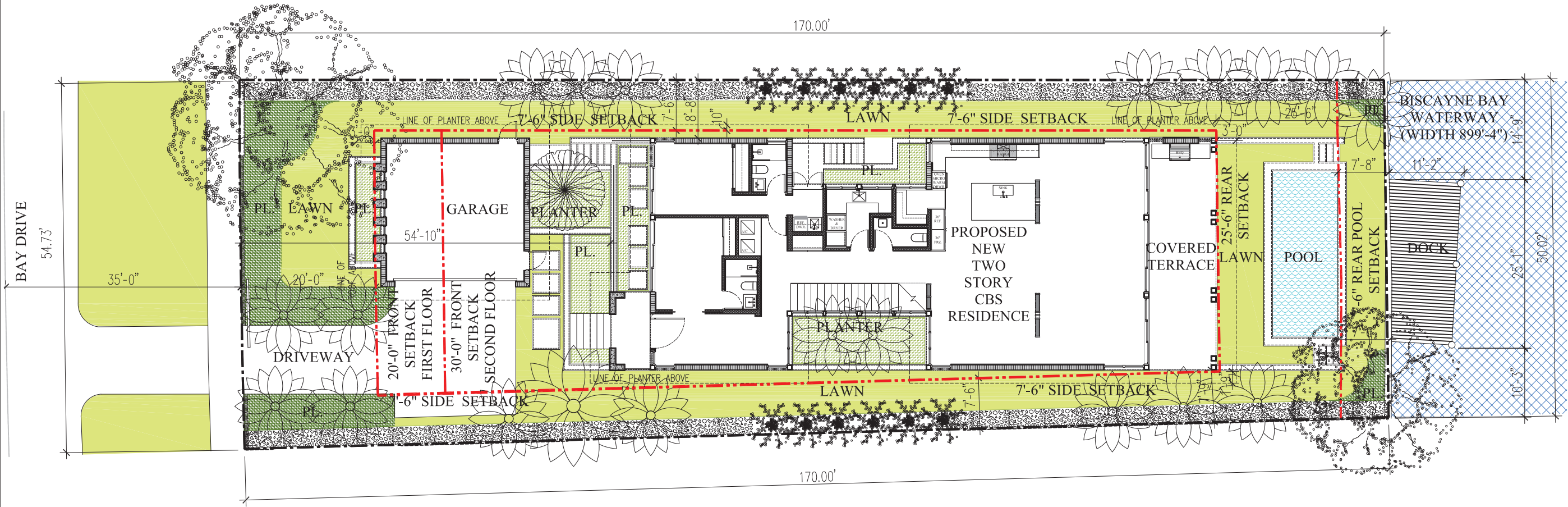
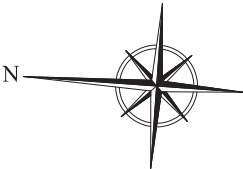


NEW CONSTRUCTION FLOODPLAIN MANAGEMENT DATA		
ITEM #		
1.	FLOOD ZONE:	AE +8
2.	FIRM MAP NUMBER	12086C0307L
3.	BASE FLOOD ELEVATION (BFE);	+8.00' N.A.V.D./+9.56' N.G.V.D.
4.	PROPOSED FLOOD DESIGN ELEVATION;	+9.00' N.A.V.D./+10.56' N.G.V.D.
5.	CROWN OF ROAD ELEVATION	+2.19' N.A.V.D./+3.75' N.G.V.D.
6.	CLASSIFICATION OF STRUCTURE	II
7.	BUILDING USE	SINGLE-FAMILY RESIDENCE
8.	LOWEST ELEV. OF EQUIPMENT	+9.00' N.A.V.D./+10.56' N.G.V.D.
9.	LOWEST ADJACENT GRADE	
10.	HIGHEST ADJACENT GRADE	



1 LOT 9 - SITE PLAN

A1.0 | A1.0

1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 – SITE PLAN

SEAL

03.24.23

Lynsie Christine Conn

FL Architect

AR99059

AA26000730

SHEET NO.:

A1.0

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

SINGLE FAMILY RESIDENTIAL - LOT 9 ZONING DATA SHEET				
ITEM #	ZONING INFORMATION			
1.	ADDRESS:	1120 BAY DRIVE, MIAMI BEACH, FL, 33141		
2.	FOLIO NUMBER(S):	02-3210-013-2170		
3.	BOARD AND FILE NUMBERS:	PB-23-0599		
4.	YEAR BUILT:	MULTIPLE	ZONING DISTRICT:	RS-4
5.	BASED FLOOD ELEVATION:	AE: 6.44' NAVD/8.00' NGVD	GRADE VALUE IN NAVD:	4.50' NAVD/6.06' NGVD
6.	ADJUSTED GRADE	6.75' NAVD/8.31' NGVD	FREE BOARD:	+2.56' (9.00' NAVD/10.56' NGVD)
7.	LOT AREA:	8,904 SF		
8.	LOT WIDTH:	54'-9'	LOT DEPTH:	170'-0"
9.	MAX LOT COVERAGE SF AND %:	2,671 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	2,424 SF (27.2%)
10.	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	500 SF
11.	FRONT YARD OPEN SPACE SF. AND %:	839 SF (77.1%)	REAR YARD OPEN SPACE SF AND %:	972 (86.1%)
12.	MAX. UNIT SIZE SF. AND %:	4,452 SF (50%)	PROPOSED UNIT SIZE SF AND %:	4,407 (49.5%)
13.	EXISTING FIRST FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE	2,244 SF (25.2%)
14.	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %	N/A - BUT AT LEAST 35% OF SECOND FLOOR FRONT FACADE IS SETBACK MORE THAN 5' - SEE FLOOR PLANS
15.			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,163 SF (24.3%)
16.			PROPOSED ROOF DECK AREA SF AND & (NOTE: MAX IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A

		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17.	HEIGHT:				
	FLAT ROOF:	24'-0"	N/A	N/A	N/A
	SLOPED ROOF:	27'-0"	N/A	23'-4"	N/A
18.	SETBACKS:				
19.	FRONT FIRST LEVEL:	20'-0" (MIN.)	N/A	20'-0"	N/A
20.	FRONT SECOND LEVEL:	30'-0" (MIN.)	N/A	54'-11"	N/A
21.	SIDE 1 (WEST):	25% WIDTH COMBINED (7'-6" MIN.)	N/A	8'-8"	N/A
22.	SIDE 2 (EAST):	25% WIDTH COMBINED (7'-6" MIN.)	N/A	7'-9"	N/A
23.	REAR:	15% LOT DEPTH OR 20' MIN. (20'-6" MIN.)	N/A	25'-6"	
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	N/A
24.	ACCESSORY STRUCTURE SIDE 2 OR FACING STREET:	7'-6"	N/A	N/A	N/A
25.	ACCESSORY STRUCTURE REAR:	½ OF REQUIRED REAR YARD	N/A	N/A	N/A
26.	SUM OF SIDE YARD:	15'-0"	N/A	15'-0"	N/A

27.	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?		NO
28.	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?		NO
29.	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?		NO

ROOF OVERHANGS INTO REQUIRED YARD

FRONT ALLOWED	7'-6" (5'-0" MAX.)	(25% OF 30')
FRONT PROVIDED	3'-0"	
REAR ALLOWED	6'-4.5" (5'-0" MAX.)	(25% OF 25'-6")
REAR PROVIDED	3'-0"	
EAST SIDE ALLOWED	1'-10.5"	(25% OF 7'-6")
EAST SIDE PROVIDED	1'-10"	
WEST SIDE ALLOWED	1'-10.5"	(25% OF 7'-6")
WEST SIDE PROVIDED	0'-9"	

SWIMMING POOL SETBACKS

	REQUIRED	PROVIDED
REAR (WATER'S EDGE OF POOL)	7'-6"	8'-2"
SIDES (WATER'S EDGE OF POOL)	7'-6"	12'-4" 13'-4"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 – ZONING DATA SHEET

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.0A

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

- BUILDING
AREA (A/C)
- ENCLOSED
AREA (NON A/C)

FIRST FLOOR UNIT SIZE:

FIRST FLOOR A/C AREA 2,244 SF
GARAGE NON A/C AREA (484 SQ. FT. - 500 SQ. FT. = 0 SQ. FT.)

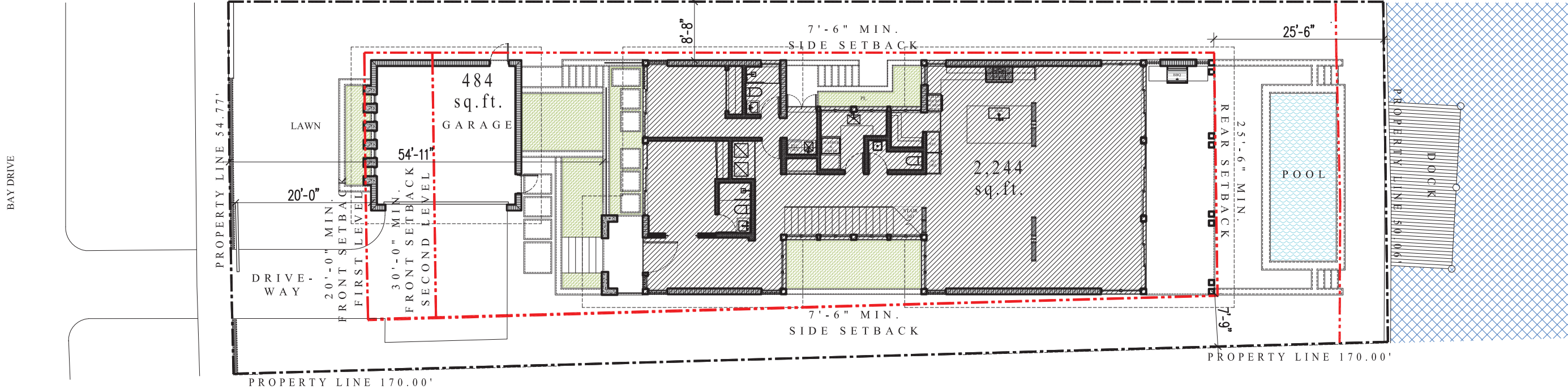
FIRST FLOOR UNIT SIZE TOTAL: 2,244 SF

SECOND FLOOR UNIT SIZE:

SECOND FLOOR A/C AREA 2,163 SF

SECOND FLOOR UNIT SIZE TOTAL: 2,163 SF

TOTAL UNIT SIZE PROPOSED: 4,407 SF (49.5%)
MAXIMUM ALLOWED UNIT SIZE: 4,452 SF (50%)



1 LOT 9 - FIRST FLOOR UNIT SIZE
A1.0 | A1.1 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 – KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1

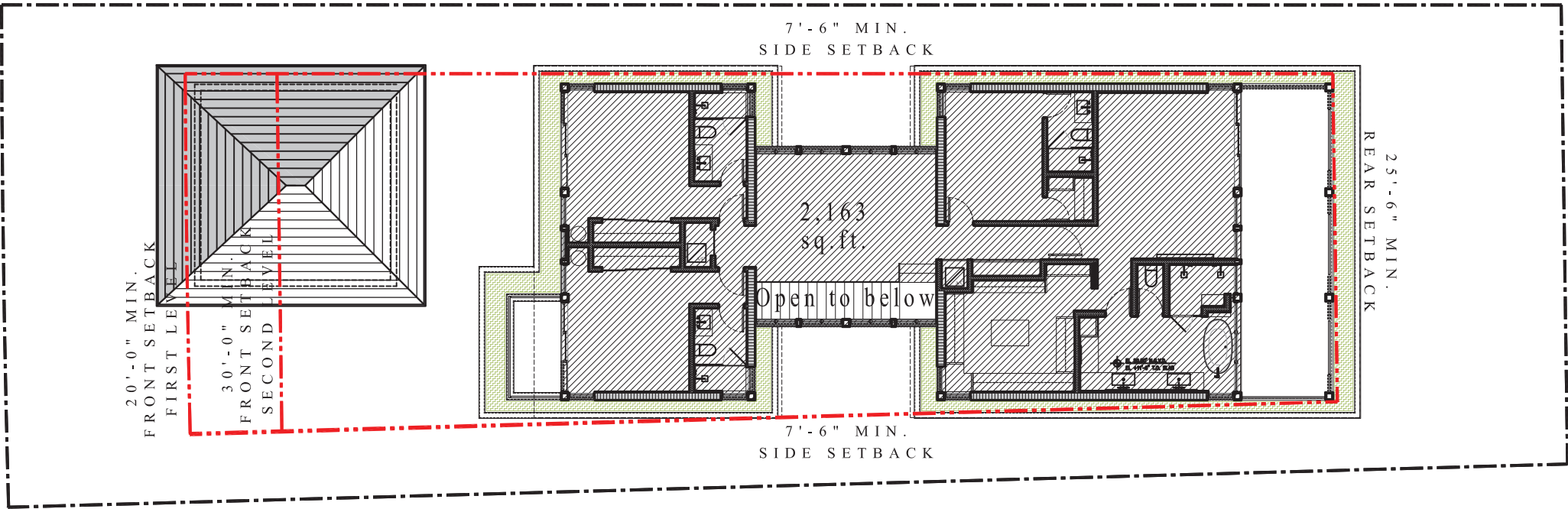
CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

- BUILDING
AREA (A/C)
- ENCLOSED
AREA (NON A/C)

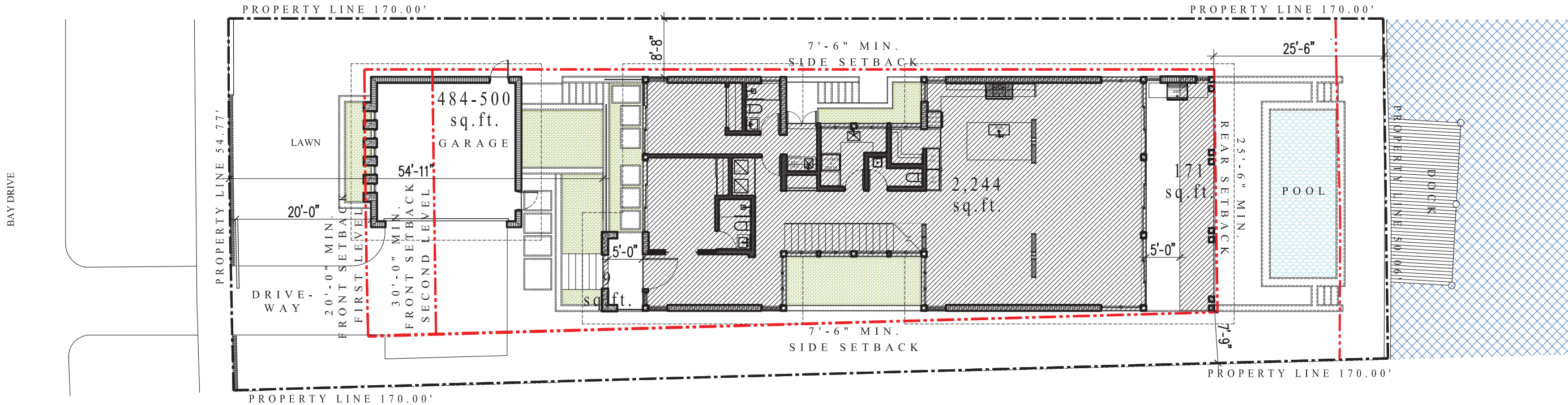
FIRST FLOOR UNIT SIZE:	
FIRST FLOOR A/C AREA	2,244 SF
GARAGE NON A/C AREA (484 SQ. FT. - 500 SQ. FT. = 0 SQ. FT.)	
FIRST FLOOR UNIT SIZE TOTAL:	2,244 SF
SECOND FLOOR UNIT SIZE:	
SECOND FLOOR A/C AREA	2,163 SF
SECOND FLOOR UNIT SIZE TOTAL:	2,163 SF
TOTAL UNIT SIZE PROPOSED:	4,407 SF (49.5%)
MAXIMUM ALLOWED UNIT SIZE:	4,452 SF (50%)





LOT COVERAGE

TOTAL LOT AREA		8,925 SF
FIRST FLOOR A/C AREA		2,244 SF
GARAGE NON A/C AREA (448-500= 0 SF)		
COVERED TERRACE		180 SF
TOTAL:		2,424 SF
LOT COVERAGE (30%)	PERMITTED	PROVIDED
	2,677 SF	2,424 SF (27.15%)



1 LOT 9 - LOT COVERAGE
A1.0 | A1.1B
1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE
1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 – KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1B

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

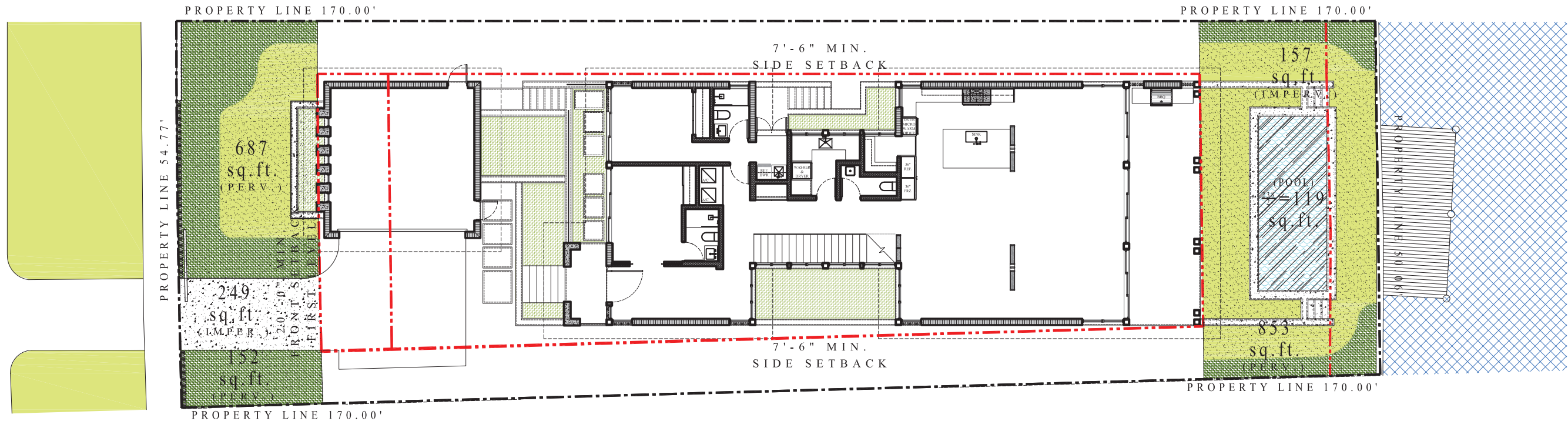
- LANDSCAPE
OPEN SPACE
- HARDSCAPE
AREA
- WATER FEATURE/
POOL AREA

FRONT SETBACK AREAS:

FRONT SETBACK AREA	1,088	SF	100%
REQUIRED (PERVIOUS OPEN SPACE)	544	SF	50% (REQUIRED)
LANDSCAPING / GRASS OPEN SPACE	839	SF	77.1% (PROVIDED)
IMPERVIOUS	249	SF	22.8%

REAR SETBACK AREAS:

REAR SETBACK AREA	1,248	SF	100%
REQUIRED (PERVIOUS OPEN SPACE)	873	SF	70% (REQUIRED)
LANDSCAPING / GRASS OPEN SPACE	853	SF	
POOL AREA: 238 SF (50% TOWARDS THE REQUIREMENT)	119	SF	
TOTAL PROVIDED (REAR PERVIOUS OPEN SPACE)	972	SF	77.8% (PROVIDED)



1 LOT 9 - FRONT & REAR OPEN SPACE
A1.0 | A1.1C 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 – KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

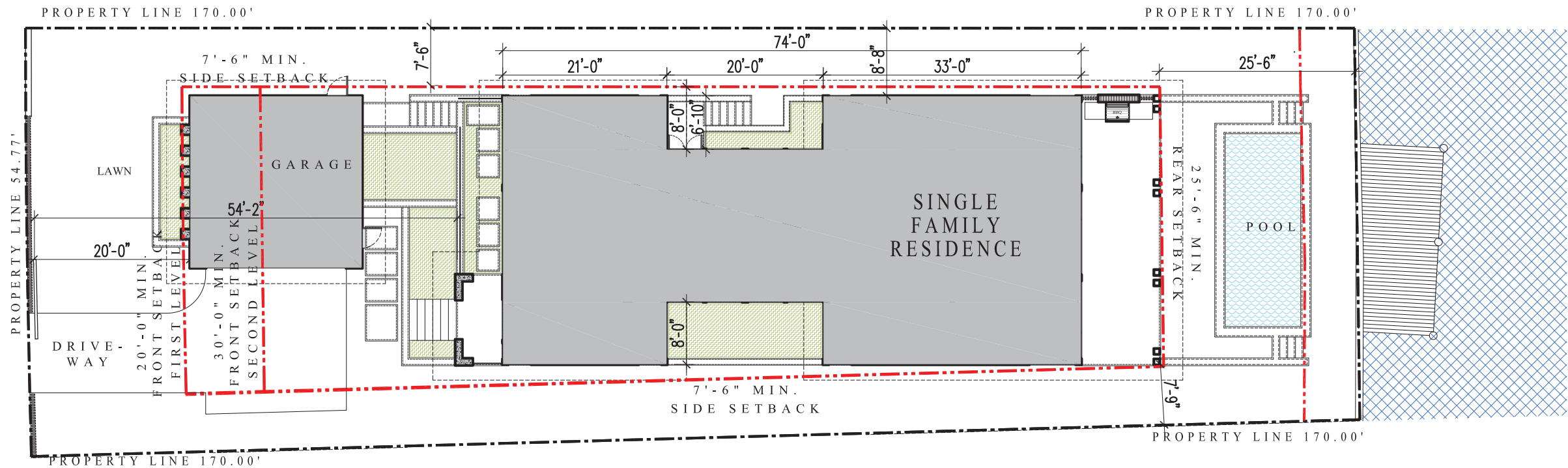
A1.1C

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE



1 LOT 9 - MASSING DIAGRAM
A1.0 | A1.1D
1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 - MASSING DIAGRAM

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1D

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

	VOLUME CLOSEST TO PROPERTY LINE (PLANTER - 6'-8" FROM PROPERTY LINE)
	VOLUME FARTHER FROM PROPERTY LINE (1'-2" FROM SETBACK LINE/8'-8" FROM PROPERTY LINE)
	VOLUME FARTHER FROM PROPERTY LINE (8'-0" FROM SETBACK LINE/15'-6" FROM PROPERTY LINE)
	VOLUME FARTHER FROM PROPERTY LINE (21'-1" FROM SETBACK LINE/28'-7" FROM PROPERTY LINE)
	VOLUME FARTHEST FROM PROPERTY LINE (24'-1" FROM SETBACK LINE/31'-7" FROM PROPERTY LINE)



232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

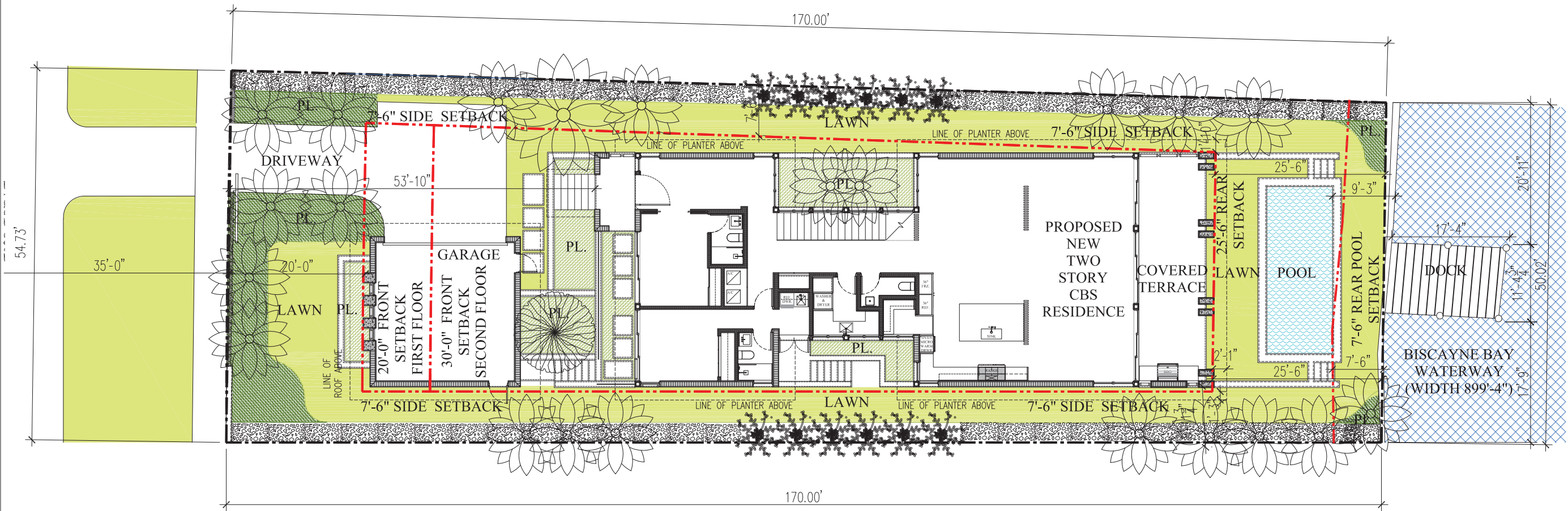
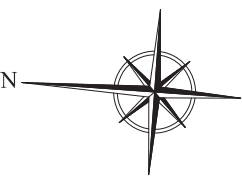
1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 9 - MASSING DIAGRAM

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

A1.1E

NEW CONSTRUCTION FLOODPLAIN MANAGEMENT DATA		
ITEM #		
1.	FLOOD ZONE:	AE +8
2.	FIRM MAP NUMBER	12086C0307L
3.	BASE FLOOD ELEVATION (BFE);	+8.00' N.A.V.D./+9.56' N.G.V.D.
4.	PROPOSED FLOOD DESIGN ELEVATION;	+9.50' N.A.V.D./+11.06' N.G.V.D.
5.	CROWN OF ROAD ELEVATION	+2.19' N.A.V.D./+3.75' N.G.V.D.
6.	CLASSIFICATION OF STRUCTURE	II
7.	BUILDING USE	SINGLE-FAMILY RESIDENCE
8.	LOWEST ELEV. OF EQUIPMENT	+9.00' N.A.V.D./+10.56' N.G.V.D.
9.	LOWEST ADJACENT GRADE	
10.	HIGHEST ADJACENT GRADE	



1 LOT 10 - SITE PLAN

A1.0 | A1.0

1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 10 - SITE PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.0

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

WAIVER #1:

Sec. 142-106. - (a) (2) (d)

Two-story side elevations located parallel to a side property line shall not exceed 50% of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required yard. The additional open space shall be regular in shape, open to the sky from grade, and at least eight feet in depth, measured

perpendicular from the minimum required side setback line.

SINGLE FAMILY RESIDENTIAL - LOT 10 ZONING DATA SHEET				
ITEM #	ZONING INFORMATION			
1.	ADDRESS:	1120 BAY DRIVE, MIAMI BEACH, FL, 33141		
2.	FOLIO NUMBER(S):	02-3210-013-2170		
3.	BOARD AND FILE NUMBERS:	PB23-0599		
4.	YEAR BUILT:	MULTIPLE	ZONING DISTRICT:	RS-4
5.	BASE FLOOD ELEVATION:	AE: 6.44' NAVD/8.00' NGVD	GRADE VALUE IN NAVD:	4.50' NAVD/6.06' NGVD
6.	ADJUSTED GRADE	6.75' NAVD/8.31' NGVD	FREE BOARD:	+3.06' (9.50' NAVD/11.06' NGVD)
7.	LOT AREA:	8,904 SF		
8.	LOT WIDTH:	54'-9'	LOT DEPTH:	170'-0"
9.	MAX LOT COVERAGE SF AND %:	2,671 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	2,424 SF (27.2%)
10.	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	500 SF
11.	FRONT YARD OPEN SPACE SF. AND %:	828 SF (76.4%)	REAR YARD OPEN SPACE SF AND %:	974 (86.1%)
12.	MAX. UNIT SIZE SF. AND %:	4,452 SF (50%)	PROPOSED UNIT SIZE SF AND %:	4,407 (49.5%)
13.	EXISTING FIRST FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE	2,244 SF (25.2%)
14.	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %	N/A - BUT AT LEAST 35% OF SECOND FLOOR FRONT FACADE IS SETBACK MORE THAN 5' - SEE FLOOR PLANS
15.			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,163 SF (24.3%)
16.			PROPOSED ROOF DECK AREA SF AND & (NOTE: MAX IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A

		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17.	HEIGHT: FLAT ROOF: SLOPED ROOF:	24'-0" 27'-0"	N/A N/A	23'-6" N/A	N/A N/A
18.	SETBACKS:				
19.	FRONT FIRST LEVEL:	20'-0" (MIN.)	N/A	21'-0"	N/A
20.	FRONT SECOND LEVEL:	30'-0" (MIN.)	N/A	53'-9"	N/A
21.	SIDE 1 (WEST):	25% WIDTH COMBINED (7'-6" MIN.)	N/A	8'-2"	N/A
22.	SIDE 2 (EAST):	25% WIDTH COMBINED (7'-6" MIN.)	N/A	8'-3"	N/A
23.	REAR:	15% LOT DEPTH OR 20' MIN. (20'-6" MIN.)	N/A	25'-6"	
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	N/A
24.	ACCESSORY STRUCTURE SIDE 2 OR FACING STREET:	7'-6"	N/A	N/A	N/A
25.	ACCESSORY STRUCTURE REAR:	½ OF REQUIRED REAR YARD	N/A	N/A	N/A
26.	SUM OF SIDE YARD:	15'-0"	N/A	15'-0"	N/A

27.	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO
28.	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?	NO
29.	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?	NO

ROOF OVERHANGS INTO REQUIRED YARD

FRONT ALLOWED	7'-6" (5'-0" MAX.)	(25% OF 30')
FRONT PROVIDED	3'-0"	
REAR ALLOWED	6'-4.5" (5'-0" MAX.)	(25% OF 25'-6")
REAR PROVIDED	2'-2"	
EAST SIDE ALLOWED	1'-10.5"	(25% OF 7'-6")
EAST SIDE PROVIDED	1'-10"	
WEST SIDE ALLOWED	1'-10.5"	(25% OF 7'-6")
WEST SIDE PROVIDED	1'-3"	

SWIMMING POOL SETBACKS	REQUIRED	PROVIDED
REAR (WATER'S EDGE OF POOL)	7'-6"	7'-6"
SIDES (WATER'S EDGE OF POOL)	7'-6"	12'-7" 13'-1"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE:LOT 10 – ZONING DATA SHEET

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.0A

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

- BUILDING
AREA (A/C)
- ENCLOSED
AREA (NON A/C)

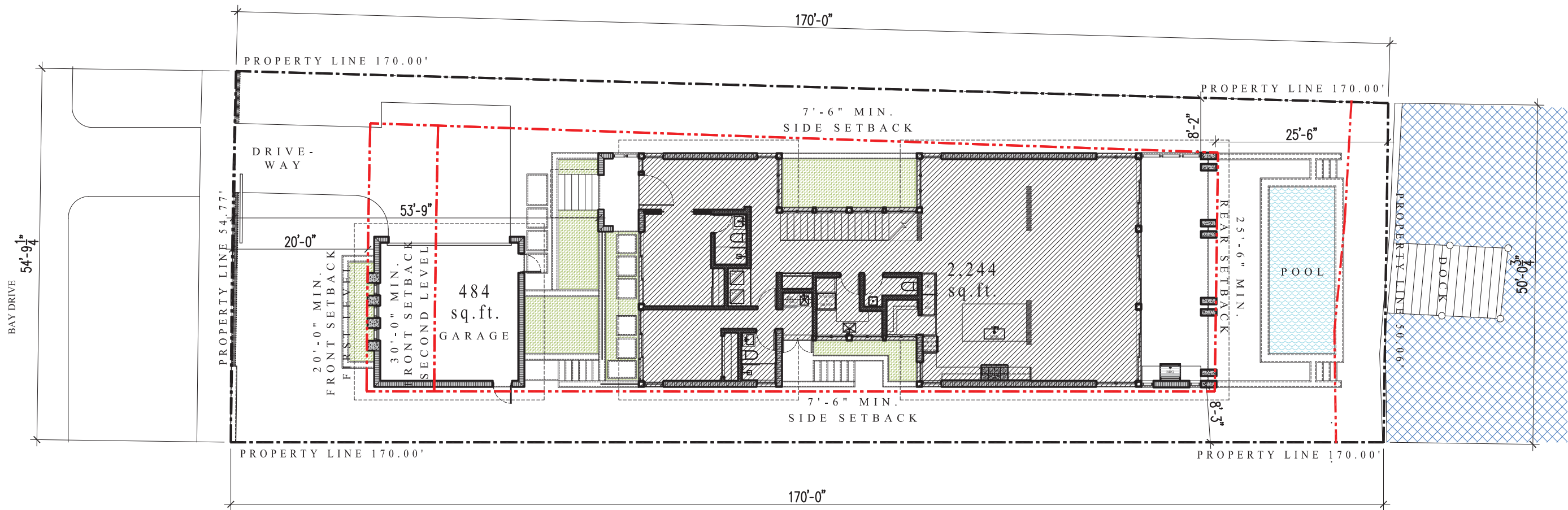
FIRST FLOOR UNIT SIZE:

FIRST FLOOR A/C AREA	2,244 SF
GARAGE NON A/C AREA (484 SQ. FT. - 500 SQ. FT. = 0 SQ. FT.)	
FIRST FLOOR UNIT SIZE TOTAL:	2,244 SF

SECOND FLOOR UNIT SIZE:

SECOND FLOOR A/C AREA	2,163 SF
SECOND FLOOR UNIT SIZE TOTAL:	2,163 SF

TOTAL UNIT SIZE PROPOSED:	4,407 SF (49.5%)
MAXIMUM ALLOWED UNIT SIZE:	4,452 SF (50%)



1 LOT 10 - FIRST FLOOR UNIT SIZE
A1.0 | A1.1 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE
1120 Bay Drive
Miami Beach, FL 33141
TITLE: LOT 10 – KEY AREA PLAN

SEAL
03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:
A1.1

CMA Design Studio, Inc.
ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

- BUILDING
AREA (A/C)
- ENCLOSED
AREA (NON A/C)

FIRST FLOOR UNIT SIZE:

FIRST FLOOR A/C AREA2,244 SF

GARAGE NON A/C AREA (484 SQ. FT. - 500 SQ. FT. = 0 SQ. FT.)

FIRST FLOOR UNIT SIZE TOTAL:2,244 SF

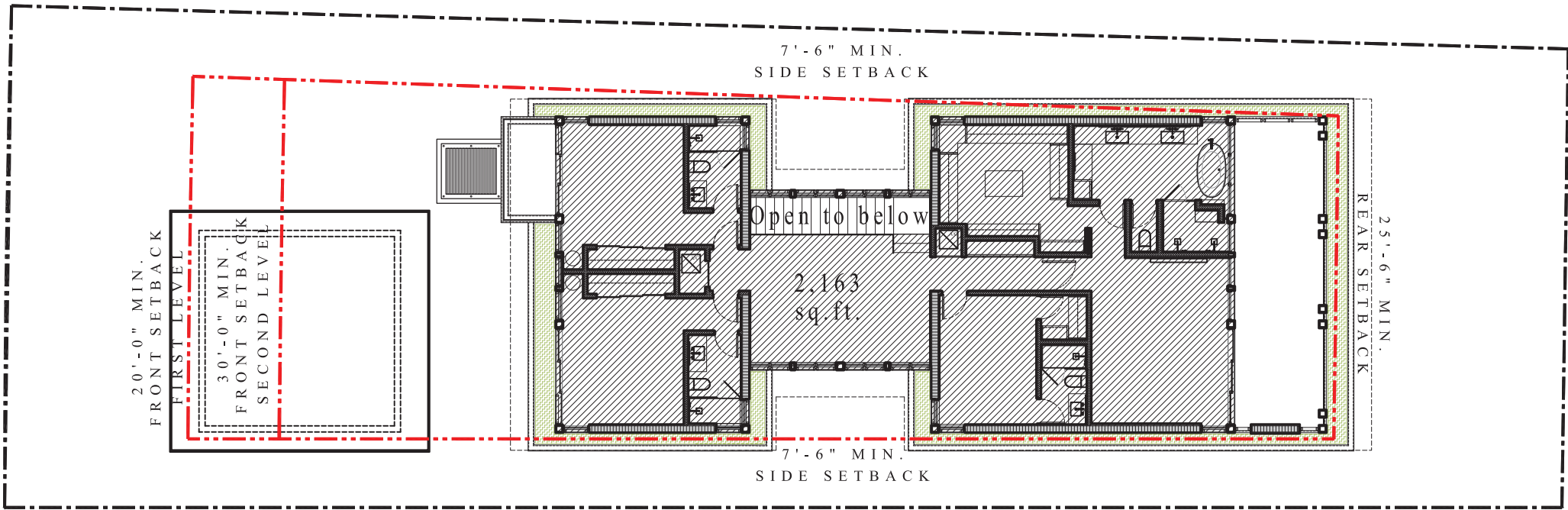
SECOND FLOOR UNIT SIZE:

SECOND FLOOR A/C AREA2,163 SF

SECOND FLOOR UNIT SIZE TOTAL:2,163 SF

TOTAL UNIT SIZE PROPOSED:4,407 SF (49.5%)

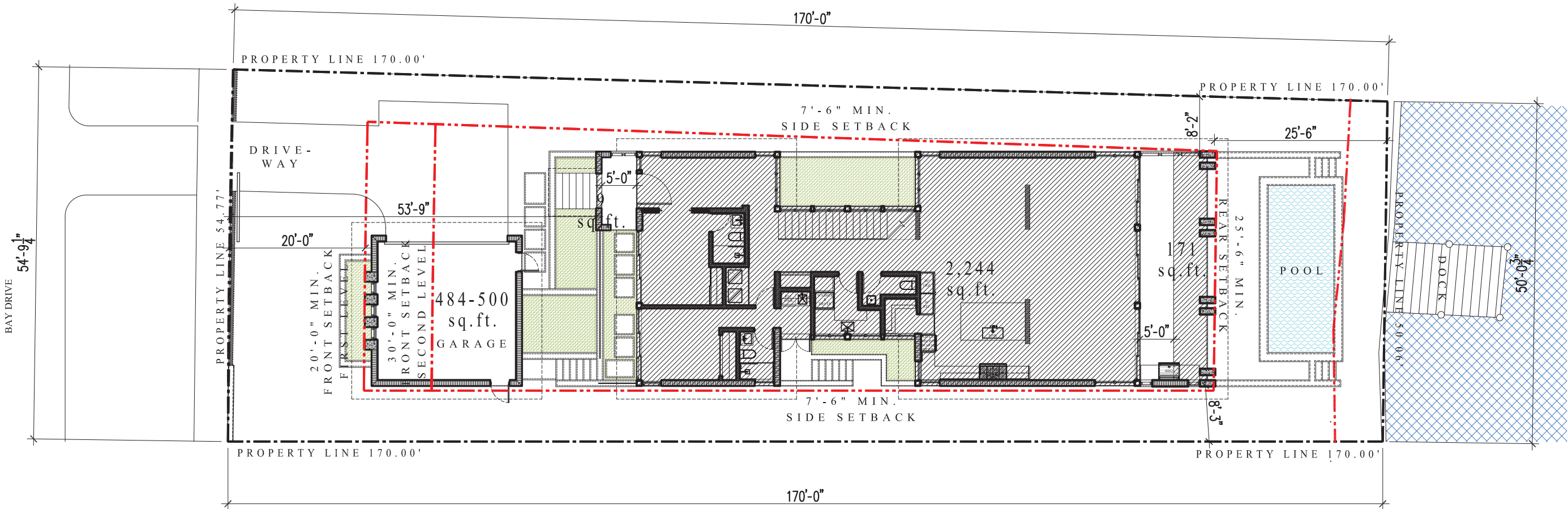
MAXIMUM ALLOWED UNIT SIZE:4,452 SF (50%)





LOT COVERAGE

TOTAL LOT AREA		8,925 SF
FIRST FLOOR A/C AREA		2,244 SF
GARAGE NON A/C AREA (448-500= 0 SF)		
COVERED TERRACE		180 SF
TOTAL:		2,424 SF
LOT COVERAGE (30%)	PERMITTED	PROVIDED
	2,671 SF	2,424 SF (27.2%)



1 LOT 10 - LOT COVERAGE
A1.0 | A1.1B 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 10 – KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1B

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

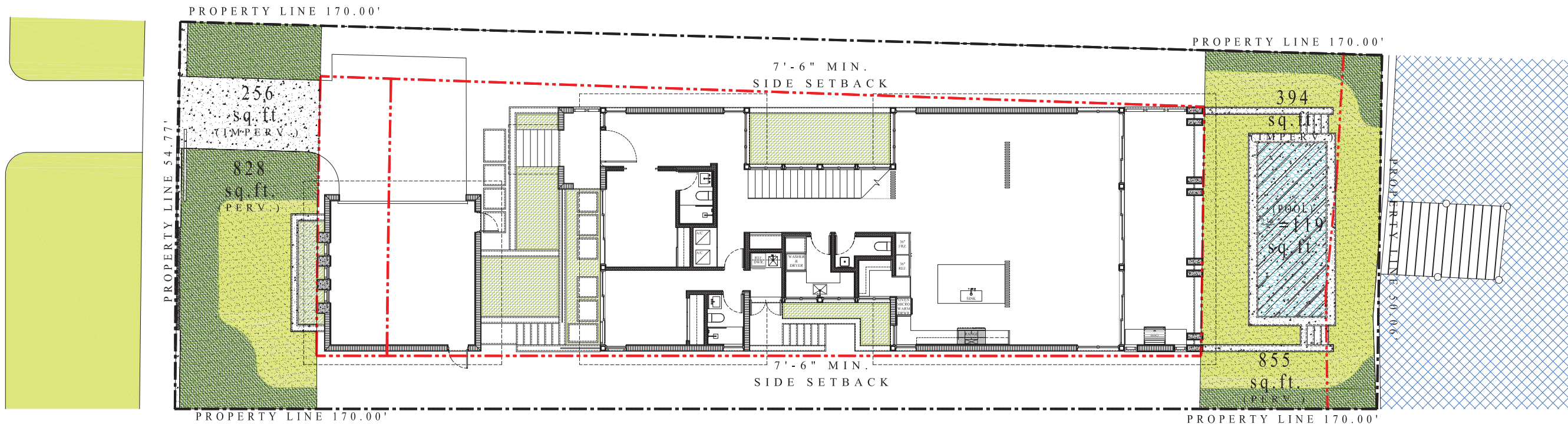
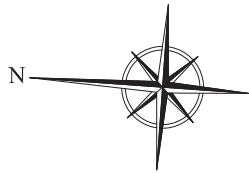
- LANDSCAPE
OPEN SPACE
- HARDSCAPE
AREA
- WATER FEATURE/
POOL AREA

FRONT SETBACK AREAS:

FRONT SETBACK AREA	1,084	SF	100%
REQUIRED (PERVIOUS OPEN SPACE)	542	SF	50% (REQUIRED)
LANDSCAPING / GRASS OPEN SPACE	828	SF	76.3% (PROVIDED)
IMPERVIOUS	256	SF	23.6%

REAR SETBACK AREAS:

REAR SETBACK AREA	1,368	SF	100%
REQUIRED (PERVIOUS OPEN SPACE)	957	SF	70% (REQUIRED)
LANDSCAPING / GRASS OPEN SPACE	855	SF	
POOL AREA: 238 SF (50% TOWARDS THE REQUIREMENT)	119	SF	
TOTAL PROVIDED (REAR PERVIOUS OPEN SPACE)	974	SF	71.1% (PROVIDED)



1 LOT 10 - FRONT & REAR OPEN SPACE

A1.0 | A1.1C

1/16" = 1'-0"

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 10 - KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1C

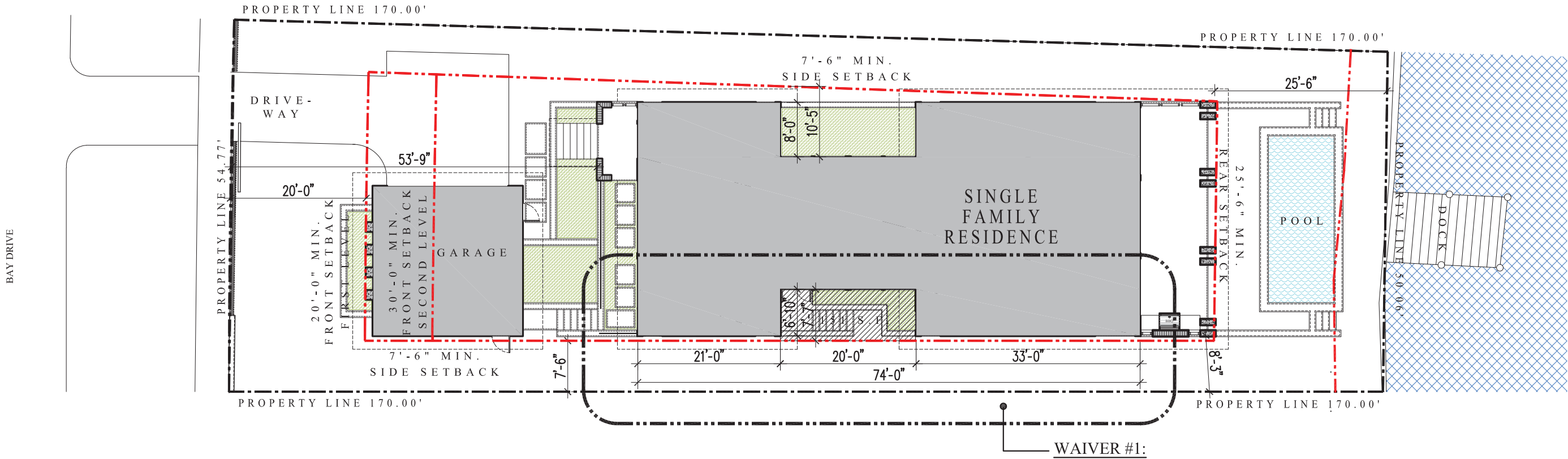
WAIVER #1:

Sec. 142-106. - (a) (2) (d)

Two-story side elevations located parallel to a side property line shall not exceed 50% of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required yard. The additional open space shall be regular in shape, open to the sky from grade, and at least eight feet in depth, measured

perpendicular from the minimum required side setback line.

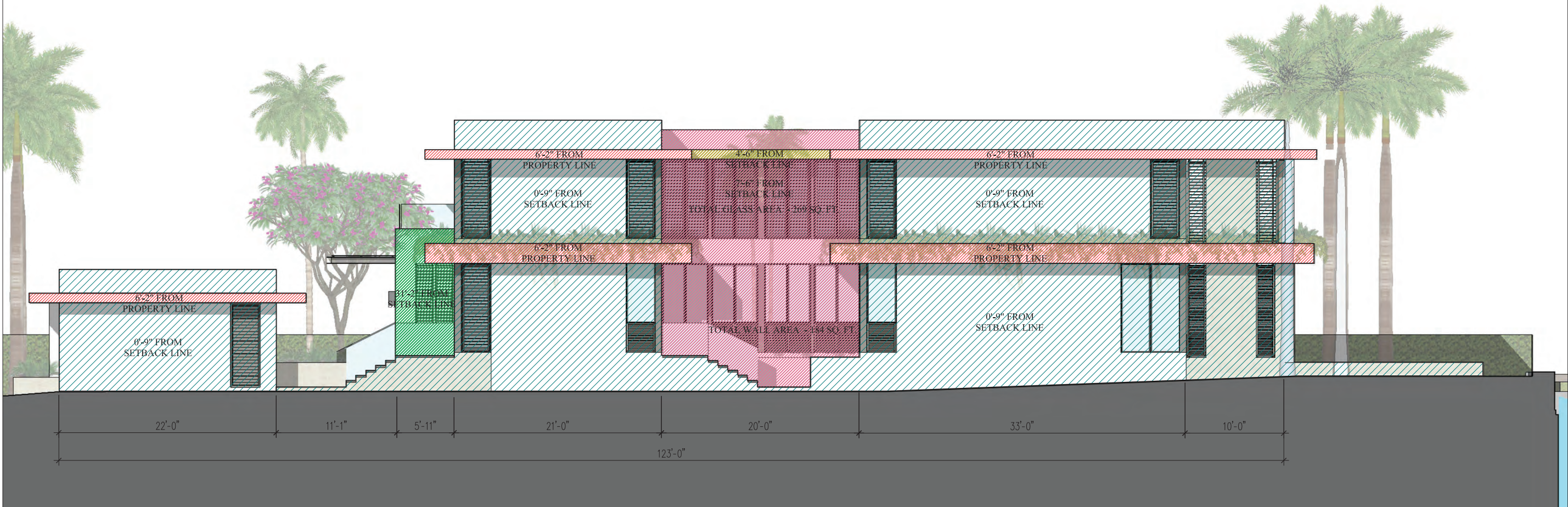
REQUIRED OPEN SPACE: 1% OF LOT AREA = 89.04 S.F.
PROPOSED = 151 S.F.



1 LOT 10 - WAIVER DIAGRAM
A1.0 | A1.1D
1/16" = 1'-0"

MASSING DISTRIBUTION ALONG WEST ELEVATION

- VOLUME CLOSEST TO PROPERTY LINE (PLANTER - 6'-2" FROM PROPERTY LINE)
- VOLUME FARTHER FROM PROPERTY LINE (0'-9" FROM SETBACK LINE/8'-3" FROM PROPERTY LINE)
- VOLUME FARTHEST FROM PROPERTY LINE (4'-6" FROM SETBACK LINE/12'-0" FROM PROPERTY LINE)
- VOLUME FARTHEST FROM PROPERTY LINE (7'-6" FROM SETBACK LINE/15'-0" FROM PROPERTY LINE)
- VOLUME FARTHEST FROM PROPERTY LINE (23'-8" FROM SETBACK LINE/31'-2" FROM PROPERTY LINE)



1 LOT 10 - WEST ELEVATION- WAIVER
A1.0 | A1.1E 3/16" = 1'-0"

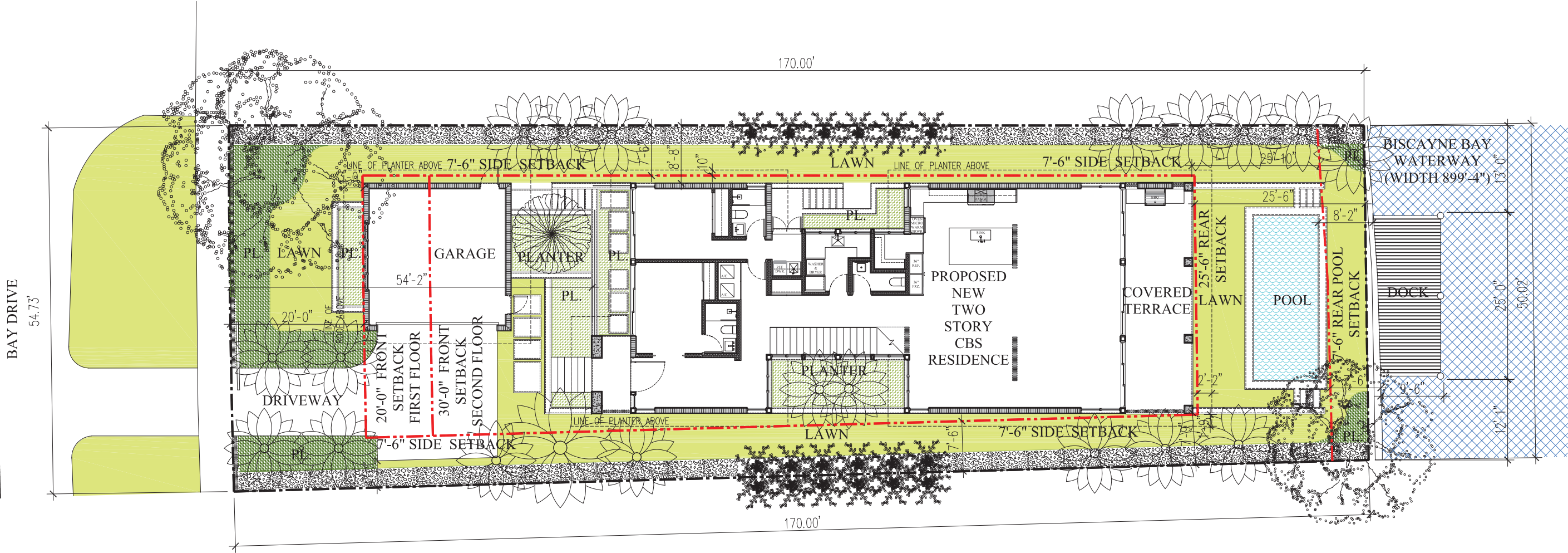
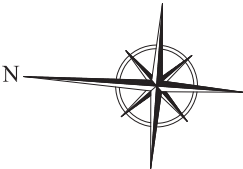
BAY DRIVE REALTY RESIDENCE
1120 Bay Drive
Miami Beach, FL 33141
TITLE: LOT 10 - WAIVER DIAGRAM

SEAL
03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:
A1.1E

CMA Design Studio, Inc.
ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

NEW CONSTRUCTION FLOODPLAIN MANAGEMENT DATA		
ITEM #		
1.	FLOOD ZONE:	AE +8
2.	FIRM MAP NUMBER	12086C0307L
3.	BASE FLOOD ELEVATION (BFE);	+8.00' N.A.V.D./+9.56' N.G.V.D.
4.	PROPOSED FLOOD DESIGN ELEVATION;	+9.00' N.A.V.D./+10.56' N.G.V.D.
5.	CROWN OF ROAD ELEVATION	+2.19' N.A.V.D./+3.75' N.G.V.D.
6.	CLASSIFICATION OF STRUCTURE	II
7.	BUILDING USE	SINGLE-FAMILY RESIDENCE
8.	LOWEST ELEV. OF EQUIPMENT	+9.00' N.A.V.D./+10.56' N.G.V.D.
9.	LOWEST ADJACENT GRADE	
10.	HIGHEST ADJACENT GRADE	



1 LOT 11 - SITE PLAN
A1.0 | A1.0 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 11 – SITE PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.0

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

SINGLE FAMILY RESIDENTIAL - LOT 11 ZONING DATA SHEET				
ITEM #	ZONING INFORMATION			
1.	ADDRESS:	1120 BAY DRIVE, MIAMI BEACH, FL, 33141		
2.	FOLIO NUMBER(S):	02-3210-013-2170		
3.	BOARD AND FILE NUMBERS:	PB23-0599		
4.	YEAR BUILT:	MULTIPLE-PRE 1942	ZONING DISTRICT:	RS-4
5.	BASED FLOOD ELEVATION:	AE: 6.44' NAVD/8.00' NGVD	GRADE VALUE IN NAVD:	4.50' NAVD/6.06' NGVD
6.	ADJUSTED GRADE	6.75' NAVD/8.31' NGVD	FREE BOARD:	+2.56' (9.00' NAVD/10.56' NGVD)
7.	LOT AREA:	8,904 SF		
8.	LOT WIDTH:	54'-9'	LOT DEPTH:	170'-0"
9.	MAX LOT COVERAGE SF AND %:	2,671 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	2,424 SF (27.2%)
10.	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	500 SF
11.	FRONT YARD OPEN SPACE SF. AND %:	836 SF (76.7%)	REAR YARD OPEN SPACE SF AND %:	974 (86.1%)
12.	MAX. UNIT SIZE SF. AND %:	4,452 SF (50%)	PROPOSED UNIT SIZE SF AND %:	4,407 (49.5%)
13.	EXISTING FIRST FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE	2,244 SF (25.2%)
14.	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %	N/A - BUT AT LEAST 35% OF SECOND FLOOR FRONT FACADE IS SETBACK MORE THAN 5' - SEE FLOOR PLANS
15.			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,163 SF (24.3%)
16.			PROPOSED ROOF DECK AREA SF AND & (NOTE: MAX IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A

		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17.	HEIGHT:				
	FLAT ROOF:	24'-0"	N/A	N/A	N/A
	SLOPED ROOF:	27'-0"	N/A	25'-2"	N/A
18.	SETBACKS:				
19.	FRONT FIRST LEVEL:	20'-0" (MIN.)	N/A	20'-0"	N/A
20.	FRONT SECOND LEVEL:	30'-0" (MIN.)	N/A	54'-2"	N/A
21.	SIDE 1 (WEST):	25% WIDTH COMBINED (7'-6" MIN.)	N/A	7'-9"	N/A
22.	SIDE 2 (EAST):	25% WIDTH COMBINED (7'-6" MIN.)	N/A	8'-8"	N/A
23.	REAR:	15% LOT DEPTH OR 20' MIN. (20'-6" MIN.)	N/A	25'-10"	
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	N/A
24.	ACCESSORY STRUCTURE SIDE 2 OR FACING STREET:	7'-6"	N/A	N/A	N/A
25.	ACCESSORY STRUCTURE REAR:	½ OF REQUIRED REAR YARD	N/A	N/A	N/A
26.	SUM OF SIDE YARD:	15'-0"	N/A	15'-0"	N/A

27.	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO
28.	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?	NO
29.	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?	NO

ROOF OVERHANGS INTO REQUIRED YARD			SWIMMING POOL SETBACKS		REQUIRED	PROVIDED
FRONT ALLOWED	7'-6" (5'-0" MAX.)	(25% OF 30')	REAR (WATER'S EDGE OF POOL)		7'-6"	8'-2"
FRONT PROVIDED	3'-0"		SIDES (WATER'S EDGE OF POOL)		7'-6"	12'-0"
REAR ALLOWED	6'-4.5" (5'-0" MAX.)	(25% OF 25'-6")				13'-6"
REAR PROVIDED	2'-2"					
EAST SIDE ALLOWED	1'-10.5"	(25% OF 7'-6")				
EAST SIDE PROVIDED	0'-10"					
WEST SIDE ALLOWED	1'-10.5"	(25% OF 7'-6")				
WEST SIDE PROVIDED	1'-9"					

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 11 – ZONING DATA SHEET

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.0A

- BUILDING
AREA (A/C)
- ENCLOSED
AREA (NON A/C)

FIRST FLOOR UNIT SIZE:

FIRST FLOOR A/C AREA 2,244 SF
GARAGE NON A/C AREA (484 SQ. FT. - 500 SQ. FT. = 0 SQ. FT.)

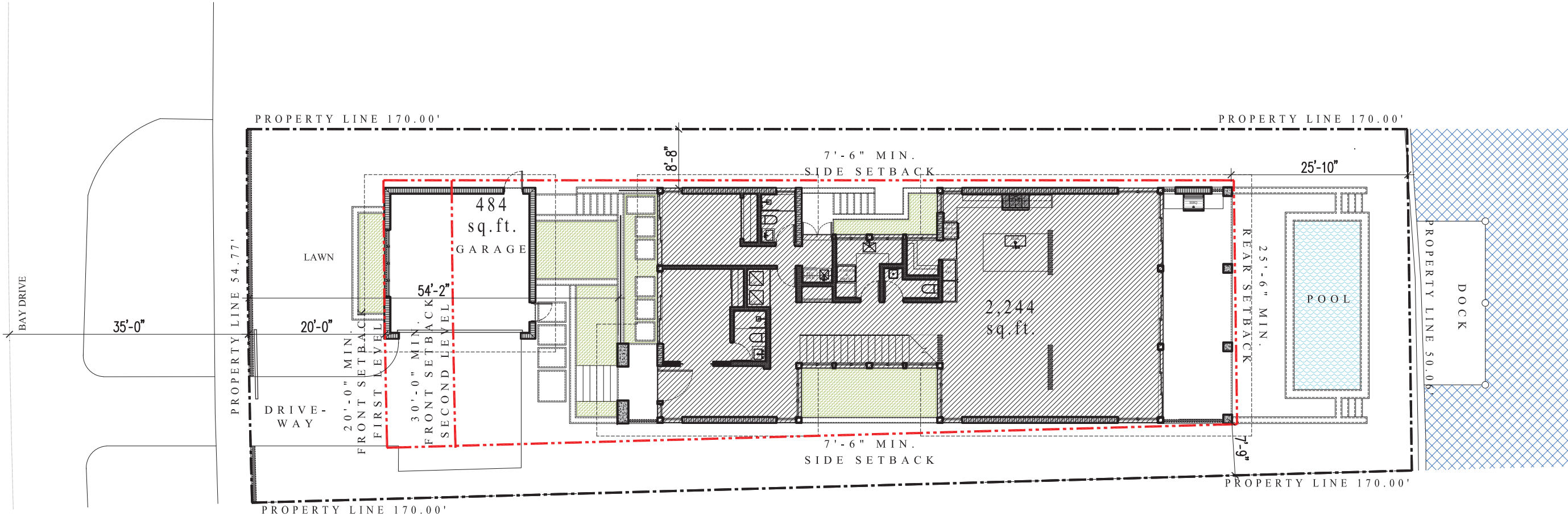
FIRST FLOOR UNIT SIZE TOTAL: 2,244 SF

SECOND FLOOR UNIT SIZE:

SECOND FLOOR A/C AREA 2,163 SF

SECOND FLOOR UNIT SIZE TOTAL: 2,163 SF

TOTAL UNIT SIZE PROPOSED: 4,407 SF (49.5%)
MAXIMUM ALLOWED UNIT SIZE: 4,452 SF (50%)



1 LOT 11 - FIRST FLOOR UNIT SIZE
A1.0 | A1.1 1/16" = 1'-0"



FIRST FLOOR UNIT SIZE:

FIRST FLOOR A/C AREA 2,244 SF
GARAGE NON A/C AREA (484 SQ. FT. - 500 SQ. FT. = 0 SQ. FT.)

FIRST FLOOR UNIT SIZE TOTAL: 2,244 SF

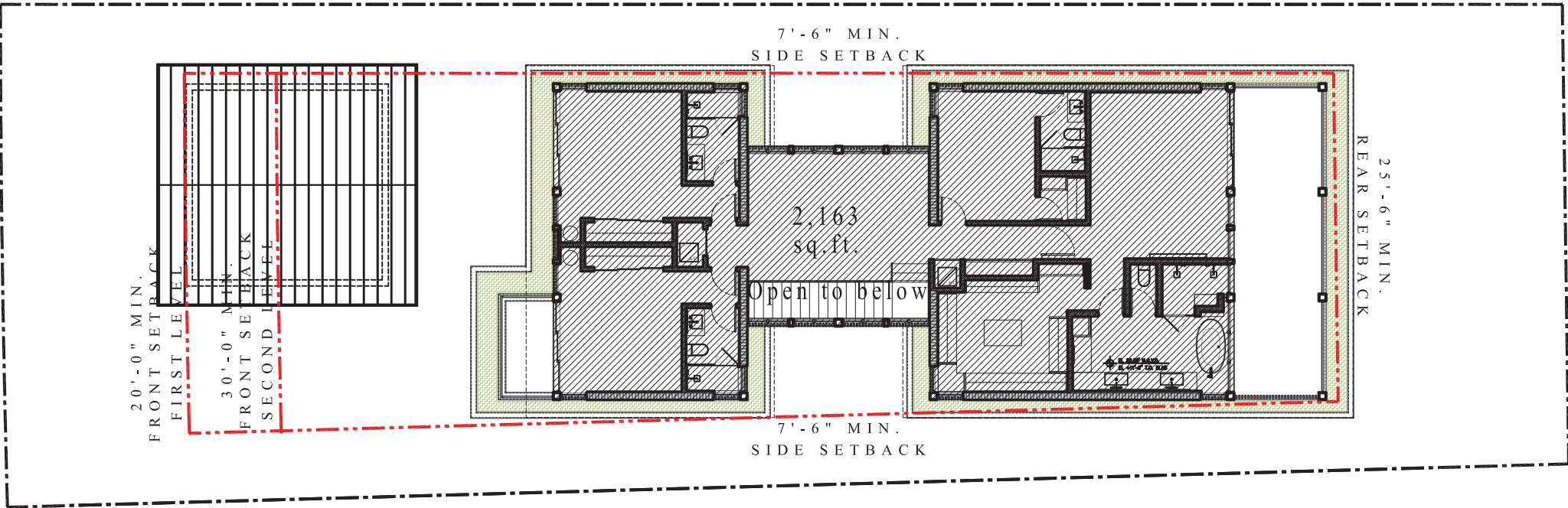
SECOND FLOOR UNIT SIZE:

SECOND FLOOR A/C AREA 2,163 SF

SECOND FLOOR UNIT SIZE TOTAL: 2,163 SF

TOTAL UNIT SIZE PROPOSED: 4,407 SF (49.5%)

MAXIMUM ALLOWED UNIT SIZE: 4,452 SF (50%)



1 LOT 11 - SECOND FLOOR UNIT SIZE
A1.0 | A1.1A 1/16" = 1'-0"

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 11 - KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

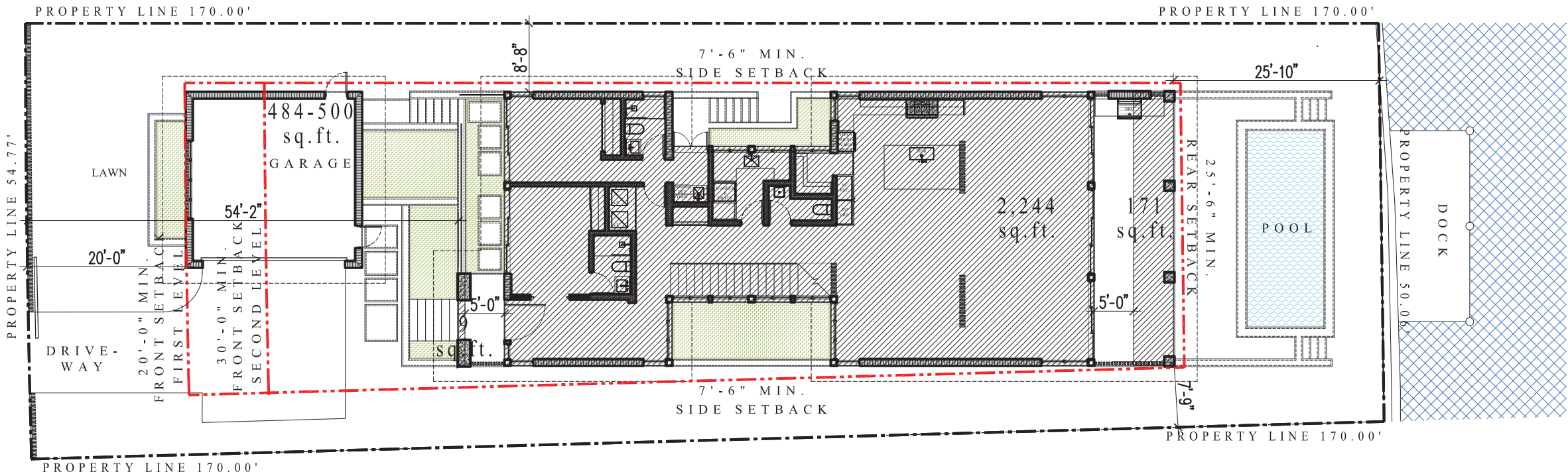
SHEET NO.:

A1.1A



LOT COVERAGE

TOTAL LOT AREA	8,925 SF
FIRST FLOOR A/C AREA	2,244 SF
GARAGE NON A/C AREA (448-500= 0 SF)	
COVERED TERRACE	180 SF
TOTAL:	2,424 SF
LOT COVERAGE (30%)	PERMITTED PROVIDED
	2,671 SF 2,424 SF (27.2%)



1 LOT 11 - LOT COVERAGE
A1.0|A1.1B 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE
1120 Bay Drive
Miami Beach, FL 33141
TITLE: LOT 11 – KEY AREA PLAN

SEAL
03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:
A1.1B

CMA Design Studio, Inc.
ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

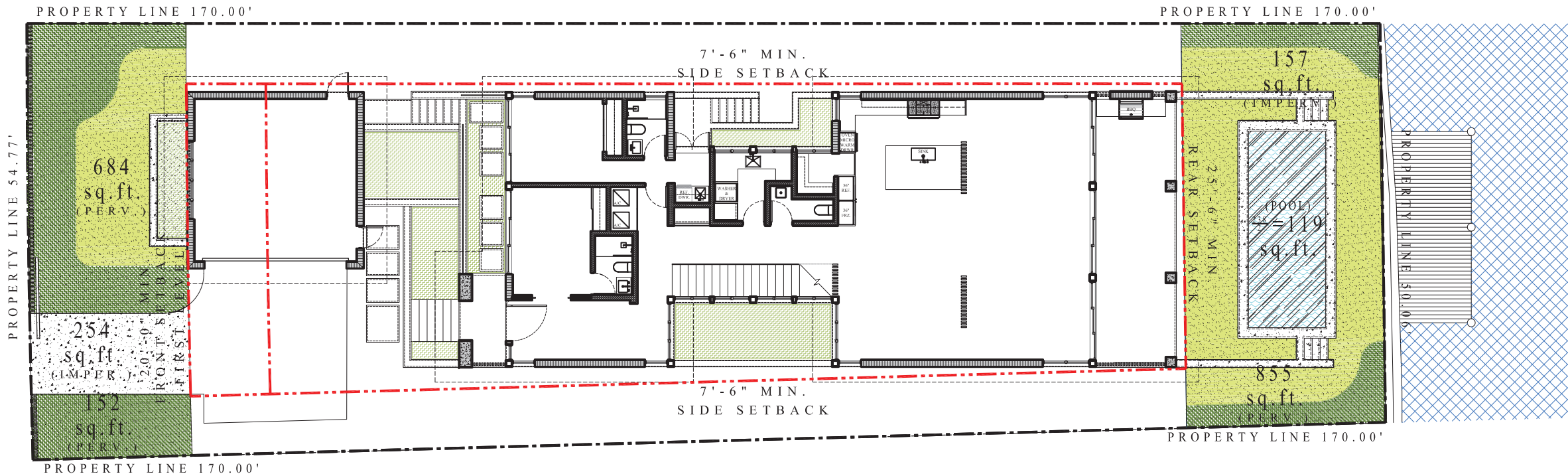
- LANDSCAPE
OPEN SPACE
- HARDSCAPE
AREA
- WATER FEATURE/
POOL AREA

FRONT SETBACK AREAS:

FRONT SETBACK AREA	1,090	SF	100%
REQUIRED (PERVIOUS OPEN SPACE)	545	SF	50% (REQUIRED)
LANDSCAPING / GRASS OPEN SPACE	836	SF	76.7% (PROVIDED)
IMPERVIOUS	254	SF	23.3%

REAR SETBACK AREAS:

REAR SETBACK AREA	1,131	SF	100%
REQUIRED (PERVIOUS OPEN SPACE)	792	SF	70% (REQUIRED)
LANDSCAPING / GRASS OPEN SPACE	855	SF	
POOL AREA: 238 SF (50% TOWARDS THE REQUIREMENT)	119	SF	
TOTAL PROVIDED (REAR PERVIOUS OPEN SPACE)	974	SF	86.1% (PROVIDED)



1 LOT 11 - FRONT & REAR OPEN SPACE
A1.0 | A1.1C 1/16" = 1'-0"

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

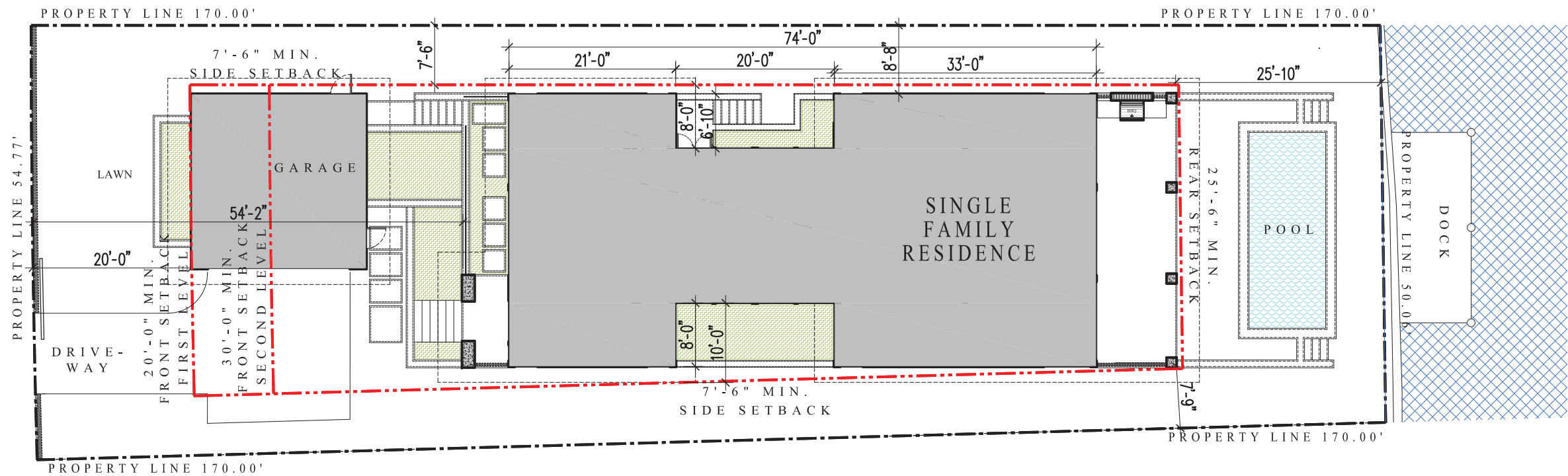
TITLE: LOT 11 - KEY AREA PLAN

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1C



1 LOT 11 - MASSING DIAGRAM
A1.0 | A1.1D 1/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: LOT 11 - MASSING DIAGRAM

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.1D

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

MASSING DISTRIBUTION ALONG EAST ELEVATION

- VOLUME CLOSEST TO PROPERTY LINE (PLANTER - 6'-8" FROM PROPERTY LINE)
- VOLUME FARTHER FROM PROPERTY LINE (1'-2" FROM SETBACK LINE/8'-8" FROM PROPERTY LINE)
- VOLUME FARTHER FROM PROPERTY LINE (8'-0" FROM SETBACK LINE/15'-6" FROM PROPERTY LINE)
- VOLUME FARTHER FROM PROPERTY LINE (21'-7" FROM SETBACK LINE/28'-7" FROM PROPERTY LINE)
- VOLUME FARTHEST FROM PROPERTY LINE (24'-1" FROM SETBACK LINE/31'-7" FROM PROPERTY LINE)



1 LOT 11 - MASSING DIAGRAM
A1.0 | A1.1E
3/16" = 1'-0"

BAY DRIVE REALTY RESIDENCE
1120 Bay Drive
Miami Beach, FL 33141
TITLE: LOT 11 - MASSING DIAGRAM

SEAL
03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:
A1.1E

CMA Design Studio, Inc.
ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200



1 EXISTING LOT - SITE PLAN
A1.0 | A1.0 1/32" = 1'-0"

ZONING DATA:

PROPERTY ADDRESS:

1120 BAY DRIVE
MIAMI BEACH, FL 33141

FOLIO NUMBER:

02-3210-013-2170

GROSS LOT AREA:

26,775 SqFt. (per MDC)

SETBACKS & EASEMENTS:

	REQUIRED	PROVIDED
GROUND FLOOR		
FRONT (SOUTH):	20'- 0"	39'- 2"
SIDES (EAST & WEST):	40'- 0"	42'- 0"
REAR (NORTH):	15% LOT DEPTH OR 20'-0"	25'- 6"
SECOND FLOOR:		
FRONT SETBACK:	30'-0"	40'-0"

LOT COVERAGE:

LOT AREA	26,742 SQ FT
LOT WIDTH:	164'-3"
LOT DEPTH:	170'-0"
MAX LOT COVERAGE SF AND %:	8,022 SQ FT (29.9%)
PROPOSED LOT COVERAGE SF AND %:	4,640 SQ FT (17.3%)

AREAS PROPOSED:

FIRST FLOOR AIR CONDITIONED AREA (INCL. GARAGE):	3,163 SqFt.
FIRST FLOOR COVERED TERRACE/PAVILION AREAS:	1,477 SqFt.
SECOND FLOOR AIR CONDITIONED AREA:	3,513 SqFt.
SECOND FLOOR OPEN TERRACE AREA:	594 SqFt.
TOTAL AIR CONDITIONED AREA (INCL. GARAGE):	7,876 SqFt.
TOTAL NON-AIR CONDITIONED AREA:	1,929 SqFt.
TOTAL AREAS:	9,805 SqFt.

SINGLE FAMILY RESIDENTIAL - EXISTING LOT - ZONING DATA SHEET				
ITEM #	ZONING INFORMATION			
1.	ADDRESS:	1121 BAY DRIVE, MIAMI BEACH, FL, 33141		
2.	FOLIO NUMBER(S):	02-3210-013-2170		
3.	BOARD AND FILE NUMBERS:	DRBXX-XXXX		
4.	YEAR BUILT:	MULTIPLE	ZONING DISTRICT:	RS-4
5.	BASED FLOOD ELEVATION:	AE: 8' NAVD / CLASS 2	GRADE VALUE IN NAVD:	4.50' NAVD/6.06' NGVD
6.	ADJUSTED GRADE	6.75' NAVD/8.31' NGVD	FREE BOARD:	-
7.	LOT AREA:	26,711 SF		
8.	LOT WIDTH:	164'-2.4"	LOT DEPTH:	170'-0"
9.	MAX LOT COVERAGE SF AND %:	8,013 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	8,013 SF (30.0%)
10.	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	500 SF
11.	FRONT YARD OPEN SPACE SF. AND %:	X SF (X%)	REAR YARD OPEN SPACE SF AND %:	X (X%)
12.	MAX. UNIT SIZE SF. AND %:	13,355 SF (50%)	PROPOSED UNIT SIZE SF AND %:	7,876 (29.4%)
13.	EXISTING FIRST FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE	-
14.	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %	N/A - BUT AT LEAST 35% OF SECOND FLOOR FRONT FACADE IS SETBACK MORE THAN 5' - SEE FLOOR PLANS
15.			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	-
16.			PROPOSED ROOF DECK AREA SF AND & (NOTE: MAX IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A

		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17.	HEIGHT: FLAT ROOF: SLOPED ROOF:	24'-0" 27'-0"	N/A N/A	N/A N/A	N/A N/A
18.	SETBACKS:				
19.	FRONT FIRST LEVEL:	20'-0" (MIN.)	N/A	40'-0"	N/A
20.	FRONT SECOND LEVEL:	40'-0" (MIN.)	N/A	40'-0"	N/A
21.	SIDE 1 (WEST):	25% WIDTH COMBINED (20'-0" MIN.)	N/A	20'-0"	N/A
22.	SIDE 2 (EAST):	25% WIDTH COMBINED (20'-0" MIN.)	N/A	20'-0"	N/A
23.	REAR:	15% LOT DEPTH OR 20' MIN. (20'-6" MIN.)	N/A	59'-9"	
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	N/A
24.	ACCESSORY STRUCTURE SIDE 2 OR FACING STREET:	7'-6"	N/A	N/A	N/A
25.	ACCESSORY STRUCTURE REAR:	½ OF REQUIRED REAR YARD	N/A	N/A	N/A
26.	SUM OF SIDE YARD:	15'-0"	N/A	40'-0"	N/A
27.	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?		NO		
28.	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?		NO		
29.	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?		NO		

OPEN SPACE COURTYARD: 1% OF LOT AREA = 267.11 S.F.
 PROVIDED = 296 S.F.

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: ZONING DATA SHEET

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

A1.0A

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN

232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200



1 EXISTING LOT - FRONT VIEW
P1.0 | P1.0 N.T.S.

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: EXISTING LOT - PERSPECTIVE

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

P1.0



1 EXISTING LOT - BACK VIEW
P2.0 | P2.0 N.T.S.

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE:EXISTING LOT - PERSPECTIVE

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

P2.0



1 EXISTING LOT - AERIAL PERSPECTIVE
P3.0|P3.0 N.T.S.

BAY DRIVE REALTY RESIDENCE

1120 Bay Drive
Miami Beach, FL 33141

TITLE: EXISTING LOT - AERIAL

SEAL

03.24.23
Lynsie Christine Conn
FL Architect
AR99059
AA26000730

SHEET NO.:

P3.0

CMA Design Studio, Inc.

ARCHITECTURE PLANNING INTERIOR DESIGN
232 Andalusia Avenue Suite 101 Coral Gables, Florida 33134 T: 305.448.4200