

LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE WITH UNDERSTORY, REPLACING EXISTING BUILDING.

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020, 7TH EDITION - RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-4)

LEGAL DESCRIPTION

LOT 19 AND ALL OF LOT 20 IN BLOCK 16 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; EXCEPT THAT PORTION OF LOT 20 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 20, IN BLOCK 16 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTHERLY ALONG THE WEST BOUNDARY LINE OF SAID LOT 20, A DISTANCE OF 18.4 FEET; THENCE EASTERLY TO A POINT ON THE EAST BOUNDARY LINE OF SAID LOT 20 (WHICH SAID POINT IS 24.2 FEET NORTHERLY FROM THE SOUTHEAST CORNER OF SAID LOT 20, AS MEASURED ALONG THE EAST BOUNDARY LINE OF SAID LOT 20); THENCE SOUTHERLY ALONG EAST BOUNDARY LINE A DISTANCE OF 24.2 FEET TO THE SOUTHEAST CORNER OF SAID LOT 20; THENCE WESTERLY ALONG THE SOUTH BOUNDARY LINE OF SAID LOT 20 TO A POINT OF BEGINNING.

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION					
1	ADDRESS:	2075 NORTH BAY ROAD. MIAMI BEACH. 33140				
2	FOLIO NUMBER(S):	02-3227-008-1570				
3	BOARD AND FILE NUMBERS:					
4	YEAR BUILT:	1940	ZONING DISTRICT:		RS-4	
5	BASED FLOOD ELEVATION:	+8.0' NGVD	GRADE VALUE IN N.G.V.D:		+3.19' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+5.60' NGVD	FREE BOARD:		+13.0' NGVD (+5')	
7	LOT AREA:	7,760 S.F.				
8	LOT WIDTH:	55'-2"	LOT DEPTH:		122'-2"	
9	MAX. LOT COVERAGE SF AND %:	2,328 SF (30%)	PROPOSED LOT COVERAGE SF AND %:		2,177 SF (28.05%)	
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:			
11	FRONT YARD OPEN SPACE SF AND %:	1,209 SF (70.25%)	REAR YARD OPEN SPACE SF AND %:		1,213 SF (85.30%)	
12	MAX. UNIT SIZE SF AND %:	3,880 SF (50%)	PROPOSED UNIT SIZE SF AND %:		3,880 SF (50%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR UNIT SIZE:		1,936 SF (24.95%)	
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):		N/A	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:		1,897 SF (24.45%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):		N/A	
16A			GROSS AREA:		6,426 SF	
			REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.			24'-0"	SEE ELEVATION SHEETS
18	SETBACKS:					
19	FRONT FIRST LEVEL:	30 FT.		N/A	30'-8"	
20	FRONT SECOND LEVEL:	30 FT.		N/A	37'-6"	
21	SIDE 1 - NORTH:	7'-6"			7'-6"	
22	SIDE 2 - SOUTH:	7'-6"			7'-6"	
23	REAR:	20'-0"			21'-1"	
24	ACCESSORY STRUCTURE SIDE 1:	N/A		N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A		N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A		N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?		NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?		NO			
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?		NO			

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MIAMI, FL. 33127
P 305 576 8063

FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
2075 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: --

REVISION & DATE

DRAWING TITLE

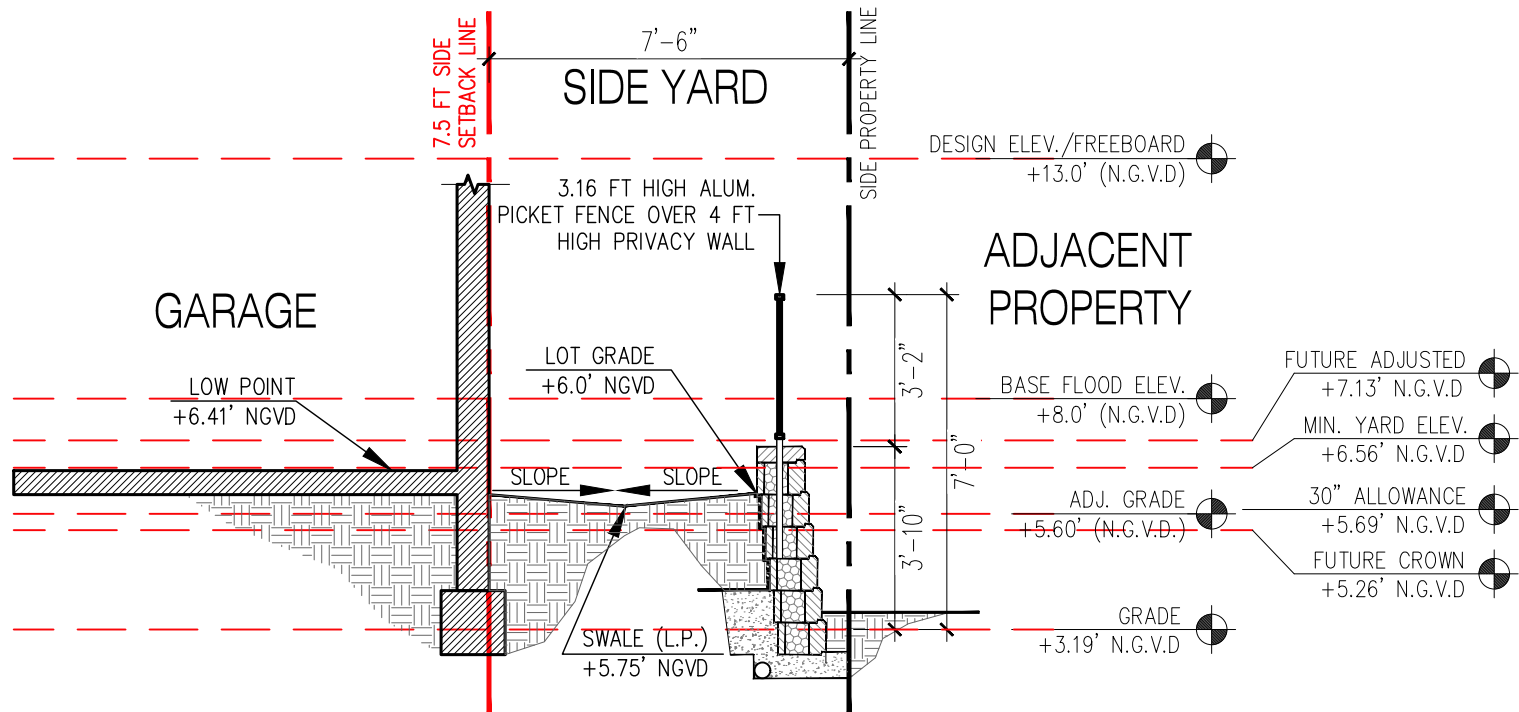
ZONING DATA
/ LOCATION
PLAN

SCALE: AS SHOWN
DATE: 07-10-2023

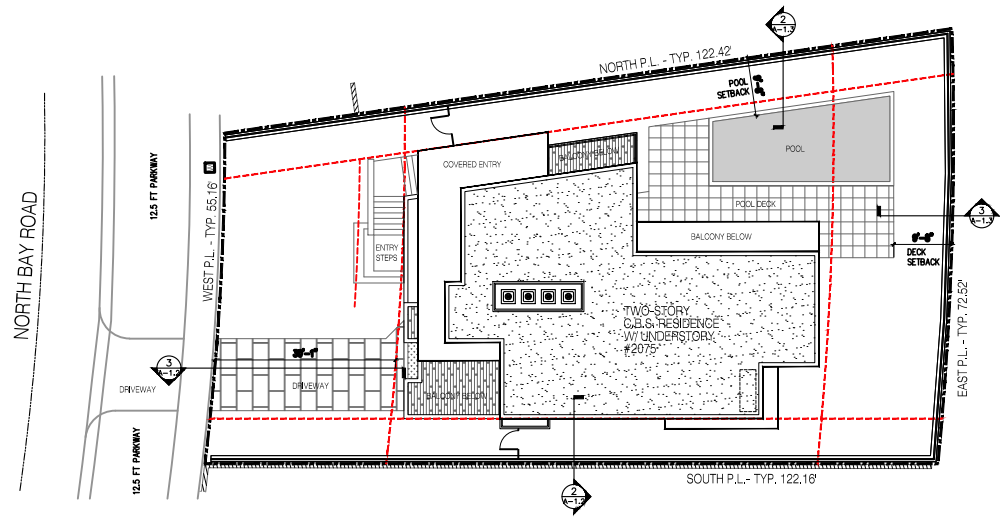
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A-1.0

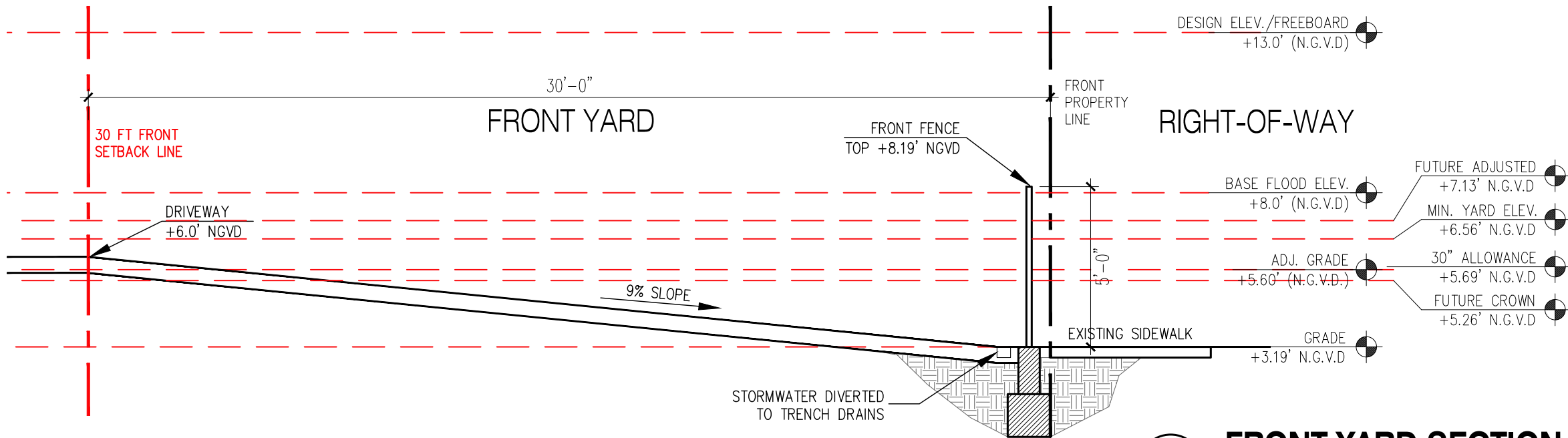




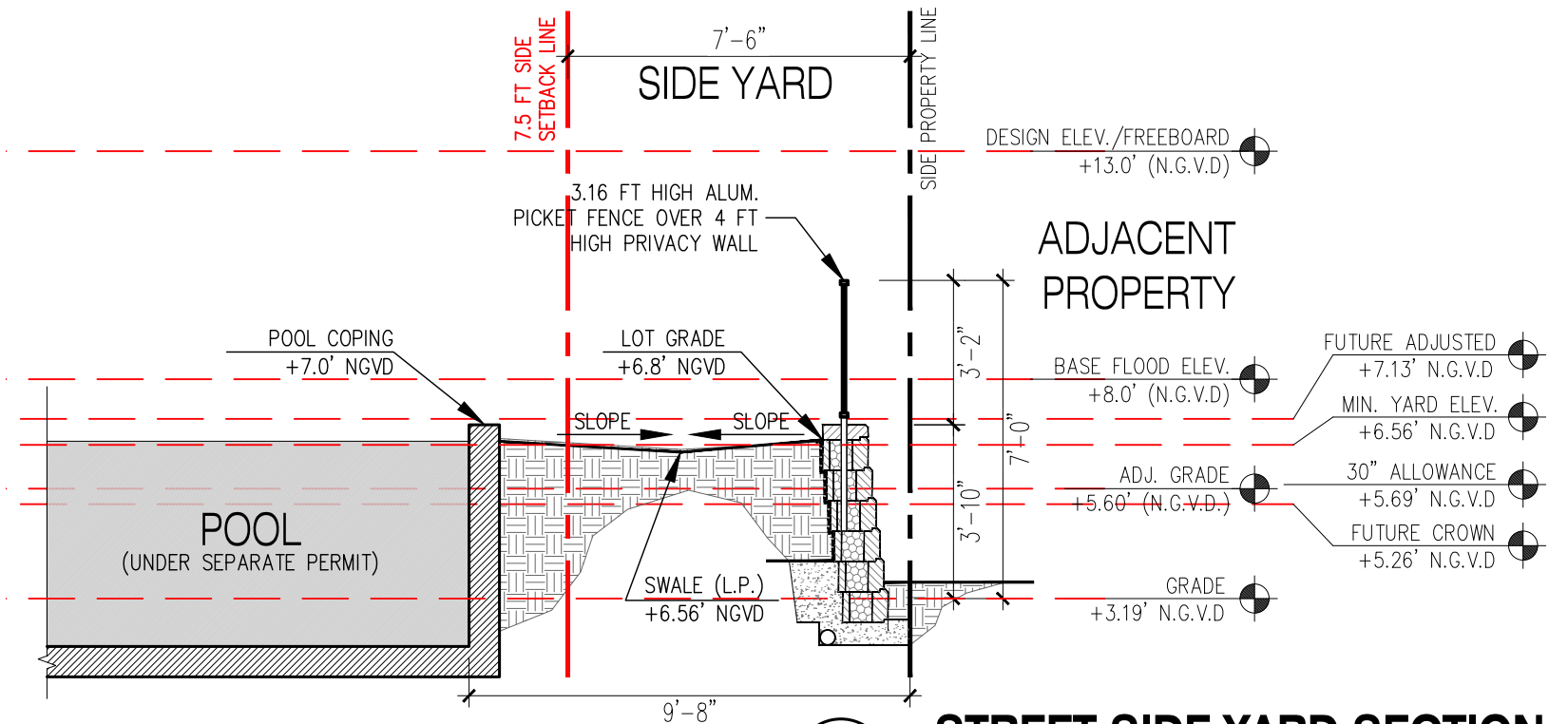
2 INTERIOR SIDE YARD SECTION
1/4" = 1'-0"



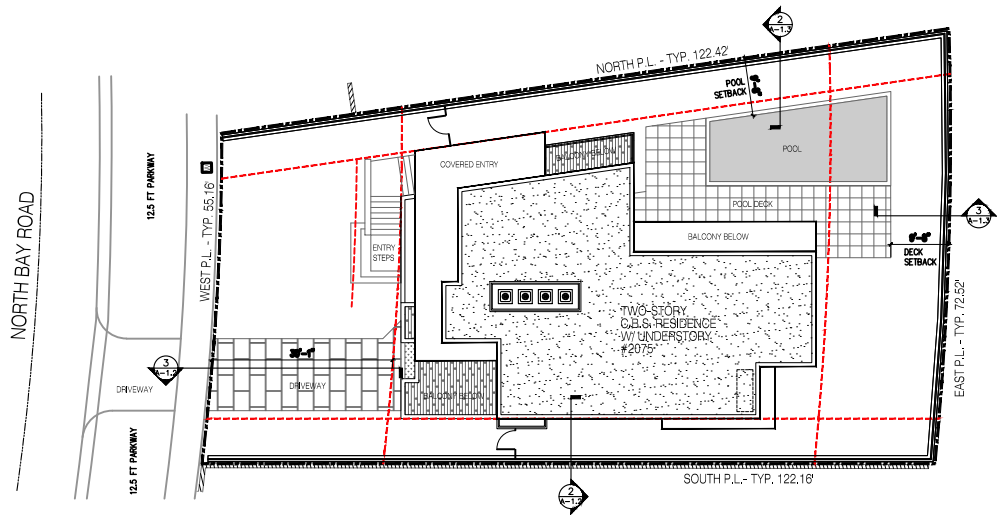
1 YARD SECTION KEYPLAN
NOT TO SCALE



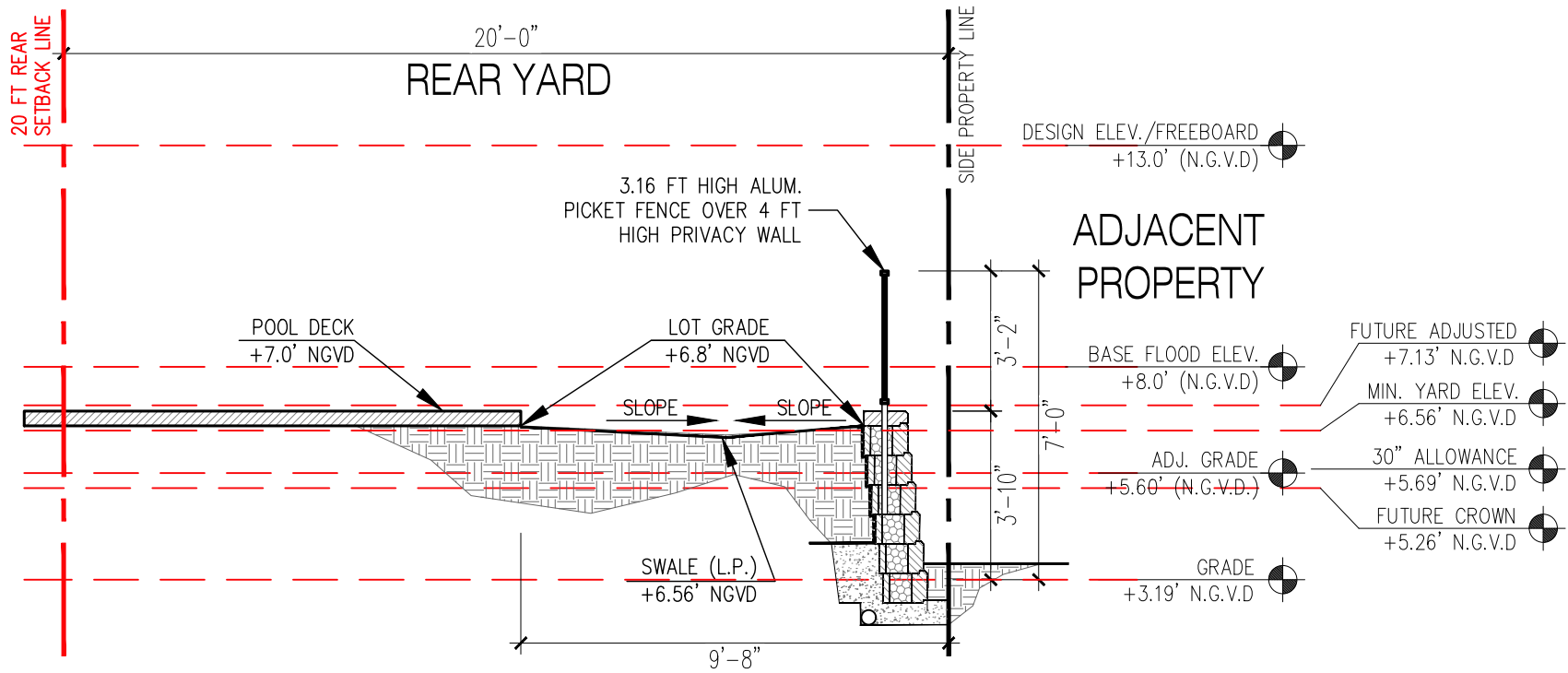
3 FRONT YARD SECTION
1/4" = 1'-0"



2 STREET SIDE YARD SECTION
1/4" = 1'-0"



1 YARD SECTION KEYPLAN
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3 REAR YARD SECTION
1/4" = 1'-0"



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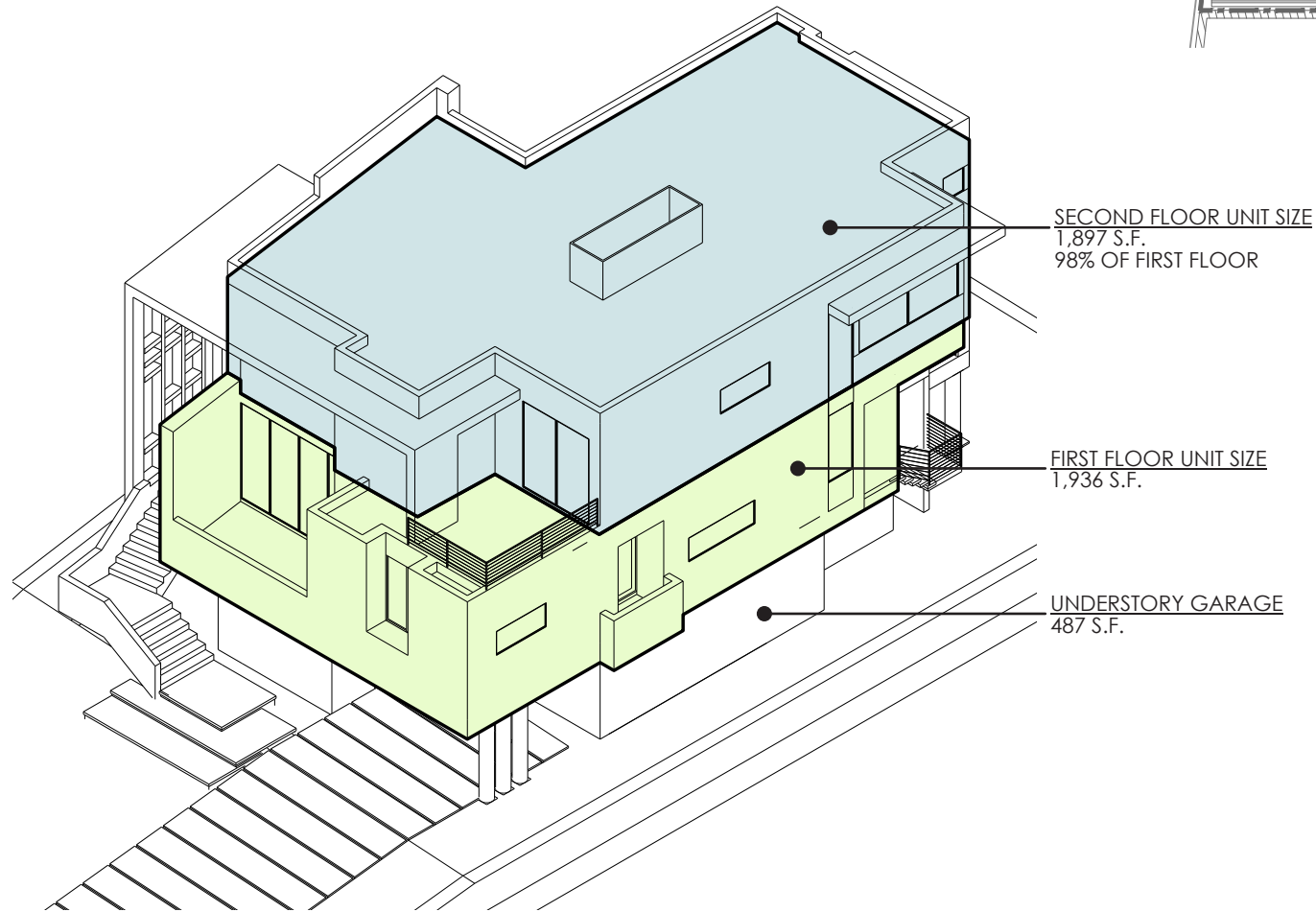
YARD
SECTIONS

SCALE: AS SHOWN

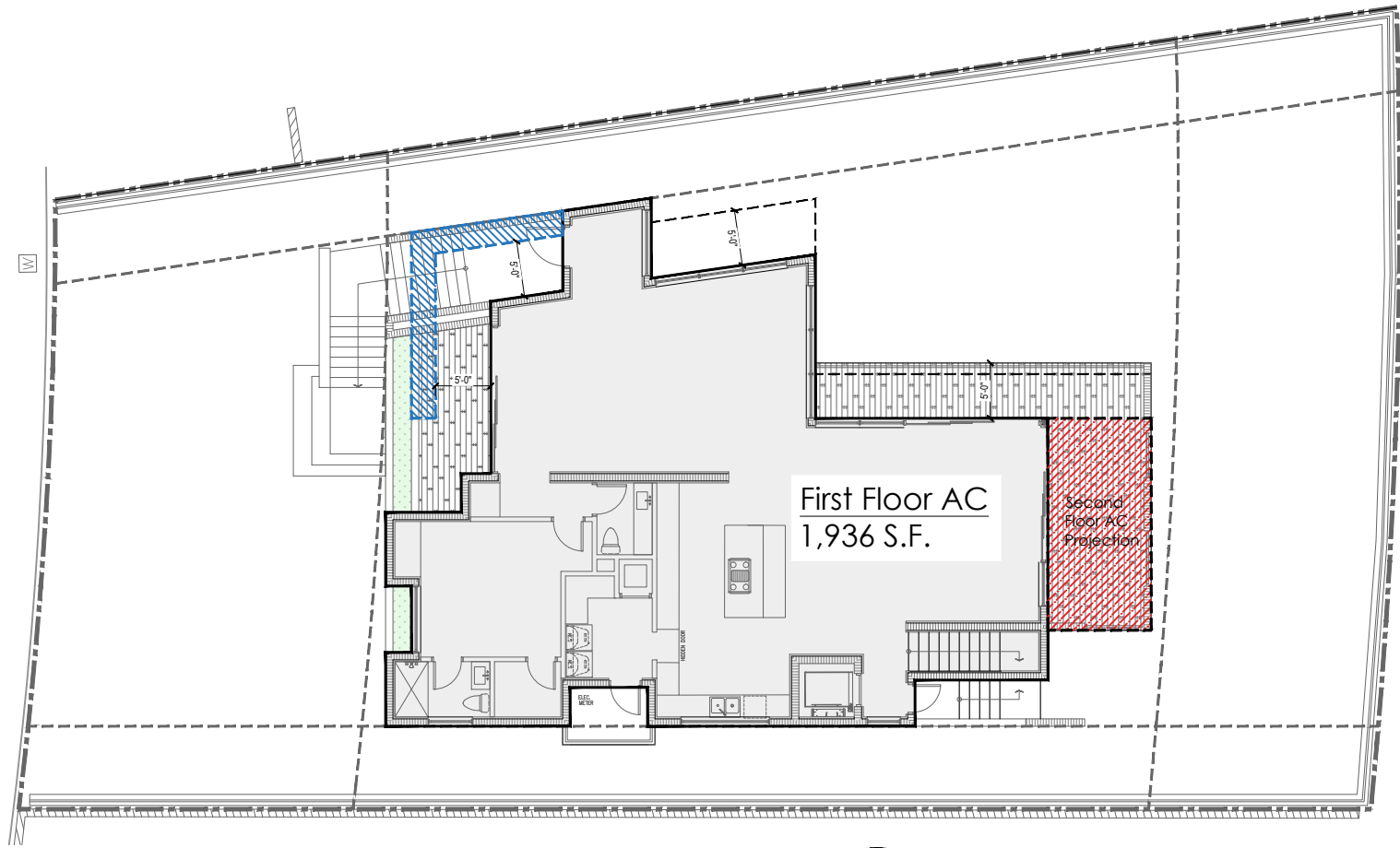
DATE: 07-10-2023

SHEET NUMBER

A-1.3



2 **AXONOMETRIC**



1 **LOT COVERAGE**
1/16" = 1'-0"

LOT COVERAGE CALCULATION	
LOT AREA	7,760 S.F.
MAX ALLOWED (30%)	2,328 S.F.
FIRST FL. AC	1,936 S.F.
SECOND FL. AC PROJECTION	179 S.F.
COVERED PROJECTIONS	62 S.F.
GARAGE (UNDER 500 S.F.)	0 S.F.
TOTAL COVERAGE	2,177 S.F.
	28.05%

- FIRST FL. AREA COUNTED COVERAGE
- SECOND FL. (AC) PROJECTION COUNTED IN COVERAGE
- COVERED AREA PROJECTING MORE THAN 5 FT FROM EXTERIOR WALL

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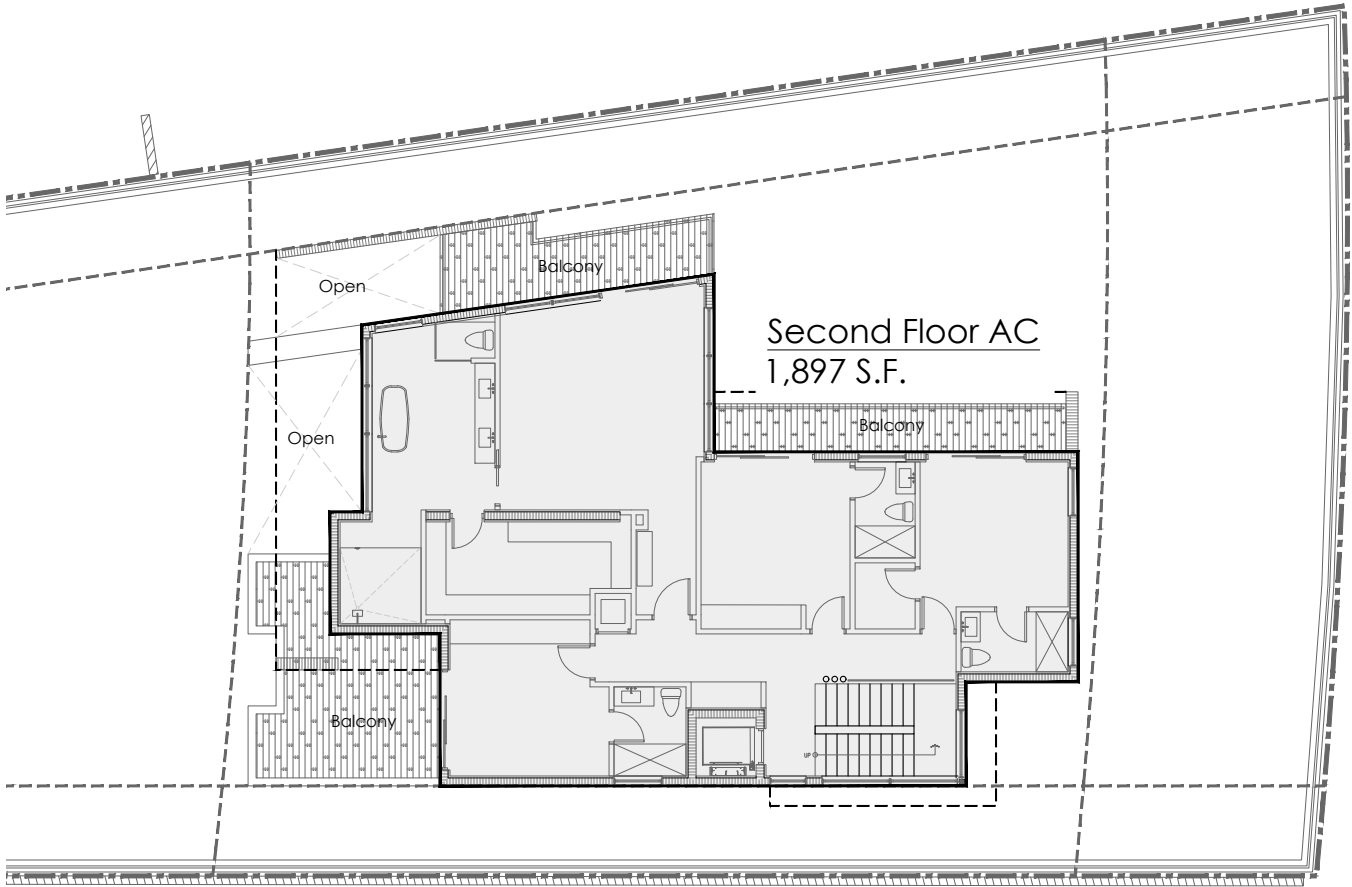
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LOT COVERAGE DIAGRAM

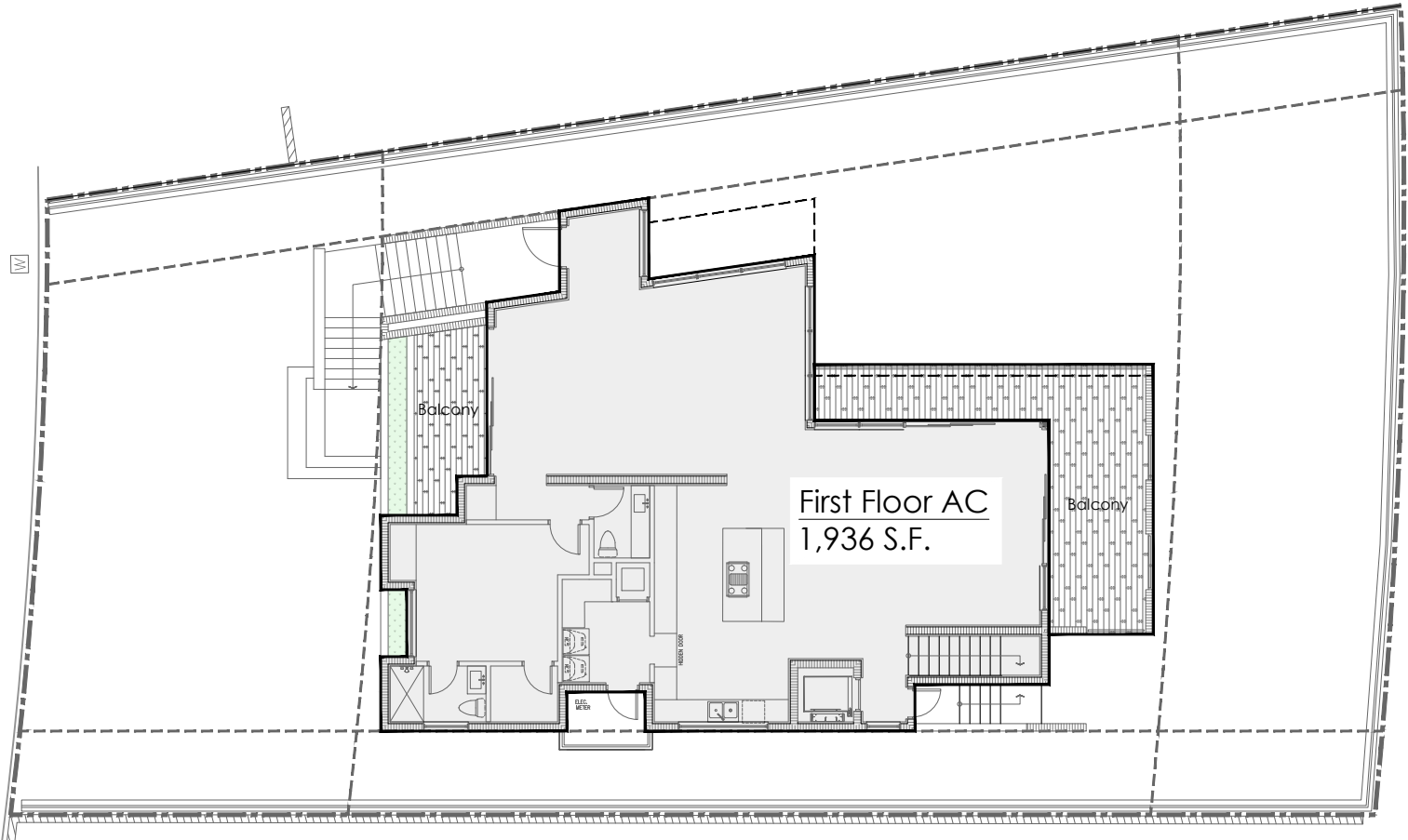
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SHEET NUMBER

A-1.4



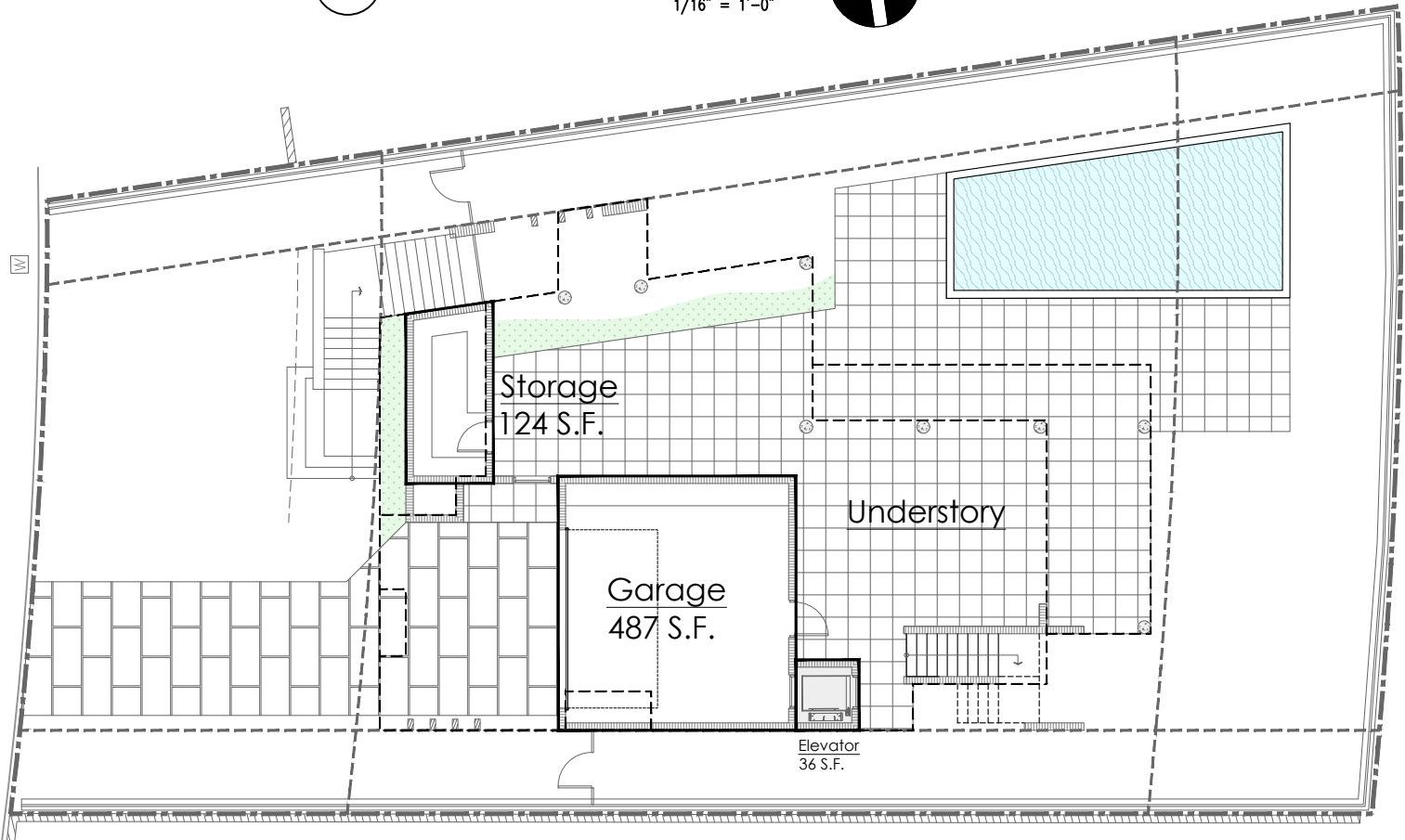
3 SECOND FLOOR UNIT SIZE
1/16" = 1'-0"



2 FIRST FLOOR UNIT SIZE
1/16" = 1'-0"

UNIT SIZE CALCULATION	
LOT AREA	7,760 S.F.
MAX ALLOWED (50%)	3,880 S.F.
UNDERSTORY ELEVATOR	36 S.F.
UNDERSTORY STORAGE	11 S.F.
FIRST FL. AC	1,936 S.F.
SECOND FL. AC	1,897 S.F.
TOTAL UNIT SIZE	3,880 S.F.
	50.00%

 AREA COUNTED IN UNIT SIZE



1 UNDERSTORY UNIT SIZE
1/16" = 1'-0"

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DRAWING TITLE

UNIT SIZE

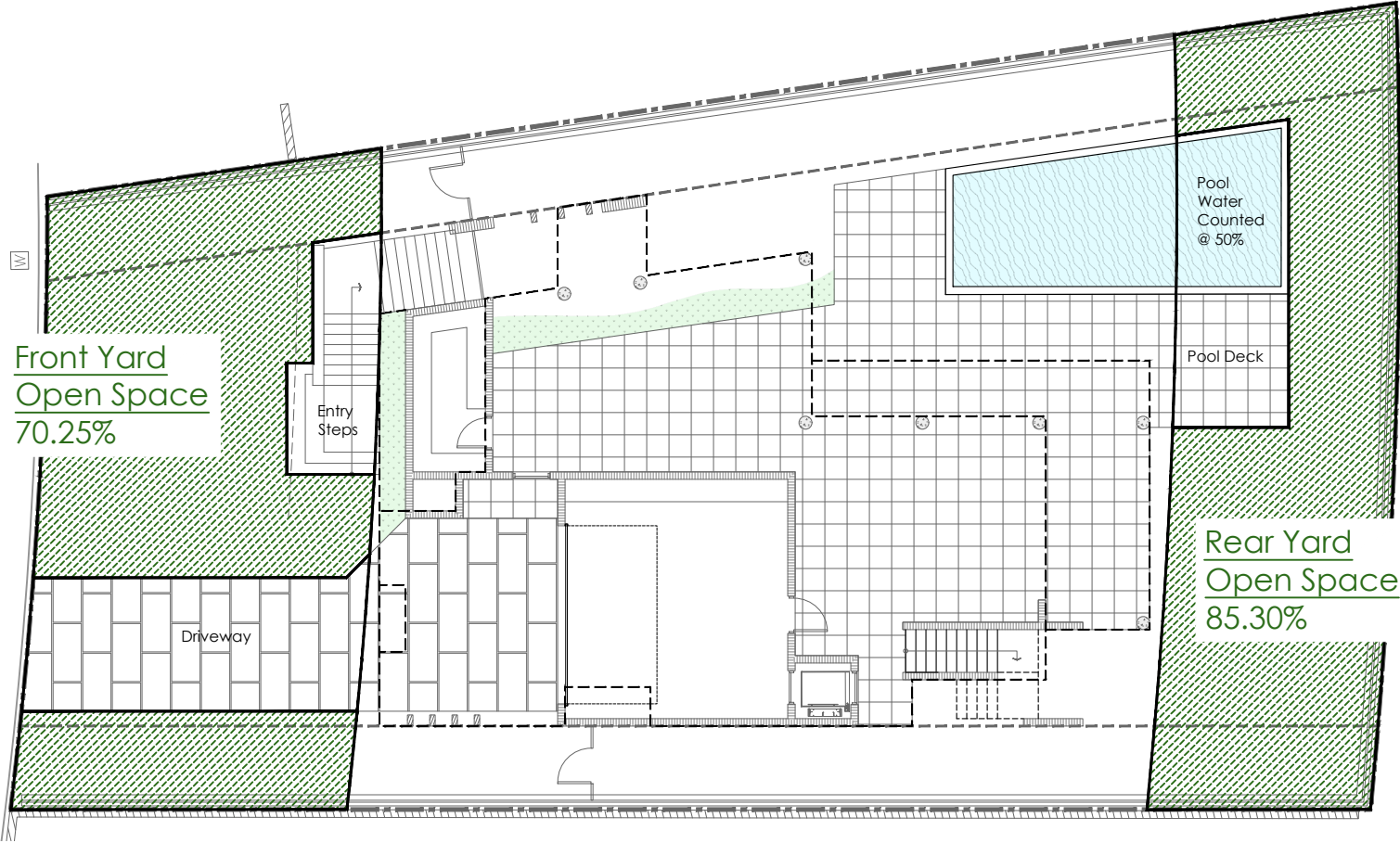
DIAGRAM

SCALE: AS SHOWN

DATE: 07-10-2023

SHEET NUMBER

A-1.5



1 FRONT/REAR YARD OPEN SPACE 1/16" = 1'-0"

FRONT YARD OPEN SPACE	
FRONT YARD AREA	1,721 S.F.
DRIVEWAY	- 363 S.F.
ENTRY STEPS	- 149 S.F.
MINIMUM OPEN SPACE (70%)	1,205 S.F.
OPEN SPACE PROVIDED	1,209 S.F.
	70.25%

 OPEN SPACE

REAR YARD OPEN SPACE	
REAR YARD AREA	1,422 S.F.
POOL DECK	- 145 S.F.
POOL (128 S.F. @ 50%)	- 64 S.F.
MINIMUM OPEN SPACE (70%)	995 S.F.
OPEN SPACE PROVIDED	1,213 S.F.
	85.30%

 OPEN SPACE

 POOL WATER COUNTED @ 50%

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DRAWING TITLE

OPEN SPACE

DIAGRAM

SCALE: AS SHOWN

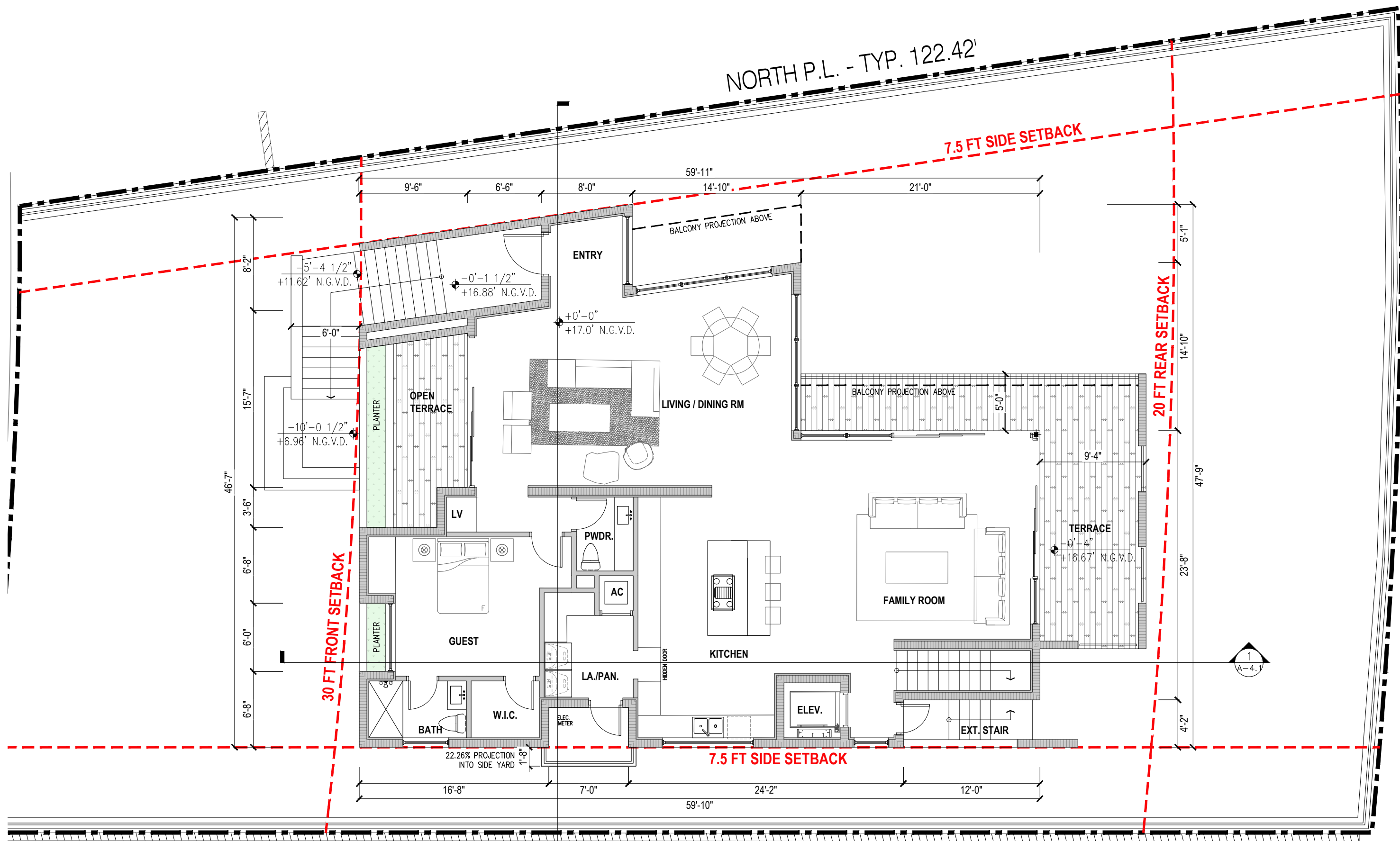
DATE: 07-10-2023

SHEET NUMBER

A-1.6



A-2.1



SOUTH P.L. - TYP. 122.16'

1 FIRST FLOOR PLAN
1/8"=1'-0"

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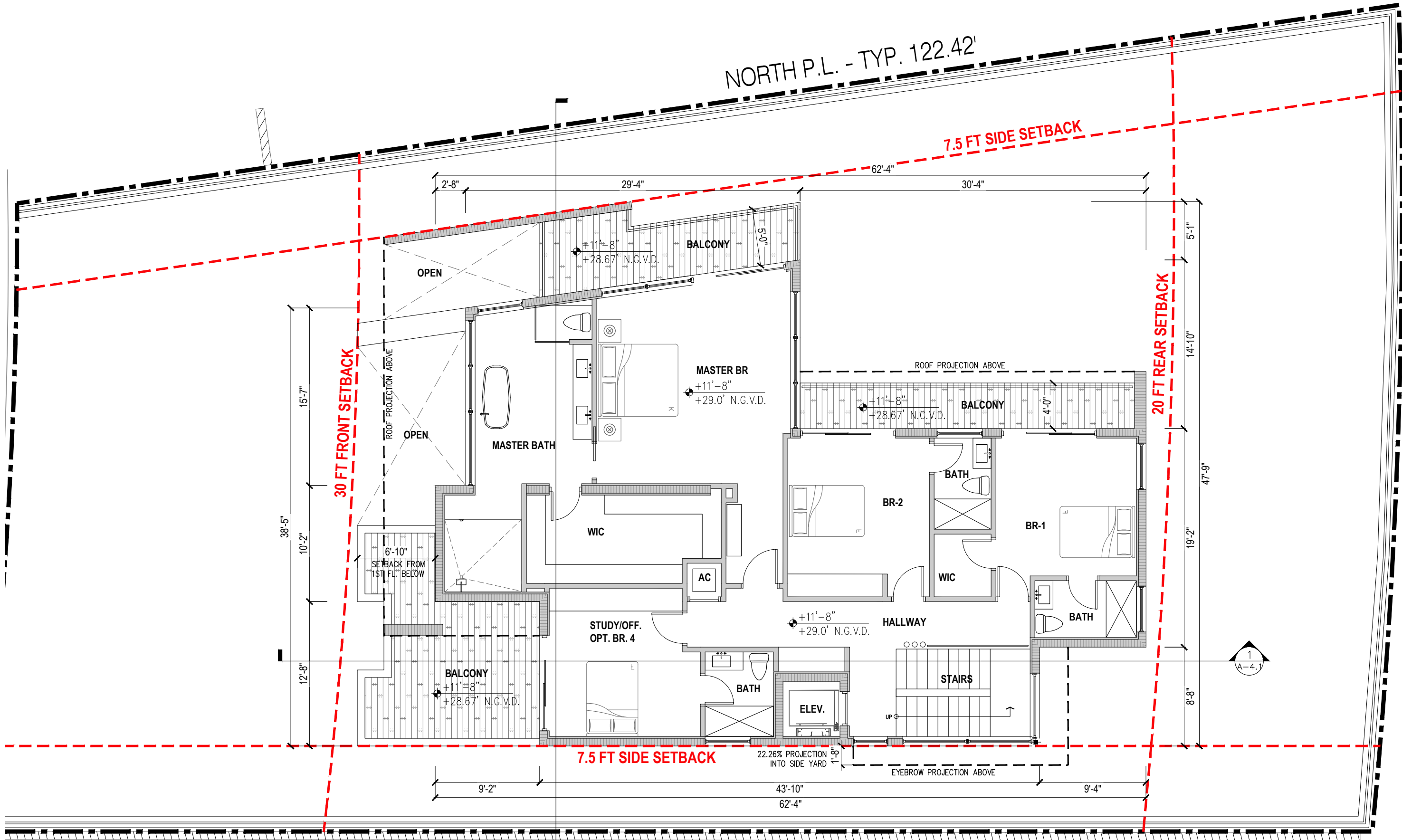
SECOND FLOOR PLAN

SCALE: AS SHOWN
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SHEET NUMBER

A-2.2

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STATE OF FLORIDA

REGISTERED ARCHITECT

AR 10000

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SECOND FLOOR PLAN

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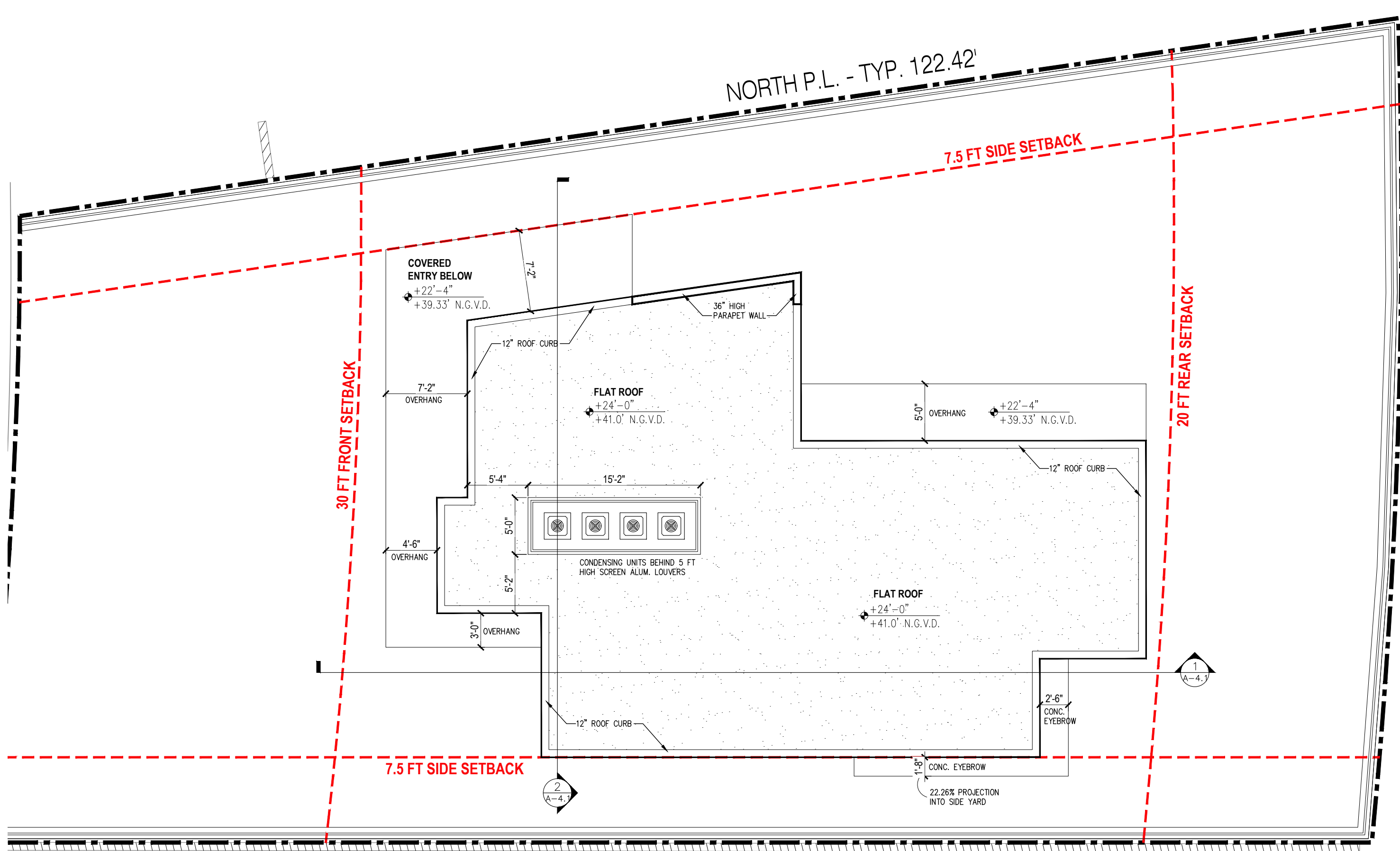
A-2.3

1

SECOND FLOOR PLAN

1/8"=1'-0"

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STATE OF FLORIDA

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AR 10900

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ROOF PLAN

SCALE: AS SHOWN

DATE: 07-10-2023

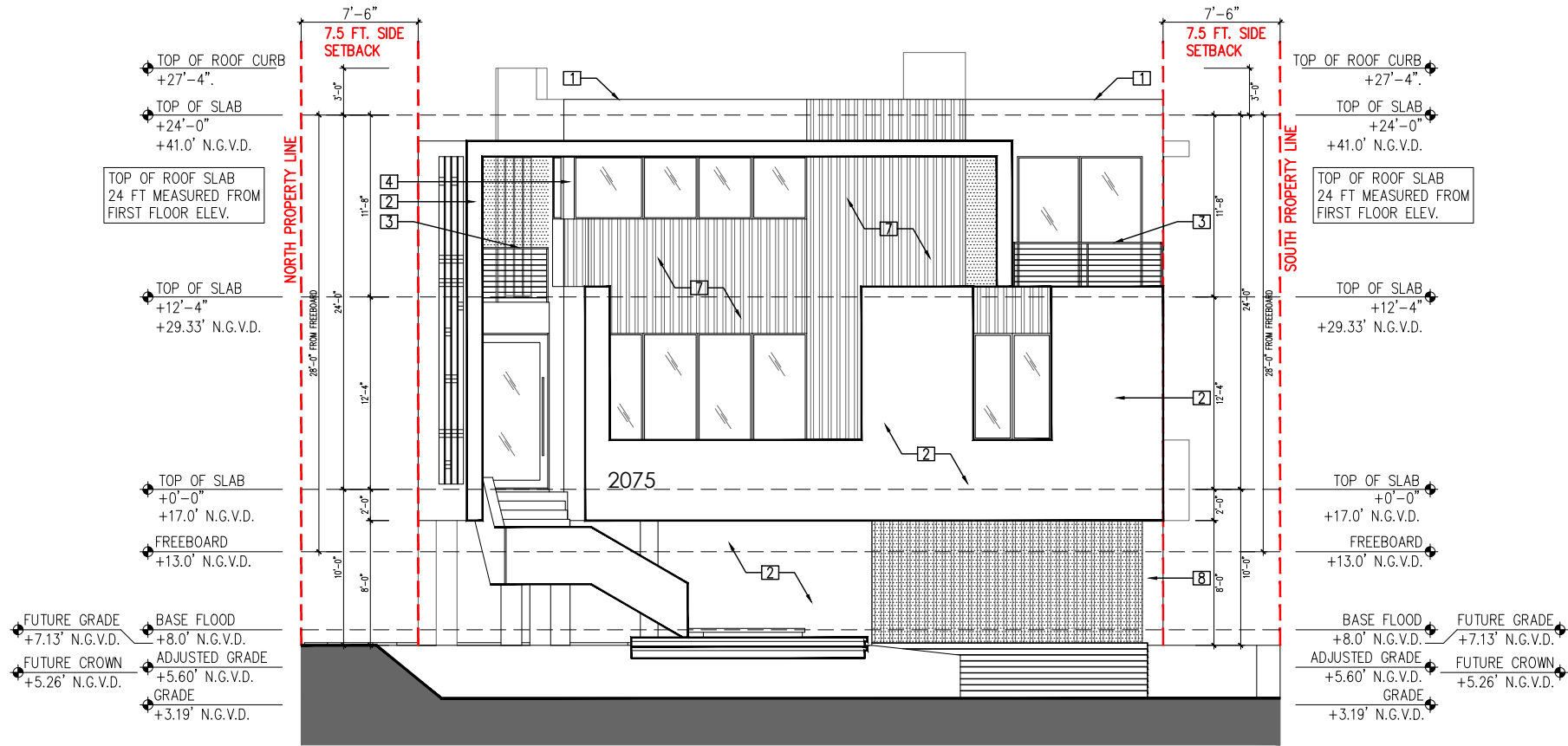
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A-2.4

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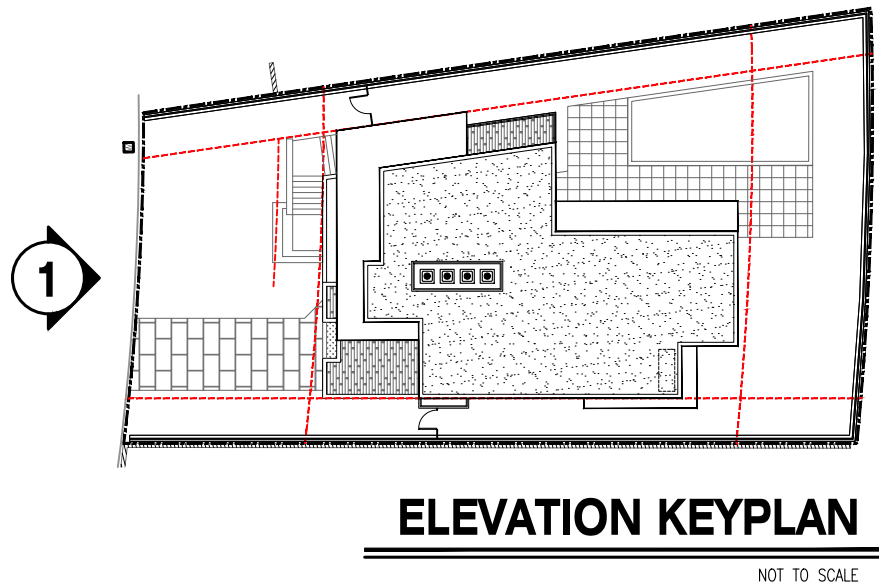
ROOF PLAN

1/8"=1'-0"



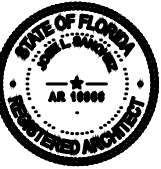
1 WEST ELEVATION (FRONT)

3/32"=1'-0"



ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
6. ALUM. LOUVER
7. WOOD/SIMULATED WOOD CLADDING
8. CONCRETE COLUMN.



ADDRESS & OWNER

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DRAWING TITLE

WEST
ELEVATION
(FRONT)

SCALE: AS SHOWN
DATE: 07-10-2023

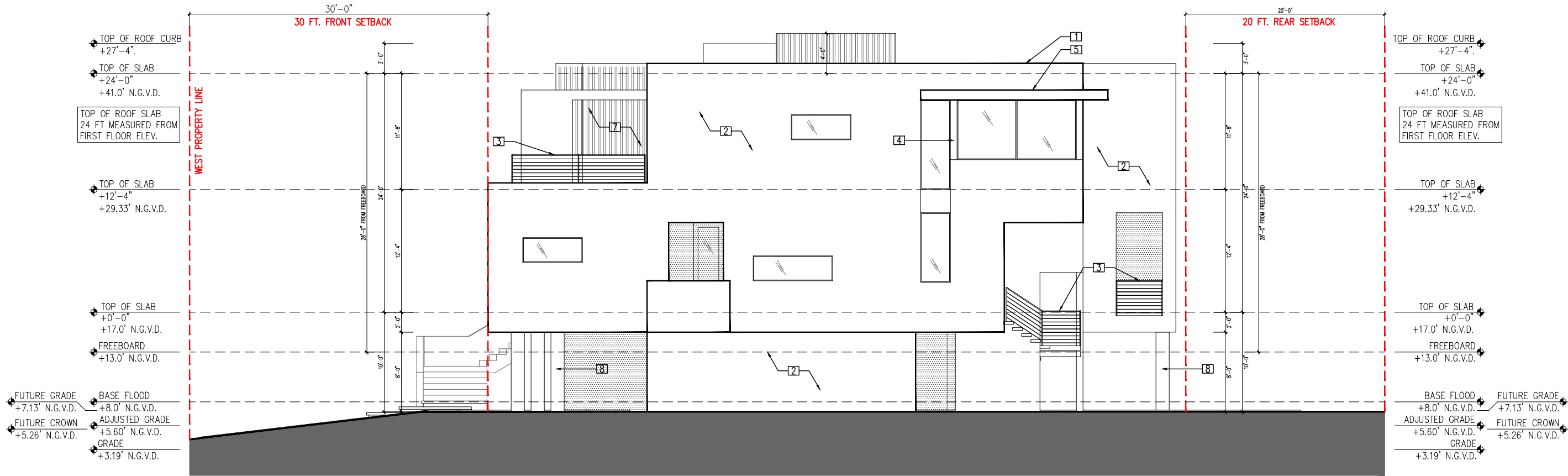
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A-3.1



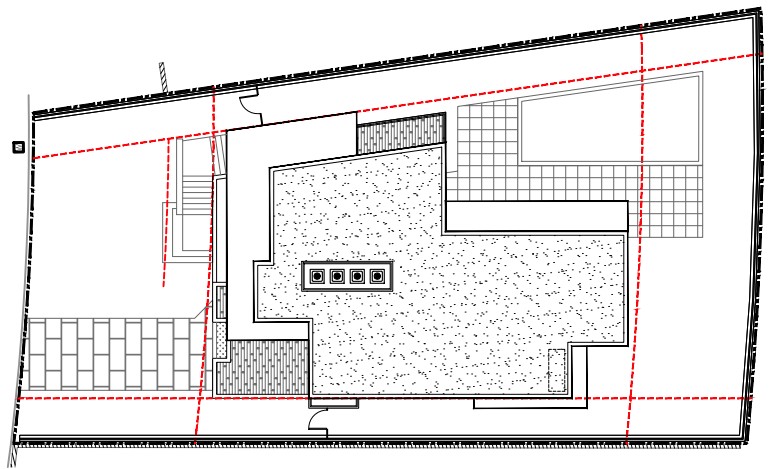
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR).
PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP
EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
3. ALUM. GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
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A-3.2



1 SOUTH ELEVATION (SIDE)

3/32"=1'-0"



1

ELEVATION KEYPLAN

NOT TO SCALE

ELEVATIONS KEYNOTES / SPECIFICATIONS

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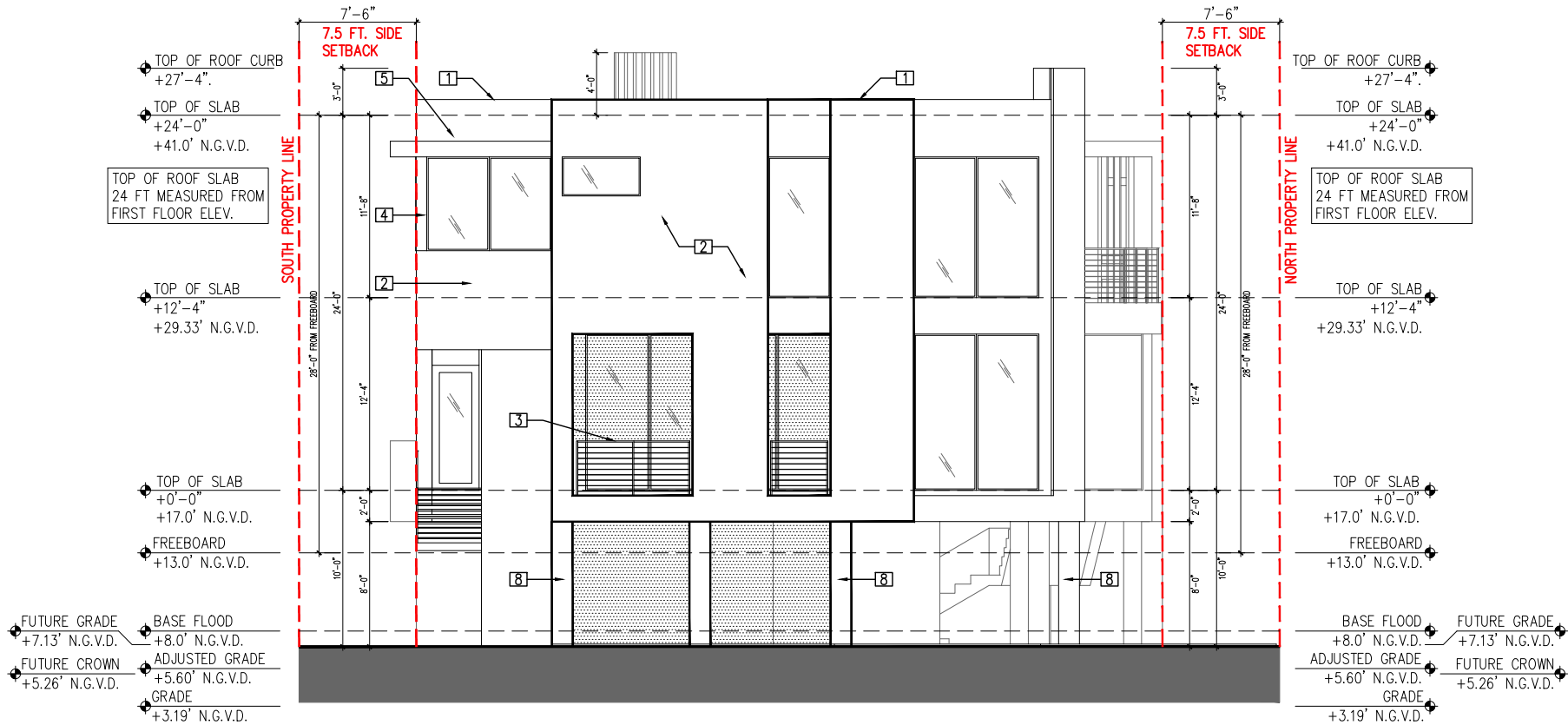
REVISION & DATE

DRAWING TITLE
**SOUTH
ELEVATION
(SIDE)**

SCALE: AS SHOWN
DATE: 07-10-2023

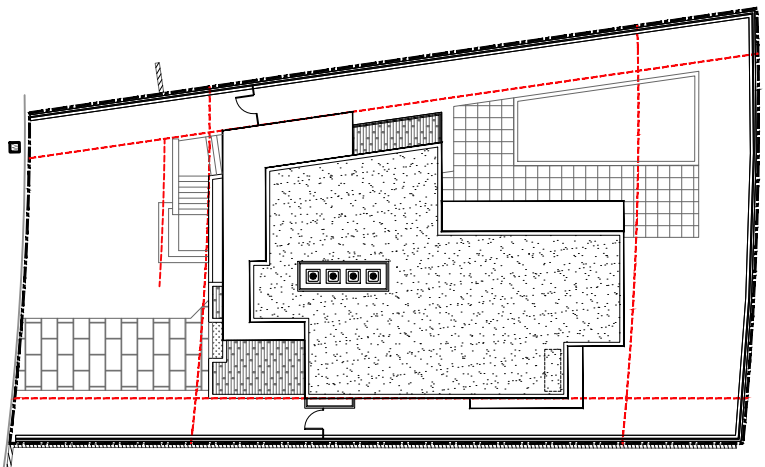
SHEET NUMBER

A-3.3



1 EAST ELEVATION (REAR)

3/32"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE

ELEVATIONS KEYNOTES / SPECIFICATIONS

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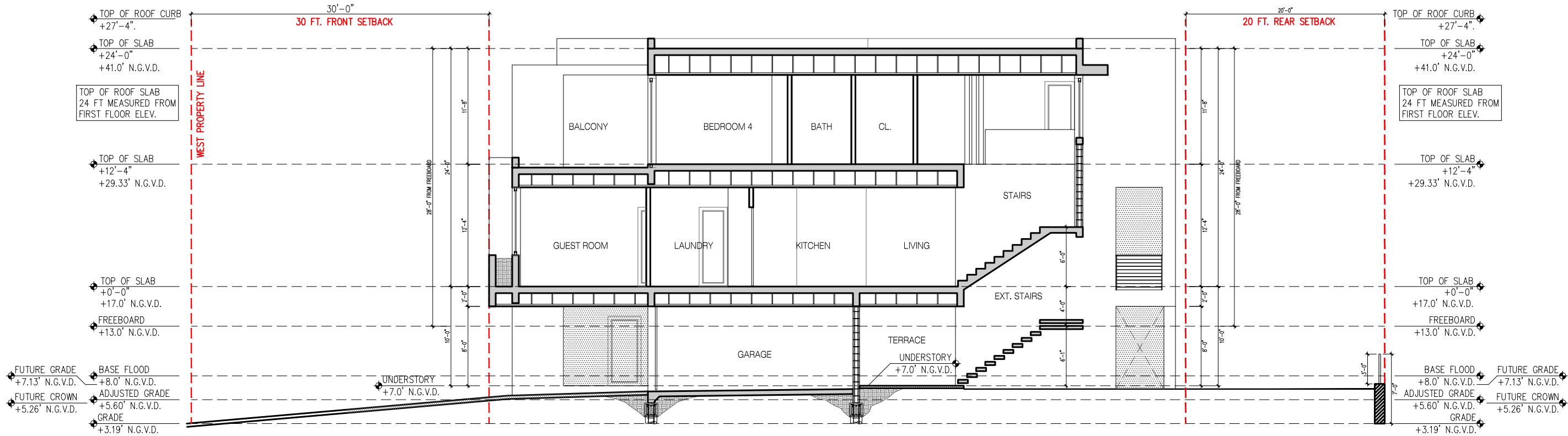
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**EAST
ELEVATION
(REAR)**

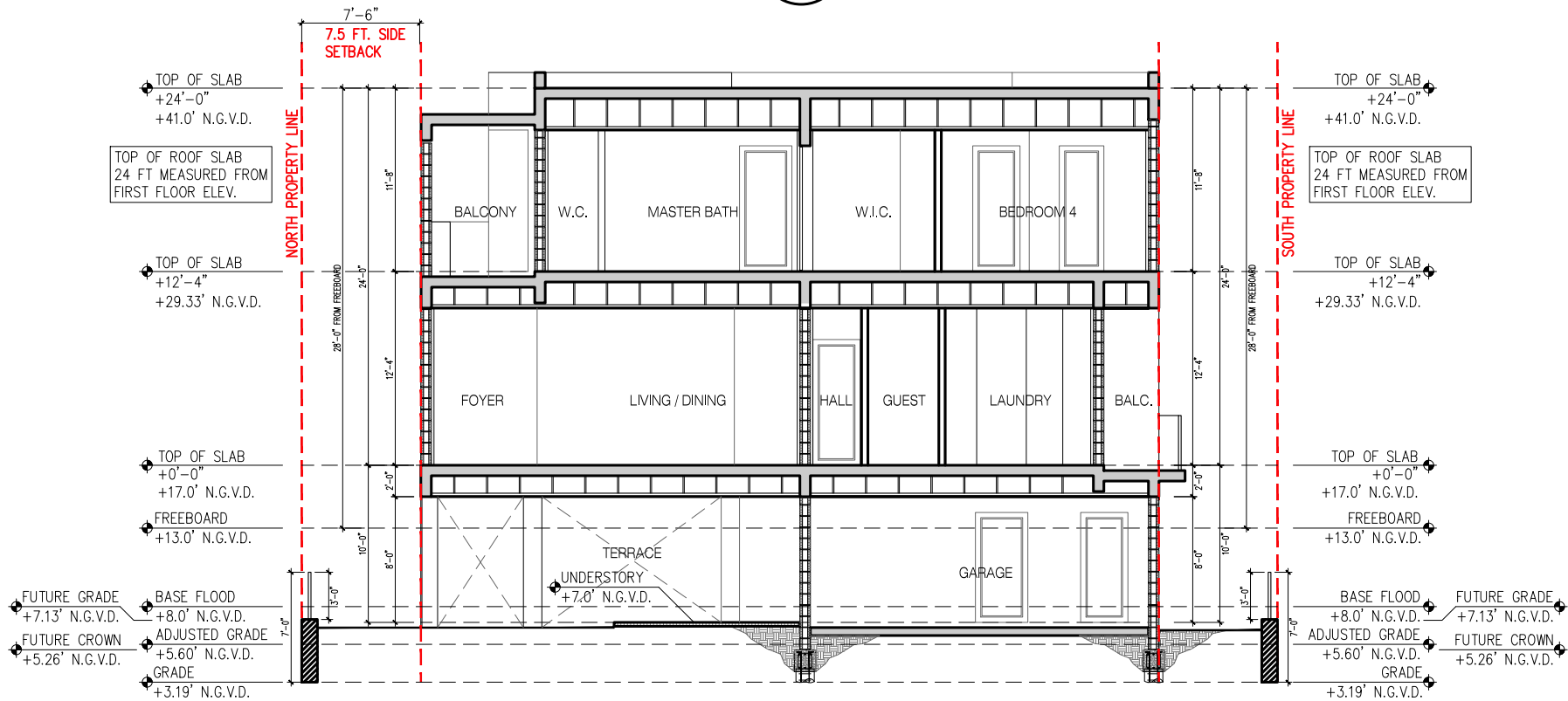
SCALE: AS SHOWN
DATE: 07-10-2023

SHEET NUMBER

A-3.4



1 SECTION
3/32"=1'-0"



2 SECTION
3/32"=1'-0"

