

**DATE:** July 10<sup>th</sup> 2023

**DRB#:** DRB23-0938

**ADDRESS:** 2075 N. Bay Road. Miami Beach, FL. 33140

**REFERENCE:** Response to First Submittal DRB comments.

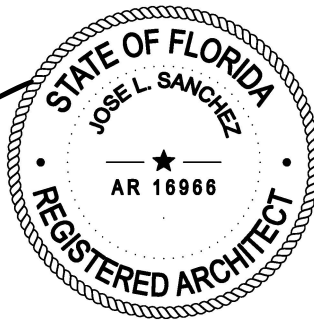
Dear Plan Reviewer,

Below, please find response to your recent comments.

We hope that this will help assist you in your review and ensure that all items have been addressed to your satisfaction.

Thanking you in advance.

Jose L. Sanchez, AIA, LEED AP  
PRAXIS Architecture  
AR0016966



## 1. APPLICATION COMPLETENESS

a. Upload the property owner's list of the mailing labels and a copy of the original certified letter from provider.

- **MAILING LIST LABELS AND ORIGINAL CERTIFICATE LETTER PROVIDED.**

b. A copy of the survey shall be included in the architectural plan package.

- **COPY OF SURVEY ADDED TO PLANS. SEE SHEET A-0.7.**

c. The survey provided shall include the lot area.

- **SURVEY REVISED TO INCLUDE THE LOT AREA (SEE SPACE OVER EXISTING BUILDING).**

d. Include current, color photographs of the interior spaces (minimum 4"x 6", no Google images).

- **PLEASE NOTE THAT A COMPLETE DEMOLITION OF THE EXISTING BUILDING IS BEING PROPOSED. THE PROPOSED WORK IS NOT A REMODEL OR ADDITION.**

e. Provide a demolition plan.

- **DEMOLITION PLAN PROVIDED ON SHEET A-0.9**

f. A roof plan shall be submitted upon the final submittal.

- **ROOF PLAN ADDED TO PLANS. SEE SHEET A-2.4.**

g. Include a contextual elevation line drawing, corner to corner, across the street, and surrounding properties (dated).

- **CONTEXTUAL ELEVATION ADDED TO SHEET A-0.7**

h. Provide an axonometric plan showing the relationship from the first to second-floor level.

- **AXONOMETRIC ADDED TO PLANS. SEE SHEET A-1.4**

i. The required yard sections of all elevations shall be included in the architectural set.

- **YARD SECTIONS ADDED TO PLANS. SEE SHEETS A-1.2, A-1.3**

## **2. ARCHITECTURAL REPRESENTATION**

a. Include the cost of estimate under a separate cover or in the letter of intent.

- **CONSTRUCTION COST ESTIMATE ADDED TO LETTER OF INTENT.**

b. Add "FINAL SUBMITTAL" and DRB File No. to front cover title for heightened clarity.

- **NOTE ADDED TO PRESENTATION COVER SHEET. SEE SHEET A-0.0**

c. Final submittal drawings need to be DATED, SIGNED AND SEALED.

- **FINAL SUBMITTAL DATED, SIGNED, AND SEALED.**

## **3. DESIGN RECOMMENDATIONS**

#### 4. ZONING COMMENTS

a. Provide the dimensions of the elevator in the understory level.

- **EXTERIOR DIMENSIONS FOR ELEVATION PROVIDED. SEE SHEET A-2.1**

b. Understory area(s) shall be used only for open air activities, parking, building access, mechanical equipment, non-enclosed restrooms and storage. The BBQ area is not permitted in the understory level.

- **BBQ REMOVE FROM FLOOR PLAN. SEE SHEET A-2.1**

c. All parking, including required parking, shall be provided within the understory area, and shall be clearly delineated by a different surface finish or bollards. Provide the material finish of the understory area.

- **NOTE FOR PARKING AREA MATERIAL REVISED TO "CONC. PAVERS ON COMPACTED SAND BASE". SEE SHEET A-2.1**

d. All portions of the understory area that are not air-conditioned shall consist of pervious or semi-pervious material, such as wood deck, gravel or pavers set in sand. Concrete, asphalt and similar material shall be prohibited within the non-air-conditioned portions of the understory area. Provide the material finish of the understory area.

- **UNDERSTORY AREA MATERIAL NOTED AS "CONC. PAVERS ON COMPACTED SAND BASE". SEE SHEET A-2.1**

e. All allowable decking, gravel, pavers, non-supporting breakaway walls, open-wood lattice work, louvers or similar architectural treatments located in the understory area shall be set back a minimum of five feet from each side of the underneath of the slab of the first habitable floor above, with the exception of driveways and walkways leading to the property, and access walkways and/or steps or ramps for the front and side area. This includes providing a minimum 5' setback from the deck located along the east elevation (near the elevator) and north (deck below the terrace projecting above).

- **AWAITING CLARIFICATION REQUESTED FROM STAFF ON JULY 6<sup>TH</sup>.**
- **THIS BUILDING HAS A SMALL FOOTPRINT WHERE ABOUT HALF OF THE UNDERSTORY IS USED FOR PARKING. IF WE'RE TO PROVIDE A 5 FT SETBACK INWARD FROM THE EDGE OF THE SLAB OF THE "FIRST HABITABLE FLOOR ABOVE", THIS WOULD CONSIDERABLY REDUCE THE USEABLE UNDERSTORY AREA AND ALSO COMPLETELY DETACH THE UNDERSTORY FROM THE POOL DECK AREA. THERE WOULD BE A 5 FT GAP UNDER THE BUILDING. OUR BELIEVE IS THAT THE ORDINANCE ALLOWS FOR A CONNECTION OF THE UNDERSTORY TO THE POOL DECK.**

f. Provide the projection of the balconies in the second-floor plan.

- **DIMENSIONS FOR BALCONY PROJECTIONS ADDED TO PLAN. SEE SHEET A-2.3**

g. Dimension the lot width at the required front setback line for further review.

- **DIMENSION ADDED ALONG THE 30 FT FRONT SETBACK LINE (59'-6"). SEE SHEET A-1.1**

h. Include the dimensions of the entry steps located on the front yard and the deck and pool in the rear yard for further review of open space requirements.

- **ADDITIONAL DIMENSIONS ADDED TO FRONT STEPS AND POOL DECK. SEE SHEETS A-1.1, A-2.1**

i. Provide the dimension of the building height as measured from base flood elevation, plus freeboard.

- **DIMENSION ADDED TO ELEVATIONS AND SECTIONS.  
SEE SHEETS A-3.1, A-3.2, A-3.3, A-3.4, A-4.1**

j. The yard shall comply with the minimum and maximum yard elevation of sec. 7.2.2.3(b)(x) of the Resiliency Code.

- **PLEASE NOTE THAT BASED ON PREVIOUS SUBMITTALS, WHEN THE USE OF AN UNDERSTORY IS PRESENT, THE MINIMUM YARD ELEVATION HAS BEEN THE FUTURE CROWN ON ROAD (5.26' NGVD). BASED ON THIS PRECEDENT, THE PROPOSED YARD ELEVATION IS 6.56' NGVD, ABOVE THE MINIMUM REQUIRED FOR UNDERSTORY.**

k. Within the front yard, the retaining wall shall not exceed 30 inches above existing sidewalk elevation, or existing adjacent grade if no sidewalk is present.

- **NOTE REVISED TO 2.5 FT RETAINING WALL WITHIN THE FRONT YARD. SEE SHEET A-1.1.**

l. Provide the setback from furthest edge of the water portion of the pool to the interior side lot line on the north elevation.

- **ADDITIONAL DIMENSIONS ADDED TO THE POOL. PLEASE NOTE THAT POOL WALL IS PARALLEL TO THE SETBACK AND PROPERTY LINE. SEE SHEET A-1.1**

m. Provide a written narrative with responses.

- **NARRATIVE PROVIDED WITH FINAL PLAN SUBMITTAL.**