

ONE OCEAN

ONE OCAEN DRIVE
CITY OF MIAMI BEACH, FLORIDA

ROAD & FIRE SCHOOL
IMPACT FEE PAID
FEB 06 2014
MIAMI-DADE COUNTY
APPROVED



B1304440

NOTICE: In addition to the requirements of this permit, there may be other applicable codes, rules, and regulations. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The City of Miami Beach assumes no responsibility for the accuracy of the information provided herein. The City of Miami Beach assumes no responsibility for the accuracy of the information provided herein.

DEVELOPER
EXECTUVITE ARCHITECTS
DESIGN ARCHITECTS
STRUCTURAL ENGINEERS

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305-938-5707

The Sieger Suarez Architectural Partnership
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305-274-2702

Ten Arquitectos
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MECHANICAL ENGINEERS
LANDSCAPE ARCHITECT
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CIVIL

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Miami, Florida 33137
305-576-6702

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DERM PLAN REVIEW FINAL APPROVAL
DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT
DATE RECEIVED: 06/04/2013

DERM Number: 2013-0004-0055-0698
Contact Name: MR ROBERT FIDEL
Contact Phone: (786) 295-4187
Project Name: ONE OCEAN
Date Received: 06/04/2013

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

OL
MR
2/11/14

CITY OF MIAMI BEACH
REFERENCE ONLY

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CITY OF MIAMI BEACH
REFERENCE ONLY

BUILDING PERMIT 04.30.2013
JOB NUMBER: A1202
SHEET NUMBER: A0.00

cover

06.10.2013

In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and fire safety codes, as mandated by statute, for the jurisdiction in which the structure defined in these documents shall be constructed.

Revisions:
Addendum:
Construction Issue Date:
As Built Date:
Issue Date:

ONE OCEAN

ONE COLLINS AVENUE
CITY OF MIAMI BEACH, FLORIDA

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the zoning ordinance of this City and the rules and regulations of the City of Miami Beach. The applicant is responsible for obtaining all necessary permits and approvals from the City of Miami Beach, Florida, and the State of Florida. The applicant is responsible for obtaining all necessary permits and approvals from the City of Miami Beach, Florida, and the State of Florida.



B/304440

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cover

FOR CONSTRUCTION

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ZONING: 2/4/14 2/5/14
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: 2/3/14
FLOOD: _____
PUBLIC WORKS: _____
STRUCTURAL: _____
ELEVATOR: _____

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305-576-5555

REV. 1 Thu, 19 Dec 2013 - 3:56pm
DWG 1 A0005-A0.00
P.O. Thu, 19 Dec 2013 - 3:57pm
SCALE 1:1

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FA2.01	PARTIAL UNDERGROUND LEVEL 0 PARKING PLAN - FIRE ALARM
FA2.02	PARTIAL UNDERGROUND LEVEL 0 PARKING PLAN - FIRE ALARM
FA2.03	PARTIAL LEVEL 1 PARKING PLAN - FIRE ALARM
FA2.04	PARTIAL LEVEL 1 PARKING PLAN - FIRE ALARM
FA2.05	PARTIAL LEVEL 1 PARKING PLAN - FIRE ALARM
FA2.06	PARTIAL LEVEL 1 PARKING PLAN - FIRE ALARM
FA2.07	PARTIAL LEVEL 2 PARKING PLAN - FIRE ALARM
FA2.08	PARTIAL LEVEL 2 PARKING PLAN - FIRE ALARM
FA2.09	PARTIAL LEVEL 2 PARKING PLAN - FIRE ALARM
FA2.10	PARTIAL LEVEL 3 PARKING PLAN - FIRE ALARM
FA2.11	PARTIAL LEVEL

Index of Drawings

n.t.s.

Architectural Drawings

SHEET NO.	TITLE	PERMIT SUBMISSION	BID SET	REVISION 1	REVISION 2	REVISION 3
		May 01, 2013	7/8/2013	7/30/2013	12/20/2013	12/20/2014
ARCHITECTURAL						
A0.00	Cover Sheet	*	*	*	*	*
A0.01	Project Index	*	*	*	*	*
A0.01a	Architectural Index	*	*	NEW	*	*
A0.02	Project Data	*	*	NEW	*	*
A0.03	DBS order and conditional use	*	*	*	*	*
A1.01	Site Plan	1/16" scale	*	*	*	*
A1.02	Overall level 1 floor plan	1/16" scale	*	*	*	*
A1.03	Floodproofing Plan	*	*	NEW	*	*
A1.04	Floodproofing Plan	*	*	NEW	*	*
A1.05	Floodproofing Plan	*	*	NEW	*	*
A2.01	Floor Plan - Level 0 - Subterranean Garage	3/32" scale	*	*	*	*
A2.01a	Floor Plan - Level 0 - Subterranean Garage - dimension plan	3/32" scale	*	*	*	*
A2.02	Partial Floor Plan - Level 01 lobby	1/8" scale	*	*	*	*
A2.03	Partial Floor Plan - Level 01 lobby	1/8" scale	*	*	*	*
A2.04	Partial Floor Plan - Level 01 lobby	1/8" scale	*	*	*	*
A2.05	Partial Floor Plan - Level 02 pool deck	1/8" scale	*	*	*	*
A2.06	Partial Floor Plan - Level 02 pool deck	1/8" scale	*	*	*	*
A2.07	Partial Floor Plan - Level 02 pool deck	1/8" scale	*	*	*	*
A2.08	Floor Plan - Level 03 - south tower - dimension plan	1/8" scale	*	*	*	*
A2.08a	Floor Plan - Level 03 - south tower - dimension plan	1/8" scale	*	*	*	*
A2.09	Floor Plan - Level 03 - north tower - dimension plan	1/8" scale	*	*	*	*
A2.09a	Floor Plan - Level 03 - north tower - dimension plan	1/8" scale	*	*	*	*
A2.10	Floor Plan - Level 04 - south tower	1/8" scale	*	*	*	*
A2.10a	Floor Plan - Level 04 - south tower - dimension plan	1/8" scale	*	*	*	*
A2.11	Floor Plan - Level 04 - north tower	1/8" scale	*	*	*	*
A2.11a	Floor Plan - Level 04 - north tower - dimension plan	1/8" scale	*	*	*	*
A2.12	Floor Plan - Level 05 - south tower	1/8" scale	*	*	*	*
A2.12a	Floor Plan - Level 05 - south tower - dimension plan	1/8" scale	*	*	*	*
A2.13	Floor Plan - Level 05 - north tower	1/8" scale	*	*	*	*
A2.13a	Floor Plan - Level 05 - north tower - dimension plan	1/8" scale	*	*	*	*
A2.14	Floor Plan - Level 06 - south tower	1/8" scale	*	*	*	*
A2.14a	Floor Plan - Level 06 - south tower - dimension plan	1/8" scale	*	*	*	*
A2.15	Floor Plan - Level 06 - north tower	1/8" scale	*	*	*	*
A2.15a	Floor Plan - Level 06 - north tower - dimension plan	1/8" scale	*	*	*	*
A2.16	Floor Plan - Level 07 - south tower	1/8" scale	*	*	*	*
A2.16a	Floor Plan - Level 07 - south tower - dimension plan	1/8" scale	*	*	*	*
A2.17	Floor Plan - Level 07 - north tower	1/8" scale	*	*	*	*
A2.17a	Floor Plan - Level 07 - north tower - dimension plan	1/8" scale	*	*	*	*
A2.18	Floor Plan - Level 08 - south tower - roof plan	1/8" scale	*	*	*	*
A2.19	Floor Plan - Level 08 - north tower - roof plan	1/8" scale	*	*	*	*
A2.20	Floor Plan - south tower - high roof	1/8" scale	*	*	*	*
A2.21	Partial Floor Plan - Level 1 (lobby)	1/4" scale	*	*	*	*
A2.22	Partial Floor Plan - Level 1 (lobby)	1/4" scale	*	*	*	*
A2.23	Partial Floor Plan - Level 1 (lobby)	1/4" scale	*	*	*	*
A2.24	Partial Floor Plan - Level 1 (lobby)	1/4" scale	*	*	*	*
A2.25	Partial Floor Plan - Level 1 (lobby)	1/4" scale	*	*	*	*
A2.26	Partial Floor Plan - Level 1 (lobby)	1/4" scale	*	*	*	*
A2.27	Partial Floor Plan - Level 2 (pool deck)	1/4" scale	*	*	*	*
A2.28	Partial Floor Plan - Level 2 (pool deck)	1/4" scale	*	*	*	*
A2.29	Connection Details to Existing Bridge				NEW	
SOUTH TOWER UNITS						
A3.01	Unit 'A' Floor Plan (01) levels 03 - 07	1/4" scale	*	*	*	*
A3.01a	Not Used	1/4" scale		OMIT		
A3.01b	Not Used	1/4" scale		OMIT		
A3.02	Unit 'B' Floor Plan (06) levels 04 - 07	1/4" scale	*	*	*	*
A3.02a	Not Used	1/4" scale		OMIT		
A3.02b	Not Used	1/4" scale		OMIT		
A3.03	Unit 'B mod' Floor Plan (206) level 02	1/4" scale	*	*	*	*
A3.04	Unit 'B' Floor Plan (306) level 03	1/4" scale	*	*	*	*
A3.05	Unit 'C' Floor Plan (03) levels 03, 05 & 07	1/4" scale	*	*	*	*
A3.06	Unit 'C' Floor Plan (203) level 02	1/4" scale	*	*	*	*
A3.07	Unit 'C' Floor Plan (403) level 04	1/4" scale	*	*	*	*
A3.08	Unit 'C' Floor Plan (603) level 06	1/4" scale	*	*	*	*
A3.09	Unit 'C' rev. Floor Plan (04) levels 03, 05 & 07	1/4" scale	*	*	*	*
A3.10	Unit 'C' rev. Floor Plan (204) level 02	1/4" scale	*	*	*	*
A3.11	Unit 'C' rev. Floor Plan (404) level 04	1/4" scale	*	*	*	*
A3.12	Unit 'C' rev. Floor Plan (604) level 06	1/4" scale	*	*	*	*
A3.13	Unit 'D' Floor Plan (02) levels 03, 05 & 07	1/4" scale	*	*	*	*
A3.14	Unit 'D' Floor Plan (202) level 02	1/4" scale	*	*	*	*
A3.15	Unit 'D' Floor Plan (402) level 04	1/4" scale	*	*	*	*
A3.16	Unit 'D' rev. Floor Plan (05) levels 03, 05 & 07	1/4" scale	*	*	*	*
A3.17	Unit 'D' rev. mod. Floor Plan (205) level 02	1/4" scale	*	*	*	*
A3.18	Unit 'D' rev. mod. Floor Plan (405) level 04	1/4" scale	*	*	*	*
A3.19	Unit 'D' rev. mod. Floor Plan (605) level 06	1/4" scale	*	*	*	*
A3.20	Unit 'D' rev. mod. Floor Plan (605) level 06	1/4" scale	*	*	*	*
A3.21	Unit 'TH-1' Floor Plan level 01 south tower	1/4" scale	*	*	*	*
NORTH TOWER UNITS						
A3.22	Unit 'A' Floor Plan (04) levels 03, 05 & 07	1/4" scale	*	*	*	*
A3.23	Unit 'A' rev. Floor Plan (08) levels 03, 05 & 07	1/4" scale	*	*	*	*
A3.24	Unit 'B' Floor Plan (407) level 04	1/4" scale	*	*	*	*
A3.25	Unit 'B' Floor Plan (608) level 06	1/4" scale	*	*	*	*
A3.26	Unit 'C' Floor Plan (607) level 06	1/4" scale	*	*	*	*
A3.27	Unit 'C' rev. Floor Plan (408) level 04	1/4" scale	*	*	*	*
A3.28	Unit 'D' Floor Plan (207) level 02	1/4" scale	*	*	*	*
A3.29	Unit 'D' rev. mod. Floor Plan (208) level 02	1/4" scale	*	*	*	*
A3.30	Unit 'TH-1' Floor Plan level 01 north tower	1/4" scale	*	*	*	*
A3.31	Unit 'TH-2' Floor Plan level 01 north tower	1/4" scale	*	*	*	*
A3.32	Unit 'TH-3' Floor Plan level 01 north tower	1/4" scale	*	*	*	*
A3.33	Bath Floor Plans (south tower)	1/2" scale	*	*	*	*
A3.34	Bath Floor Plans (south tower)	1/2" scale	*	*	*	*
A3.35	Bath Floor Plans (north tower)	1/2" scale	*	*	*	*
A4.01	West & East Elevations	1/16" scale	*	*	*	*
A4.02	South & North Elevations	1/16" scale	*	*	*	*
A4.03	North & South Elevations	1/16" scale	*	*	*	*
A5.01	Core 1 - Elevator 1 & 2 / Stair 1 & 2 - Levels 00 - 05	1/4" scale	*	*	*	*
A5.02	Core 1 - Elevator 1 & 2 / Stair 1 & 2 - Levels 06 - roof	1/4" scale	*	*	*	*
A5.03	Core 2 - Elevator 3 & 4 / Stair 3 & 4 - Levels 00 - 05	1/4" scale	*	*	*	*
A5.04	Core 2 - Elevator 3 & 4 / Stair 3 & 4 - Levels 06 - roof	1/4" scale	*	*	*	*
A5.05	Core 3 - Elevator 5 & 6 / Stair 5 & 6 - Levels 00 - 05	1/4" scale	*	*	*	*
A5.06	Core 3 - Elevator 5 & 6 / Stair 5 & 6 - Levels 06 - roof	1/4" scale	*	*	*	*
A5.07	Core 4 - Elevator 7 & 8 / Stair 7 & 8 - Levels 00 - 05	1/4" scale	*	*	*	*
A5.08	Core 4 - Elevator 7 & 8 / Stair 7 & 8 - Levels 06 - roof	1/4" scale	*	*	*	*

Architectural Drawings

SHEET NO.	TITLE	PERMIT SUBMISSION	BID SET	REVISION 1	REVISION 2	REVISION 3
		May 01, 2013	7/8/2013	7/30/2013	12/20/2013	12/20/2014
A6.01	South Tower Building Section	3/16" scale	*	*	*	*
A6.02	South Tower Building Section	3/16" scale	*	*	*	*
A6.03	North Tower Building Section	3/16" scale	*	*	*	*
A6.04	North Tower Building Section	3/16" scale	*	*	*	*
A6.05	North Tower Wall Sections	3/16" scale	*	*	*	*
A6.06	North Tower Wall Sections	3/16" scale	*	*	*	*
A6.07	North Tower Building Section	3/16" scale	*	*	*	*
A6.08	South Tower Stair 3 & 4 / Stair 5 & 6 Sections	3/16" scale	*	*	*	*
A6.09	Trash Chute Section and Details	3/16" scale	*	*	*	*
A6.10	Balcony Details			NEW	*	*
A6.11	Balcony Details			NEW	*	*
A6.12	Stair 11 & 12 sections					
A6.13	Stair 8 & 9 sections					
A6.14	South Tower Wall Section					
A7.01	Details - Parking and Garage					
A7.02	Details - Stair & Railing					
A7.03	Glazing Details					
A7.04	Glazing Details					
A7.05	Glazing Details					
A7.06	Waterproofing Details					
A7.07	Details - Misc.					
A7.08	Details - Roof / Parapets					
A7.09	Details - Roof Accessories & Misc. Metals					
A7.10	Details - Chase and Shaft					
A7.11	Details - Misc. Interior					
A7.12	Details - Misc. Interior					
A7.13	Waterproofing Details					
A7.14	Concrete Screen Details - Lobby Level			NEW		
A7.15	Water Curtain Data					NEW
A8.01	Wall Assemblies - Wall finish A, E & Wall Assemblies 1 - 13					
A8.02	Door Jamb & Head Details and Notes					
A8.03	Door Schedules & General Notes - Common Door Schedules					
A8.04	Door Types & Schedules/Notes					
A8.05	Fair Schedule & Notes - Common Areas					
A8.06	ADA Notes and Blocking Details - ADA/ Fair Housing Compliance Stds.					
A8.07	ADA Fair Housing Compliance Standards, Notes and Details					
A8.08	Storefront Elevations - Level 01			NEW		
A8.09	Storefront Elevations - Level 01			NEW		
A8.10	Storefront Elevations - Level 01			NEW		
A8.11	Storefront Elevations - Level 01			NEW		
A8.12	Storefront Elevations - Level 01			NEW		
A8.13	Storefront Elevations - Level 01			NEW		
A8.14	Window Elevations - Level 02			NEW		
A8.15	Window Elevations - Level 02			NEW		
A8.16	Window Elevations - Level 02			NEW		
A8.17	Window Elevations - Level 02			NEW		
A8.18	Window Elevations - Levels 03 & 05			NEW		
A8.19	Window Elevations - Levels 03 & 05			NEW		
A8.20	Window Elevations - Levels 03 & 05			NEW		
A8.21	Window Elevations - Levels 03 & 05			NEW		
A8.22	Window Elevations - Levels 03 & 05			NEW		
A8.23	Window Elevations - Level 04			NEW		
A8.24	Window Elevations - Level 04			NEW		
A8.25	Window Elevations - Level 04			NEW		
A8.26	Window Elevations - Level 04			NEW		
A8.27	Window Elevations - Level 04			NEW		
A8.28	Window Elevations - Level 06			NEW		
A8.29	Window Elevations - Level 06			NEW		
A8.30	Window Elevations - Level 06			NEW		
A8.31	Window Elevations - Level 06			NEW		
A8.32	Window Elevations - Level 06			NEW		
A8.33	Window Elevations - Level 07			NEW		NEW
A8.34	Window Elevations - Level 07			NEW		NEW
A8.35	Window Elevations - Level 07			NEW		NEW
A8.36	Window Elevations - Level 07			NEW		NEW
A8.37	Window Elevations - Level 07			NEW		NEW
A8.38	Louwer Types					
A9.01	Fire Rated Penetration Details					
A9.02	Fire Rated Penetration Details					
A9.03	Fire Rated Joints Details					
A10.00	Life Safety Analysis					
A10.01	Life Safety plan - Level 00 - subterranean garage					
A10.02	Life Safety plan - Level 01 lobby					
A10.02.1	Partial Life Safety Plan - Level 01					NEW
A10.02.2	Partial Life Safety Plan - Level 01					NEW
A10.02.3	Partial Life Safety Plan - Level 01					NEW
A10.03	Life Safety plan - Level 02 pool deck					
A10.03.1	Partial Life Safety Plan - Level 02					NEW
A10.03.2	Partial Life Safety Plan - Level 02					NEW
A10.03.3	Partial Life Safety Plan - Level 02					NEW
A10.04	Life Safety plan - Level 03 south tower					
A10.05	Life Safety plan - Level 03 north tower					
A10.06	Life Safety plan - Level 04 south tower					
A10						

n.t.s.

Design Review Board - Order and Conditional Use

DOCUMENT COVER PAGE
For these documents and providing the applicant with the final page, this cover page shall be attached to the documents and submitted to the Design Review Board for review and approval.

Page 4 of 8
Meeting Date: July 3, 2012
DRB File No. 19898

a. Parking of vehicles shall be prohibited within the drop area along South Pointe Drive. Such area shall be exclusively dedicated for active work-off-duty and pick-up only.

Page 6 of 8
Meeting Date: July 3, 2012
DRB File No. 19898

Special events pursuant to the Miami Beach City Code may not be held on the premises and the applicant agrees that it will not seek or attempt to obtain any special permits for such events.

PLANNING BOARD
CITY OF MIAMI BEACH, FLORIDA

PROPERTY: 2-30 + 46-64 Ocean Drive and 1-35 + 69 Collins Avenue - Block 1
FILE NO: 2079

PLANNING BOARD OF THE CITY OF MIAMI BEACH, FLORIDA

STATE OF FLORIDA
COUNTY OF MIAMI DADE

Legal Description of Appertennance

Exhibit "A-2"

Subject to the terms and provisions contained in said instrument.

DESIGN REVIEW BOARD
CITY OF MIAMI BEACH, FLORIDA

MEETING DATE: July 3, 2012

PROPERTY: 2-30 + 46-64 Ocean Drive, 1-35 + 69 Collins Avenue, BLOCK 1

Page 4 of 8
Meeting Date: July 3, 2012
DRB File No. 19898

Final building plans shall meet all other requirements of the Land Development Regulations of the City Code.

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Meeting Date: July 3, 2012
DRB File No. 19898

meets the criteria for approval absent the inclusion of conditions, and/or it is appropriate to modify the existing conditions or impose new conditions.

1. The Planning Board shall maintain jurisdiction of the Conditional Use Permit. If deemed necessary, at the request of the Planning Director, the applicant shall provide a progress report to the Board.

Exhibit "A-1"

Legal Description of the Land

PARCEL 1:
Lots 1, 5 and 6, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida, less and except the portion of said Block 1, 1.00 acre, more or less, as shown on the plat of said Block 1.

Subject to the terms and provisions contained in said instrument.

PARCEL 2:
Lots 7 and 8, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida, less and except the portion of said Block 1, 1.00 acre, more or less, as shown on the plat of said Block 1.

Page 2 of 8
Meeting Date: July 3, 2012
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b. The final design and details, including materials and finishes of all exterior security devices shall be provided, in a manner to be reviewed and approved by staff.

Page 6 of 8
Meeting Date: July 3, 2012
DRB File No. 19898

1. All planning/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.

NR 101 2012-02 PG 1216
LAST PAGE

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Meeting Date: July 3, 2012
DRB File No. 19898

DESIGN REVIEW BOARD
CITY OF MIAMI BEACH, FLORIDA

11. All mechanical parking systems, including lifts, elevators and robotic systems, must be installed and serviced at least once per year with an annual safety report signed by a licensed mechanical engineer.

PARCEL 4:
The East one-half (1/2) of the certain alley lying adjacent to the Western lot lines of Lots 1, 2 and 3, in Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

FOR CONSTRUCTION

REV. 07/30/2013
DWG. 04.30.2013
P.O. 04.30.2013
SCALE

Revision
07/30/2013
04.30.2013
A1202

LEGAL DESCRIPTION:

PARCEL 1:
LOTS 1, 5 AND 6, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

PARCEL 2:
LOTS 2 AND 3, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET OF SAID LOT 3 FOR ROAD WIDENING PURPOSES.

PARCEL 3:
LOTS 7 AND 8, LESS THE EASTERLY 15.00 FEET OF SAID LOTS 7 AND 8 FOR ROAD WIDENING PURPOSES, 9, 10, 11, 12 AND 13, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALSO LESS AND EXCEPTING FROM SAID LOTS 7 AND 8, THAT PART DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 7 AND RUN NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST, A DISTANCE OF 15.00 FEET TO THE POINT OF BEGINNING (P.O.B.) SAID DISTANCE BEING MEASURED ALONG THE NORTHERLY LINE OF LOT 7; THENCE CONTINUE NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST ALONG THE NORTHERLY LINE OF LOT 7, A DISTANCE OF 4.00 FEET; THENCE RUN SOUTH 10 DEGREES 47 MINUTES 35 SECONDS WEST, A DISTANCE OF 84.56 FEET TO THE POINT OF CURVATURE (P.C.) OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY AND HAVING FOR ITS ELEMENTS, A CENTRAL ANGLE OF 76 DEGREES 51 MINUTES 22 SECONDS AND A RADIUS OF 25.90 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 33.53 FEET TO A POINT OF INTERSECTION (P.I.) WITH THE SOUTHERLY LINE OF LOT 8; THENCE RUN NORTH 87 DEGREES 38 MINUTES 47 SECONDS EAST ALONG THE SAID SOUTHERLY LINE OF LOT 8 FOR A DISTANCE OF 23.94 FEET TO A POINT; THENCE RUN NORTH 10 DEGREES 47 MINUTES 35 SECONDS EAST ALONG A LINE 15.00 FEET WESTERLY OF AND PARALLEL WITH EASTERLY LINE OF SAID LOTS 7 AND 8 FOR A DISTANCE OF 103.46 FEET TO THE POINT OF BEGINNING (P.O.B.)

PARCEL 4:
THAT PORTION OF THE ALLEY IN BLOCK 1 OF OCEAN BEACH, FLA. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING SOUTH OF THE NORTH LINE OF LOT 5 EXTENDED WESTERLY TO THE WEST LINE OF SAID ALLEY, AND LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF SOUTH POINTE DRIVE (7/8 A BISCAYNE STREET).

PARCEL 5:
LOT 17, BLOCK 1, OF OCEAN BEACH, FLA. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 6:
THE EAST ONE-HALF (E 1/2) OF THAT CERTAIN ALLEY LYING ADJACENT TO THE WESTERLY LOT LINES OF LOTS 1, 2 AND 3, IN BLOCK 1, OF OCEAN BEACH, FLA. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 7:
THE WEST ONE-HALF (W 1/2) OF THAT CERTAIN ALLEY LYING ADJACENT TO THE EASTERLY LOT LINE OF LOT 17, IN BLOCK 1 OF OCEAN BEACH, FLA. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

AIR SPACE PARCEL 1:
A PARCEL OF AIR SPACE LYING ABOVE LOT 4, BLOCK 1 OF "OCEAN BEACH FLA." ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA IN WHICH THE LOWER HORIZONTAL PLANE LIES AT AN ELEVATION OF 22.50' N.G.V.D. AND THE UPPER HORIZONTAL PLANE LIES AT THE ELEVATION 32.50' N.G.V.D. THE HORIZONTAL LOCATION OF THIS AIR SPACE PARCEL IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF LOT 1, BLOCK 1 OF SAID PLAT OF "OCEAN BEACH FLA." AS RECORDED IN PLAT BOOK 2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE FROM SAID POINT OF COMMENCEMENT (P.O.C.) RUN SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 1 AND THE WEST LINE OF LOTS 2 AND 3 OF SAID BLOCK 1 FOR 150.00 FEET TO THE POINT OF BEGINNING (P.O.B.) OF A PARCEL HEREINAFTER DESCRIBED; FROM SAID P.O.B., RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST FOR 11.33 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG A LINE 11.33 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID BLOCK 1 FOR 50.00 FEET TO A POINT; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST FOR 11.33 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF LOT 4, BLOCK 1 FOR 50.00 FEET TO THE POINT OF BEGINNING.

EASEMENT PARCEL 1:
EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1, AND PARCELS 1 THROUGH 7 ABOVE (THE "BLOCK-ONE PARCELS") AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., A FLORIDA CORPORATION, RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR PURPOSES OF INGRESS AND EGRESS TO BUILD AND MAINTAIN IMPROVEMENTS, OVER AND UNDER THE FOLLOWING DESCRIBED LANDS:

LOT 4 IN BLOCK 1, AND ALSO THAT PORTION OF THE ALLEY LYING WEST OF AND ADJACENT TO LOT 4 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

EASEMENT PARCEL 2:
EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED _____ IN OFFICIAL RECORDS BOOK _____, PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR PURPOSES OF INGRESS AND EGRESS UNDER, OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:

THAT PORTION OF THE ALLEY LYING WEST OF AND ADJACENT TO LOT 4 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

EASEMENT PARCEL 3:
EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED _____ IN OFFICIAL RECORD BOOK _____, PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR PURPOSES OF ACCESS TO MAINTAIN THE IMPROVEMENTS LOCATED WITHIN AIR SPACE PARCEL 1.

A PORTION OF LOT 4 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE DESCRIBED AS, TEN (10) FEET UPWARD, EASTWARD AND WESTWARD AROUND THE AIR SPACE, AND DOWNWARD FROM THE AIR SPACE TO THE GROUND OF THE TAVERNA PROPERTY, DESCRIBED AS LOT 4 BLOCK 1 OF "OCEAN BEACH FLA.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

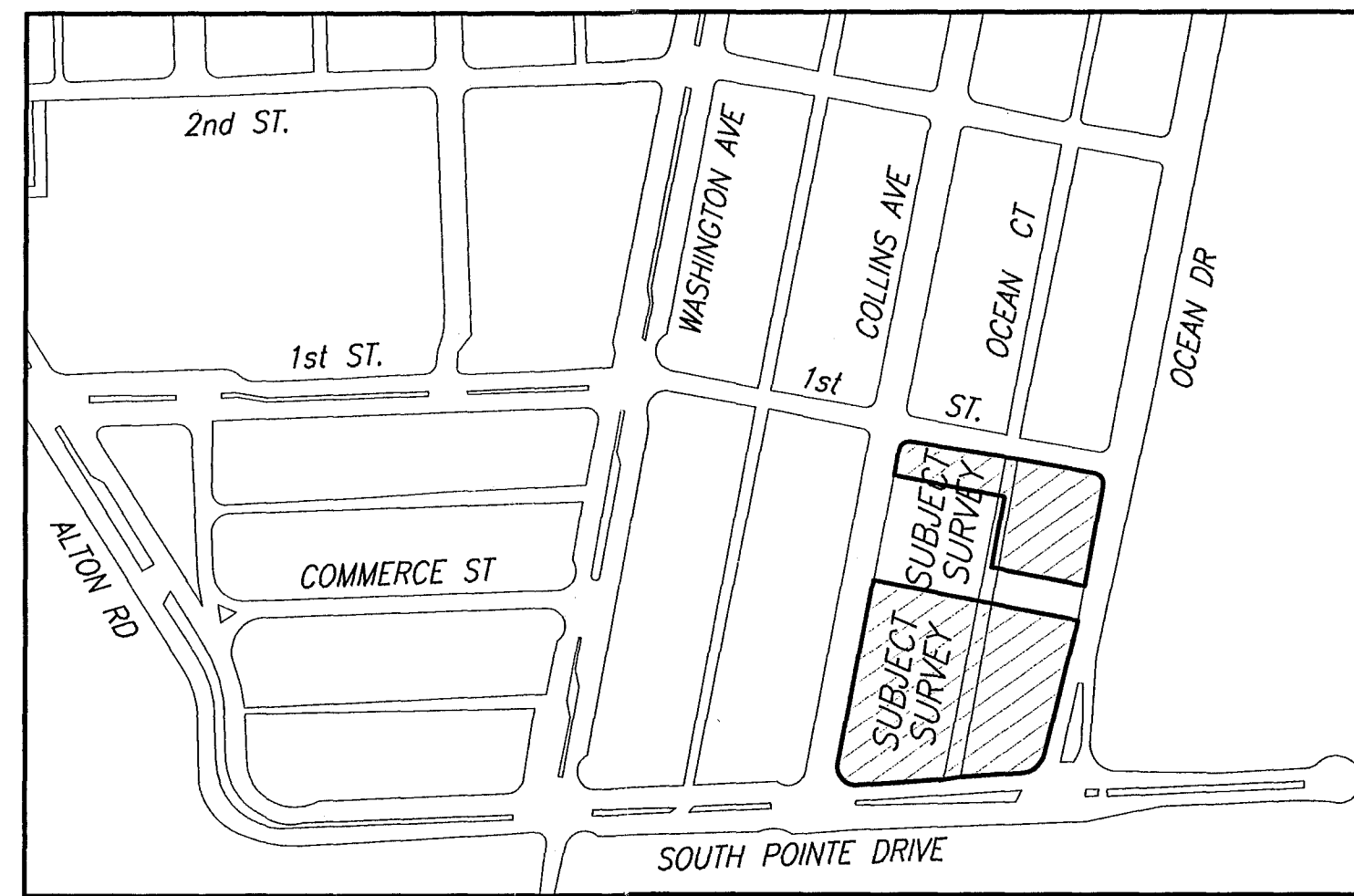
EASEMENT PARCEL 4:
EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED _____ IN OFFICIAL RECORD BOOK _____, PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR PURPOSES OF LOCATING BUILDING FOUNDATION IMPROVEMENTS OVER, WITHIN AND ACROSS THE FOLLOWING DESCRIBED LANDS:

NOTE DESCRIBED AS, LOT 4 BLOCK 1 OF "OCEAN BEACH FLA.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

EASEMENT PARCEL 5:
EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR PURPOSES OF INGRESS AND EGRESS UNDER, OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:

THAT PORTION OF THE ALLEY LYING EAST OF AND ADJACENT TO LOTS 14 AND 15 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



LOCATION SKETCH
A Portion of Section 03-54-42
Scale: 1"=250'



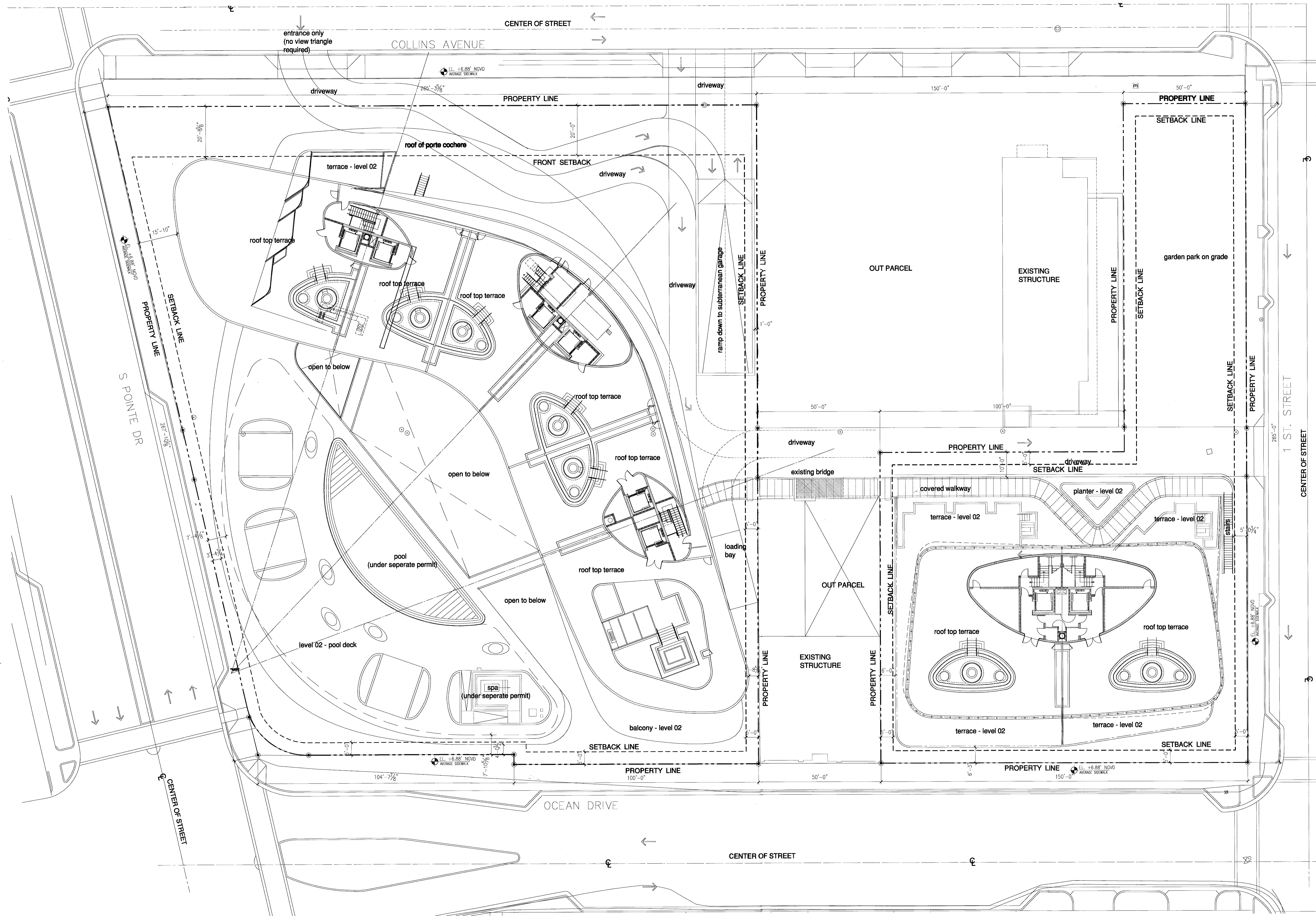
SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF N.76°47'45"W. ALONG THE CENTERLINE OF 1st STREET.
- 2) THIS SKETCH REPRESENTS A "BOUNDARY SURVEY".
- 3) LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- 4) PROPERTY AS SHOWN HEREON CONTAINS 87,380 SQUARE FEET MORE OR LESS.
- 5) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS, AND/OR FOUNDATIONS.
- 6) ORDERED BY: THE RELATED GROUP.
- 7) THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
- 8) THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (BASE FLOOD ELEVATION 8) PER FLOOD INSURANCE RATE MAP COMMUNITY NO.120651, PANEL NO. 0319, SUFFIX L, OF MAP DATED 09-11-2009, WITH AN INDEX DATE OF 09-11-2009 (F.E.M.A. MAP NO. 12086C0319L).
- 9) VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS.
- 10) THIS SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT LANDS.
- 11) ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) AND ARE EXPRESSED IN FEET.
- 12) BENCHMARKS:
 - a) MIAMI-DADE COUNTY BENCHMARK D-145 LOCATOR 4221 NW OCEAN DR---58 FEET EAST OF CENTERLINE S. POINTE DR---37 FEET NORTH OF CENTERLINE PK NAIL AND BRASS WASHER IN CONCRETE CURB OF HANDICAP RAMP AT THE CORNER OF INTERSECTION ELEVATION = 6.64' (N.G.V.D.)
 - b) MIAMI-DADE COUNTY BENCHMARK D-142-R LOCATOR 4221W SOUTH POINTE DR---80 FEET SOUTH OF CENTERLINE WASHINGTON AVE---35 FEET WEST OF CENTERLINE PK NAIL AND ALUMINUM WASHER IN CONCRETE CATCH BASIN ELEVATION = 3.94' (N.G.V.D.)

TREE TABLE:

TREE NO	COMMON NAME	SPECIES	DIA. IN.	HT. FT.	CONP.
1	BUTTONWOOD	"Conocarpus erectus"	20	16	22
2	WASHINGTONIA PALM	"Washingtonia robusta"	12	24	10
3	WASHINGTONIA PALM	"Washingtonia robusta"	12	24	10
4	WASHINGTONIA PALM	"Washingtonia robusta"	12	22	10
5	WASHINGTONIA PALM	"Washingtonia robusta"	12	22	10
6	WASHINGTONIA PALM	"Washingtonia robusta"	12	22	10
7	WASHINGTONIA PALM	"Washingtonia robusta"	12	22	10
8	DATE PALM	"Phoenix spp."	6	24	12
9	DATE PALM	"Phoenix spp."	6	24	12
10	DATE PALM	"Phoenix spp."	6	18	12
11	DATE PALM	"Phoenix spp."	8	20	12
12	DATE PALM	"Phoenix spp."	8	22	12
13	WASHINGTONIA PALM	"Washingtonia robusta"	12	22	10
14	WASHINGTONIA PALM	"Washingtonia robusta"	12	20	10
15	WASHINGTONIA PALM	"Washingtonia robusta"	12	20	10
16	WASHINGTONIA PALM	"Washingtonia robusta"	12	15	10
17	WASHINGTONIA PALM	"Washingtonia robusta"	12	18	10
18	MAHOGANY	"Swietenia mahagoni"	12	18	20
19	MAHOGANY	"Swietenia mahagoni"	10	16	18
20	BOTTLE PALM	"Hyophorbe lagenicaulis"	9	7	5
21	DATE PALM	"Phoenix spp."	6	15	5
22	DATE PALM	"Phoenix spp."	8	18	12
23	DATE PALM	"Phoenix spp."	6	18	12
24	BUTTONWOOD	"Conocarpus erectus"	9	8	12
25	WASHINGTONIA PALM	"Washingtonia robusta"	12	8	10
26	WASHINGTONIA PALM	"Washingtonia robusta"	12	12	10
27	WASHINGTONIA PALM	"Washingtonia robusta"	12	10	10
28	WASHINGTONIA PALM	"Washingtonia robusta"	8	6	8
29	WASHINGTONIA PALM	"Washingtonia robusta"	12	12	10
30	WASHINGTONIA PALM	"Washingtonia robusta"	8	6	10
31	WASHINGTONIA PALM	"Washingtonia robusta"	12	10	10
32	WASHINGTONIA PALM	"Washingtonia robusta"	10	6	10
33	WASHINGTONIA PALM	"Washingtonia robusta"	8	6	10
34	WASHINGTONIA PALM	"Washingtonia robusta"	10	10	10
35	WASHINGTONIA PALM	"Washingtonia robusta"	8	6	8
36	WASHINGTONIA PALM	"Washingtonia robusta"	12	10	10
37	WASHINGTONIA PALM	"Washingtonia robusta"	8	5	8
38	WASHINGTONIA PALM	"Washingtonia robusta"	7	5	6
39	WASHINGTONIA PALM	"Washingtonia robusta"	5	5	6
40	WASHINGTONIA PALM	"Washingtonia robusta"	6	5	5
41	WASHINGTONIA PALM	"Washingtonia robusta"	8	6	8
42	WASHINGTONIA PALM	"Washingtonia robusta"	5	5	5
43	WASHINGTONIA PALM	"Washingtonia robusta"	8	9	5
44	WASHINGTONIA PALM	"Washingtonia robusta"	10	12	10
45	WASHINGTONIA PALM	"Washingtonia robusta"	8	8	8
46	WASHINGTONIA PALM	"Washingtonia robusta"	8	8	8
47	WASHINGTONIA PALM	"Washingtonia robusta"	10	10	10
48	WASHINGTONIA PALM	"Washingtonia robusta"	10	12	10
49	WASHINGTONIA PALM	"Washingtonia robusta"	10	8	10
50	WASHINGTONIA PALM	"Washingtonia robusta"	10	6	6
51	WASHINGTONIA PALM	"Washingtonia robusta"	6	6	8
52	WASHINGTONIA PALM	"Washingtonia robusta"	10	12	10
53	WASHINGTONIA PALM	"Washingtonia robusta"	10	16	10
54	WASHINGTONIA PALM	"Washingtonia robusta"	10	8	8
55	WASHINGTONIA PALM	"Washingtonia robusta"	8	6	8
56	WASHINGTONIA PALM	"Washingtonia robusta"	10	8	10
57	WASHINGTONIA PALM	"Washingtonia robusta"	10	12	10
58	WASHINGTONIA PALM	"Washingtonia robusta"	10	12	10
59	WASHINGTONIA PALM	"Washingtonia robusta"	10	14	10
60	WASHINGTONIA PALM	"Washingtonia robusta"	10	14	10
61	WASHINGTONIA PALM	"Washingtonia robusta"	10	12	10
62	WASHINGTONIA PALM	"Washingtonia robusta"	8	10	10
63	WASHINGTONIA PALM	"Washingtonia robusta"	10	10	10
64	COCONUT PALM	"Cocos nucifera"	6	10	15
65	MAHOGANY	"Swietenia mahagoni"	16	28	24
66	BUTTONWOOD	"Conocarpus erectus"	10	20	12
67	BUTTONWOOD	"Conocarpus erectus"	7	16	12
68	BUTTONWOOD	"Conocarpus erectus"	6	15	12
69	BUTTONWOOD	"Conocarpus erectus"	6	15	12
70	BUTTONWOOD	"Conocarpus erectus"	6	15	12
71	BUTTONWOOD	"Conocarpus erectus"	6	15	12
72	BUTTONWOOD	"Conocarpus erectus"	8	17	12
73	BUTTONWOOD	"Conocarpus erectus"	8	12	12
74	BUTTONWOOD	"Conocarpus erectus"	5	12	10
75	BUTTONWOOD	"Conocarpus erectus"	8	16	8
76	BUTTONWOOD	"Conocarpus erectus"	6	14	8
77	MAHOGANY	"Swietenia mahagoni"	9	16	15
78	BUTTONWOOD	"Conocarpus erectus"	6	11	7
79	BUTTONWOOD	"Conocarpus erectus"	5	12	7
80	BUTTONWOOD	"Conocarpus erectus"	10	18	17
81	MAHOGANY	"Swietenia mahagoni"	12	17	22
82	MAHOGANY	"Swietenia mahagoni"	10	17	15
83	MAHOGANY	"Swietenia mahagoni"	10	15	17
84	MAHOGANY	"Swietenia mahagoni"	10	15	20
85	MAHOGANY	"Swietenia mahagoni"	10	15	20
86	MAHOGANY	"Swietenia mahagoni"	8	14	16
87	MAHOGANY	"Swietenia mahagoni"	10	13	21
88	MAHOGANY	"Swietenia mahagoni"	6	15	15
89	MAHOGANY	"Swietenia mahagoni"	10	17	22
90	MAHOGANY	"Swietenia mahagoni"	12	18	24
91	MAHOGANY	"Swietenia mahagoni"	10	18	17
92	MAHOGANY	"Swietenia mahagoni"	11	18	15
93	MAHOGANY	"Swietenia mahagoni"	10	16	22
94	MAHOGANY	"Swietenia mahagoni"	8	15	22
95	MAHOGANY	"Swietenia mahagoni"	12	18	22
96	BUTTONWOOD	"Conocarpus erectus"	6	14	9
97	BUTTONWOOD	"Conocarpus erectus"	5	12	9
98	BUTTONWOOD	"Conocarpus erectus"	7	15	12
99	BUTTONWOOD	"Conocarpus erectus"	8	14	12
100	BUTTONWOOD	"Conocarpus erectus"	8	17	18
101	BUTTONWOOD	"Conocarpus erectus"	5	15	8
102	MAHOGANY	"Swietenia mahagoni"	12	16	20
103	BUTTONWOOD	"Conocarpus erectus"	6	20	8
104	BUTTONWOOD	"Conocarpus erectus"	6	18	10
105	BUTTONWOOD	"Conocarpus erectus"	8	16	22
106	BUTTONWOOD	"Conocarpus erectus"	8	15	12
107	BUTTONWOOD	"Conocarpus erectus"	6	15	10
108	BUTTONWOOD	"Conocarpus erectus"	6	15	15
109	BUTTONWOOD	"Conocarpus erectus"	6	14	12
110	BUTTONWOOD	"Conocarpus erectus"	10	18	22
111	ORANGE GEIGER	"Cordia sebestena"	5	13	12
112	ORANGE GEIGER	"Cordia sebestena"	5	13	10
113	ORANGE GEIGER	"Cordia sebestena"	5	12	5
114	ORANGE GEIGER	"Cordia sebestena"	5	13	7
115	ORANGE GEIGER	"Cordia sebestena"	5	12	6
116	MAHOGANY	"Swietenia mahagoni"	12	18	24
117	ORANGE GEIGER	"Cordia sebestena"	5	1	6
118	ORANGE GEIGER	"Cordia sebestena"	5	10	8
119	MAHOGANY	"Swietenia mahagoni"	16	20	20
120	MAHOGANY	"Swietenia mahagoni"	12	20	20
121	MAHOGANY	"Swietenia mahagoni"	12	20	20
122	MAHOGANY	"Swietenia mahagoni"	12	20	20
123	MAHOGANY	"Swietenia mahagoni"	8	15	20
124	MAHOGANY	"Swietenia mahagoni"	9	16	18
125	LIVE OAK	"Quercus virginiana"	14	14	12
126	LIVE OAK	"Quercus virginiana"	4	6	8
127	LIVE OAK	"Quercus virginiana"	4	6	8
128	LIVE OAK	"Quercus virginiana"	4	14	8
129	LIVE OAK	"Quercus virginiana"	4	14	8
130	LIVE OAK	"Quercus virginiana"	4	14	8
131	LIVE OAK	"Quercus virginiana"	4	14	8
132	COCONUT PALM	"Cocos nucifera"	9	19	17
133	COCONUT PALM	"Cocos nucifera"	10	19	17
134	COCONUT PALM	"Cocos nucifera"	10	19	17
135	COCONUT PALM	"Cocos nucifera"	10	19	17
136	COCONUT PALM	"Cocos nucifera"	10	19	17
137	COCONUT PALM	"Cocos nucifera"	10	19	17
138	COCONUT PALM	"Cocos nucifera"	10	19	17
139	COCONUT PALM	"Cocos nucifera"	10	19	17
140	COCONUT PALM	"Cocos nucifera"	10	19	17
141	COCONUT PALM	"Cocos nucifera"	10	19	17
142	GUMBO LIMBO	"Bursera simaruba"	6	14	9
143	ORANGE GEIGER	"Cordia sebestena"	3	10	4

site plan



legal description

PARCEL 1: Lots 1, 5 and 6, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, at Page 38 of the Public Records of Miami-Dade County, Florida, less and except therefrom the Easterly 15.00 feet for road widening purposes. said parcel contains 17,250 square feet more or less or 0.40 acres more or less.

PARCEL 2: Lots 2 and 3, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, at Page 38 of the Public Records of Miami-Dade County, Florida, less and except therefrom the Easterly 15.00 feet of said Lot 3 for road widening purposes. said parcel contains 11,500 square feet more or less or 0.26 acres more or less.

PARCEL 3: Lots 7 and 8, less the Easterly 15.00 feet of said Lots 7 and 8 for road widening purposes, 9, 10, 11, 12 and 13, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, at Page 38 of the Public Records of Miami-Dade County, Florida. Also less and excepting from said Lots 7 and 8, that part described as follows: Commence at the Northeast corner of said Lot 7 and run North 79° 12' 25" West, a distance of 15.00 feet to the Point of Beginning (P.O.B.) said distance being measured along the Northerly line of Lot 7; thence continue North 79° 12' 25" West along the Northerly line of Lot 7, a distance of 4.00 feet; thence run South 10° 47' 35" West, a distance of 84.56 feet to the Point of Curvature (P.C.) of a Circular Curve concave Northwesterly and having for its elements, a Central Angle of 76° 51' 22" and a Radius of 25.90 feet; thence run Southwesterly along the Arc of said Curve for a distance of 33.53 feet to a Point of Intersection (P.I.) with the Southerly line of Lot 8; thence run North 87° 38' 47" East along the said Southerly line of Lot 8 for a distance of 23.94 feet to a point; thence run North 10° 47' 35" East along a line 15.00 feet Westerly of and parallel with Easterly line of said Lots 7 and 8 for a distance of 103.46 feet to the Point of Beginning (P.O.B.). said parcel contains 45,473 square feet more or less or 1.04 acres more or less.

PARCEL 4: The East one-half (E 1/2) of that certain alley lying adjacent to the Westerly lot lines of Lots 5 and 6, in Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida. said parcel contains 1,000 square feet more or less or 0.02 acres more or less.

PARCEL 5: All of that portion of the alley lying between the West line of Lots 7, 8 and the East line of Lots 9, 10 and 11, together with the West one-half (W 1/2) of that certain alley lying East of and adjacent to the Easterly lot lines of Lots 12 and 13 in Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida. said parcel contains 3,653 square feet more or less or 0.08 acres more or less.

PARCEL 6: Lot 17, Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida. said parcel contains 6,500 square feet more or less or 0.15 acres more or less.

DRY FLOODPROOFING REQUIREMENTS:

- New construction on floodproof areas shall comply with requirements outlined by the National Flood Insurance Program (NFIP) which FEMA administrators and ASCE 24 (FBC 2010, section 1612.5).
- All electrical equipment motors, connectors, switches, outlets to be connected 1'-0" (9'-0" above BFE (8'-0" above V) and in lower garage to have disconnects on GFCI.
- For below-grade parking requirements, refer to FEMA Technical Bulletin 6-83.
- All walls to be wall type 3 U.O.N.
- All non-structural masonry walls below wave crest to be constructed to "break away" under force.
- Provide flood dams at all openings to 1'-0" above BFE specialty engineer to submit shop drawings for review.
- All structure to be dry flood proofed to 1'-0" above BFE.

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED

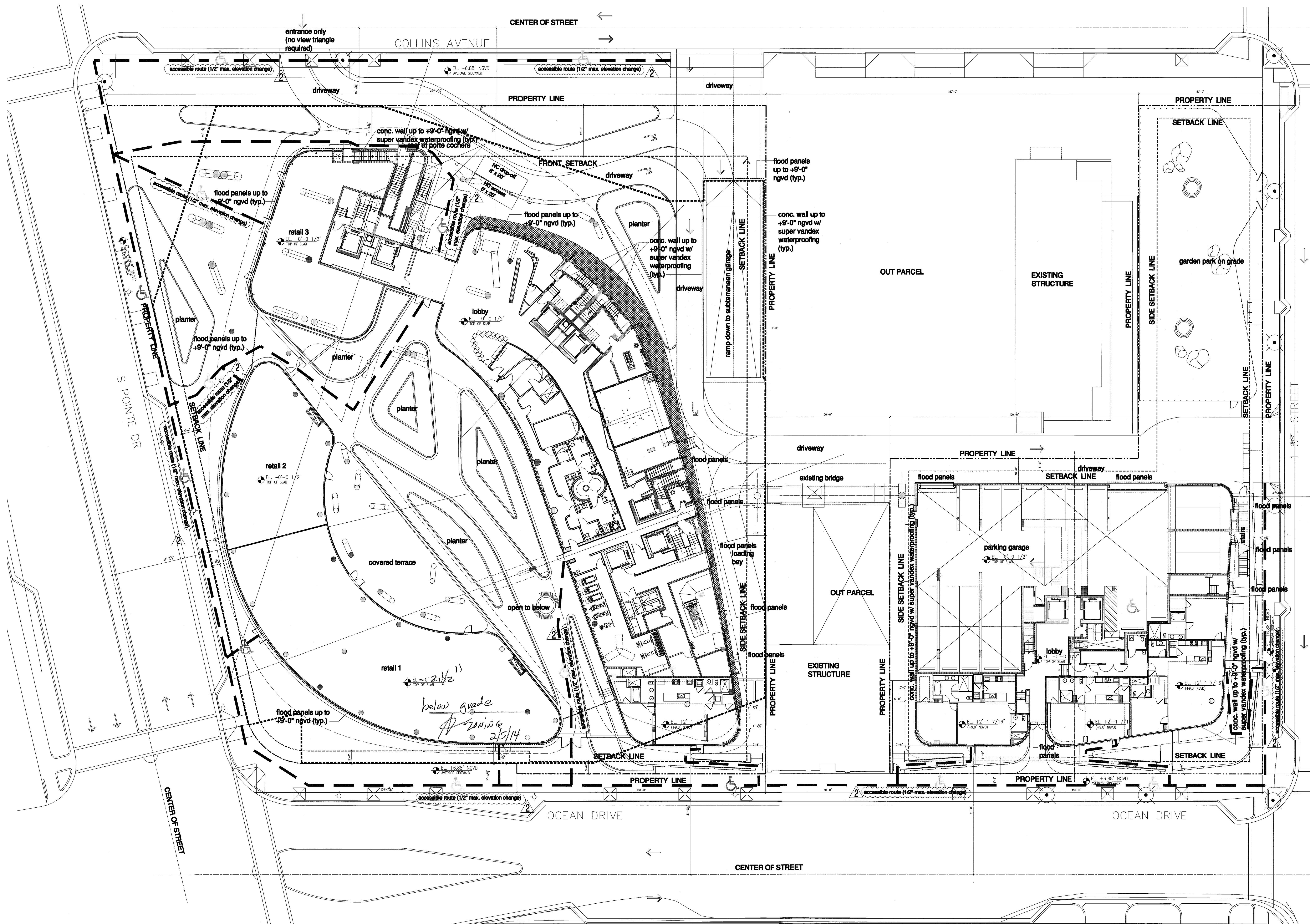


NORTH
 1/16" BUILDING PERMIT
 04.30.2013
 A1202
 Sheet Number

AXEROX CTR
 REV. 1
 DWG SCALE
 PATH: E:\0301-Arizona\Permit\Plan-1814

site plan
 elev. 0'-0" (+6'-88" NGVD)

site plan



- DRY FLOODPROOFING REQUIREMENTS:**
1. Building classified as TYPE II according to ASCE 24 Table 1-1, and to be dry flood proofed in accordance with ASCE 24 (FBC 2010, Building Section 1612.5.)
 2. DRY FLOODPROOFED structures and NON-RESIDENTIAL areas shall be designed and constructed so that any structure or area below the applicable elevation specified in ASCE 24 Table 5-1, together with attendant utility and sanitary facilities, is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. According to ASCE 24 Table 1-1 for TYPE II classification, the structure must be flood proofed to an elevation of BFE + 1ft = +9.00ft NGVD.
 3. Flood proofing Certificate signed by Architect/Engineer of records.
 4. All construction materials below the elevation specified in ASCE 24 Table 5-1, shall be constructed with flood-damage-resistant material. According to ASCE 24 Table 1-1 for type II classification, the structure must be constructed with flood-damage-resistant materials to an elevation of BFE +1ft (+9'-0" ngvd).
 5. Any utilities and attendant equipment outside the dry flood proofed area and any utilities and attendant equipment serving the RESIDENTIAL area will be elevated at or above BFE +1ft NGVD.
 6. Provide flood dams at all openings to 1'-0" above BFE specialty engineer to submit shop drawings for review.
 7. All structure to be dry flood proofed to 1'-0" above BFE. Flood proofing membrane to be installed 1 foot above (+9.00' ngvd) Base Flood Elevation.
 8. Structural Engineer must provide uplift stability calculation for concrete slab on grade.

FOR CONSTRUCTION

12/20/2013
In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and regulatory codes, as mandated by statute, for the jurisdiction in which the structure contained in these documents shall be constructed.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

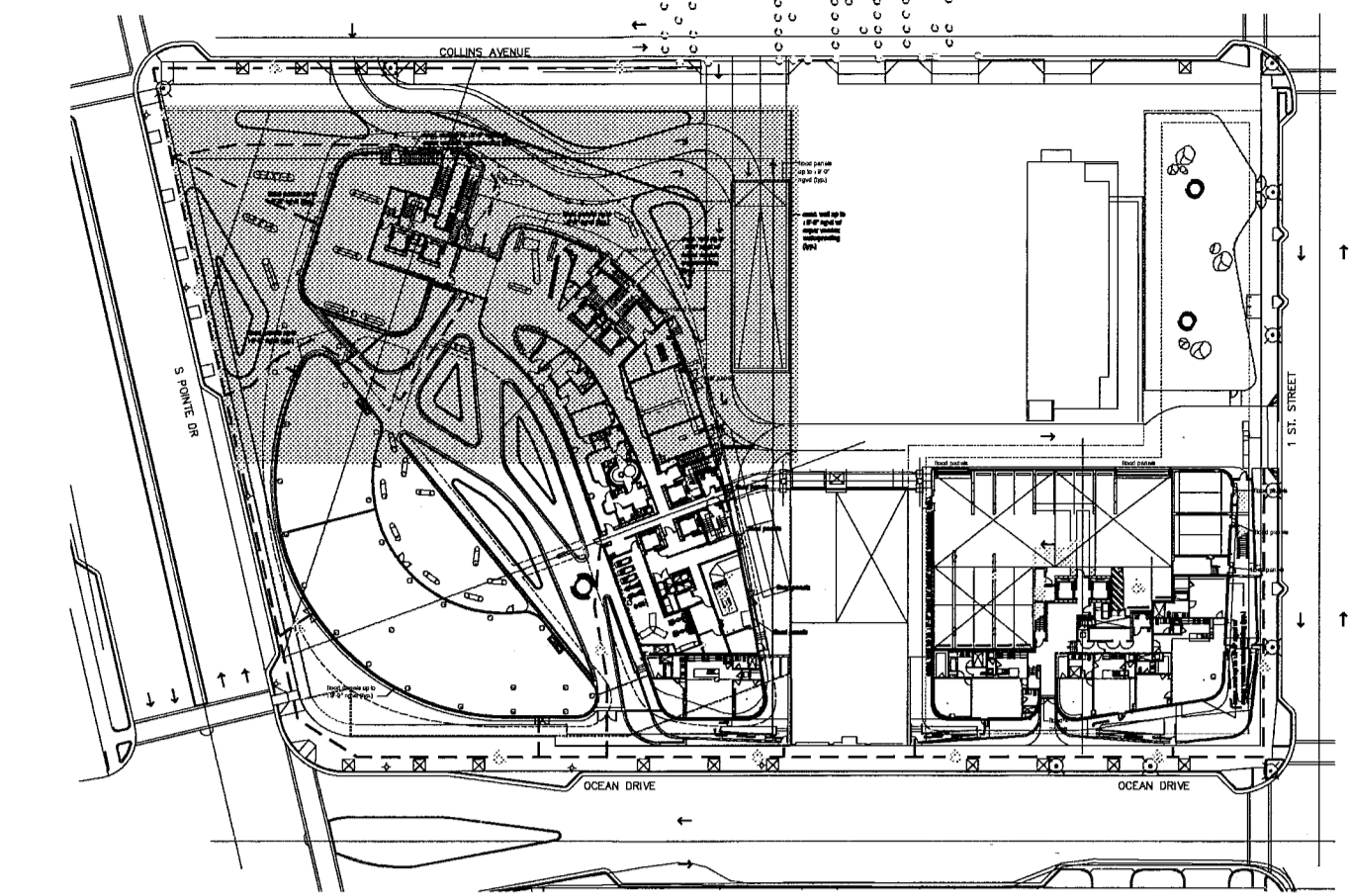


Revision	Date
2	12/20/2013
1	07/30/2013

NORTH
1/16" SCALE
BID SET
04.30.2013
BUILDING PERMIT
A1202

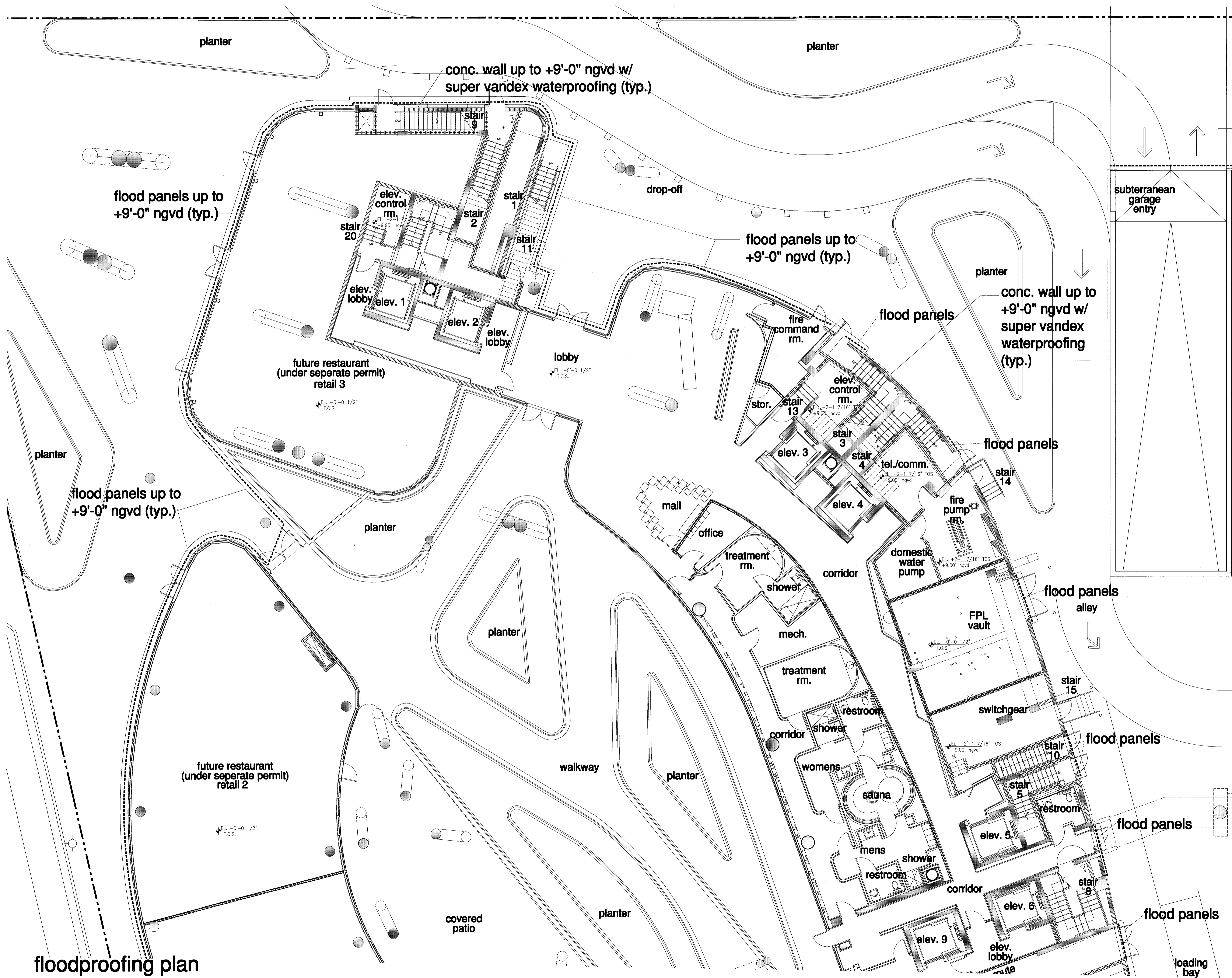
site plan
elev. 0'-0" = (+6.88' NGVD)

XEROX.CTB
REV. P.V.
SCALE



key plan n.t.s.

floodproofing plan



flood panels up to +9'-0" ngvd (typ.)

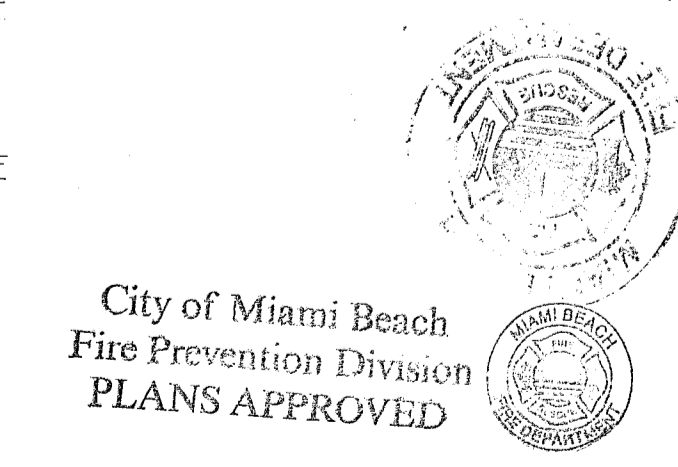
conc. wall up to +9'-0" ngvd w/ super vandex waterproofing (typ.)

DRY FLOODPROOFING REQUIREMENTS:

1. Building classified as TYPE II according to ASCE 24 Table 1-1, and to be dry flood proofed in accordance with ASCE 24 (FBC 2010, Building Section 1612.5.)
2. DRY FLOODPROOFED structures and NON-RESIDENTIAL areas shall be designed and constructed so that any structure or area below the applicable elevation specified in ASCE 24 Table 6-1, together with attendant utility and sanitary facilities, is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. According to ASCE 24 Table 1-1 for TYPE II classification, the structure must be flood proofed to an elevation of BFE + 1ft = +9.00ft NGVD.
3. Flood proofing Certificate signed by Architect/Engineer of records.
4. All construction materials below the elevation specified in ASCE 24 Table 5-1, shall be constructed with flood-damage-resistant material. According to ASCE 24 Table 1-1 for type II classification, the structure must be constructed with flood-damage-resistant materials to an elevation of BFE +1ft (+9'-0" ngvd).
5. Any utilities and attendant equipment outside the dry flood proofed area and any utilities and attendant equipment servicing the RESIDENTIAL area will be elevated at or above BFE +1ft NGVD.
6. Provide flood dams at all openings to 1'-0" above BFE specialty engineer to submit shop drawings for review.
7. All structure to be dry flood proofed to 1'-0" above BFE. Flood proofing membrane to be installed 1 foot above (+9.00' ngvd) Base Flood Elevation.
8. Structural Engineer must provide uplift stability calculation for concrete slab on grade.

FOR CONSTRUCTION

12/20/2013
Seal
In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and, if safety codes, as indicated by initials, for the jurisdiction in which the structure contained in these documents shall be constructed.



Revision	2	12/20/2013
Construction Issue Date		
As Built Date		
Bid Set	07.01.2013	
Issue Date	04.30.2013	
Sheet Number	A1202	

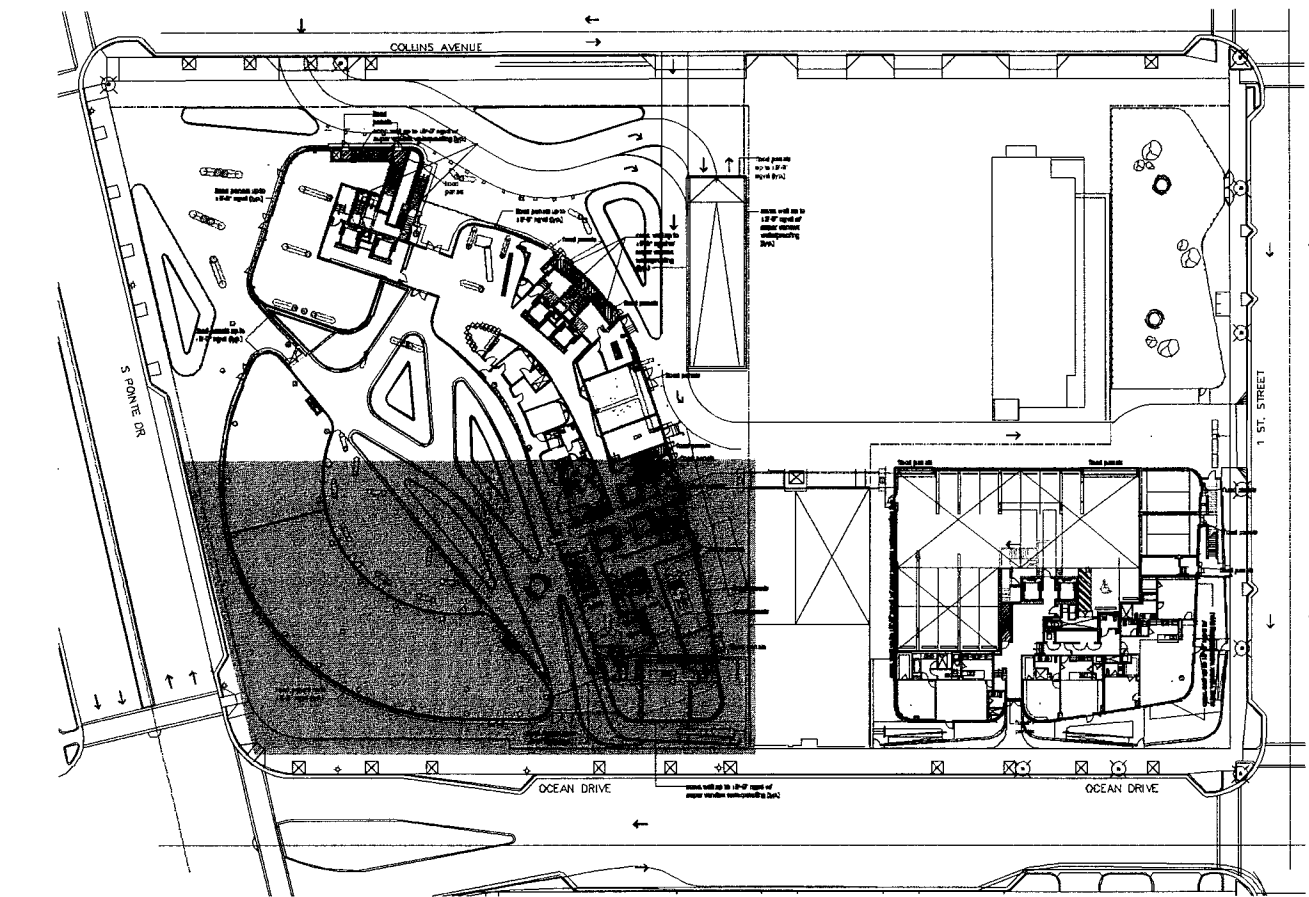
NORTH
 1/8"

new sheet

XEROX CTS
REV. P.V.
PENS
SCALE

floodproofing plan

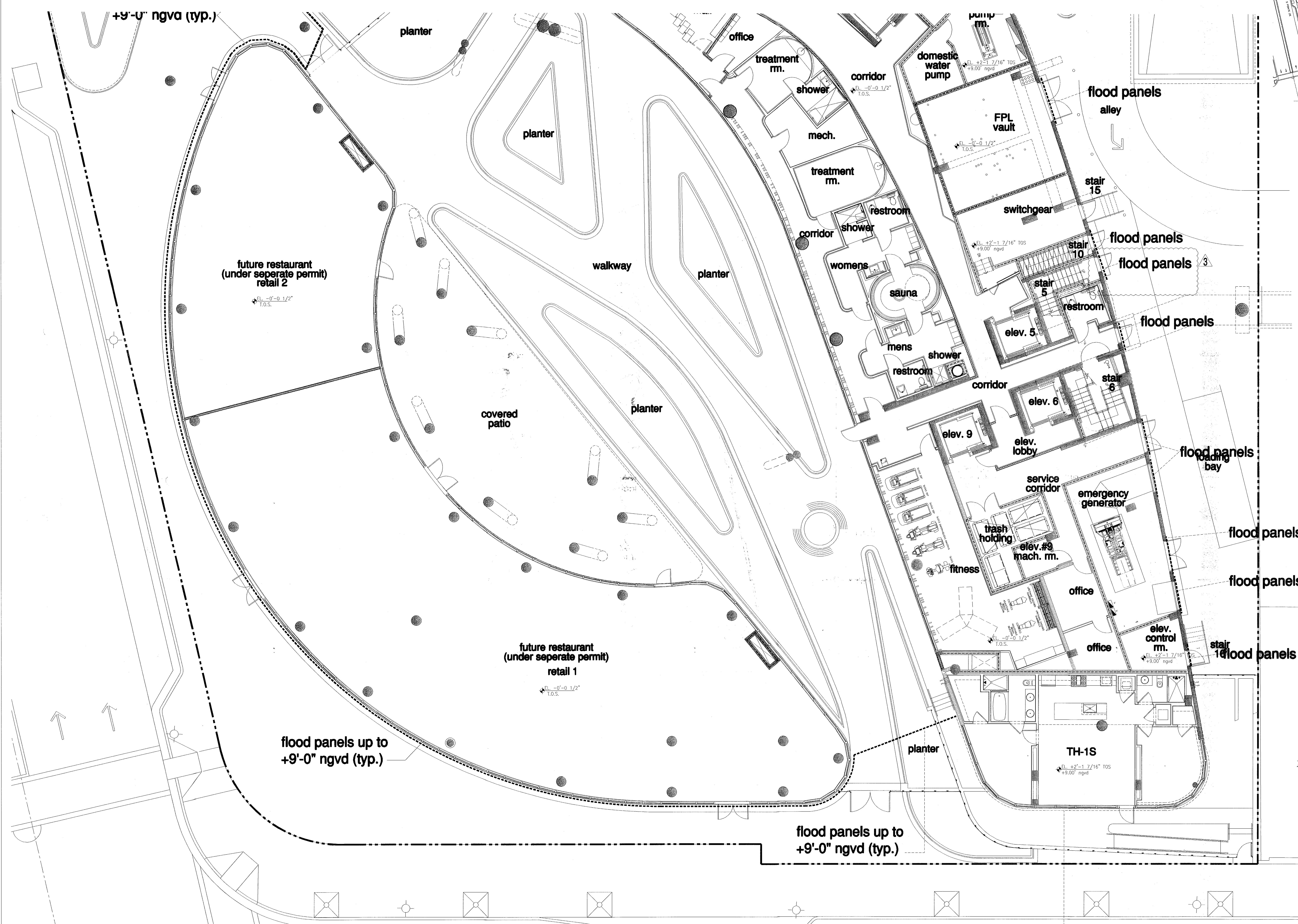
elev. 0'-0" = (+6.88' NGVD)



key plan n.t.s. NORTH

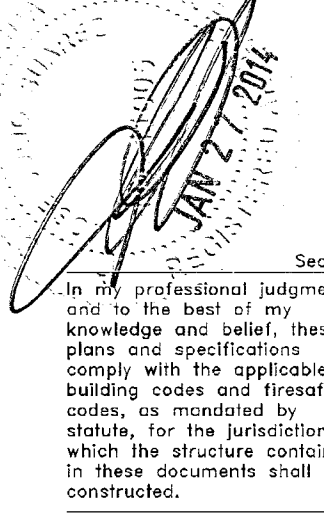
DRY FLOODPROOFING REQUIREMENTS:

1. Building classified as TYPE II according to ASCE 24 Table 1-1, and to be dry flood proofed in accordance with ASCE 24 (FBC 2010, Building Section 1612.5.)
2. DRY FLOODPROOFED structures and NON-RESIDENTIAL areas shall be designed and constructed so that any structure or area below the applicable elevation specified in ASCE 24 Table 6-1, together with attendant utility and sanitary facilities, is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. According to ASCE 24 Table 1-1 for TYPE II classification, the structure must be flood proofed to an elevation of BFE + 1ft = +9.00ft NGVD.
3. Flood proofing Certificate signed by Architect/Engineer of records.
4. All construction materials below the elevation specified in ASCE 24 Table 5-1, shall be constructed with flood-damage-resistant material. According to ASCE 24 Table 1-1 for type II classification, the structure must be constructed with flood-damage-resistant materials to an elevation of BFE + 1ft (+9'-0" ngvd).
5. Any utilities and attendant equipment outside the dry flood proofed area and any utilities and attendant equipment servicing the RESIDENTIAL area will be elevated at or above BFE + 1ft NGVD.
6. Provide flood dams at all openings to 1'-0" above BFE specialty engineer to submit shop drawings for review.
7. All structure to be dry flood proofed to 1'-0" above BFE. Flood proofing membrane to be installed 1 foot above (+9.00' ngvd) Base Flood Elevation.
8. Structural Engineer must provide uplift stability calculation for concrete slab on grade.



floodproofing plan

FOR CONSTRUCTION



City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED

Revision 3 01/27/2014
 Revision 2 12/20/2013

As Built Date
 Bid Set
 Issue Date

BID SET 07.01.2013
 BUILDING PERMIT 04.30.2013

new sheet
 A1202

A1.04

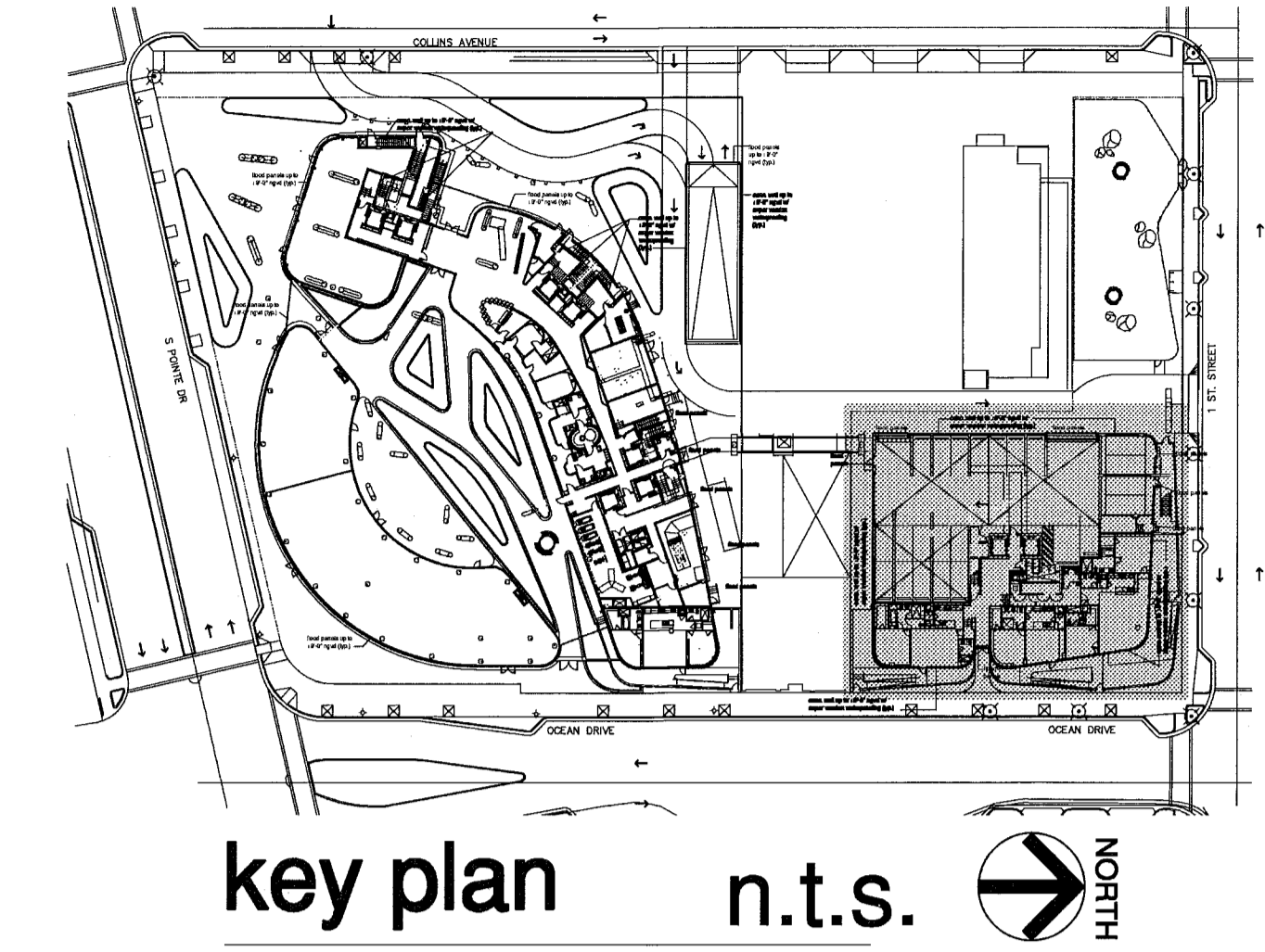
floodproofing plan

elev. 0'-0" = (+6.88' NGVD)

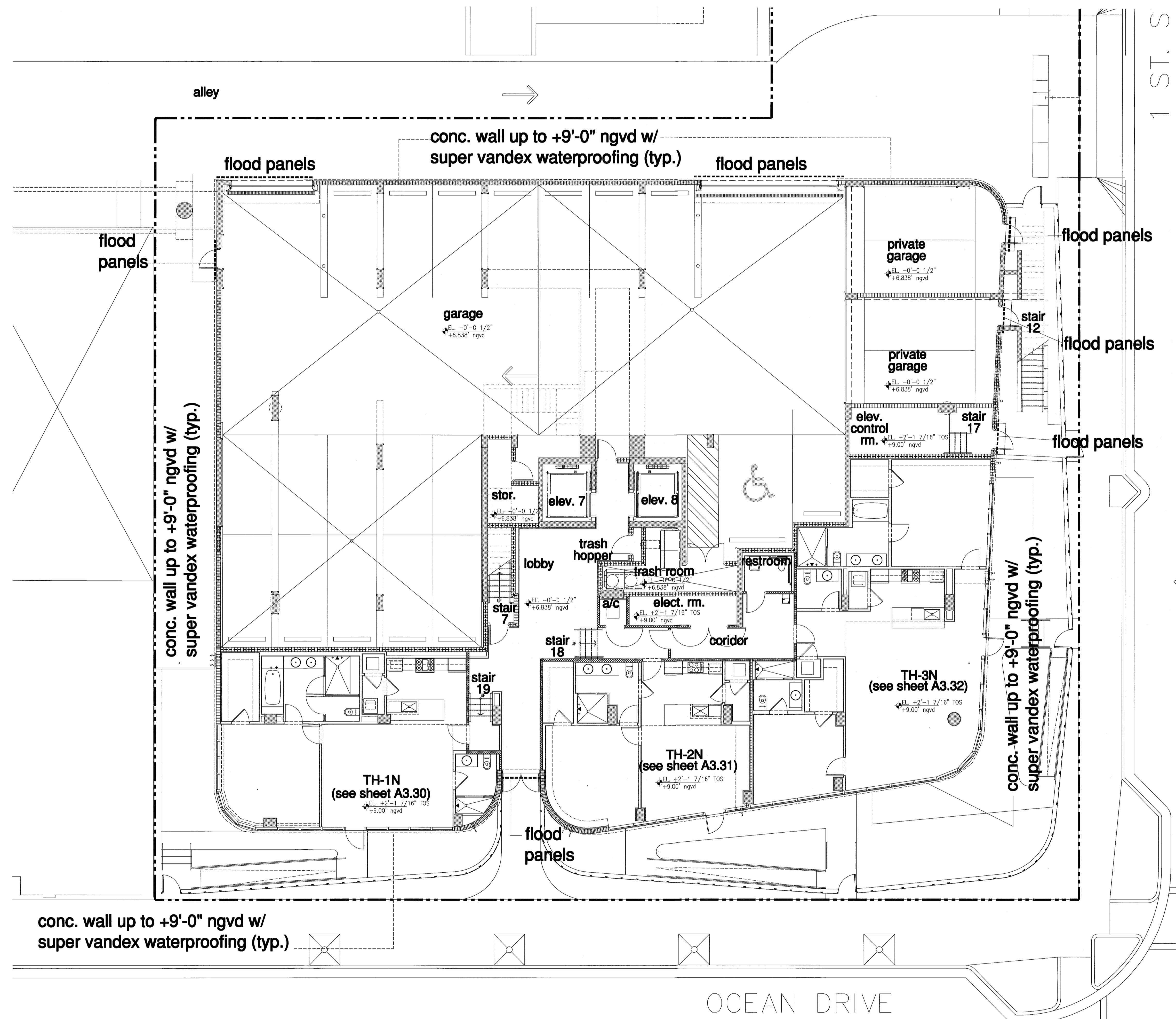


1/8"

XEROX/CTB
 REV. 1/27/14
 DWG. 04.30.2013
 SCALE



floodproofing plan



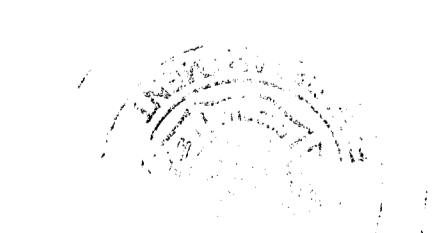
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FOR CONSTRUCTION

12/20/2013
I, *[Signature]*
Seal
In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and fire safety codes, as mandated by statute, for the jurisdiction in which the structure contained in these documents shall be constructed.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Revision	Date
2	12/20/2013

Construction Issue Date
Xr Bullt Date
Bid Date
07.01.2013
Issue Date
04.30.2013
BUILDING PERMIT
JOB Number
A1202
Sheet Number

NORTH
1/8"

new sheet

A1.05

XEROX.CTB
REV. P.V.
PENS
SCALE



- TYPICAL WATERPROOFING NOTES:**
1. Drains (foot drains, floor drains, bi-lateral drains, planter drains, deck drains, etc.) - if drain is not placed when concrete is poured or is relocated after installation, all concrete around drains must be sealed with CCW MiroSTOP-Waterstop, manufactured by Carlisle and a non-shrink grout manufactured by Euclid NS Grout (non-shrink, non-metallic grout) or approved equal.
 2. Cold joints (cast-in-place connections) - All cold joint cast in place concrete-to-concrete connections should have an MiroSTOP-Waterstop (typical through out water/moisture exposed areas) strip. Also the poured concrete wall to structural slab cold joint connection should incorporate a key-way connection.
 3. All voids and inconsistencies found on the exterior block faces (cmu walls) must be filled in (covered) with a cementitious material prior to any stucco application.
 4. All perimeter sealants to be in contact directly with main substrate. It should not be adhered to adjacent urethane sealant or cold liquid applied membrane.
 5. All wall penetrations (pipes, electrical boxes and wall vents) must be sealed with a urethane sealant at the structural connection, followed by a brush bead along the slucco connection.
 6. Use a silicone-based product as a cant bead around the perimeter walls and threshold.
 7. Multiple mobilizations will be required for each trade. Prepare and clean surface received to an acceptable standard by contractor and as per product specifications. Substrate to be inspected and accepted by subcontractor prior to application, NOTIFY CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS BEFORE PROCEEDING. Proceed with work only after all conditions have been corrected and approved by all parties.
 8. Coordinate with waterproofing consultant for inspection and sign off on all work in progress and completion. Repair defective or incomplete installation per waterproofing consultants recommendations.
 9. Ensure that all system being used are compatible with other surface in contact (other trades).
 10. Provide manufacturer's standard warranty prior to installation. Ensure that manufacturers provide written approval that systems were installed in accordance to their recommendations and meet or exceed the installation parameters.
 11. It is understood that all work is to be performed per Florida Building Code 2010 and all applicable product approvals have current NGA numbers.
 12. Contractor must provide protection to adjacent surfaces at all times.
 13. Cleaning and trash removal is mandatory on a daily bases, dumpster provided at job site by GC.
 14. Prior to beginning work, Subcontractor is to perform all required coordination, and review of any special details.
 15. Any concrete slab on grade scheduled to be treated with waterproofing or concrete sealer should be tested for calcium chloride (moisture transmission evaluation).
 16. All concrete multi-pour cold joint connections and dissimilar material penetrations (sump pits, piston casings, pipes, etc.) must be sealed with MiroSTOP-Waterstop manufactured by Carlisle.

- NOTES:**
1. ALL PERIMETER SHEET PILES TO BE STRUCTURALLY WELDED FOR WATERSTOP.
 2. INTERIOR FACE OF SHEET PILES TO BE SANDBLASTED AND EPOXY COATED.
 3. WATERPROOF / FLOODPROOF ENTIRE SUBTERRANEAN GARAGE WITH CARLISLE; MRRAPY -H & MRRAPY-V SYSTEM. SEE TYPICAL DETAILS ON SHEET A7.1.3.
 4. PROVIDE TEMPORARY PROTECTION AS PER SPEC. 2010. SECTION 05.10-11.
 5. ALL EGRESS DOORS SHALL NOT REQUIRE A KEY OR SPECIAL KNOWLEDGE TO OPEN FOR EGRESS.
 6. FOR MECHANICAL LIFTS, THE PARKING DECK PLATFORM MUST BE SIZED AND OF SUFFICIENT WIDTH AND LENGTH (MINIMUM OF EIGHT FEET BY 16 FEET) TO COMPLETELY COVER THE BOTTOM OF THE VEHICLE ON THE PLATFORM TO PREVENT DRIPPING LIQUIDS OR DEBRIS ONTO THE VEHICLE BELOW.

floor plan - level 0 (garage)

FOR CONSTRUCTION

floor plan - level 0 (garage)

subterranean garage level 00 elev. = -14'-0" / -7.12' N.G.V.D. (elev. 0'-0" = +6.88' N.G.V.D.)

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

NORTH
3/32"

Revision	2	12/20/2013
Revision	1	07/30/2013
Construction Issue Date		
As Built Date		
BID SET	07.01.2013	
BUILDING PERMIT	04.30.2013	
Sheet Number:	A1202	

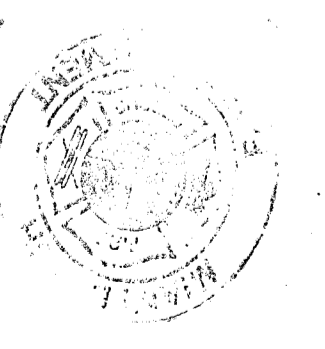


floor plan - level 0 (garage)
 dimension plan

FOR CONSTRUCTION

12/20/2013
 In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and fire safety codes as mandated by statute. For the jurisdiction in which the structure outlined in these documents shall be constructed.

City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED



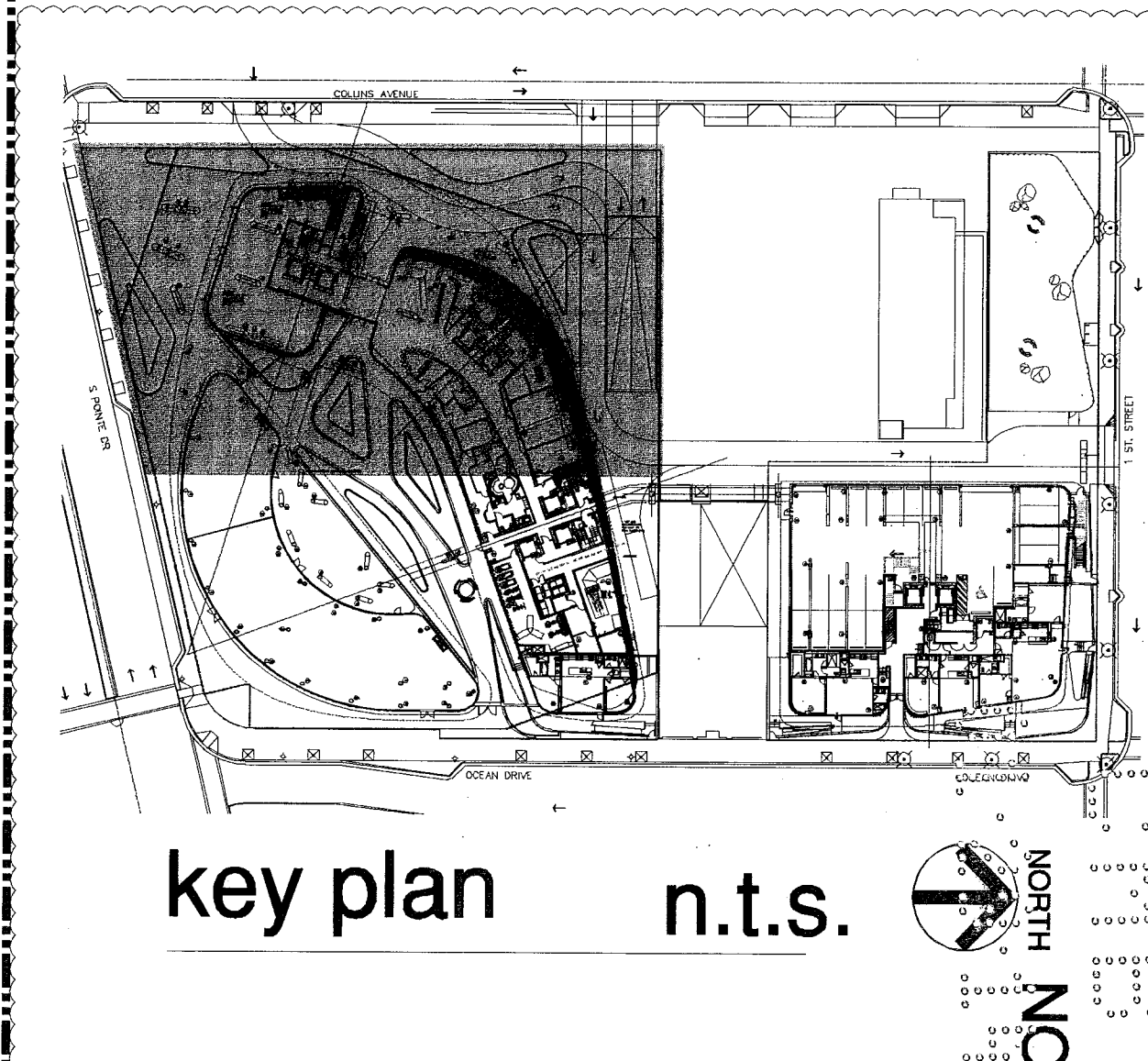
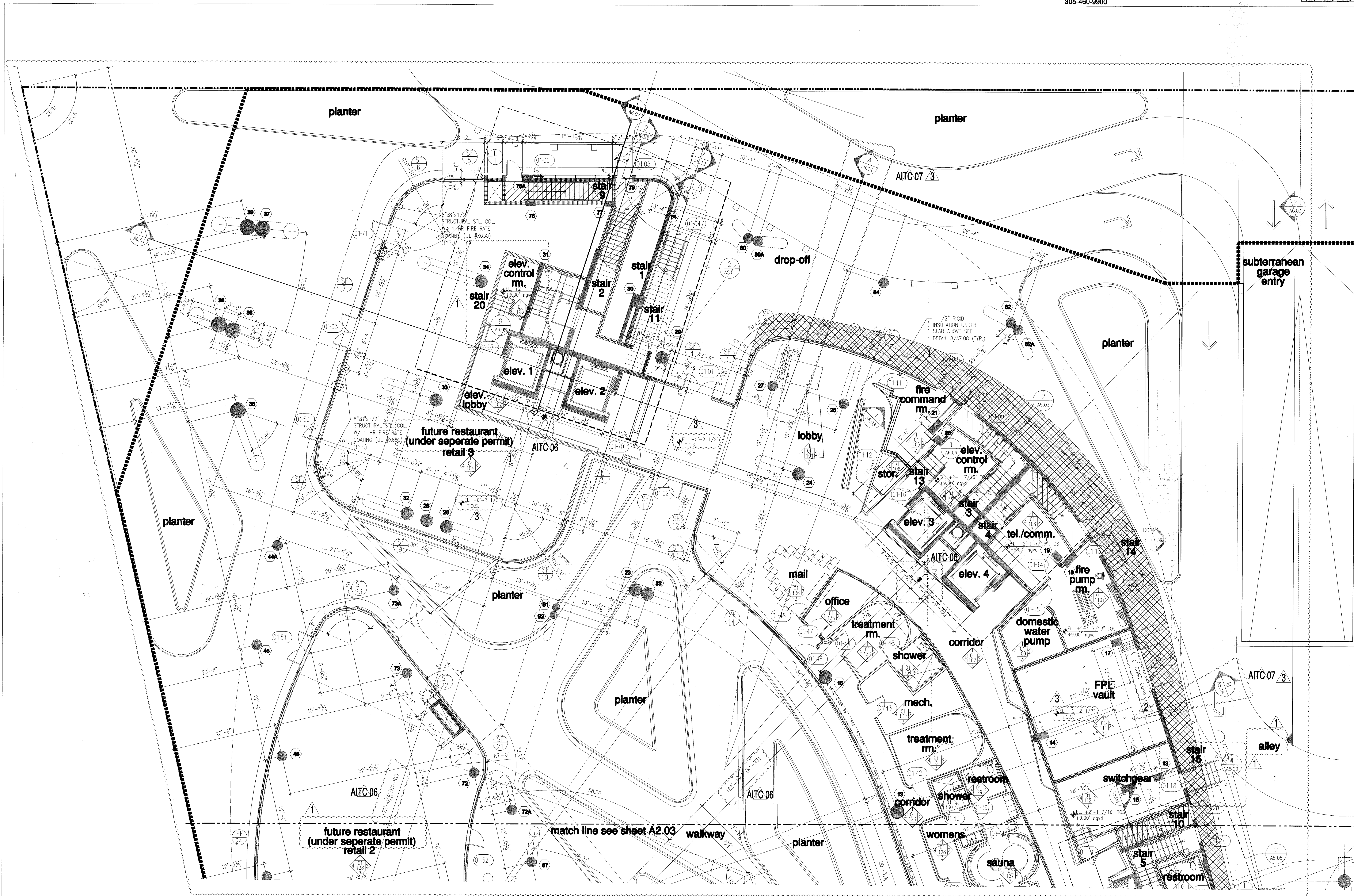
Revision	Date	Description
1	12/20/2013	As built Date
		Construction Issue Date
		As built Date
		Issue Date
		Construction Issue Date
		Issue Date

NORTH
 3/32"

floor plan - level 0 (garage) dimension plan

subterranean garage level 00 elev. = -14'-0" / -7.12' N.G.V.D. (elev. 0'-0" = +6.88' N.G.V.D.)

REVISED BY: PERCIB CTB
 P.V.
 P.E.
 SCALE: 1/8" = 1'-0"



partial floor plan - level 01 (lobby)

FOR CONSTRUCTION

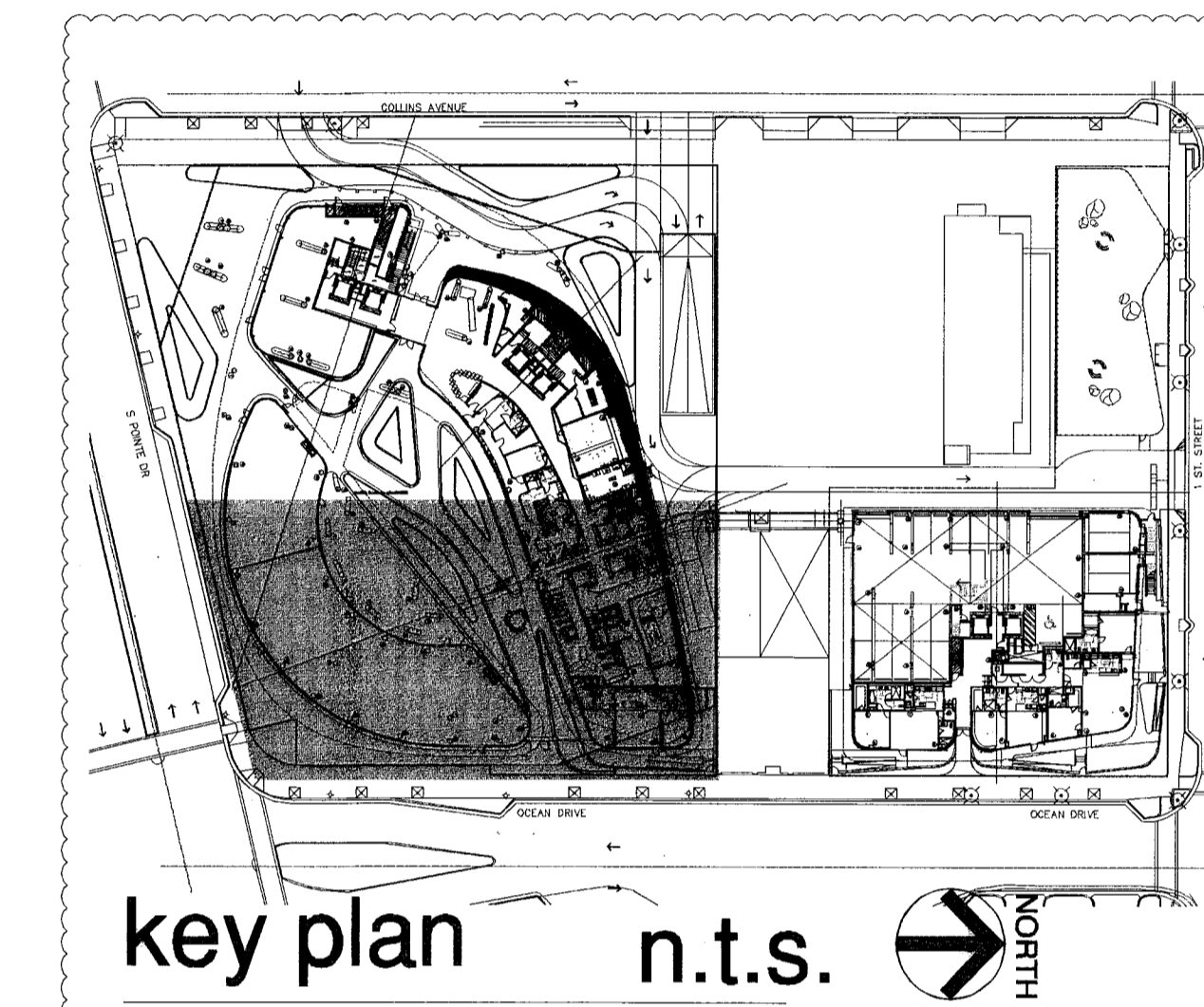
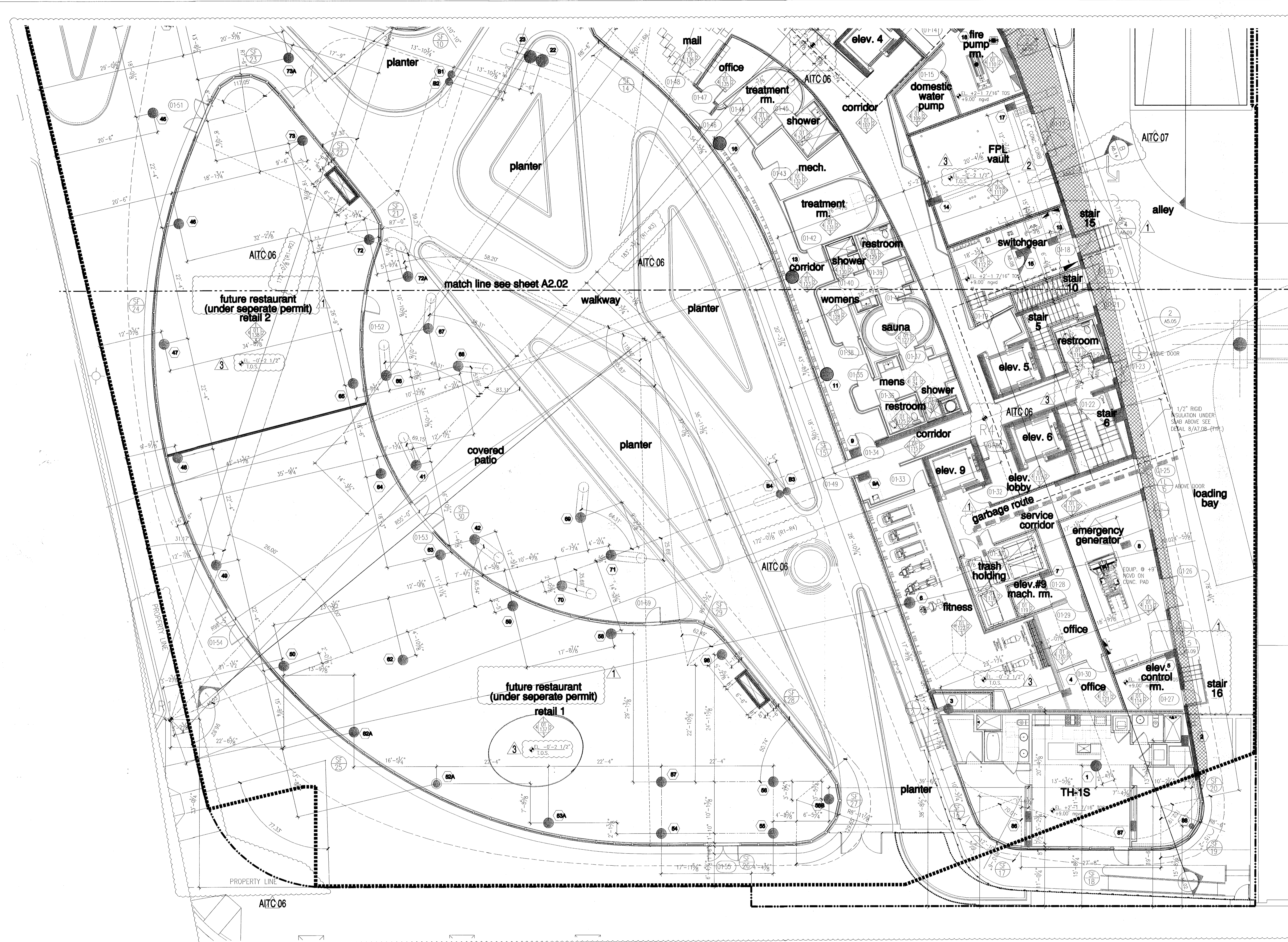
partial floor plan - level 1 (lobby)

level 1 (lobby) F.F. elev. = -0'-0 1/2" = +6.84' N.G.V.D. (elev. 0'-0" = +6.88' N.G.V.D.) (T.O.S. -2 1/2" = +6.67' N.G.V.D.)

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

NORTH
1/8"

Revision	3	01/27/2014
AITC	07	01/07/2014
AITC	06	01/06/2014
Revision	2	12/20/2013
Revision	1	07/30/2013
Construction Issue Date		
As Built Date		
BID SET	07.01.2013	
BUILDING PERMIT	04.30.2013	
Job Number:	A1202	
Sheet Number:	A2.02	



partial floor plan - level 01 (lobby)

FOR CONSTRUCTION

partial floor plan - level 1 (lobby)

level 1 (lobby) F.F. elev. = 0'-0" 1/2" = +6.84' N.G.V.D. (elev. 0'-0" = +6.88' N.G.V.D.) (T.O.S. -2 1/2" = +6.67' N.G.V.D.)

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



NORTH

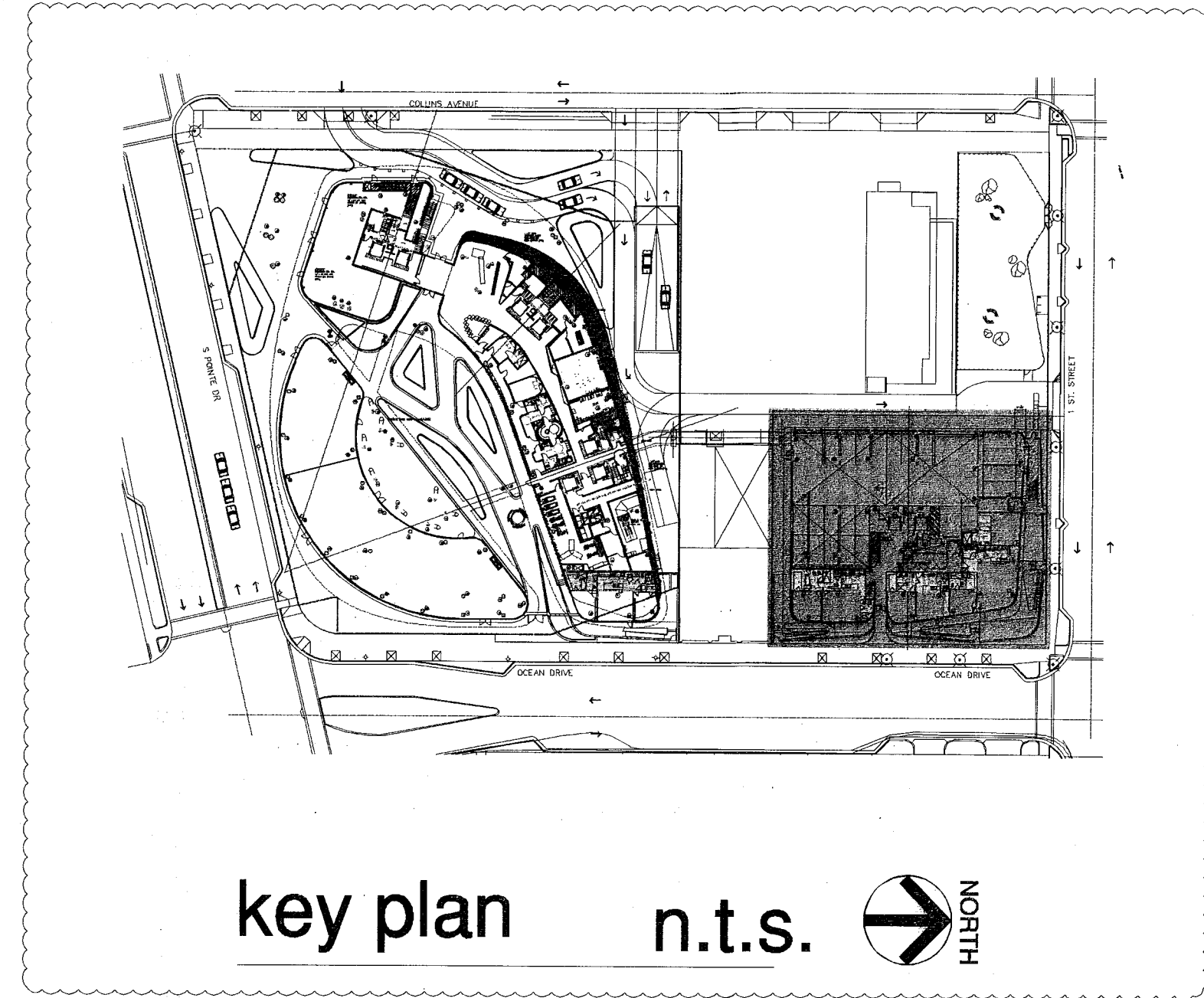
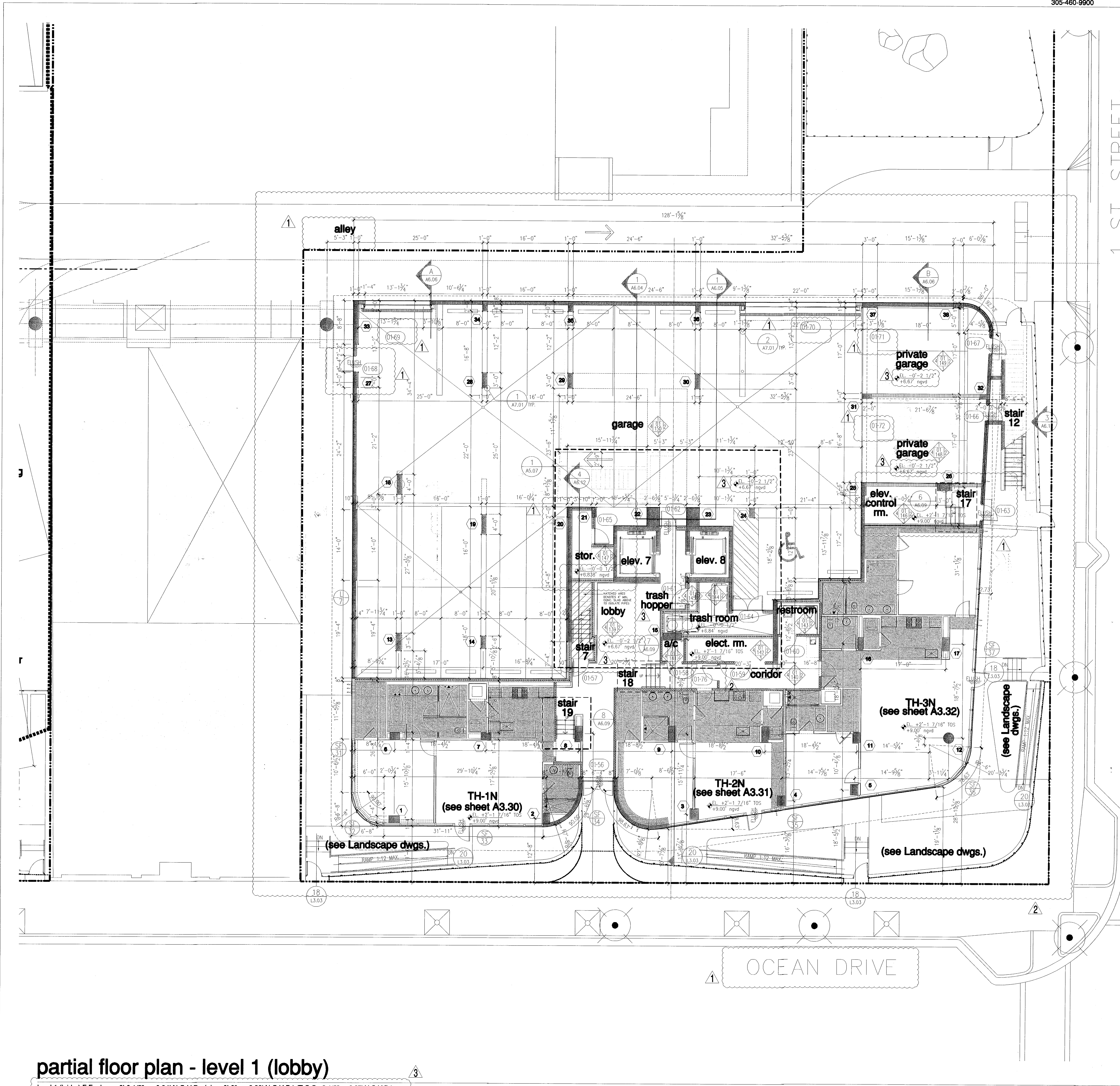
1/8"

- Revision 3 01/27/2014
- AITC 07 01/07/2014
- AITC 06 01/06/2014
- Revision 2 12/20/2013
- Revision 1 07/30/2013

As Built Date
BID SET 07.01.2013
Issue Set
BUILDING PERMIT 04.30.2013
Job Number
A1202
Sheet Number

REV. KEROGLCTE
 P.V.
 P.E.
 SCALE

partial floor plan - level 01 (lobby)



FOR CONSTRUCTION

partial floor plan - level 1 (lobby)

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City of Miami Beach
Fire Prevention Division
PLANS APPROVED

NORTH
1/8"

Revision 3	01/27/2014
Revision 2	12/20/2013
Revision 1	07/30/2013

BID SET 07.01.2013
ISSUE DATE 04.30.2013
BUILDING PERMIT A1202