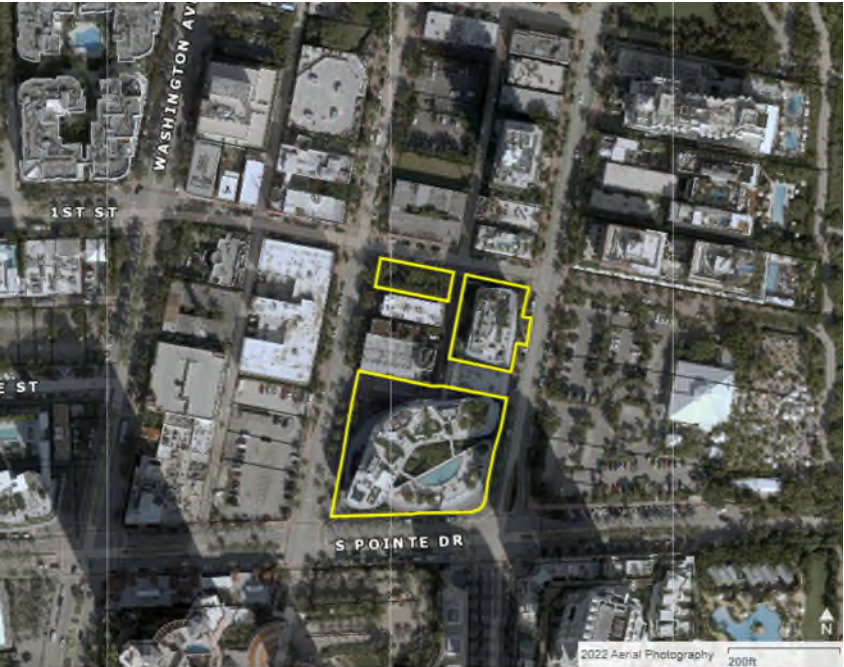


Philippe Chow Miami Beach One Ocean Condominium – CU 1 & CU 2

Planning Board Meeting July 25, 2023 – Item 12



Context



D CORNER OF OCEAN DR & SOUTHPOINTE DR
SCALE: NTS

Request

Conditional Use Permit (CUP) for a Neighborhood Impact Establishment (NIE) restaurant.

LUXURIOUS DINING EXPERIENCE
Amaze guests with unparalleled service, careful attention to detail, and welcoming hospitality

CONSISTENCY
Ensure guest satisfaction at every step of service, consistently across all guest visit

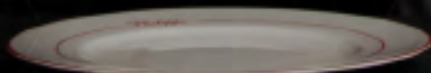
PROFESSIONALISM
Maintain the highest level of professionalism across the entire Philippe Chow team to ensure flawless delivery of guest experience

THE INSPIRATION
Our menu is inspired by various Chinese regional cuisines, including Cantonese and Szechuan, and our ingredients are locally sourced whenever possible. Philippe's priority is to offer sustainable seafood and humanely raised meats.



Philippe

by Philippe Chow



UPPER EASTSIDE

33 East 60th Street, New York, NY 10065





Philippe Downtown NYC



Philippe Chow Miami Beach



1 Collins Ave, Miami Beach, FL 33139

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1 Collins Ave, Miami Beach, FL 33139

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Operational Conditions

Hours of Operations:

- Lunch: 11AM – 3PM
- Dinner
 - Indoor: 5PM - 2AM, 7 days a week
 - Outdoor: 5PM – 11PM, Sunday – Wednesday; 5PM – 12 AM, Thursday – Saturday
- 8 seats on Ocean Drive close at 10PM, 7 days a week.

Music

- **Indoor and Outdoor:** Only recorded background music played at a level that does not interfere with normal conversation may be permitted provided that the Applicant installs a sound system with directional speakers and an automatic tamper resistant noise level limiter.
- No entertainment.
- No special events.
- No outdoor bar counters or outdoor TVs.

Valet Operations

- Stand located along S. Pointe Drive
 - 3 spaces for valet
 - 2 spaces for ride share pick up/drop off
- Storage at 125 Collins Ave
- 11 valet attendants at peak hours

Figure 4 - Valet Operation Routes



One Ocean Impact Mitigation

- The Applicant shall submit a Design Review Board Application for installation of an exterior canopy or trellis for the exterior seating areas along Ocean Drive and South Pointe Drive. Such a canopy or trellis shall be designed to mitigate noise impacts from the restaurant to adjacent residential units.
- The Applicant shall install large planters on either side of the northernmost door on the Ocean Drive frontage of the restaurant to mitigate potential noise impacts to the One Ocean residences from the exterior seating area of the restaurant.
- Employees shall not loiter in the garden area between the restaurant and the One Ocean residential tower. Employees shall only be permitted on the garden area for deliveries and refuse collection during the hours provided in this CUP.
- The eight (8) exterior seats, currently figured as two tables, on the north side of the Ocean Drive frontage shall cease operations at 10PM. No patrons shall be served at these tables after 10PM. No speakers are permitted in this area,
- No tables shall be located less than 65 feet from the residential units fronting Ocean Drive.
- No speakers shall be located within 70 feet from the residential units fronting Ocean Drive.

Modified Conditions

6.A. - The project authorized by this Conditional Use Permit includes the creation and operation of the proposed 337 seat Neighborhood Impact Establishment, subject to the criteria listed below:

6.A.vii. No exterior speakers shall be permitted except for those necessary for fire and life safety purposes within 75 feet of the One Ocean residences fronting Ocean Drive.

7.H. The applicant shall submit previously approved parking plans and calculations for the overall site as part of the building permit application. The valet operations shall utilize the spaces that were required for the original commercial areas and provided on-site prior to utilizing off-site parking spaces, to the extent the on-site spaces are available.

Thank You

200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

305.374.5300 office

305.377.6222 fax

Info@brzoninglaw.com



1 SITE PLAN
1/24" = 1'-0"

data analysis

SITE PLAN INFORMATION

LAND USE DESIGNATION: CPB-1 (Residential-RP-S2)
 *TOTAL SITE AREA: 61,630 sq. ft. (ONE OCEAN - South)
 25,750 sq. ft. (ONE OCEAN - North)
 BUILDING HEIGHT: 78'-0" (ONE OCEAN - South)
 78'-0" (ONE OCEAN - North)
 PROVIDED OPEN SPACE: 87,380 sq. ft. x 65% = 56,767 sq. ft.
 PROVIDED OPEN SPACE: 33,889 sq. ft.

SETBACKS

REQUIRED PROVIDED
 front/side setback: 5'-0" pedestal/tower
 20'-0" above 40' in height
 rear setback: 3'-6" pedestal/tower
 side setback: 7'-6" sides setback
 front/side setback: 5'-0" pedestal/tower
 20'-0" above 40' in height
 rear setback: 23'-4" pedestal/tower
 side setback: 7'-6" sides setback

PARKING:

ONE OCEAN - SOUTH
 REQUIRED Unit 2.2 spaces per unit
 ONE OCEAN - NORTH
 REQUIRED Unit 2.2 spaces per unit

F.A.R.

Maximum/Allowable: 2.0 x Lot Area
 TOTAL MAXIMUM / ALLOWABLE: 87,380 sq. ft. x 2.0 = 174,760 sq. ft.

ONE OCEAN - SOUTH
 Actual / Provided F.A.R.
 sub. lev. = 0 sq. ft.
 level 01 = 12,805 sq. ft.
 level 02 = 13,748 sq. ft.
 level 03 = 18,786 sq. ft.
 level 04 = 18,805 sq. ft.
 level 05 = 18,786 sq. ft.
 level 06 = 18,801 sq. ft.
 level 07 = 18,786 sq. ft.
 level 08 = 2,981 sq. ft.
 level 09 = 137 sq. ft.
 F.A.R. 123,636 sq. ft.

TOTAL F.A.R. = 172,793 sq. ft.

ONE OCEAN - NORTH
 Actual / Provided F.A.R.
 development
 level 0 = 0 units
 level 1 = 1 TH unit/comm.
 level 2 = 4 condo units
 level 3 = 6 condo units
 level 4 = 6 condo units
 level 5 = 6 condo units
 level 6 = 6 condo units
 level 7 = 6 condo units
 level 8 = 0
 level 9 = 0
 total = 35 units
 F.A.R. 49,117 sq. ft.

TOTAL = 50 UNITS

CODES USED

Construction of this building shall comply with:
 Florida Fire Prevention Code 2010 edition
 The Life Safety Code NFPA 101: 2009 edition
 The Fair Housing Act 1988, as amended
 The Florida Accessibility Code Chapter 11, FBC 2010 edition
 Americans With Disabilities Act (ADA) 2010 edition & ANSI 117.1

Should conflict arise between codes the General Contractor shall comply with the most restrictive requirement or shall specify within submittal from the Building Official for compliance.

LEGEND

- AP ACCESS PANEL
- EP ELECTRICAL PANEL
- EP ABOVE FINISHED FLOOR
- AFD ABOVE FINISHED DECK
- UN UNLESS OTHERWISE NOTED
- CEG CEILING
- TOW TOP OF WALL
- TOS TOP OF SLAB
- TOP TOP OF PARAPET
- BFE BASE FLOOD ELEVATION
- TOC TOP OF CURB
- FO FLOOR DRAIN
- ROD ROOF DRAIN
- TYP TYPICAL
- SM SIMILAR
- OP/HAND OPERATE HAND (REVERSE)
- HC HANDICAP
- WC WATER CLOSET
- LAV LAVATORY
- SH SHOWER
- FA FLOOR AREA RATIO

- General Notes:**
1. All dimensions, elevations, notes, specifications, recommendations and quantities are shown on these drawings. All dimensions shall be taken from the finished surface unless otherwise indicated. All dimensions shall be taken from the finished surface unless otherwise indicated. All dimensions shall be taken from the finished surface unless otherwise indicated.
 2. In cases of conflict between the drawings and standards, codes, or applicable laws, the more stringent requirements shall govern.
 3. Use of abbreviations, large scale drawings shall be provided with small scale drawings and dimensions shall be provided for all scale drawings.
 4. Any detail dimension between the drawings shall be properly called to the attention of the Architect and no work shall be done until the Architect's approval is obtained.
 5. Where a material is indicated, it is assumed that such material is of the highest quality available and shall be of the best grade and shall be of the best quality available.
 6. Where the term "finish" is used, it shall be understood to mean the final finish as shown on the drawings.
 7. Where the term "work" is used, it shall be understood to mean the work as shown on the drawings.
 8. Where the term "work" is used, it shall be understood to mean the work as shown on the drawings.
 9. All manufactured articles, materials and equipment shall be tested, installed, maintained, and conditioned in accordance with the manufacturer's written or printed instructions and shall be tested in accordance with the manufacturer's written or printed instructions and shall be tested in accordance with the manufacturer's written or printed instructions.
 10. The contractor shall be provided in full with all necessary information for the proper installation and maintenance of all equipment and materials.
 11. The contractor shall be responsible for verifying that all existing conditions are as shown on the drawings and shall be responsible for verifying that all existing conditions are as shown on the drawings.
 12. The contractor shall be responsible for verifying that all existing conditions are as shown on the drawings and shall be responsible for verifying that all existing conditions are as shown on the drawings.
 13. The contractor shall be responsible for verifying that all existing conditions are as shown on the drawings and shall be responsible for verifying that all existing conditions are as shown on the drawings.
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 17. The contractor shall be responsible for verifying that all existing conditions are as shown on the drawings and shall be responsible for verifying that all existing conditions are as shown on the drawings.
 18. The contractor shall be responsible for verifying that all existing conditions are as shown on the drawings and shall be responsible for verifying that all existing conditions are as shown on the drawings.
 19. After the Contract has been awarded, the Owner and the Architect will conduct a pre-construction meeting to discuss the project and the drawings.
 20. General Contractor shall provide a Certificate of Insurance for the duration of the project and shall be responsible for verifying that all existing conditions are as shown on the drawings.



location map

n.t.s.

SYMBOLS LEGEND

- STUD PARTITION
- FIRE RATED STUD PARTITION
- CONCRETE WALL
- CONCRETE BLOCK WALL
- CONCRETE BLOCK WALL 1 HOUR FIRE RATED
- CONCRETE BLOCK WALL 2 HOUR FIRE RATED
- CONCRETE BLOCK WALL 4 HOUR FIRE RATED
- STEEL
- PLYWOOD
- FIBERGLASS BATT INSULATION
- RIGID DENSE FOAM W MESH & STUCCO FINISH - MOLDINGS CORNICES, ETC.
- FINISH CONCRETE
- CLEAN COMPACTED FILL
- LOOSE FILL OR SOIL
- WALL MOUNTED FIRE EXTINGUISHER (See 10' min. clearance)
- RECESSED FIRE EXTINGUISHER CABINET (See 10' min. clearance)
- DETAIL NUMBER
- SHEET NO. DETAIL IS DRAWN ON
- DETAIL TITLE SCALE
- DETAIL NUMBER IS DRAWN ON
- SECTION TITLE SCALE
- DETAIL NUMBER SECTION IS DRAWN ON
- DOOR DESIGNATION
- DOOR DESIGNATION HUNG SWING
- DOOR DESIGNATION
- BALCONY DIVIDER DESIGNATION
- BUILDING GLASS DOOR DESIGNATION
- STOREFRONT DESIGNATION
- ROOM NUMBER
- WALL TYPE DESIGNATION (CALL PLAN REFER TO DWG. A.02)
- CEILING HEIGHTS

PARKING:

ONE OCEAN - SOUTH

REQUIRED

Unit 2.2 spaces per unit
 2.2 x 35 = 77 parking spaces

Retail 2,290 sq. ft. / 300 = 8

Restaurant 1 space per 4 seats, or 8,880 sq. ft. / 100

8,880 sq. ft. = 89 spaces
 174 parking spaces (77+8+ 89)

PROVIDED 174 parking spaces

TOTAL PROVIDED, NORTH AND SOUTH: 207 parking spaces

ONE OCEAN - NORTH

REQUIRED

Unit 2.2 spaces per unit
 2.2 x 15 = 33 parking spaces

PROVIDED 33 parking spaces

UNIT AREA MATRIX

CONSTRUCTION LEVEL	UNIT AREA										HEIGHT	
	TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE		
1	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
2	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
3	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
4	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
5	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
6	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
7	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
8	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
9	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
10	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
11	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
12	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
13	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
14	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
15	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
16	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
17	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
18	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
19	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
20	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
21	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
22	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
23	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
24	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
25	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
26	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
27	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
28	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
29	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
30	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
31	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
32	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
33	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
34	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
35	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
36	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
37	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
38	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
39	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
40	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
41	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
42	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
43	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
44	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
45	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
46	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
47	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
48	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
49	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
50	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
51	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
52	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
53	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
54	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
55	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
56	A	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	1,350	10.0
57	A	1,350	1,350	1,350	1							

Valet Spaces – DRB Condition

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: July 3, 2012

FILE NO: 18988

PROPERTY: 2-30 & 46-64 Ocean Drive, 1-35 & 69 Collins Avenue.
BLOCK 1

LEGAL: Lots 1,2,3,5, 6, 7, 8, 9, 10, 11, 12, 13 & 17 less the easterly 15 feet of Lots 7 & 8, and portions of the alley between said lots, Block 1, of Ocean Beach Fl, According to the Plat Thereof, as recorded in Plat Book 2 at Page 38, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for modifications to a previously issued Design Review Approval for the construction of a new condo-hotel complex with two (2) 7-story buildings on vacant lots. Specifically the applicant is requesting design modifications to the previously approved project.

CERTIFICATION
THIS IS TO CERTIFY THAT THE ATTACHED DOCUMENT IS A TRUE AND ACCURATE COPY OF THE ORIGINAL ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT.
CITY OF MIAMI BEACH
7-10-2012
Signature of Planning Director or Designee: *[Signature]* (Date)
Personally known to me or Produced ID:
[Signature]
Notary Public, State of Florida at Large
Printed Name: *TERESA MARIA*
My Commission Expires: (Date) *12-2-13*
This document contains 8 pages.
TERESA MARIA
MY COMMISSION # 00256146
Expires: December 2, 2013
Board: The College Henry Services

ORDER

The applicant, TRG-Block One, Ltd, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

Figure 1 - Existing On-Street Spaces



- e. Parking of vehicles shall be prohibited within the drop off area along South Pointe Drive. Such area shall be exclusively utilized for active valet drop-off and pick-up only.