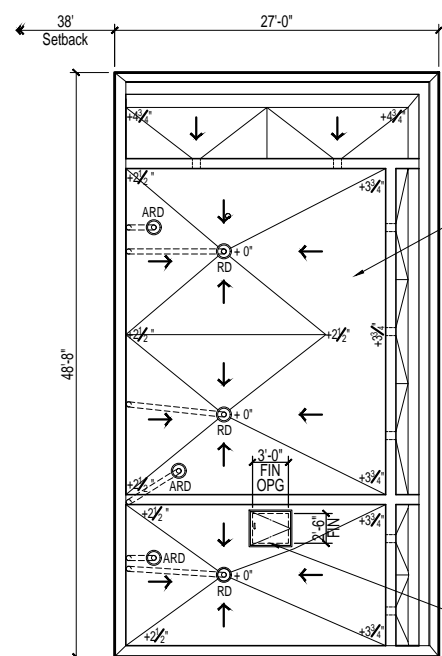
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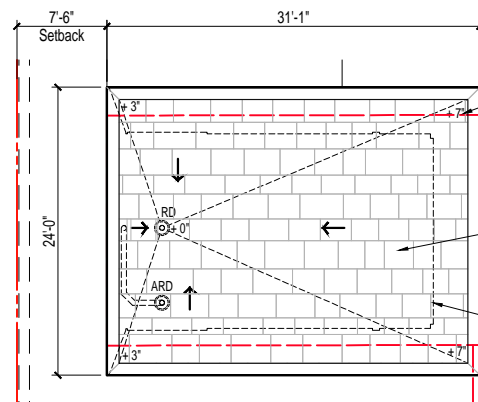
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GUEST HOUSE PLANS
GYM FIRST FLOOR PLAN
Drawing Number PMA Project 4141.0

A.13
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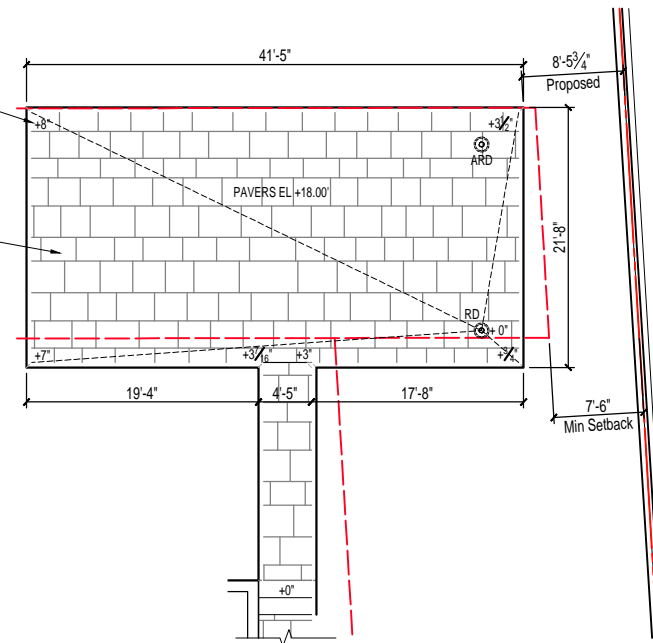


GUEST HOUSE ROOF PLAN

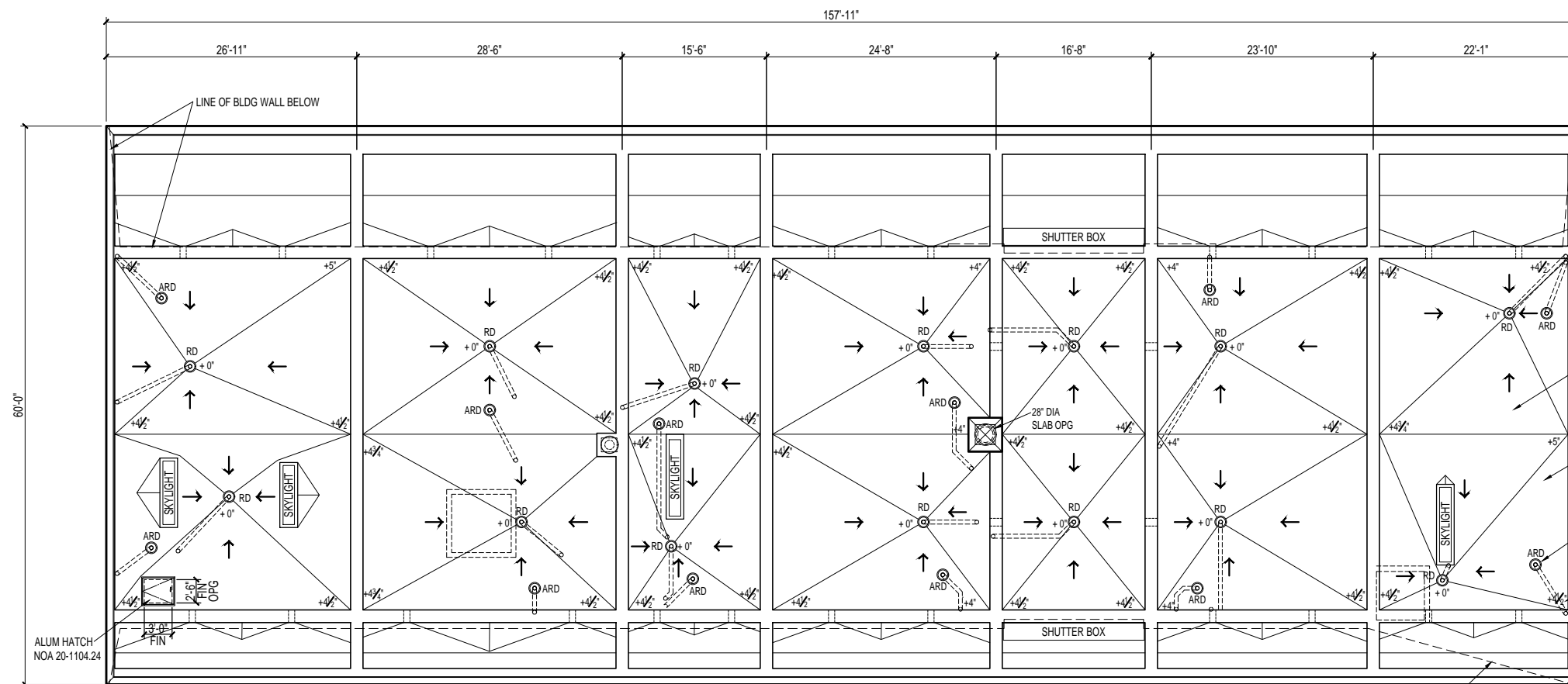


GYM ROOF PLAN

- Spot elevations indicate top of structural concrete slab, relative to Low Point (+0") at roof drain (RD)
- Precast pavers on pedestals, installed on sloped concrete structural slab
- Face of building wall below



CABANA ROOF PLAN



MAIN HOUSE ROOF PLAN

- Slope concrete slab surface to achieve relative elevations indicated for each roof area
- Adhered white PVC fleece-backed membrane
- Auxiliary drains (ARD) are proposed secondary drains
- Spot elevations shown indicate top of structural concrete slab, relative to Low Point (+0") at roof drain (RD)

6020-6050 NORTH BAY ROAD
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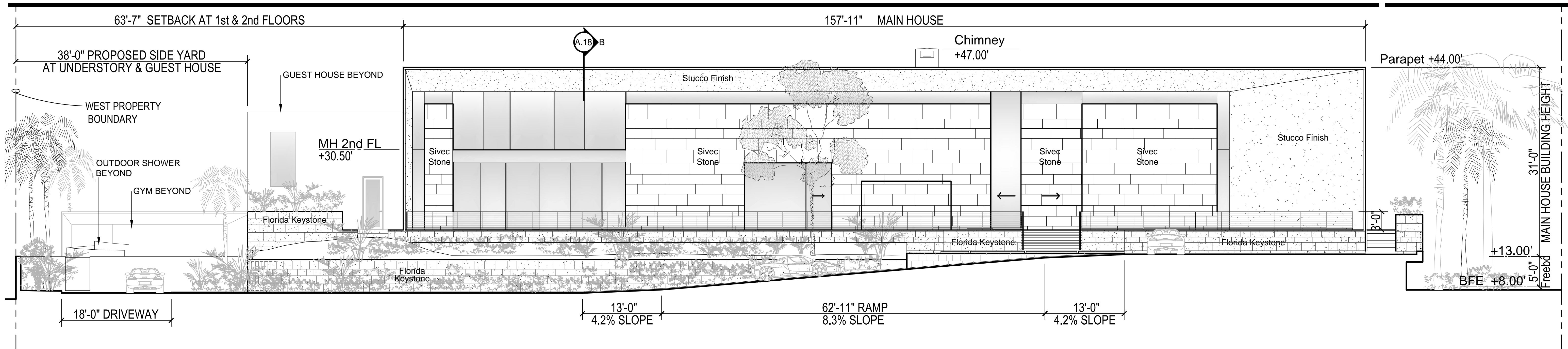
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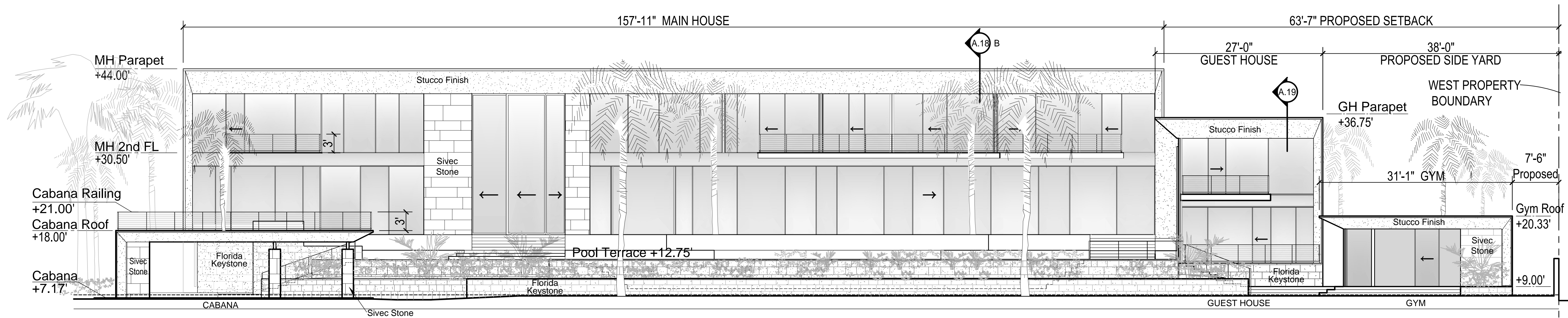
ROOF PLANS

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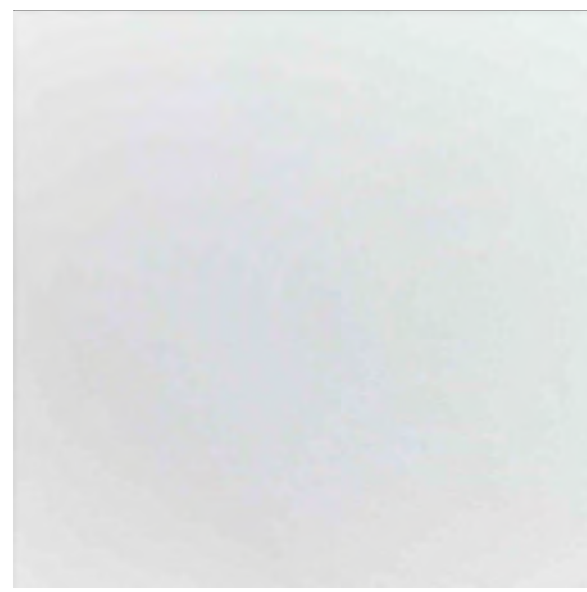
SOUTH ELEVATION



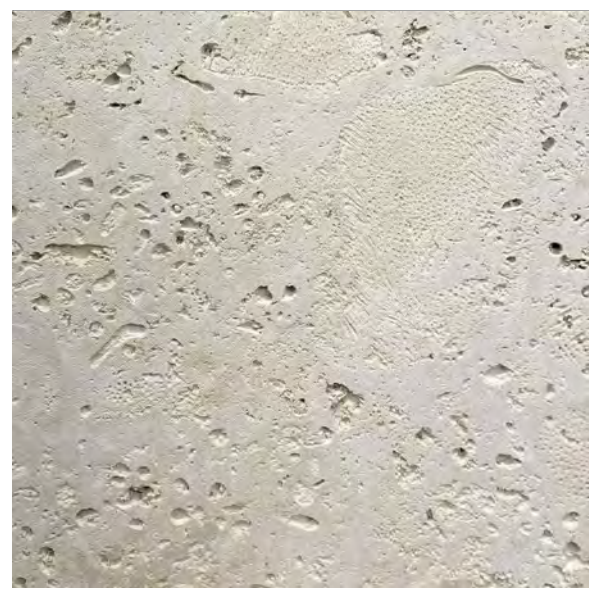
NORTH ELEVATION



STUCCO FINISH



SIVEC STONE



FLORIDA KEYSTONE

6020-6050 NORTH BAY ROAD

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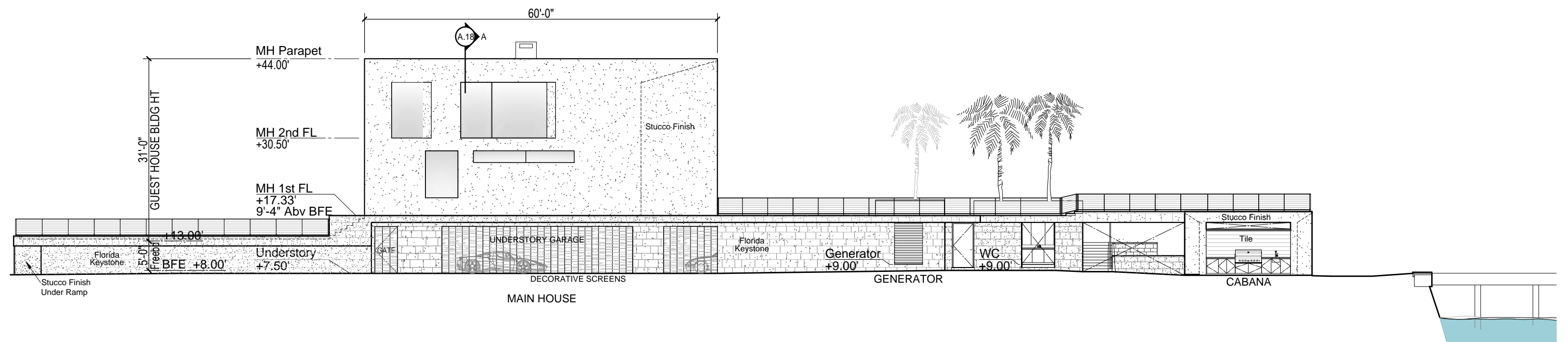
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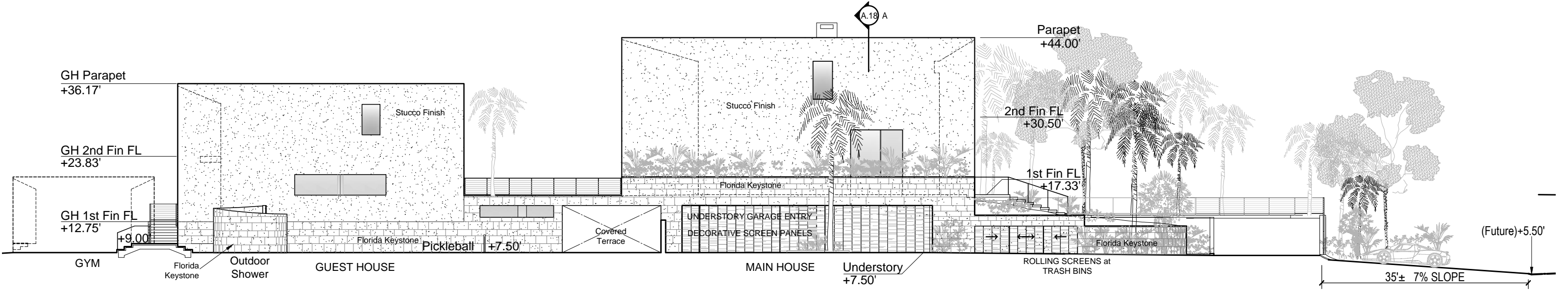
MAIN HOUSE NORTH & SOUTH
BUILDING ELEVATIONS

Drawing Number PMA Project 4141.0

A.15
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EAST ELEVATION



WEST ELEVATION



STUCCO FINISH



SIVEC STONE



FLORIDA KEYSTONE

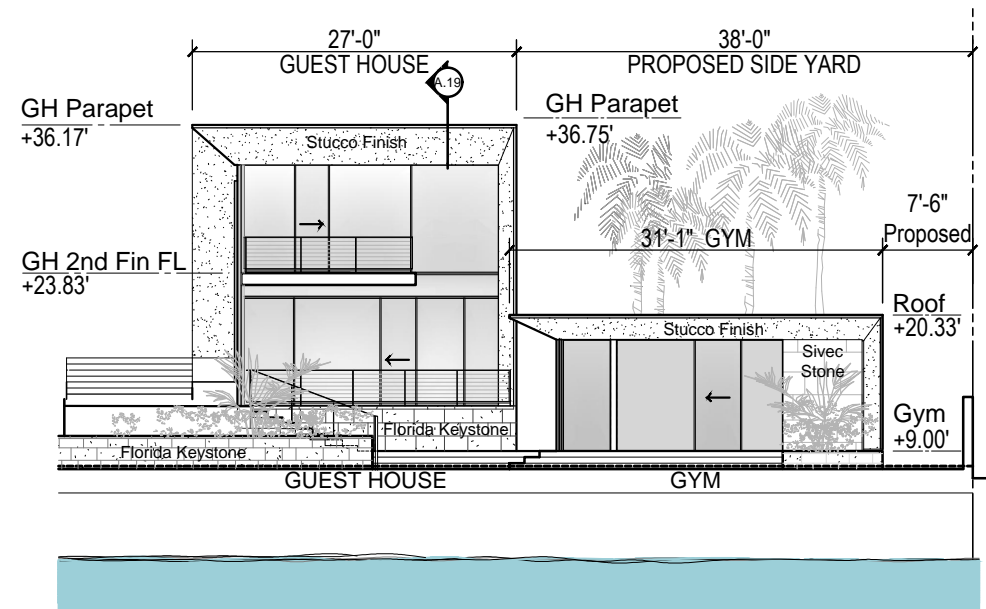
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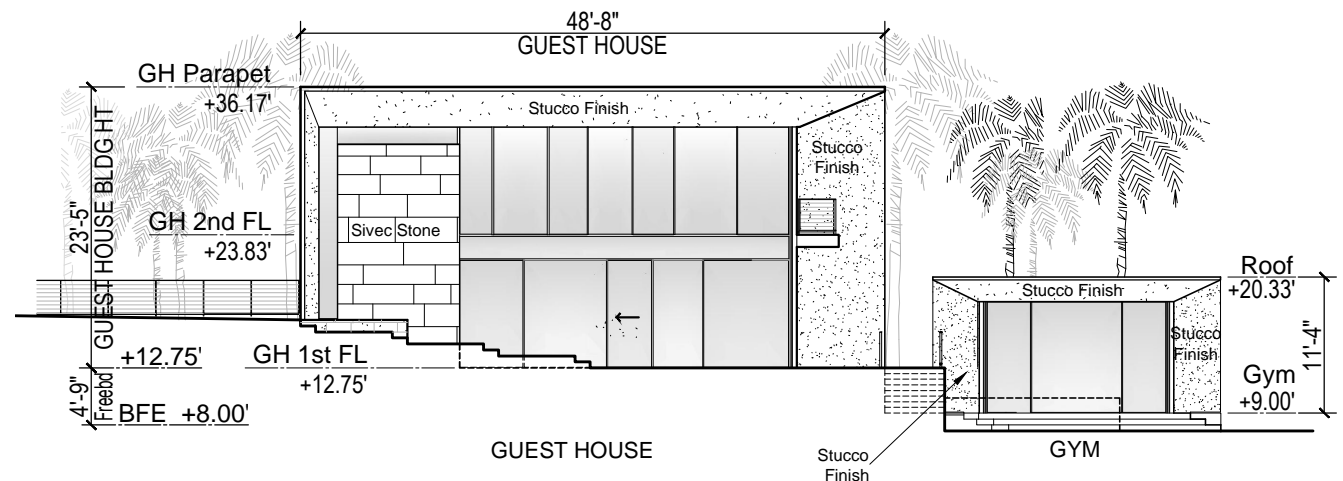
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MAIN HOUSE EAST & WEST
BUILDING ELEVATIONS
Drawing Number PMA Project 4141.0

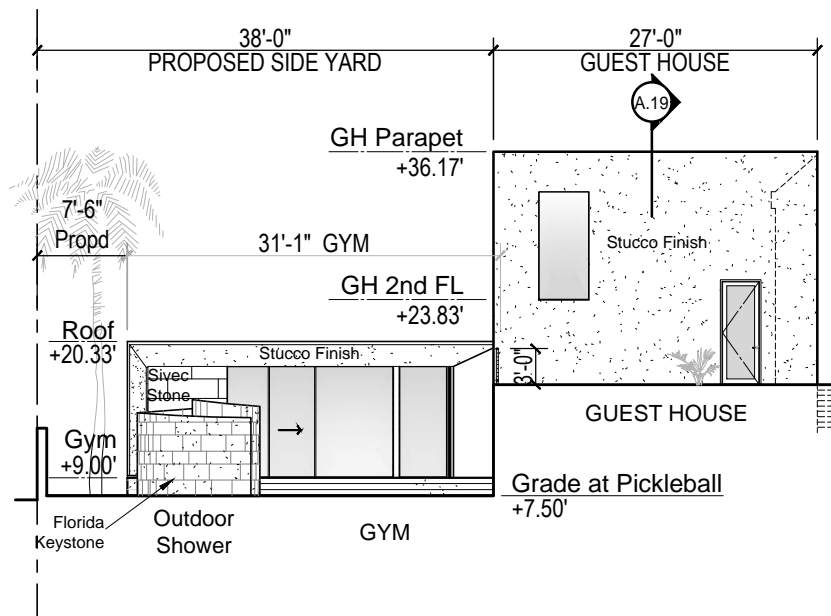
A.16
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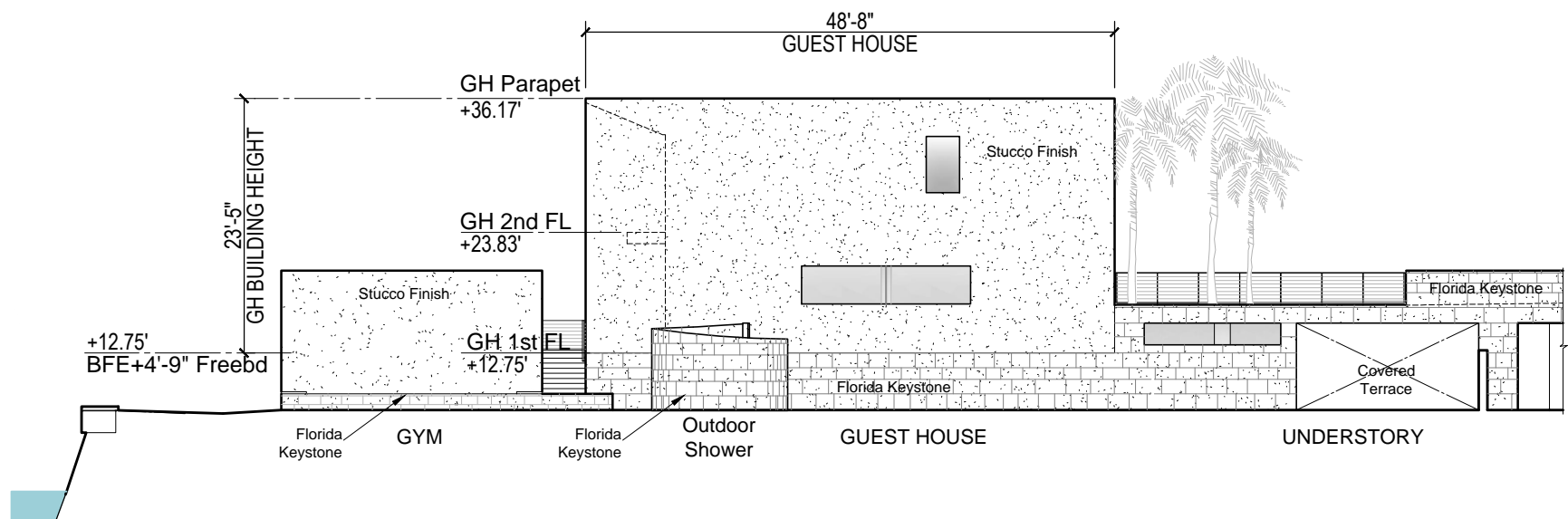
NORTH ELEVATION



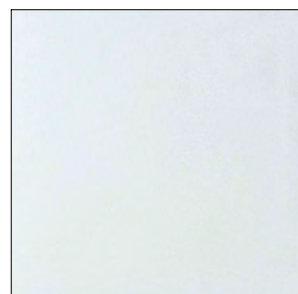
EAST ELEVATION



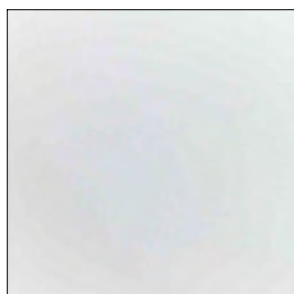
SOUTH ELEVATION



WEST ELEVATION



STUCCO FINISH



SIVEC STONE



FLORIDA KEYSTONE

6020-6050 NORTH BAY ROAD
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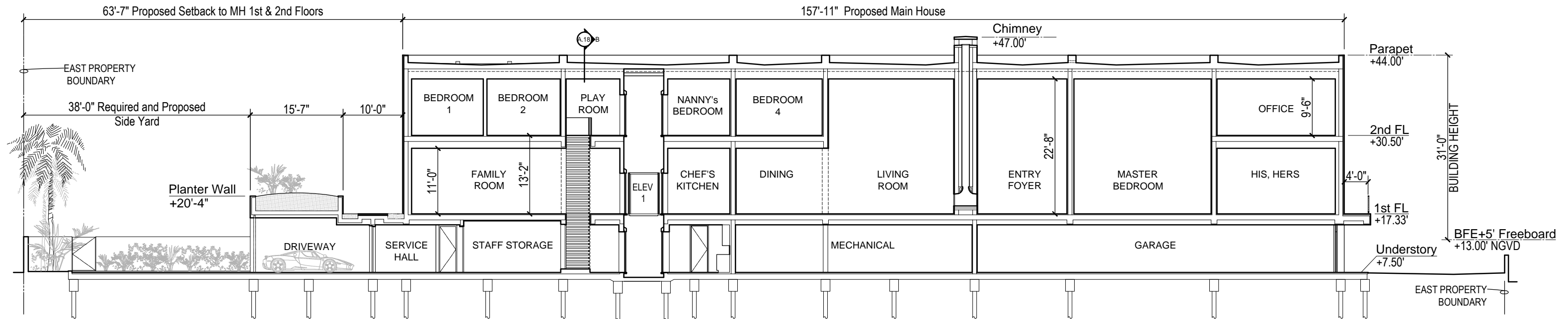
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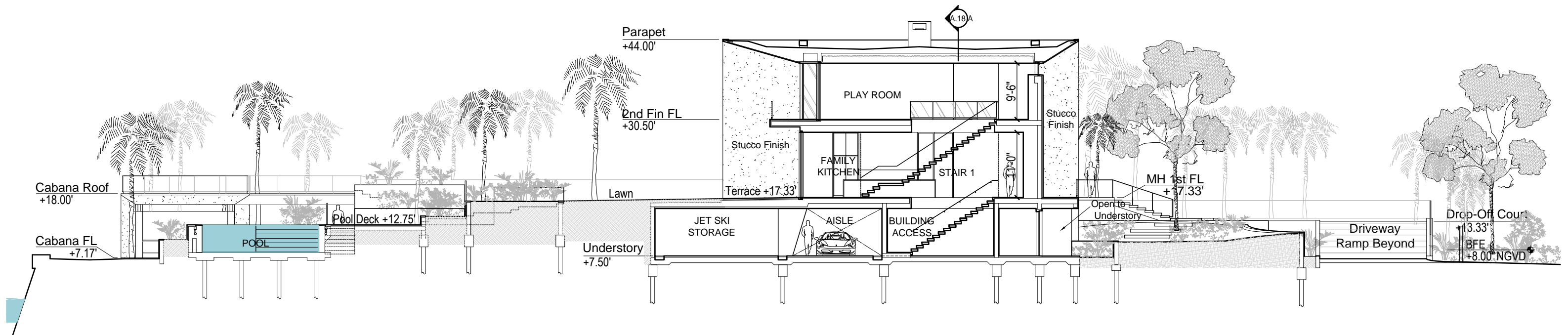
GUEST HOUSE & GYM
BUILDING ELEVATIONS

Drawing Number PMA Project 4141.0

A.17
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MAIN HOUSE LONGITUDINAL SECTION A



SITE SECTION B -- THROUGH POOL AND MAIN HOUSE

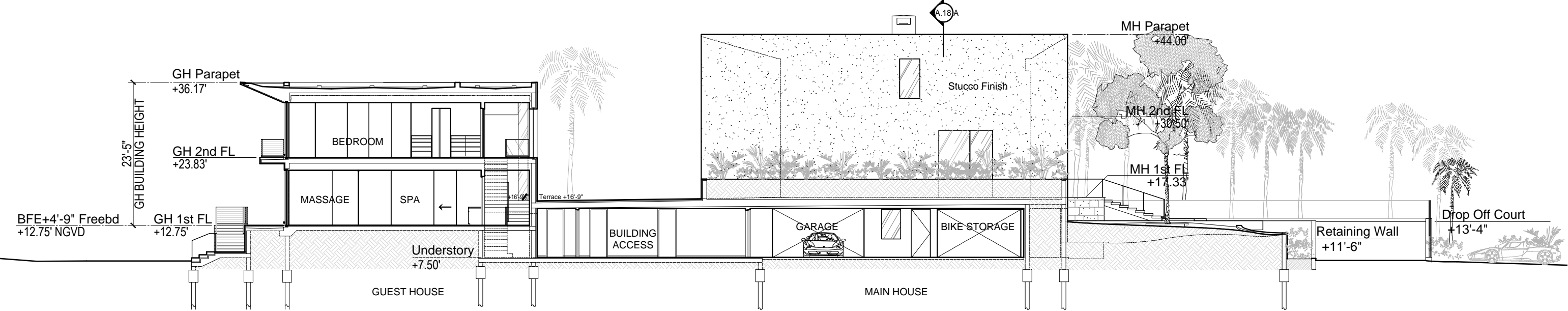
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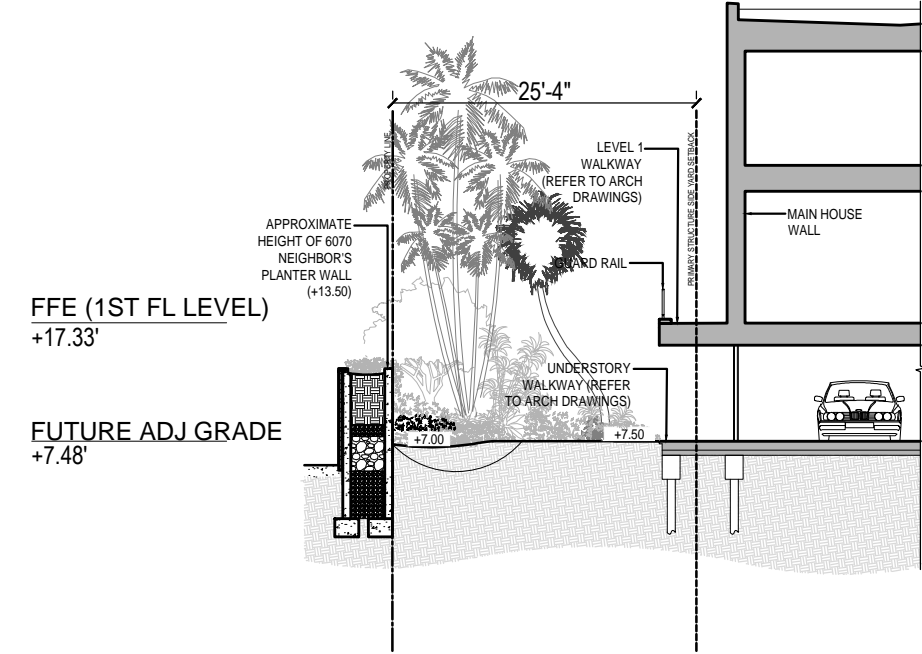
Date: 07-10-2023
Scale: 1/16" = 1'-0"

MAIN HOUSE
BUILDING SECTIONS
Drawing Number: PMA Project 4141.0

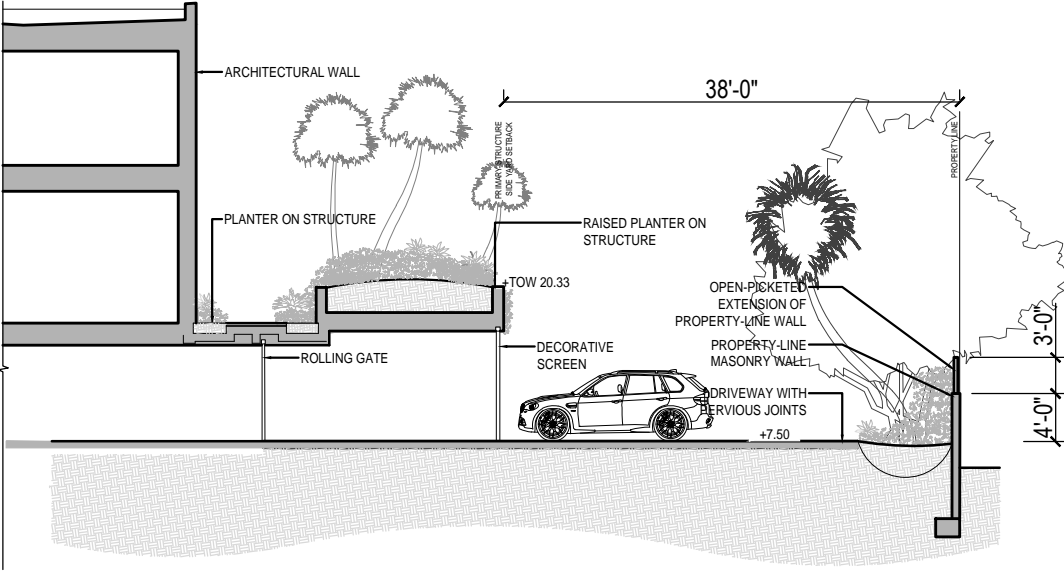
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GUEST HOUSE LONGITUDINAL SECTION



SIDE YARD SECTION BB



SIDE YARD SECTION DD

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GUEST HOUSE SECTION
SIDE YARD SECTIONS

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June 15. 2023

6020 - FRONT OF PROPERTY



June 15. 2023

6020 - FRONT OF HOUSE



June 15. 2023

6020 - FRONT OF HOUSE



June 15. 2023

6020 - DRIVEWAY ENTRY

6020-6050 NORTH BAY ROAD

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Date	Scale
19 June 2023	NA

PROPERTY & CONTEXT
PHOTOS

Drawing Number PMA Project 4141.0

A.21

FIRST SUBMITTAL



June 15. 2023

6020 - SIDE OF HOUSE



June 15. 2023

6020 - SIDE OF HOUSE & 6030 OPEN YARD



June 15. 2023

6020 - REAR OF HOUSE



June 15. 2023

6020 - REAR OF HOUSE & 6030 OPEN YARD

6020-6050 NORTH BAY ROAD

Peter Marino Architect, PLLC

150 East 58 Street
New York, NY 10155-3698
212.752.5444

Date	Scale
19 June 2023	NA

PROPERTY & CONTEXT
PHOTOS
Drawing Number PMA Project 4141.0



June 15. 2023

6050 - FRONT OF HOUSE



June 15. 2023

6050 - FRONT OF HOUSE



June 15. 2023

6050 - REAR OF HOUSE



June 15. 2023

6050 - REAR OF PROPERTY

6020-6050 NORTH BAY ROAD
Peter Marino Architect, PLLC

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 212.752.5444

Date	Scale
19 June 2023	NA

PROPERTY & CONTEXT
 PHOTOS
 Drawing Number PMA Project 4141.0



June 15. 2023

6010 - NEIGHBOR TO THE SOUTH



June 15. 2023

6070 - NEIGHBOR TO THE NORTH



June 15. 2023

6001 - ACROSS THE STREET



June 15. 2023

6015 - ACROSS THE STREET

6020-6050 NORTH BAY ROAD

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212.752.5444

Date	Scale
19 June 2023	NA

PROPERTY & CONTEXT
PHOTOS
Drawing Number PMA Project 4141.0

A.24
FIRST SUBMITTAL



June 15. 2023

6025 - ACROSS THE STREET



June 15. 2023

6035 - ACROSS THE STREET



June 15. 2023

6051 - ACROSS THE STREET



June 15. 2023

6095 - ACROSS THE STREET

6020-6050 NORTH BAY ROAD

Peter Marino Architect, PLLC

150 East 58 Street
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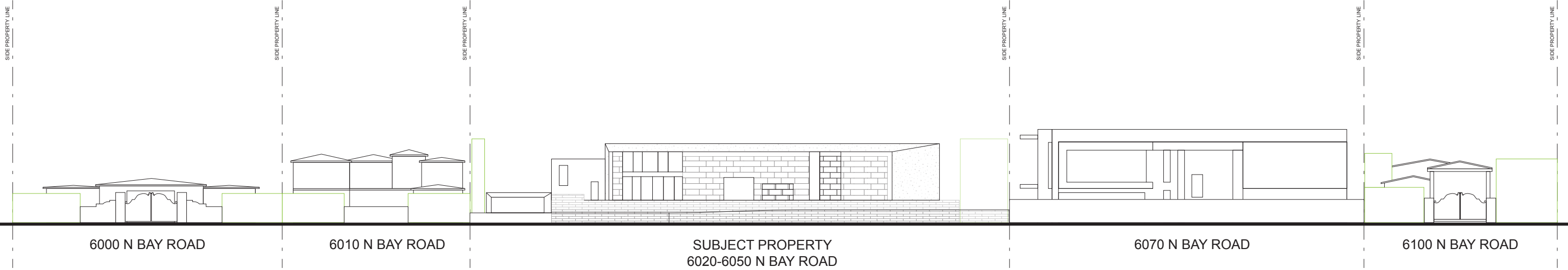
Date	Scale
19 June 2023	NA

PROPERTY & CONTEXT
PHOTOS

Drawing Number PMA Project 4141.0

A.25

FIRST SUBMITTAL



CONTEXTUAL NORTH STREET ELEVATION



CONTEXTUAL SOUTH STREET ELEVATION

6020-6050 NORTH BAY ROAD

Peter Marino Architect, PLLC

150 East 58 Street
New York, NY 10155-3698
212.752.5444

Date	Scale
19 June 2023	NA

CONTEXTUAL ELEVATION
DRAWING
Drawing Number PMA Project 4141.0

A.25a
FIRST SUBMITTAL