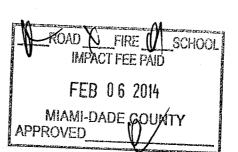
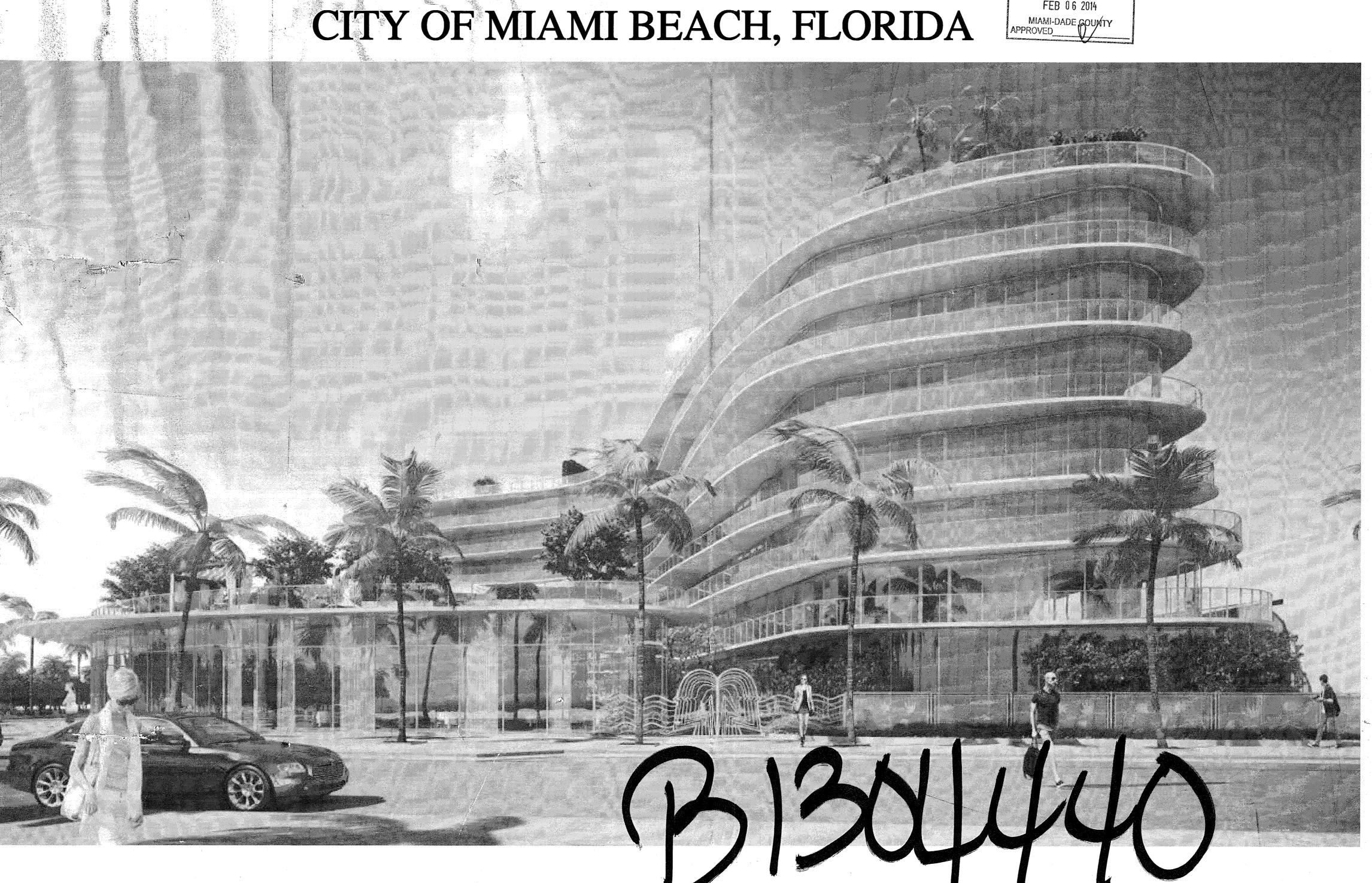
# ONE OCAEN DRIVE





**DEVELOPER** 

The Related Group

14121 S.W. 119 Avenue Miami, Florida 33186

**EXECTUVITE ARCHITECTS** 

**DESIGN ARCHITECTS** 

Ten Arquitectos 227 W. 29th Street, 11 Floor New York, NY 10001 212-620-0794

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The Sieger Suarez Architectural Partnership

LANDSCAPE ARCHITECT

MECHANICAL ENGINEERS

EGS2 Corp. 14121 S.W. 119 Avenue Miami, Florida 33186 305-274-2702

**DESIGN LANDSCAPE ARCHITECT** 

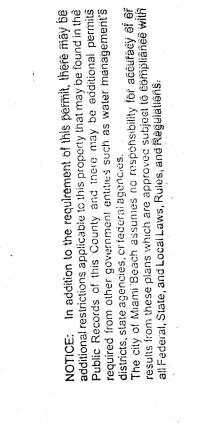
**Enea Garden Design** 3898 Biscayne Boulevard Miami, Florida 33137 305-576-6702

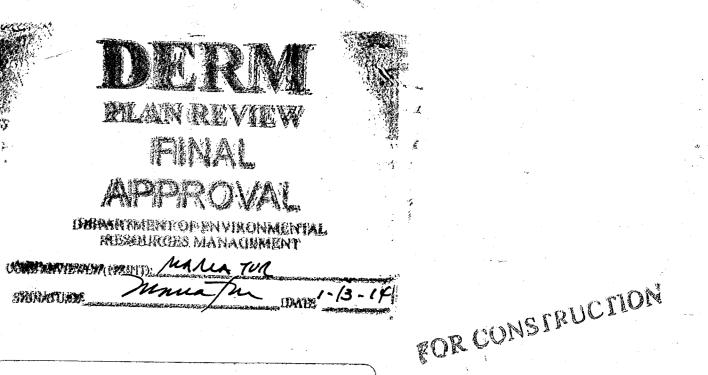
Steven Feller P.E.

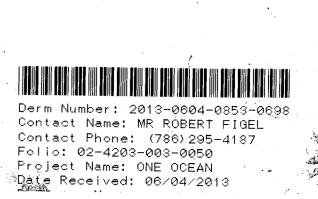
500 N.E. 3rd Ave Ft Lauderdale, Florida 33301 954-467-1402

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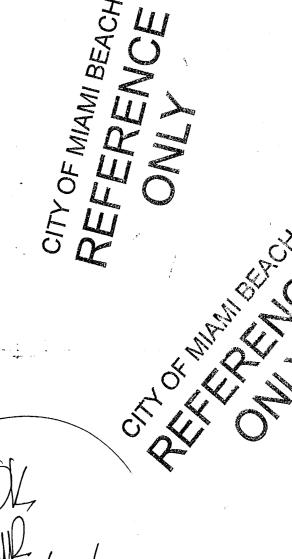
Consulting Engeneering & Science, Inc. 10700 N. Kendali Drive Miami, Florida 33176 305-378-5555











Issue Date BUILDING PERMIT 04.30.2013 Job Number. A1202

Sheet Number.

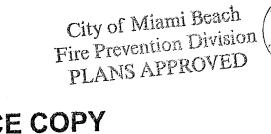
Construction Issue Date

As built Date

Issue Date

In my professional judgment and to the best of my knowledge and belief, these

plans and specifications comply with the applicable building codes and firesafety codes, as mandated by



OFFICE COPY CITY OF MIAMI BEACH APPROVED FOR PERMIT BY

THE FOLLOWING: BUILDING: ZONING: PLUMBING: ELECTRICAL: MECHANICAL: FIRE PREVENTION:

FLOOD: PUBLIG WORKS: STRUCTURAL: ELEVATOR:

ONE COLLINS AVENUE CITY OF MIAMI BEACH, FLORIDA



**DEVELOPER** 

TRG Block One Ltd.

315 S. Biscayne Bivd. Maimi, FL 33131 305-460-9900

**EXECTUVITE ARCHITECTS** 

The Sieger Suarez Architectural Partnership

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CHM Structural Engineers, LLC. 7990 S.W. 117 Avenue Miami, Florida 33183

**MECHANICAL ENGINEERS** 

500 N.E. 3rd Ave Ft Lauderdale, Florida 33301 954-467-1402 LANDSCAPE ARCHITECT

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**GARDEN DESIGN** Enea Garden Design 3898 Biscayne Boulevard Miami, Florida 33137 305-576-6702

> Consulting Engeneering & Science, Inc. 10700 N. Kendali Drive Mlami, Florida 33176 305-378-5555

Steven Feller P.E.

A1202 Sheet Number.

Construction Issue Date

Revision /2 12/20/2013

BID SET 07.01.2013

Revision / 1 07/30/2013

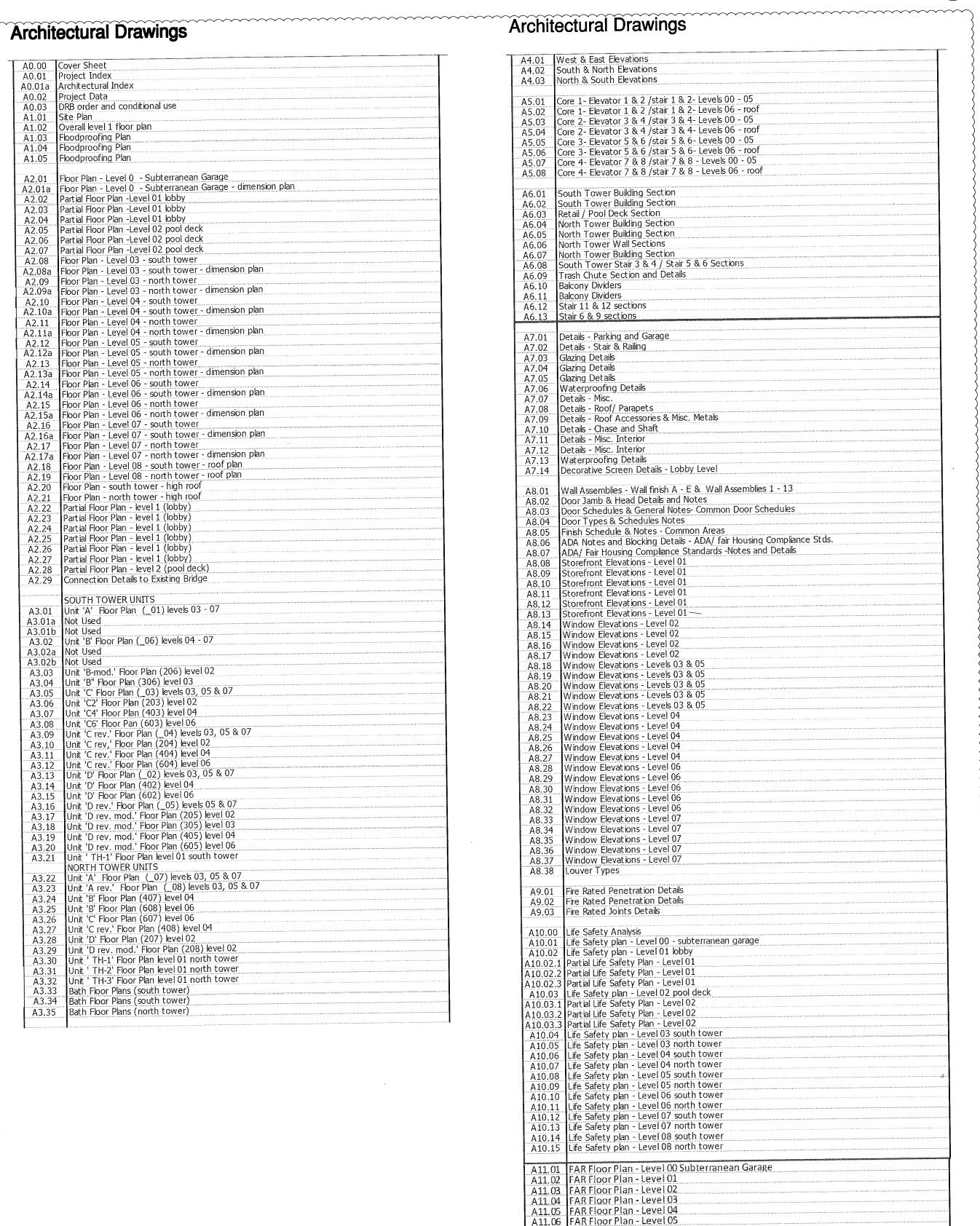
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In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and firesafety codes, as mandated by statute, for the jurisdiction is which the structure contained in these documents shall be

BID SET 07.01.2013

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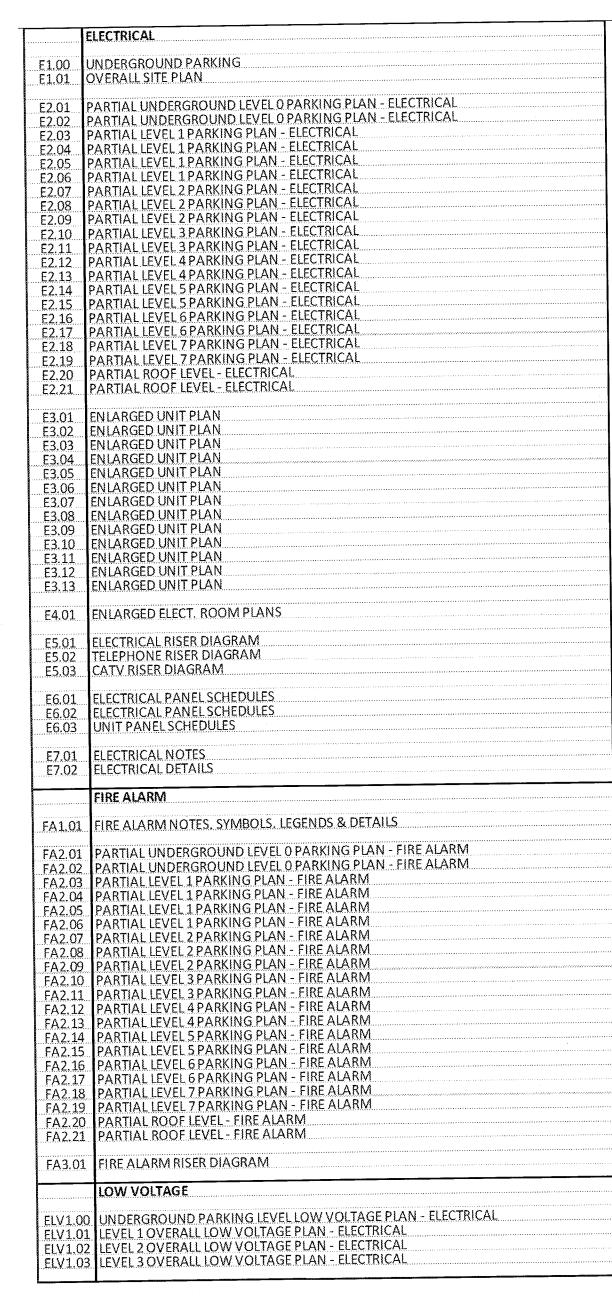
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City of Miami Beach Fire Prevention Division PLANS APPROVED

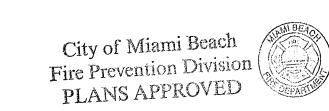
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A3.07 A3.08 A3.09	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Plan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07	1/4" scale 1/4" scale 1/4" scale 1/4" scale	***				
A3.07 A3.08 A3.09 A3.10 A3.11	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04	1/4" scale 1/4" scale 1/4" scale 1/4" scale 1/4" scale 1/4" scale	* * * * * * * * * * * * * * * * * * * *		**	*	
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06	1/4" scale 1/4" scale 1/4" scale 1/4" scale 1/4" scale 1/4" scale	* * * * * * * * * * * * * * * * * * * *		* * * *	* * *	
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 04	1/4" scale	* * * * * * * * * * * * * * * * * * * *		**		
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (602) level 06	1/4" scale	* * * * * * * * * * * * * * * * * * * *			* * * * * * * * * * * * * * * * * * * *	
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (602) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (_05) levels 05 level 02	1/4" scale	* * * * * * * * * * * * * * * * * * * *		* * * * * * * * * * * * * * * * * * * *		
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (604) level 06 Unit 'D' Floor Plan (402) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (604) level 06 Unit 'D' Floor Plan (402) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (405) level 04	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (604) level 06 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (002) level 06 Unit 'D rev.' Floor Plan (005) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (604) level 06 Unit 'D' Floor Plan (402) levels 03, 05 & 07 Unit 'D' Floor Plan (602) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (07) levels 03, 05 & 07	1/4" scale			* * * * * * * * * * * * * * * * * * * *		
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.21	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (604) level 06 Unit 'D' Floor Plan (402) levels 03, 05 & 07 Unit 'D' Floor Plan (602) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (_07) levels 03, 05 & 07 Unit 'B' Floor Plan (_08) levels 03, 05 & 07 Unit 'B' Floor Plan (407) level 04	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.21 A3.22 A3.23 A3.24 A3.25	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev,' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 04 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (_07) levels 03, 05 & 07 Unit 'B' Floor Plan (407) level 04 Unit 'B' Floor Plan (407) level 04 Unit 'B' Floor Plan (407) level 04	1/4" scale					
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A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.22 A3.23 A3.24 A3.25 A3.24 A3.25 A3.26 A3.27 A3.28 A3.29	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (503) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev.' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D' rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (_07) levels 03, 05 & 07 Unit 'A' Floor Plan (_07) levels 03, 05 & 07 Unit 'B' Floor Plan (608) level 06 Unit 'B' Floor Plan (607) level 04 Unit 'B' Floor Plan (607) level 06 Unit 'C rev.' Floor Plan (408) level 06 Unit 'C rev.' Floor Plan (408) level 04 Unit 'D' Floor Plan (207) level 02 Unit 'D' Floor Plan (207) level 02 Unit 'D' Floor Plan (207) level 02 Unit 'D rev. mod.' Floor Plan (208) level 02	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.22 A3.23 A3.24 A3.25 A3.24 A3.25 A3.26 A3.27 A3.28 A3.29 A3.30	Unit 'C2' Floor Plan (403) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev.' Floor Plan (_04) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (_02) level 06 Unit 'D' Floor Plan (_05) level 06 Unit 'D' rev.' Floor Plan (_05) level 05 Unit 'D rev. mod.' Floor Plan (_205) level 02 Unit 'D rev. mod.' Floor Plan (_205) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (_07) levels 03, 05 & 07 Unit 'A' rev.' Floor Plan (_08) levels 03, 05 & 07 Unit 'B' Floor Plan (407) level 04 Unit 'B' Floor Plan (608) level 06 Unit 'C' Floor Plan (608) level 06 Unit 'C' Floor Plan (607) level 06 Unit 'C' Floor Plan (207) level 06 Unit 'C' Floor Plan (207) level 00 Unit 'D' Floor Plan (207) level 02 Unit 'D' Floor Plan (207) level 02 Unit 'D' Floor Plan (207) level 02 Unit 'TH-1' Floor Plan level 01 north tower	1/4" scale			* * * * * * * * * * * * * * * * * * * *		
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.22 A3.23 A3.24 A3.25 A3.26 A3.27 A3.28 A3.29 A3.30 A3.31 A3.31 A3.31 A3.32	Unit 'C2' Floor Plan (403) level 04 Unit 'C6' Floor Plan (403) level 06 Unit 'C rev.' Floor Plan (_04) levels 03, 05 & 07 Unit 'C rev.' Floor Plan (_04) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (404) level 06 Unit 'D Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (_02) levels 03, 05 & 07 Unit 'D' Floor Plan (_02) level 06 Unit 'D' Floor Plan (_02) level 06 Unit 'D' Floor Plan (_02) level 06 Unit 'D rev.' Floor Plan (_05) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (_05) levels 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'T H-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (_07) levels 03, 05 & 07 Unit 'B' Floor Plan (_07) level 04 Unit 'B' Floor Plan (407) level 04 Unit 'B' Floor Plan (608) level 06 Unit 'C' Floor Plan (608) level 06 Unit 'C' Floor Plan (607) level 06 Unit 'D' Floor Plan (607) level 06 Unit 'D' Floor Plan (607) level 06 Unit 'D' Floor Plan (607) level 02 Unit 'D rev. mod.' Floor Plan (208) level 02 Unit 'D rev. mod.' Floor Plan level 01 north tower Unit 'TH-1' Floor Plan level 01 north tower Unit 'TH-1' Floor Plan level 01 north tower Unit 'TH-1' Floor Plan level 01 north tower	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.22 A3.23 A3.24 A3.25 A3.26 A3.27 A3.28 A3.29 A3.30 A3.31 A3.32 A3.33 A3.33	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (04) levels 03, 05 & 07 Unit 'C rev.' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (02) levels 03, 05 & 07 Unit 'D' Floor Plan (402) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (502) levels 05 & 07 Unit 'D rev.' Floor Plan (503) levels 05 & 07 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (605) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'T H-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (507) levels 03, 05 & 07 Unit 'A' Floor Plan (507) levels 03, 05 & 07 Unit 'B' Floor Plan (607) level 06 Unit 'C' Floor Plan (608) level 06 Unit 'C' Floor Plan (609) level 06 Unit 'C' Floor Plan (607) level 06 Unit 'C' Floor Plan (507) level 04 Unit 'D' Floor Plan (507) level 04 Unit 'D' Floor Plan (507) level 05 Unit 'TH-1' Floor Plan (208) level 02 Unit 'TH-1' Floor Plan level 01 north tower Unit 'TH-2' Floor Plan level 01 north tower Unit 'TH-3' Floor Plan level 01 north tower Bath Floor Plans (south tower)	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.19 A3.20 A3.21 A3.22 A3.23 A3.24 A3.25 A3.26 A3.27 A3.28 A3.29 A3.30 A3.31 A3.32 A3.33 A3.33	Unit 'C2' Floor Plan (203) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Plan (603) level 06 Unit 'C rev.' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (402) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D rev.' Floor Plan (05) level 05 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 04 Unit 'D rev. mod.' Floor Plan (605) level 04 Unit 'D rev. mod.' Floor Plan (605) level 06 Unit 'T H-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (07) levels 03, 05 & 07 Unit 'A' Floor Plan (407) level 04 Unit 'B' Floor Plan (408) level 06 Unit 'C' Floor Plan (607) level 06 Unit 'C' Floor Plan (607) level 06 Unit 'C' Floor Plan (507) level 06 Unit 'C' Floor Plan (507) level 02 Unit 'D' Floor Plan (507) level 02 Unit 'D' Floor Plan (507) level 02 Unit 'TH-1' Floor Plan level 01 north tower Unit 'TH-1' Floor Plan level 01 north tower Unit 'TH-2' Floor Plan level 01 north tower Unit 'TH-3' Floor Plan level 01 north tower Bath Floor Plans (south tower)	1/4" scale					
A3.07 A3.08 A3.09 A3.10 A3.11 A3.12 A3.13 A3.14 A3.15 A3.16 A3.17 A3.18 A3.20 A3.21 A3.22 A3.23 A3.24 A3.25 A3.26 A3.27 A3.28 A3.27 A3.28 A3.30 A3.31 A3.32 A3.33 A3.34 A3.35	Unit 'C2' Floor Plan (403) level 02 Unit 'C4' Floor Plan (403) level 04 Unit 'C6' Floor Pan (603) level 06 Unit 'C rev.' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (204) level 02 Unit 'C rev.' Floor Plan (404) level 04 Unit 'C rev.' Floor Plan (604) level 06 Unit 'D' Floor Plan (02) level 06 Unit 'D' Floor Plan (402) level 06 Unit 'D' Floor Plan (402) level 06 Unit 'D' Floor Plan (602) level 06 Unit 'D' Floor Plan (502) level 06 Unit 'D rev. Floor Plan (503) level 05 Unit 'D rev. mod.' Floor Plan (205) level 02 Unit 'D rev. mod.' Floor Plan (305) level 03 Unit 'D rev. mod.' Floor Plan (405) level 06 Unit 'TH-1' Floor Plan level 01 south tower NORTH TOWER UNITS Unit 'A' Floor Plan (507) levels 03, 05 & 07 Unit 'B' Floor Plan (508) level 06 Unit 'B' Floor Plan (608) level 06 Unit 'C rev.' Floor Plan (608) level 06 Unit 'C' Floor Plan (608) level 06 Unit 'C' Floor Plan (507) level 06 Unit 'TH-1' Floor Plan (508) level 06 Unit 'C' Floor Plan (508) level 06 Unit 'C' Floor Plan (508) level 06 Unit 'C' Floor Plan (508) level 06 Unit 'TH-1' Floor Plan (508) level 09 Unit 'TH-2' Floor Plan (508) level 09 Unit 'TH-3' F	1/4" scale					
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## data analysis

SITE PLAN INFORMATION

LAND USE DESIGNATION: \*TOTAL SITE AREA:

CPS-1 (Residential-RP-S2) 61,630 sq.ft. (ONE OCEAN - South) 25,750 sq.ft. (ONE OCEAN - North)

78'-0" (ONE OCEAN - South)

PROVIDED

side setback:

front/side setback:

5'-0" pedestal/tower

23'-4" pedestal/tower

7'-6" sides setback

REQUIRED

20'-0" above 40' in height

ONE OCEAN - NORTH

Unit 2.2 spaces per unit

 $2.2 \times 15 = 33$  parking spaces

PROVIDED 33 parking spaces

33,889 sq.ft.

PROVIDED OPEN SPACE:

**BUILDING HEIGHT:** 

78'-0" (ONE OCEAN - North) REQUIRED OPEN SPACE:  $87380 \text{ sq.ft. } \times 65\% = 56,767 \text{ sq.ft.}$ 

\*NOTE: ONE OCEAN - South (for lots 5 thru 13, including alley) ONE OCEAN - North (for lots 1 thru 3, and lot 17)

SETBACKS

**REQUIRED** 5'-0" pedestal/tower front/side setback:

20'-0" above 40' in height 3'-6" pedestal/tower rear setback:

7'-6" sides setback side setback:

**PARKING:** 

ONE OCEAN - SOUTH

**REQUIRED** 

2.2 spaces per unit

 $2.2 \times 35 = 77$  parking spaces 2,290 sq. ft. / 300 = 8

Restaurant 1 space per 4 seats, or 8,880 sq. ft. / 100 8,880 sq. ft. = 89 spaces 174 parking spaces (77+8+ 89)

PROVIDED 174 parking spaces

TOTAL PROVIDED, NORTH AND SOUTH: 207 parking spaces

**UNIT MATRIX** 

CONSTRUCTION	UNIT LINE NUMBER													
			SOUTH	BUILDING			l N	ORTH BUILDIN	√G					
UPPER ROOF	1	2	3	4	5	6	7	8	9					
ROOF TERRACE														
7	А	D	С	C rev	D rev	В	Α	A rev		12				
6	Α	D	С	C rev	D rev	В	С	B rev		9.958				
5	A D C C			C rev	D rev	В	Α	A rev		9.958				
4	Α			C rev	D rev	В	В	C rev mod	· · · · · ·	9.958				
3	Α	D	С	C rev	D rev	В	Α	A rev		9.958				
2			C2	C rev	D rev mod	B mod	D	D rev mod		9.958				
1	R	RETAIL, LOBI	BY, FITNES	SS, SPA, B	ОН	TH-1S	TH-1N	TH-2N	TH-3N	16.208				
0		SUBTE	RRANEAN	PARKING	GARAGE			<u> </u>						

6.88 NGVD-AMSL 84.878 AMSL

F.A.R.

Maximum/Allowable: 2.0 x Lot Area TOTAL MAXIMUM / ALLOWABLE; 87,380 sq.ft. x 2.0 = 174,760 sq.ft.

······ ONE OCEAN - SOUTH Actual / Provided F.A.R. development level 0 = 0 units 0 sq. ft. level 01 = 12,805 sq. ft. level 1 = 1 TH unit/comm. level 02 = 13,748 sq. ft. level 2 = 4 condo units level 03 = 18,786 sq. ft. level 3 = 6 condo units level 04 = 18,806 sq. ft. level 4 = 6 condo units level 05 = 18,786 sq. ft. level 5 = 6 condo units level 06 = 18,801 sq. ft. level 6 = 6 condo units level 7 = 6 condo units level 07 = 18,786 sq. ft. level 08 = 2,981 sq. ft. level 8 = 0 level 09 = 137 sq. ft. level 9 = 0

TOTAL F.A.R. = 172,753 sq. ft.

total = 35 units

123,636 sq. ft.

ONE OCEAN - NORTH Actual / Provided F.A.R. level 01 = 4,910 sq. ft. level 02 = 7,105 sq. ft. level 03 = 7,105 sq. ft. level 04 = 7,105 sq. ft. level 05 = 7,105 sq. ft. level 06 = 7,105 sq. ft. level 07 = 7,105 sq. ft. level 08 = 1,577 sq. ft.

3. In case of discrepancies, large scale drawings shall take precedent over small development level 1 = 3 TH units level 2 = 2 condo units level 3 = 2 condo units level 4 = 2 condo units level 5 = 2 condo units level 6 = 2 condo units level 7 = 2 condo units level 8 = 0

total = 15 units

**CODES USED** 

TOTAL = 50 UNITS

F.A.R. 49,117 sq. ft.

Construction of this building shall comply with:

The Florida Building Code: 2010 edition Florida Fire Prevention Code: 2010 edition The Life Safety Code, NFPA 101: 2009 edition The Fair Housing Act 1988, as amended The Florida Accessibility Code -Chapter 11, FBC 2010 edition Americans With Disabilities Act (ADA) 2012 edition & ANSI 117.1

Should conflicts arise between codes the General Contractor shall comply with the most stringent requirement or shall receive written authorization from the Building Official for compliance.

### LEGEND

**ACCESS PANEL ELECTRICAL PANEL** ABOVE FINISHED FLOOR ABOVE FINISHED DECK **UNLESS OTHERWISE NOTED** CLG CEILING TOW **TOP OF WALL** TOS TOP OF SLAB TOP **TOP OF PARAPET BFE** BASE FLOOD ELEVATION **TOP OF CURB** FD **FLOOR DRAIN** ROOF DRAIN **TYP TYPICAL OPP HAND OPPOSITE HAND (REVERSE) HANDICAP** WC **WATER CLOSET LAVATORY** SHOWER FLOOR AREA RATIO

**General Notes:** 

1. References to standards, codes, specifications, recommendations and regulations in these drawings shall mean the editions being enforced by the various agencies and governing bodies at the time of submission. Editions specifically called out in the documents, if not in conflict with the above, shall apply. If neither of the above conditions apply, the edition shall be latest one published prior to the date on the Permit Issue.

2. In cases of conflicts between the drawings and standards listed, or conflicts between standards, the more stringent requirements shall govern.

scale drawings and dimensions shall take precedence over any scale drawings. 4. Any noted discrepancies between the drawings shall be promptly called to the attention of the Architect and no work so affected shall be undertaken in advance of the Architect's decision except at the Contractor's own risk.

5. Where a material is indicated, it is intended that such material be used throughout entire length and height of walls, partitions, panels, windows, lights, areas, etc., or in detail in which it occurs for other similar locations throughout building, unless another material is indicated.

6. Wherever any item, device or part of equipment is referred to in the Drawings in singular number, as many items, devices, parts as are required for complete installation shall be installed. 7. Where typical or representative detail is shown on plans, this detail shall

constitute the standard in workmanship and materials throughout corresponding parts of building and site, and where necessary, Contractors shall be required to adapt such detail for use in said corresponding parts of building or site; said adaption, however, shall be subject to Architect's approval.

8. All indications or notations which apply to one or a number of similar situations, materials or processes shall be deemed to apply to all such situations, materials or processes wherever they appear in the Work, unless otherwise indicated

9. All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written or printed directions and instructions unless otherwise indicated in the drawings.

10. Fire extinguishers shall be provided in all public spaces. In garage areas Fire extinguishers shall be provided every 75'. In public spaces within the building one (1) fire extinguisher shall be provided for every 2500 square feet of floor area,

11. No responsibility, either direct, or implied, is assumed by Architect or Owner for omissions or duplications by Contractor or Subcontractors, due to real or alleged error in arrangement of matter in the Drawings. 12. The Contractor shall carefully study and compare the Drawings with each other

Architect, errors, inconsistencies or omissions discovered. 13. The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions and other

and with information furnished by the Owner and shall at once report to the

information known to the Contractor with the Drawings before commencing activities. Errors, inconsistencies or omissions discovered shall be reported to the Architect at 14. The Contractor shall be responsible for verifying that all caulking compounds

and releasing agents used are compatible.

15. The Contractor shall be responsible to the Owner for acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons performing portions of the Work under a contract with the Contractor. 16. The Contractor shall be responsible for inspection of portions of Work already

performed under this Contract to determine that such portions are in proper

condition to receive subsequent Work. 17. The Contractor shall coordinate the work of all Subcontractors, material suppliers and mechanics, and shall be responsible for the proper fitting of all Work. He shall do and be responsible for the correct laying out of the Work as per Drawings and written instruction of the Architect, including all necessary leveling and checking. He shall establish grades and bench marks, and shall lay out all partition lines and other significant reference lines or points which will enable all trades to accurately place their boxes, openings, sleeves, conduits,

hangers, inserts and other devices. 18. The General contractor shall have the final responsibility to Architect and Owner for coordination and complete execution of the Work according to Contract Documents. Subcontractors who start and continue their work are accepting the preparatory work others and cannot later claim that such work was unsatisfactory as a base or preparation. No work to be started until all necessary corrections are completed.

19. After the Contract has been executed, the Owner and the Architect will consider a formal request for the substitution of products in place of those specified only under the conditions set forth below:

a) The Contractor shall personally investigate the proposed substitute product and determined that it is equal or superior in all respects to that specified; b) The Contractor will provide the same warranty for the substitution that the Contractor would for that specified; c) The Contractor shall certify the cost data presented is complete and

and waives all claims for additional costs related to the substitution which subsequently become apparent. d) The Contractor will coordinate the installation of the accepted substitute,

includes all related costs under this Contract including the Architect's redesign costs,

making such changes as may be required for the be complete in all respects. 20. General Contractor shall provide a Certificate of Protective Treatment for prevention of termites per the requirements of FBC section 104.2.6. Such treatment shall comply with all applicable requirements as descibed in FBC section 1816.1.

n.t.s.

9999

knowledge and belief, these comply with the applicable

codes, as mandated by

constructed.

which the structure contained in these documents shall be

SYMBOLS LEGEND

WINDOW, SLIDING STUD PARTITION **GLASS DOOR &** STOREFRONT DETAIL \ FIRE RATED STUD PARTITION **DETAIL TITLE** SCALE

CONCRETE BLOCK WALL 1 HOUR FIRE RATED CONCRETE BLOCK WALL 2 HOUR FIRE RATED

CONCRETE BLOCK WALL 4 HOUR FIRE RATED

FIBERGLASS BATT INSULATION

RIGID DENSE FOAM W/ MESH & STUCCO FINISH - MOULDING CORNICES, ETC... REINF. CONCRETE

**CLEAN COMPACTED** 

LOOSE FILL OR

FINISH SCHEDULE WALL MOUNTED FIRE EXTINGUISHER (see 1/8" scale drawings) RECESSED FIRE EXTINGUISHER CABINET

(see 1/8" scale drawings)

**DETAIL NUMBER SECTION TITLE** SHEET No. SECTION IS DRAWN ON

DOOR #

WALL/ASSEMBLY ON

DOOR DESIGNATION CORE AND UNITS

- DETAIL NUMBER

IS DRAWN ON

DETAIL NUMBER

SHEET No. DETAIL

- SHEET No. DETAIL

IS DRAWN ON

DOOR DESIGNATION PUBLIC SPACES

**WINDOW DESIGNATION** 

SLIDING GLASS DOOR

**BALCONY DIVIDER DESIGNATION** 

STOREFRONT DESIGNATION

**ROOM NUMBER** 

DESIGNATION

WALL TYPE DESIGNATION ON PLANS (REFER TO DWG. A.801)

**CEILING HEIGHTS** 

City of Miami Beach Fire Prevention Division PLANS APPROVED

**UNIT AREA MATRIX** 

CONSTRUCTION																												
LEVEL													UNI	T AREA														HEIGH
		LINE 1			LINE 2			LINE 3			LINE 4		LINE 5			LINE 6			NORTH BUILDING									
UPPER ROOF	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC ADE/	<del>,  </del>
ROOF TERRACE														***						3111711CZ/	DI LEO. I LICEI	OTTIT THE	OTTITION.	DALO. AINLA	OMITHEL	UNIT AREA	DALC. AREA	*
7	Α	3,534	938	D	2125	255	С	2,751	213	C rev	2,751	213	D rev	2.122	255	B	3.316	938	Α	3-206	624	A rev	3,206	3002		1	<u> </u>	10
6	А	3,534	968	D	2067	304	С	2,678	235	C rev	2,860	166	D rev	2.183	201	В	3.316	856	C	3,329	593	B rev	3,133	2037				0.05
5	Α	3,534	938	D	2125	255	С	2,751	213	C rev	2,751	213	D rev	2.122	255	B	3.316	938	A	3,206	624	A rev	0.000	3002		-	1	9.956
4	А	3,534	856	D	2190	201	С	2,860	166	C rev	2,678	235	D rev	2.060	304	B	3.316	968	R	0.100	624	C rev mod	3,206	0400				9.958
3	Α	3,534	938	D	2125	255	С	2.751	213	C rev	2,751	213	D rev	2,042	256	T R	3 211	1,441		3,133	624		0.000	3128			<del></del>	9.958
2		POC	OL DECK	h			C2	2 694	902	C rev	2,688	191	D rev mod	1 886	0.50	P mod	3,211	1,771		3,206	024	A rev	3,206	3002		<u> </u>		9.958
1					1	RETAIL	LOBBY, FITNESS	S SPA BOH	1 002	0 104	2,000	101	Dievillod	1,000	253	B mod TH-1S	3,003 4 44E	1,141	- U	3,120	2,532	D rev mod	2,826	2630			· 	9.958
<u> </u>						TIC IT (IC,	LODD 1, 1 IIILO		IEAN DADKING CA	\D\OE						IH-19	1,145		IM-IIV	1,249		IH-2N	889	810	TH-3N	1746	1601	16.208
U								SUBTERRAN	IEAN PARKING GA	ARAGE																		

A1202

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

personally known to me.

knowledge and belief, these comply with the applicable building codes and firesafety

odes, as mandated by

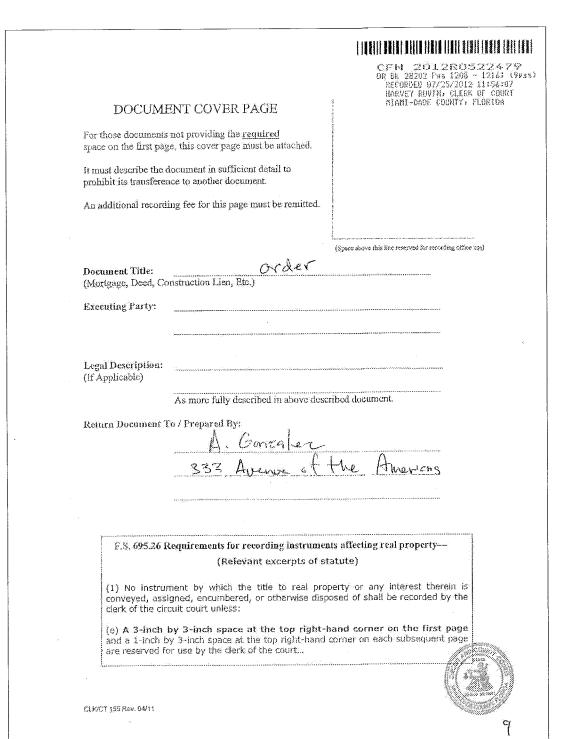
which the structure contained

in these documents shall be

07/30/2013

BID SET 07.01.2013

BUILDING PERMIT 04.30.2013



My Commission Expires: (Seal) 12-2-13

This document contains Spages

2-30 & 46-64 Ocean Drive, 1-35 & 69 Collins Avenue.

design modifications to the previously approved project.

ORDER

The applicant, TRG-Block One, Ltd, filed an application with the City of Miami Beach Planning

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT,

based upon the evidence, information, testimony and materials presented at the public hearing

A. Based on the plans and documents submitted with the application, testimony and

B. The project would be consistent with the criteria and requirements of section 118-251 if

Criteria 3 & 17 in Section 118-251 of the Miami Beach Code.

information provided by the applicant, and the reasons set forth in the Planning

Revised elevation, site plan and floor plan drawings shall be submitted to and

approved by staff, at a minimum, such drawings shall incorporate the following:

a. Where applicable, true curved glass railings shall be required at the

corners of the structures where the reduced radii of the curves will result in the facetted glass railings having an adverse impact upon the integrity

of the smoothly curved project design, subject to the review and approval

Department Staff Report, the project as submitted is not consistent with Design Review

and which are part of the record for this matter:

the following conditions are met:

Lots 1,2,3,5, 6, 7, 8, 9, 10, 11, 12, 13 & 17 less the easterly 15 feet of

Lots 7 & 8, and portions of the alley between said lots, Block 1, of Ocean

Beach FI, According to the Plat Thereof, as recorded in Plat Book 2 at

The Application for modifications to a previously issued Design Review

Approval for the construction of a new condo-hotel complex with two (2)

7-story buildings on vacant lots; Specifically the applicant is requesting

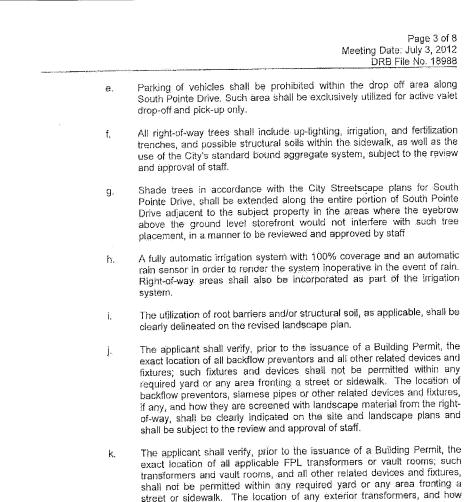
Page 38, of the Public Records of Miami-Dade County, Florida.

DESIGN REVIEW BOARD

FILE NO:

PROPERTY:

City of Miami Beach, Florida



the review and approval of staff.

Department for Building Permit.

the Florida Accessibility Code (FAC).

location, if necessary,

the Public Works Department:

they are screened with landscape material from the right-of-way, shall be

clearly indicated on the site and landscape plans and shall be subject to

Prior to the issuance of a Certificate of Occupancy, the Landscape

The final exterior surface color scheme, including color samples, shall be subject

deficiencies relative to the concurrency requirements of the City Code, if

required, shall be submitted prior to the Issuance of a Building Permit and the

final building plans shall meet all other requirements of the Land Development

5. The final building plans shall meet all applicable requirements of the Land

6. All new and altered elements, spaces and areas shall meet the requirements of

The applicant may be required to submit a separate analysis for water and sewer

requirements, at the discretion of the Public Works Director, or designee. Based

on a preliminary review of the proposed project, the following may be required by

A traffic and neighborhood impact study shall be conducted as a means

to measure a proposed development's impact on transportation and

neighborhoods. The study shall address all roadway Level of Service

(LOS) deficiencies relative to the concurrency requirements of the City

Code, and if required, shall be submitted prior to the issuance of a

Building Permit. The final building plans shall meet all other requirements

of the Land Development Regulations of the City Code. The developer

shall refer to the most recent City of Miami Beach's Traffic and

Neighborhood Impact Methodology as issued by the Public Works

applicable. Unless otherwise specified, the standard color for city

Remove/replace sidewalks, curbs and gutters on all street frontages, if

sidewalks is red, and the standard curb and gutter color is gray.

d. Provide underground utility service connections and on-site transformer

Provide on-site, self-contained storm water drainage for the proposed

Meet water/sewer concurrency requirements including a hydraulic water

model analysis and gravity sewer system capacity analysis as determined

by the Department and the required upgrades to water and sewer mains

Provide flood barrier ramps to underground parking or minimum slab

elevation to be at highest adjacent crown road elevation plus 8".

Mill/resurface asphalt in rear alley along property, if applicable.

e. Provide back-flow prevention devices on all water services.

h. Payment of City utility impact fees for water meters/services.

Right-of-way permit must be obtained from Public Works.

k. All right-of-way encroachments must be removed.

Meeting Date: July 3, 2012

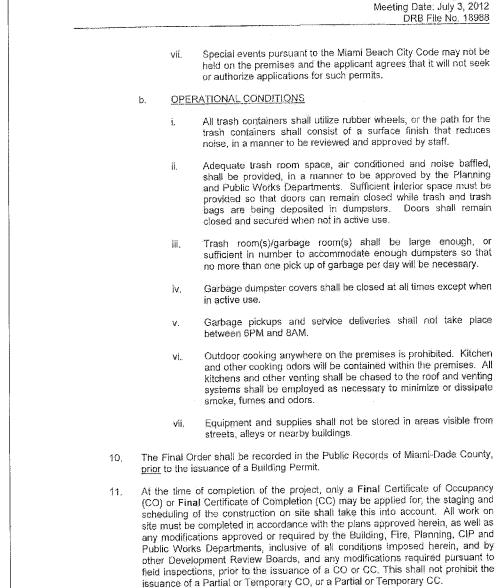
DRB File No. 18988

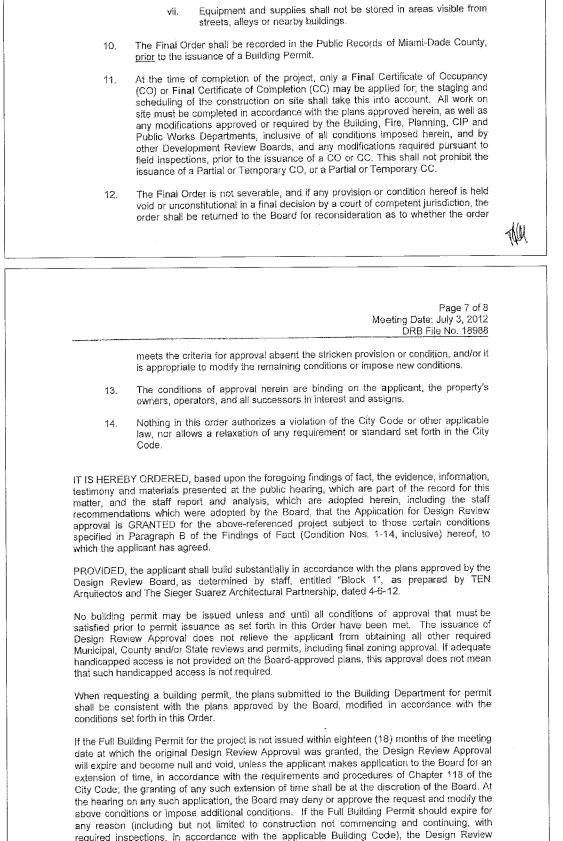
to the review and approval of staff and shall require a separate permit.

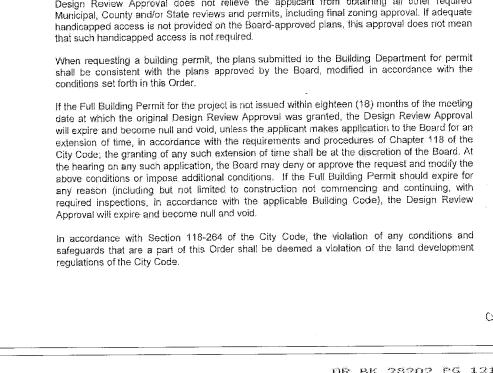
4. A traffic mitigation plan, which addresses all roadway Level of Service (LOS)

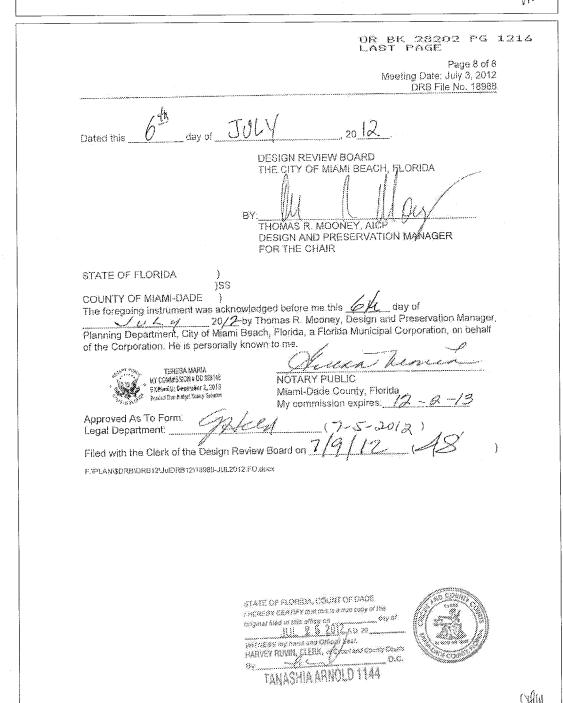
Architect for the project shall verify, in writing, that the project is

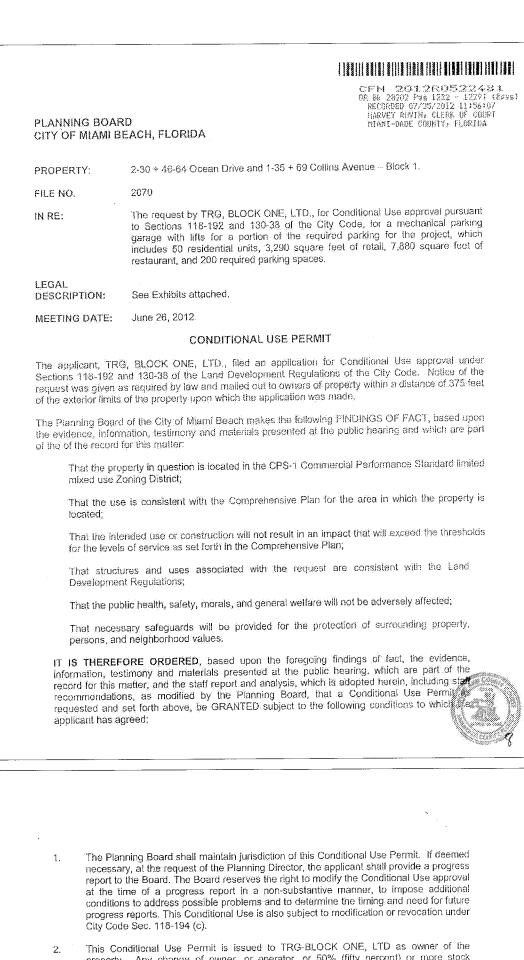
consistent with the site and landscape plans approved by the Planning

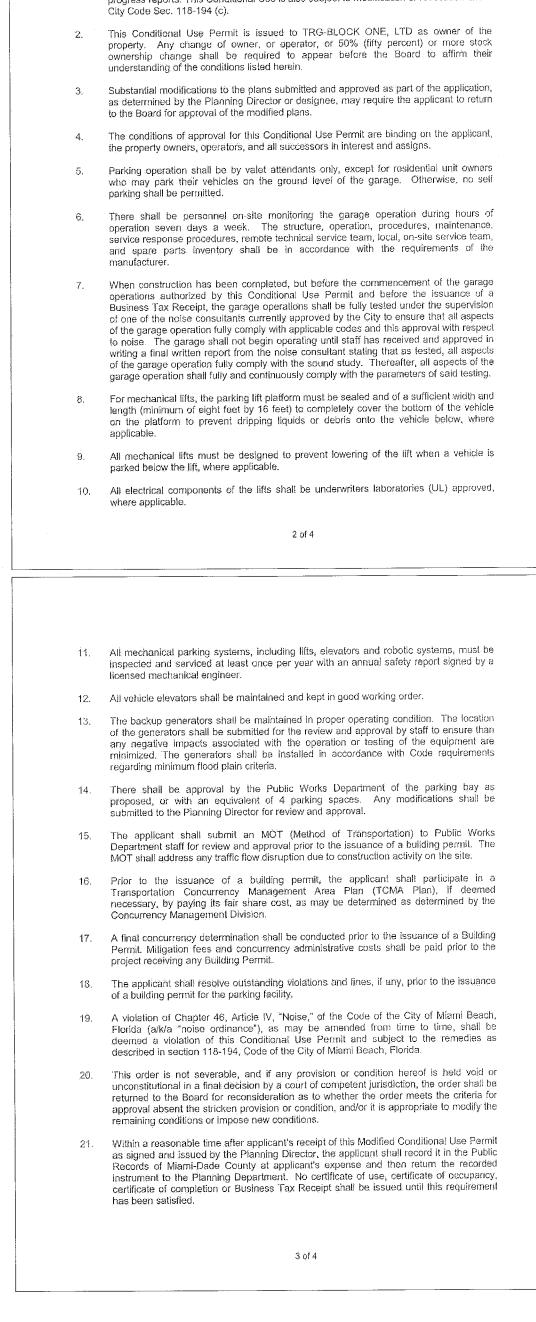


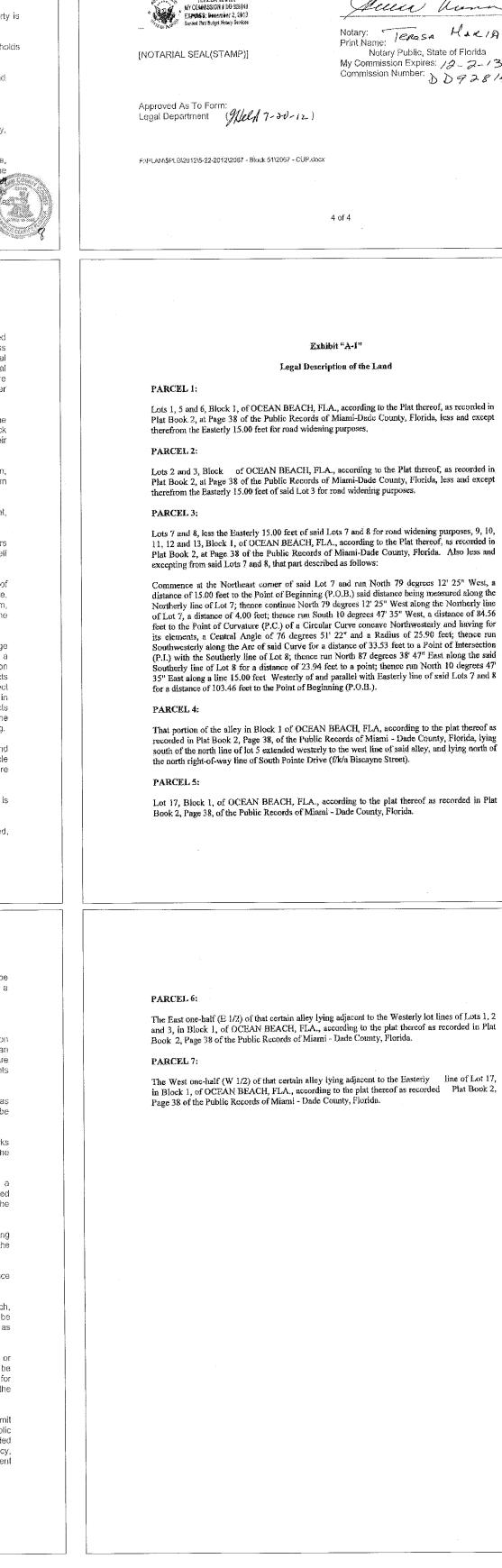




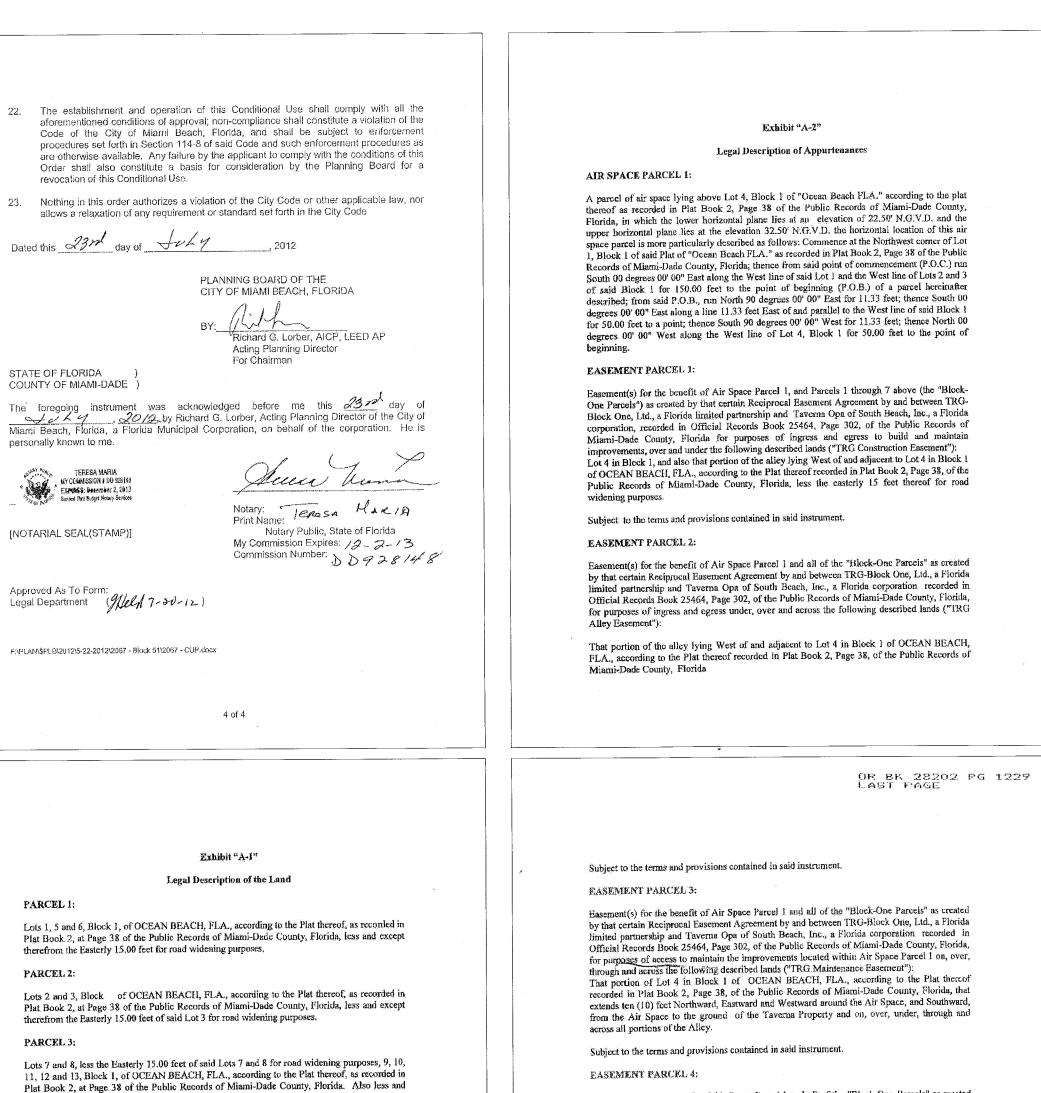


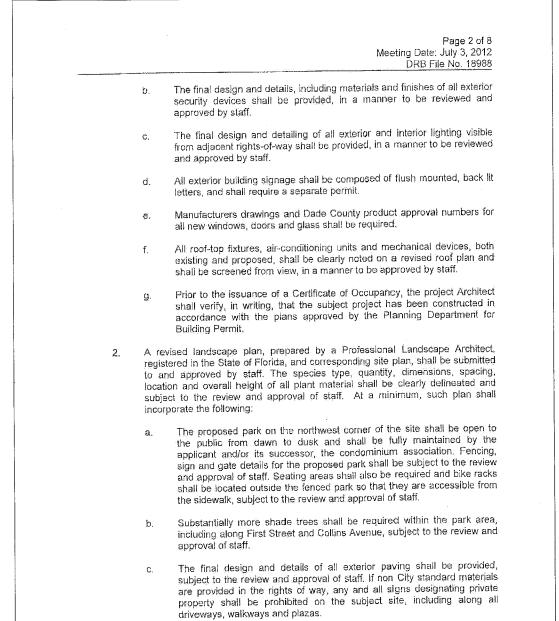




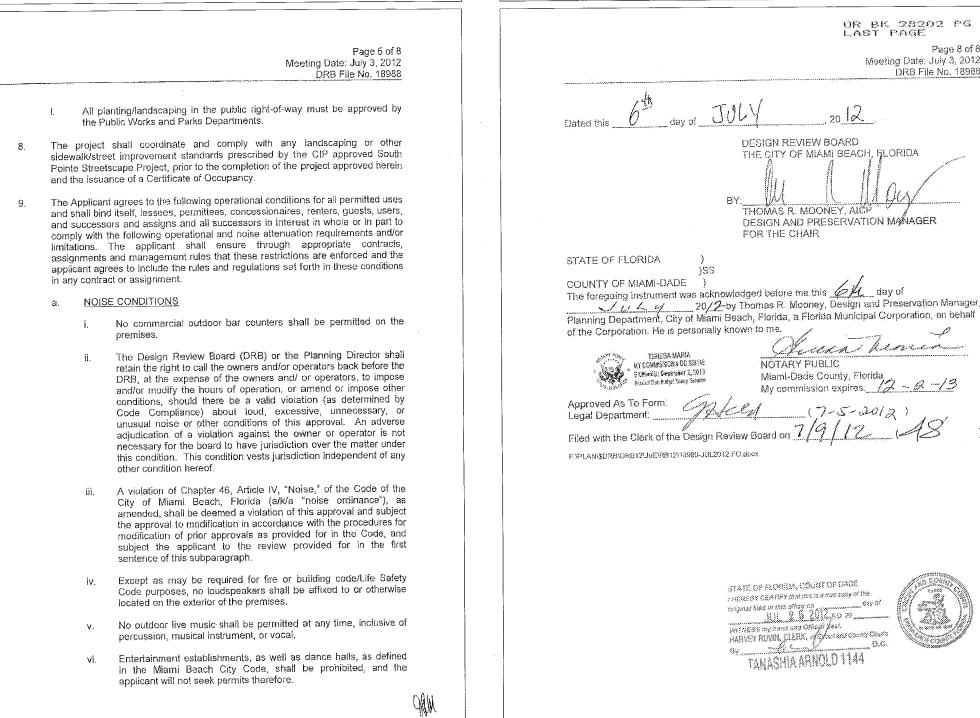


for a distance of 103.46 feet to the Point of Beginning (P.O.B.). That portion of the alley in Block 1 of OCEAN BEACH, FLA, according to the plat thereof as recorded in Plat Book 2, Page 38, of the Public Records of Miami - Dade County, Florida, lying south of the north line of lot 5 extended westerly to the west line of said alley, and lying north of the north right-of-way line of South Pointe Drive (f/k/a Biscayne Street). Lot 17. Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38, of the Public Records of Miami - Dade County, Florida. The East one-half (E 1/2) of that certain alley lying adjacent to the Westerly lot lines of Lots 1, 2 and 3, in Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida. PARCEL 7: The West one-half (W 1/2) of that certain alley lying adjacent to the Easterly line of Lot 17, in Block 1, of OCFAN BEACH, FLA., according to the plat thereof as recorded Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida.

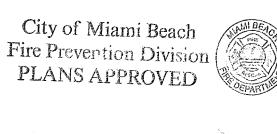




Bicycle racks shall be provided, in a manner to be reviewed and approved







Easement(s) for the benefit of Air Space Parcel 1 and all of the "Block-One Parcels" as created

by that certain Reciprocal Easement Agreement by and between TRG-Block One, Ltd., a Florida

limited partnership and Taverna Opa of South Beach, Inc., a Florida corporation recorded in

Official Records Book 25464, Page 302, of the Public Records of Miami-Dade County, Florida,

for purposes of locating building foundation improvements over, within and across the following

Lot 4, Block 1, of OCEAN BEACH, FLA, according to the plat thereof as recorded in Plat Book

2, Page 38, of the Public Records of Miami - Dade County, Florida, less the casterly 15 feet

Easement(s) for the benefit of Air Space Parcel and all of the "Block-One Parcels" as created

by that certain Reciprocal Easement Agreement executed by and between TRG-Block One, Ltd.,

a Florida limited partnership and Southpointe Heights, LLC, a Delaware limited liability

company, recorded in Official Records Book 25532, Page 3463, of the Public Records of Miami

- Dade County, Florida, for purposes of ingress and egress under, over and across the following

That portion of the alley lying East of and adjacent to Lots 14 and 15 in Block 1 of OCEAN

BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38, of the Public

Subject to the terms and provisions contained in and instruments as a second of the

described lands ("TRG Foundation Encroachment Easement"):

Subject to the terms and provisions contained in said instrument.

EASEMENT PARCEL 5:

Records of Mianti - Dade County, Florida.

thereof for road widening purposes, and less and except Air Space Parcel 1.



#### LEGAL DESCRIPTION:

PARCEL 1: LOTS 1, 5 AND 6, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

PARCEL 2: LOTS 2 AND 3, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15,00 FEET OF SAID LOT 3 FER ROAD WIDENING PURPOSES.

PARCEL 3:
LOTS 7 AND 8, LESS THE EASTERLY 15.00 FEET OF SAID LOTS 7 AND 8 FOR ROAD WIDENING PURPOSES, 9, 10, 11, 12 AND 13, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. ALSO LESS AND EXCEPTING FROM SAID LOTS 7 AND 8, THAT FART DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 7 AND RUN NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST, A DISTANCE OF 15.00 FEET TO THE POINT OF BEGINNING (P.O.B.) SAID DISTANCE BEING MEASURED ALONG THE NORTHERLY LINE OF LOT 7; THENCE CONTINUE NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST ALONG THE NORTHERLY LINE OF LOT 7, A DISTANCE OF 4.00 FEET; THENCE RUN SOUTH 10 DEGREES 47 MINUTES 35 SECONDS WEST, A DISTANCE OF 84.56 FEET TO THE POINT OF CURVATURE (P.C.) OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY AND HAVING FOR ITS ELEMENTS, A CENTRAL ANGLE OF 76 DEGREES 51 MINUTES 22 SECONDS AND A RADIUS OF 25.90 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 33.53 FEET TO A POINT OF INTERSECTION (P.I) WITH THE SOUTHERLY LINE OF LOT 8; THENCE RUN NORTH 87 DEGREES 38 MINUTES 47 SECONDS EAST ALONG THE SAID SOUTHERLY LINE OF LOT 8 FOR A DISTANCE OF 23.94 FEET TO A POINT; THENCE RUN NORTH 10 DEGREES 47 MINUTES 35 SECONDS EAST ALONG A LINE 15.00 FEET WESTERLY OF AND PARALLEL WITH EASTERLY LINE OF SAID LOTS 7 AND 8 FOR A DISTANCE OF 103.46 FEET TO THE POINT OF BEGINNING (P.O.B.)

PARCEL 4:
THAT PORTION OF THE ALLEY IN BLOCK 1 OF OCEAN BEACH, FLA, ACCORDING TO THE PLAT THEREOF AS
RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA, LYING SOUTH
OF THE NORTH LINE OF LOT 5 EXTENDED WESTERLY TO THE WEST LINE OF SAID ALLEY, AND LYING NORTH OF
THE NORTH RIGHT—OF—WAY LINE OF SOUTH POINTE DRIVE (F/K/A BISCAYNE STREET).

PARCEL 5: LOT 17, BLOCK 1, OF OCEAN BEACH, FLA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 6: THE EAST ONE—HALF (E 1/2) OF THAT CERTAIN ALLEY LYING ADJACENT TO THE WESTERLY LOT LINES OF LOTS 1, 2 AND 3, IN BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK

2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 7:

THE WEST ONE-HALF (W 1/2) OF THAT CERTAIN ALLEY LYING ADJACENT TO THE EASTERLY LOT LINE OF LOT 17, IN BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE

AIR SPACE PARCEL 1:

A PARCEL OF AIR SPACE LYING ABOVE LOT 4, BLOCK 1 OF "OCEAN BEACH FLA." ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA IN WHICH THE LOWER HORIZONTAL PLANE LIES AT AN ELEVATION OF 22.50' N.G.V.D. AND THE UPPER HORIZONTAL PLANE LIES AT THE ELEVATION 32.50' N.G.V.D. THE HORIZONTAL LOCATION OF THIS AIR SPACE PARCEL IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF LOT 1, BLOCK 1 OF SAID PLAT OF "OCEAN BEACH FLA." AS RECORDED IN PLAT BOOK 2, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE FROM SAID POINT OF COMMENCEMENT (P.O.C.) RUN SOUTH OO DEGREES OO MINUTES OO SECONDS EAST ALONG THE WEST LINE OF SAID LOT 1 AND THE WEST LINE OF LOTS 2 AND 3 OF SAID BLOCK I FOR 150.00 FEET TO THE POINT OF BEGINNING (P.O.B.) OF A PARCEL HEREINAFTER DESCRIBED; FROM SAID P.O.B., RUN NORTH 90 DEGREES OO MINUTES OO SECONDS EAST FOR 11.33 FEET; THENCE SOUTH OO DEGREES OO MINUTES OO SECONDS EAST ALONG A LINE 11.33 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID BLOCK 1 FOR 50.00 FEET TO A POINT; THENCE SOUTH 90 DEGREES OO MINUTES OO SECONDS WEST FOR 11.33 FEET; THENCE NORTH OO DEGREES OO MINUTES OO SECONDS WEST ALONG THE WEST LINE OF LOT 4, BLOCK 1 FOR 50.00 FEET TO THE POINT OF BEGINNING.

EASEMENT PARCEL 1:
EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1, AND PARCELS 1 THROUGH 7 ABOVE (THE "BLOCK-ONE PARCELS") AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., A FLORIDA CORPORATION, RECORDED IN OFFICIAL RECORDS BOOK\_\_\_\_, PAGE\_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA FOR PURPOSES OF INGRESS AND EGRESS TO BUILD AND MAINTAIN IMPROVEMENTS, OVER AND UNDER THE FOLLOWING DESCRIBED LANDS:

LOT 4 IN BLOCK 1, AND ALSO THAT PORTION OF THE ALLEY LYING WEST OF AND ADJACENT TO LOT 4 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

EASEMENT PARCEL 2:

EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK—ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TGR—BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED\_\_\_\_\_ IN OFFICIAL RECORDS BOOK\_\_\_\_\_, PAGE\_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA, FOR PURPOSES OF INGRESS AND EGRESS UNDER, OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:

THAT PORTION OF THE ALLEY LYING WEST OF AND ADJACENT TO LOT 4 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

EASEMENT PARCEL 3:

EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED\_\_\_\_IN OFFICIAL RECORD BOOK\_\_\_\_, PAGE\_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR PURPOSES OF ACCESS TO MAINTAIN THE IMPROVEMENTS LOCATED WITHIN AIR APACE PARCEL 1.

A PORTION OF LOT 4 IN BLOCK 1 OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2. PAGE 38, OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA.

NOTE DESCRIBED AS, TEN (10) FEET UPWARD, EASTWARD AND WESTWARD AROUND THE AIR SPACE, AND DOWNWARD FROM THE AIR SPACE TO THE GROUND OF THE TAVERNA PROPERTY, DESCRIBED AS LOT 4 BLOCK 1 OF "OCEAN BEACH FLA.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

EASEMENT PARCEL 4:

EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN TRG-BLOCK ONE, LTD., A FLORIDA LIMITED PARTNERSHIP AND TAVERNA OPA OF SOUTH BEACH, INC., RECORDED\_\_\_\_\_ IN OFFICIAL RECORD BOOK\_\_\_\_\_, PAGE\_\_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR PURPOSES OF LOCATING BUILDING FOUNDATION IMPROVEMENTS OVER, WITHIN AND ACROSS THE FOLLOWING DESCRIBED LANDS:

NOTE DESCRIBED AS, LOT 4 BLOCK 1 OF "OCEAN BEACH FLA.", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI—DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

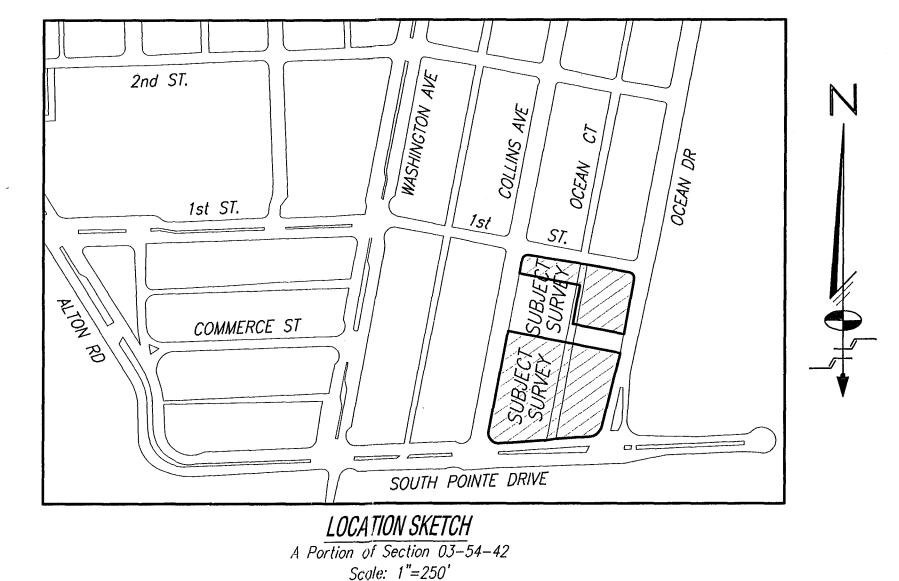
SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN SAID INSTRUMENT.

THE STATE OF STATE AND STREET ON SURVEY WAS A PORTION OF BLOCK 1 BOUNDARY SURVEY DEAL-13.dwg, 4/30/2013 5:28:01 PM,

EASEMENT PARCEL 5:

EASEMENT(S) FOR THE BENEFIT OF AIR SPACE PARCEL 1 AND ALL OF THE "BLOCK-ONE PARCELS" AS CREATED BY THAT CERTAIN EASEMENT EXECUTED BY SOUTHPOINTE HEIGHTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED IN OFFICIAL RECORDS BOOK\_\_\_\_\_, PAGE\_\_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY. FLORIDA, FOR PURPOSES OF INGRESS OF INGRESS AND EGRESS UNDER, OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:

THAT PORTION OF THE ALLEY LYING EAST OF AND ADJACENT TO LOTS 14 AND 15 IN BLOCK 1 OF OCEAN BEACH, FLA,. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



#### SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF N.76'47'45"W. ALONG THE CENTERLINE OF 1st STREET.
- 2) THIS SKETCH REPRESENTS A "BOUNDARY SURVEY".
- 3) LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- 4) PROPERTY AS SHOWN HEREON CONTAINS 87,380 SQUARE FEET MORE OR LESS.
- 5) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS. AND/OR FOUNDATIONS.
- 6) ORDERED BY: THE RELATED GROUP.

7) THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

8) THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (BASE FLOOD ELEVATION 8) PER FLOOD INSURANCE RATE MAP COMMUNITY NO.120651, PANEL NO. 0319, SUFFIX L, OF MAP DATED 09-11-2009. WITH AN INDEX DATE OF 09-11-2009 (F.E.M.A. MAP No. 12086C0319L).
9) VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS.

10) THIS SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT LANDS.

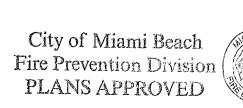
11) ELEVITIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) AND ARE EXPRESSED IN FEET.

12) BENCHMARKS;

a) MIAMI-DADE COUNTY BENCHMARK D-145 LOCATOR 4221 NW
OCEAN DR---58 FEET EAST OF CENTERLINE
S. POINTE DR---37 FEET NORTH OF CENTERLINE
PK NAIL AND BRASS WASHER IN CONCRETE CURB OF
HANDICAP RAMP AT NE CORNER OF INTERSECTION

ELEVATION = 6.64' (N.G.V.D.)

b) MIAMI-DADE COUNTY BENCHMARK D-142-R LOCATOR 4221W SOUTH POINTE DR---80 FEET SOUTH OF CENTERLINE WASHINGTON AVE---35 FEET WEST OF CENTERLINE PK NAIL AND ALUMINUM WASHER IN CONCRETE CATCH BASIN ELEVATION = 3.94' (N.G.V.D.).



WASHINGTONIA PALM "Washingtonia robusta" 12 22 10 6 WASHINGTONIA PALM "Washingtonia robusta" 12 22 10 "Phoenix spp" "Phoenix spp" 6 18 12 DATE PALM "Phoenix spp" DATE PALM "Phoenix spp" 13 WASHINGTONIA PALM "Washingtonia robusta" 12 22 10 "Swietenia mahagoni" 10 16 18 "Phoenix spp" 6 15 DATE PALM "Phoenix spp" 8 18 12 DATE PALM "Phoenix spp" BUTTONWOOD "Conocarpus erectus" 28 WASHINGTONIA PALM "Washingtonia robusta" 8 6 8 30 WASHINGTONIA PALM "Washingtonia robusta" 8 6 10 31 WASHINGTONIA PALM "Washingtonia robusta" 10 10 10 33 WASHINGTONIA PALM "Washingtonia robusta" 8 6 10 34 WASHINGTONIA PALM "Washingtonia robusta" 10 10 10 35 WASHINGTONIA PALM "Washingtonia robusta" 8 6 8 36 WASHINGTONIA PALM "Washingtonia robusta" 12 10 10 37 WASHINGTONIA PALM "Washingtonia robusta" 8 5 8 38 WASHINGTONIA PALM "Washingtonia robusta" 7 5 39 WASHINGTONIA PALM "Washingtonia robusta" 5 5 40 WASHINGTONIA PALM "Washingtonia robusta" 6 5 41 WASHINGTONIA PALM "Washingtonia robusta" 8 6 8 42 WASHINGTONIA PALM "Washingtonia robusta" 5 5 5 43 WASHINGTONIA PALM "Washingtonia robusta" 8 9 45 WASHINGTONIA PALM "Washingtonia robusta" 8 8 8 46 WASHINGTONIA PALM "Washingtonia robusta" 8 8 6 47 WASHINGTONIA PALM "Washingtonia robusta" 10 10 10 49 WASHINGTONIA PALM "Washingtonia robusta" 10 8 10 WASHINGTONIA PALM "Washingtonia robusta" 10 6 51 WASHINGTONIA PALM "Washingtonia robusta" 6 6 53 WASHINGTONIA PALM "Washingtonia robusta" 10 16 10 55 WASHINGTONIA PALM "Washingtonia robusta" 8 6 WASHINGTONIA PALM "Washingtonia robusta" 5 5 6 58 WASHINGTONIA PALM "Washingtonia robusta" 10 12 10 59 WASHINGTONIA PALM "Washingtonia robusta" 10 14 10 62 WASHINGTONIA PALM "Washingtonia robusta" 8 10 10 BUTTONWOOD BUTTONWOOD "Conocarpus erectus" 6 15 BUTTONWOOD "Conocarpus erectus" 75 BUTTONWOOD "Conocarpus erectus" 8 16 8 76 BUTTONWOOD "Conocarpus erectus" 6 14 8 MAHOGANY "Swietenia mahagoni" 9 16 15 "Conocarpus erectus" 6 12 BUTTONWOOD BUTTONWOOD "Conocarpus erectus" 5 12 BUTTONWOOD "Conocarpus erectus" 10 18 MAHOGANY "Swietenia mahagoni" 12 17 22 MAHOGANY "Swietenia mahagoni" 10 17 15 MAHOGANY "Swietenia mahagoni" 10 15 17 "Swietenia mahagoni" 10 15 20 MAHOGANY "Swietenia mahagoni" 10 15 20 MAHOGANY "Swietenia mahagoni" 8 14 1 "Swietenia mahagoni" 10 13 MAHOGANY "Swietenia mahagoni" 6 16 MAHOGANY "Swietenia mahagoni" 10 17 22 MAHOGANY "Swietenia mahagoni" 12 18 2 "Swietenia mahagoni" 10 18 MAHOGANY "Swietenia mahagoni" 11 18 1 MAHOGANY "Swietenia mahagoni" 10 16 2 MAHOGANY "Swietenia mahagoni" 8 15 2 MAHOGANY "Swietenia mahagoni" 12 18 BUTTONWOOD "Conocarpus erectus" 6 14 BUTTONWOOD "Conocarpus erectus" 5 12 9 BUTTONWOOD "Conocarpus erectus" 7 15 12 BUTTONWOOD "Conocarpus erectus" 8 14 1 "Conocarpus erectus" 8 17 1 100 BUTTONWOOD BUTTONWOOD "Conocarpus erectus" 5 15 8 MAHOGANY "Swietenia mahagoni" 12 16 20 103 BUTTONWOOD "Conocarpus erectus" 6 20 8 104 BUTTONWOOD "Conocarpus erectus" 6 18 1 105 BUTTONWOOD "Conocarpus erectus" 8 16 2 BUTTONWOOD "Conocarpus erectus" 8 15 1 107 BUTTONWOOD "Conocarpus erectus" 6 15 1 108 BUTTONWOOD "Conocarpus erectus" 6 15 1 109 BUTTONWOOD "Conocarpus erectus" 6 14 12 110 BUTTONWOOD "Conocarpus erectus" 10 18 22 ORANGE GEIGER "Cordia sebestena" 5 13 1 ORANGE GEIGER "Cordia sebestena" 5 13 ORANGE GEIGER "Cordia sebestena" 5 12 ORANGE GEIGER "Cordia sebestena" 5 13 ORANGE GEIGER "Cordia sebestena" 5 12 6 "Swietenia mahagoni" 12 18 2 ORANGE GEIGER "Cordia sebestena" 5 8 6 ORANGE GEIGER "Cordia sebestena" MAHOGANY "Swietenia mahagoni" MAHOGANY MAHOGANY MAHOGANY "Swietenia mahagoni" [ "Swietenia mahagoni" MAHOGANY "Quercus virginiana" 14 14 18 LIVE OAK LIVE OAK "Quercus virginiand" 4 14 8 "Quercus virginiana" 4 14 8 LIVE OAK "Quercus virginiana" 🥆 LIVE OAK "Quercus virginiana" 14 "Quercus virginiana" 4 14 8 LIVE OAK "Quercus virginiana" 4 14 8 LIVE OAK Quercus virginiana" 4 14 8 132 COCONUT PALM "Cocos nucifera" 133 COCONUT PALM "Cocos nucifera" 10 19 134 COCONUT PALM "Cocos nucifera" 10 19 1 COCONUT PALM "Cocos nucifera" 10 19 17 136 COCONUT PALM "Cocos nucifera" 10 19 1 COCONUT PALM "Cocos nucifera" 10 19 17 138 COCONUT PALM "Cocos nucifera" 10 19 17 COCONUT PALM "Cocos nucifera" 140 COCONUT PALM "Cocos nucifera" 141 COCONUT PALM "Cocos nucifera" 10 19 17 142 GUMBO LIMBO "Bursera simaruba" 6 14 9 143 ORANGE GEIGER "Cordia sebestena" 3 10 4

TREE TABLE:

2 WASHINGTONIA PALM "Washingtonia robusta" 12 24 10 3 WASHINGTONIA PALM "Washingtonia robusta" 12 24 10

"Conocarpus erectus" 20 16 22

BUTTONWOOD

Clec

it bears the of a Florida of a Florida Order No. 201050 F.B. No.:  $\frac{2118-B}{Pg.2}$  Scale:

Wey."

Wey."

Survey 02-25-13 Checked E.B. No.:  $\frac{2118-B}{Pg.2}$  Scale:

Since No.  $\frac{AJ-5034}{AJ-5034}$  Sheet

CALUNERS ENGINEERS
LAND PLANNERS ENGINEERS
3240 CORPORATE WAY, MIRAWAR, FLORIDA 33025

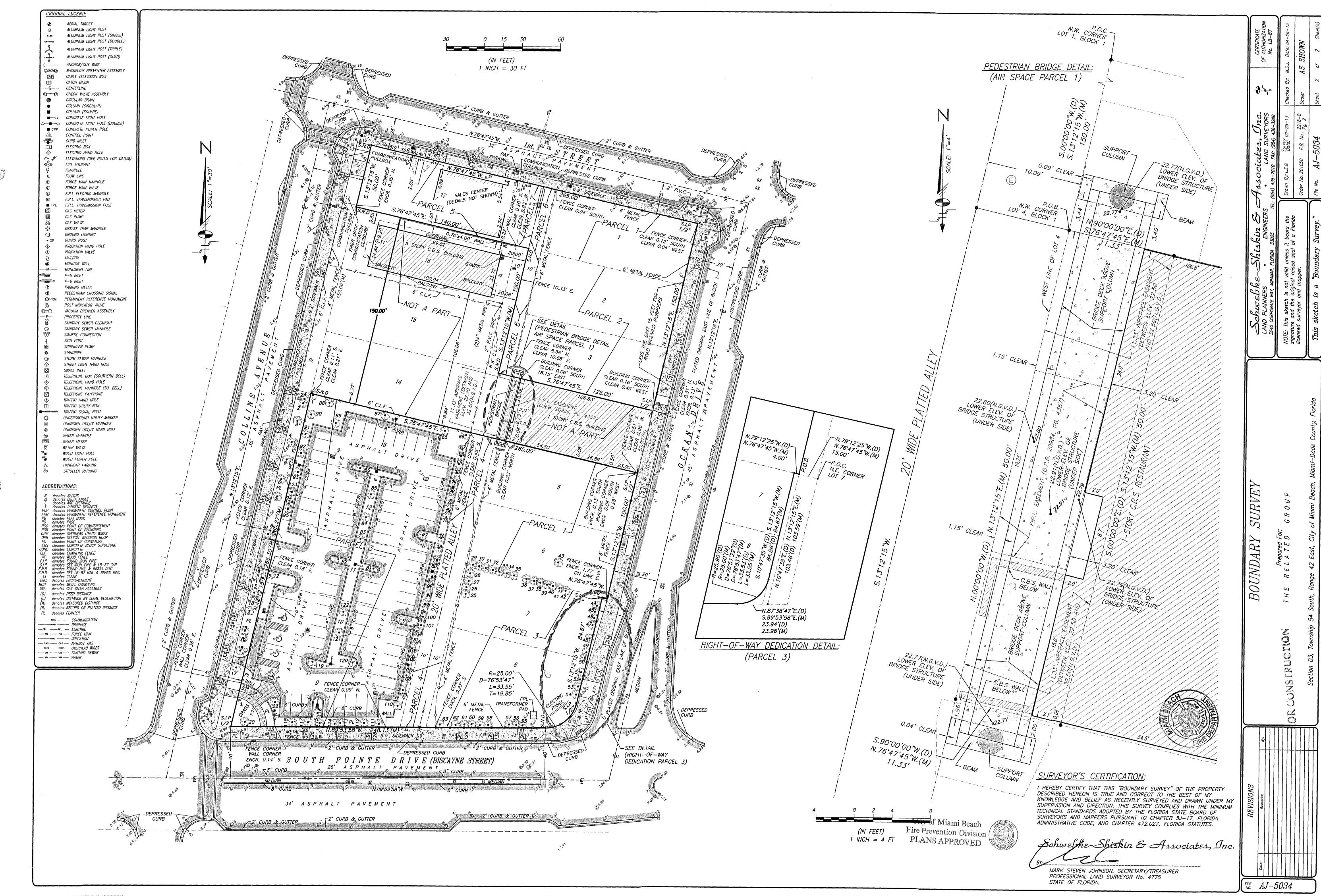
NOTE: This sketch is not valid unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper.

Prepared For:

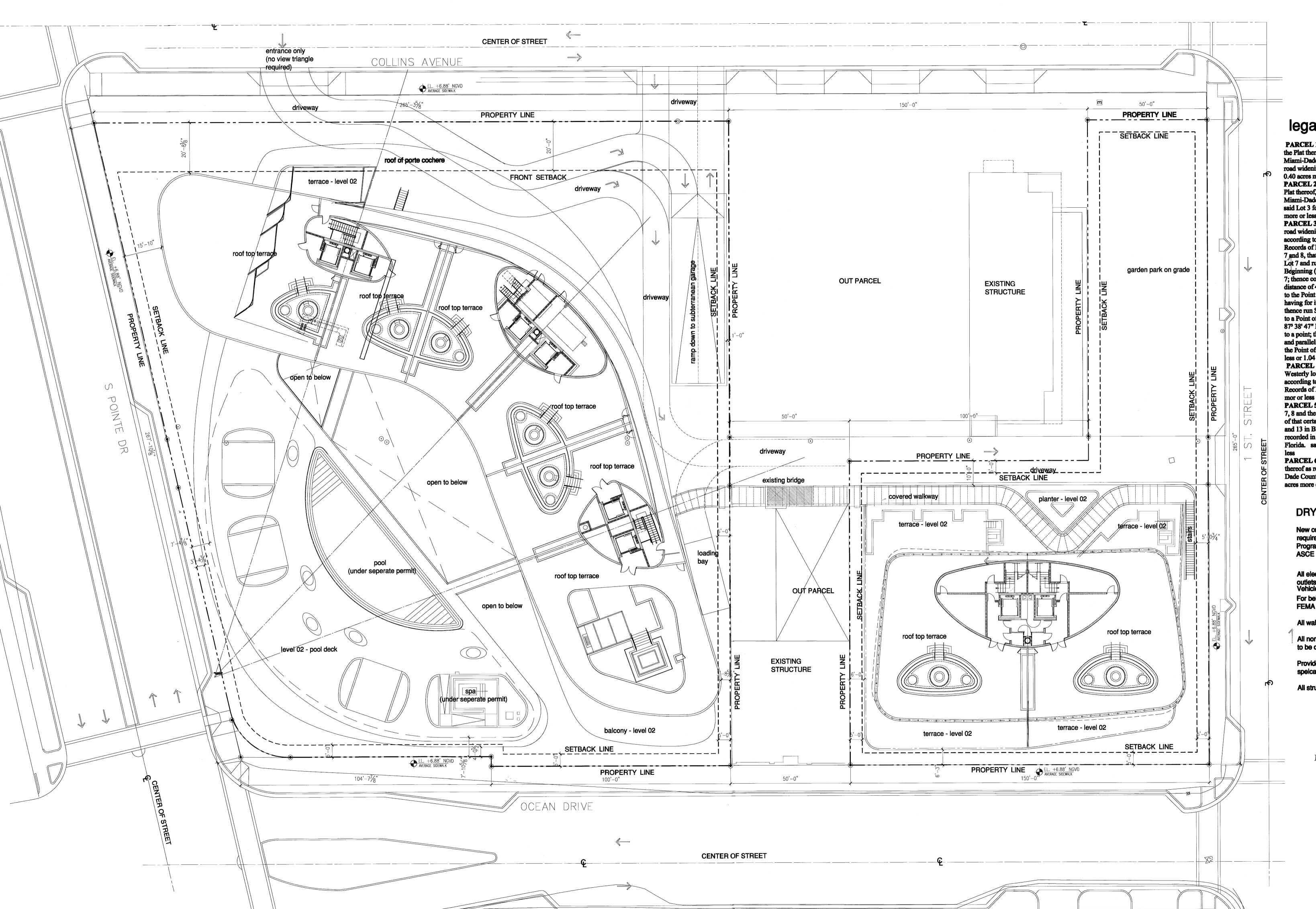
RELATED GROUP

Order No. Field Book Remarks: By:

FILE AJ-5034



(1)



site plan

elev. 0'-0"= (+6'.88" NGVD)

## legal description

PARCEL 1: Lots 1, 5 and 6, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, at Page 38 of the Public Records of Miami-Dade County, Florida, less and except therefrom the Easterly 15.00 feet for road widening purposes. said parcel contains 17,250 square feet more or less or 0.40 acres more or less.

PARCEL 2: Lots 2 and 3, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, at Page 38 of the Public Records of Miami-Dade County, Florida, less and except therefrom the Easterly 15.00 feet of said Lot 3 for road widening purposes. said parcel contains 11,500 square feet more or less or 0.26 acres more or less

PARCEL 3: Lots 7 and 8, less the Easterly 15.00 feet of said Lots 7 and 8 for road widening purposes, 9, 10, 11, 12 and 13, Block 1, of OCEAN BEACH, FLA., according to the Plat thereof, as recorded in Plat Book 2, at Page 38 of the Public Records of Miami-Dade County, Florida. Also less and excepting from said Lots 7 and 8, that part described as follows: Commence at the Northeast corner of said Lot 7 and run North 793 12' 25" West, a distance of 15.00 feet to the Point of Beginning (P.O.B.) said distance being measured along the Northerly line of Lot 7; thence continue North 793 12' 25" West along the Northerly line of Lot 7, a distance of 4.00 feet; thence run South 103 47' 35" West, a distance of 84.56 feet to the Point of Curvature (P.C.) of a Circular Curve concave Northwesterly and having for its elements, a Central Angle of 763 51' 22" and a Radius of 25.90 feet; to a Point of Intersection (P.I.) with the Southerly line of Lot 8; thence run North 873 38' 47" East along the said Southerly line of Lot 8 for a distance of 23.94 feet to a point; thence run North 10<sup>3</sup> 47' 35" East along a line 15.00 feet Westerly of and parallel with Easterly line of said Lots 7 and 8 for a distance of 103.46 feet to the Point of Beginning (P.O.B.). said parcel contains 45,473 sequare feet more or as less or 1.04 acres more or less

PARCEL 4: The East one-half (E 1/2) of that certain alley lying adjacent to the Westerly lot lines of Lots 5 and 6, in Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida. said parcel contains 1,000 square feet. mor or less or 0.02 acres more or less PARCEL 5: All of that portion of the alley lying between the West line of Lots

7, 8 and the East line of Lots 9, 10 and 11, together with the West one-half (W.1/2) of that certain alley lying East of and adjacent to the Easterly lot lines of Lots 12. and 13 in Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami - Dade County, Florida. said parcel conatins 3,653 square feet more or less or 0.08 acres more or

PARCEL 6: Lot 17, Block 1, of OCEAN BEACH, FLA., according to the plat thereof as recorded in Plat Book 2, Page 38 of the Public Records of Miami -Dade County, Florida. said parcel contains 6,500 square feet more or less or 0.15 acres more or less

#### DRY FLOODPROOFING REQUIREMENTS:

New construction on floodproof areas shall comply with requirements outlined by the National Flood Insurance Program (NFIP) which FEMA administers and ASCE 24 (FBC 2010, section 1612.5).

All electrical equipment motors, connectors, switches, outlets to be connected 1'-0"(+9'-0"ngvd) above BFE (+8'-0"ngvd). Vehicle lifts in lower garage to have disconnects on GFCI For below-grade parking requirements, refer to FEMA Technical Bulletin 6-93.

All walls to be wall type 3 U.O.N.

All non-structural masonry walls below wave crest to be constructed to "break away" under force".

Provide flood dams at all openings to 1'-0" above BFE speicalty engineer to submit shop drawings for review.

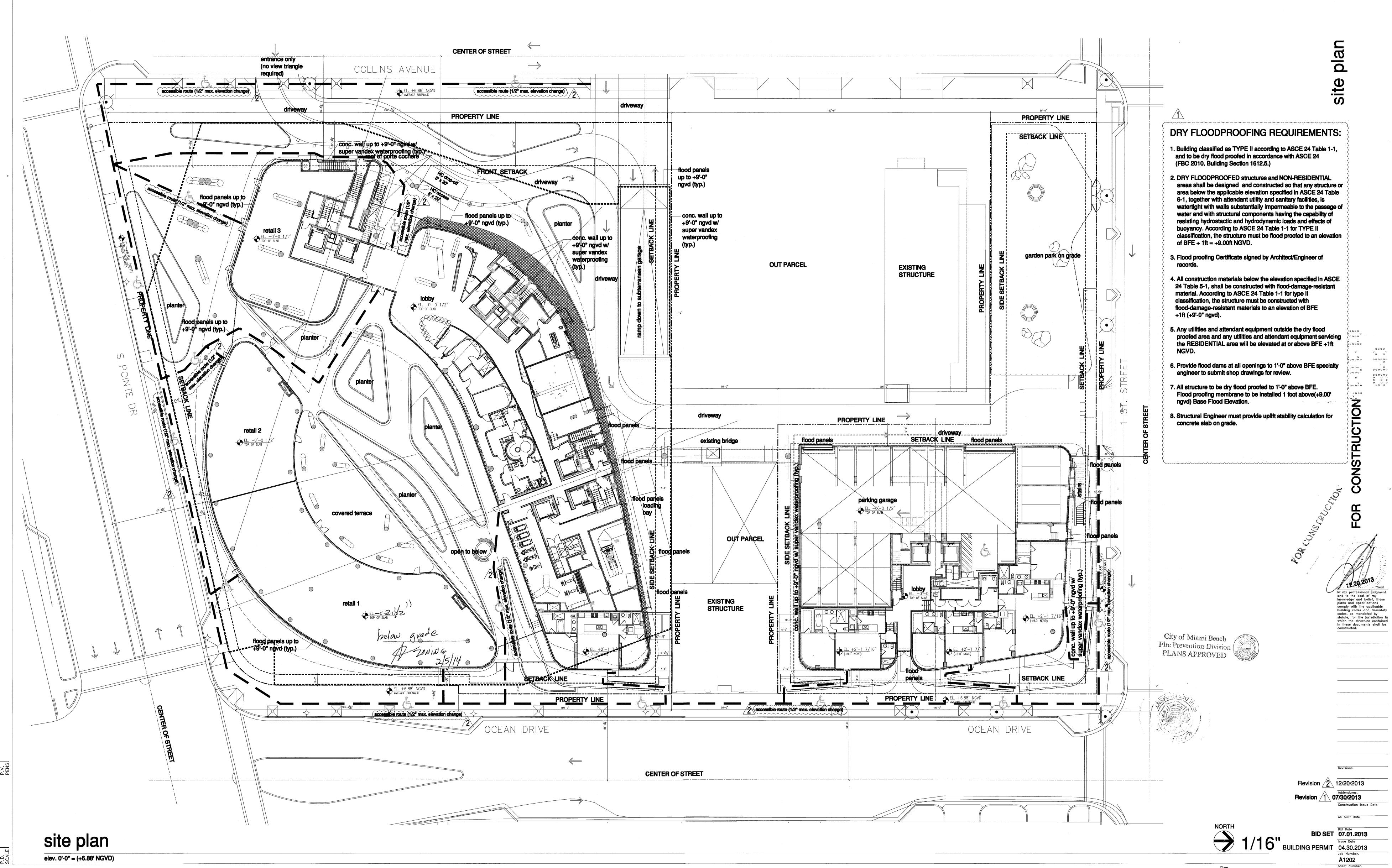
All structure to be dry flood proofed to 1'-0" above BFE.

City of Miami Beach Fire Prevention Division PLANS APPROVED



which the structure contained

1 Collins Avenue



A1.03

flood panels

flood panels

emergency generator

-flood panels 🖄

**elev. control** 

rm.

flood panels

flood manels

conc. wall up to +9'-0" ngvd w/

domestic water

vault

switchgear

mach. rm.

planter

flood panels up to

+9'-0" ngvd (typ.)

corridor

shower

treatment

womens

planter

covered

future restaurant (under seperate permit)

walkway

planter

planter



DRY FLOODPROOFING REQUIREMENTS:

1. Building classified as TYPE II according to ASCE 24 Table 1-1, and to be dry flood proofed in accordance with ASCE 24 (FBC 2010, Building Section 1612.5.)

key plan

2. DRY FLOODPROOFED structures and NON-RESIDENTIAL areas shall be designed and constructed so that any structure or area below the applicable elevation specified in ASCE 24 Table 6-1, together with attendant utility and sanitary facilities, is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostactic and hydrodynamic loads and effects of buoyancy. According to ASCE 24 Table 1-1 for TYPE II classification, the structure must be flood proofed to an elevation of BFE + 1ft = +9.00ft NGVD.

3. Flood proofing Certificate signed by Architect/Engineer of

4. All construction materials below the elevation specified in ASCE 24 Table 5-1, shall be constructed with flood-damage-resistant material. According to ASCE 24 Table 1-1 for type II classification, the structure must be constructed with flood-damage-resistant materials to an elevation of BFE +1ft (+9'-0" ngvd).

5. Any utilities and attendant equipment outside the dry flood proofed area and any utilities and attendant equipment servicing the RESIDENTIAL area will be elevated at or above BFE +1ft

6. Provide flood dams at all openings to 1'-0" above BFE specialty engineer to submit shop drawings for review.

All structure to be dry flood proofed to 1'-0" above BFE.
 Flood proofing membrane to be installed 1 foot above(+9.00' ngvd) Base Flood Elevation.

8. Structural Engineer must provide uplift stability calculation for concrete slab on grade.

flood panels flood panels stair Idlood panels City of Miami Beach
Fire Prevention Division
PLANS APPROVED

Revision 3 01/27/2014

The Sieger Suarez Architectural Partnership [Lic. # AN128]

Lic. # AR5782

José J. Suarez, A.I.A.

Lic. # AR11005

Lic. # AR11

TH-1S

◆EL. +2'-1 7/16" TOS +9.00' ngvd

floodproofing plan

elev. 0'-0" = (+6.88' NGVD)

/ +9'-y" ngva (typ.)

future restaurant (under seperate permit) retail 2

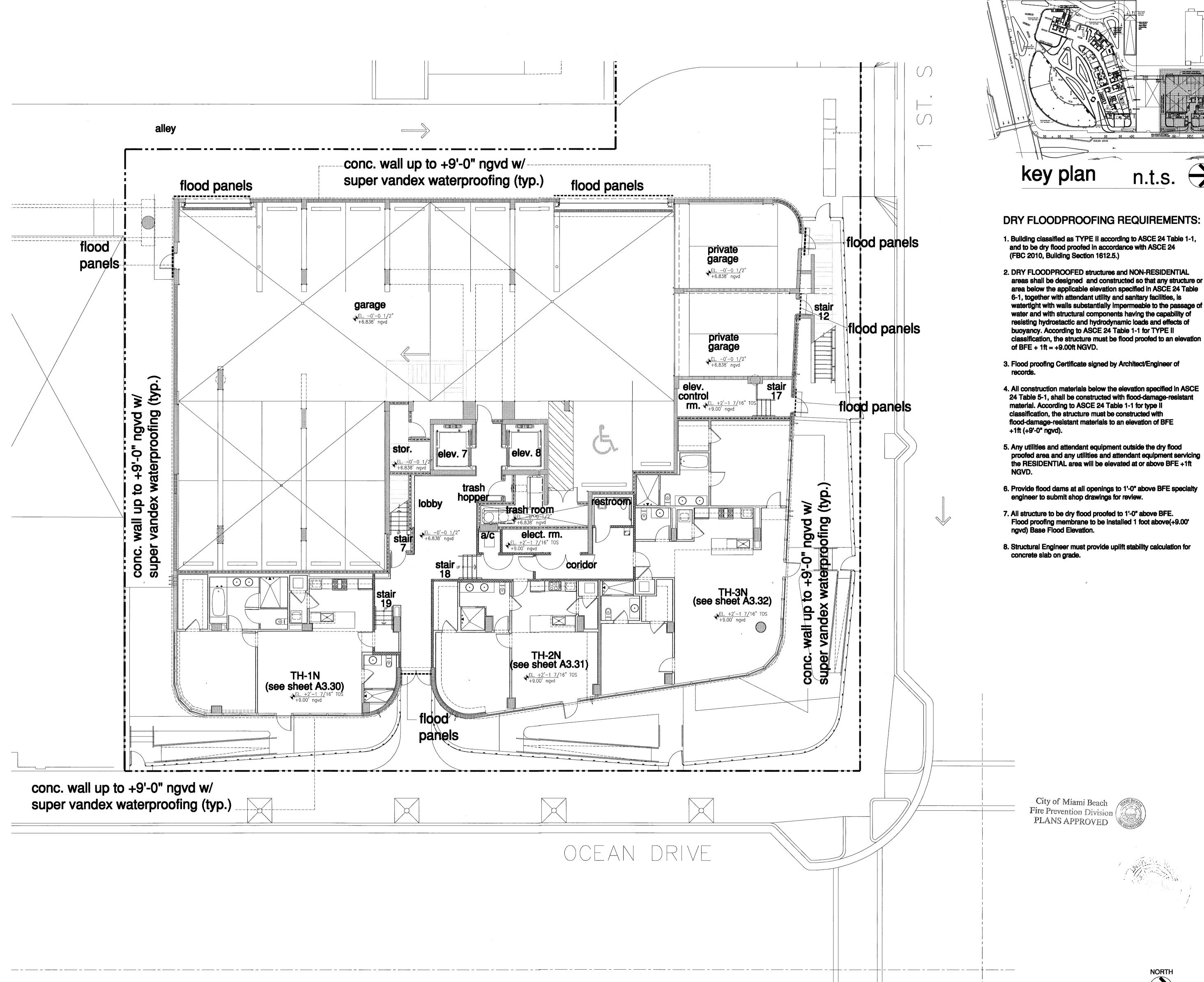
 $\Phi_{T,0,S,}^{EL. -0'-0 1/2"}$ 

flood panels up to +9'-0" ngvd (typ.) –

The Sieger Suarez Architectural Partnership

[ic. # AA128 Charles M. Sieger, F.A.I.A. Lic. # AR5782

Avenue. Miami, Florida. 33186. 305/274-2702.



floodproofing plan

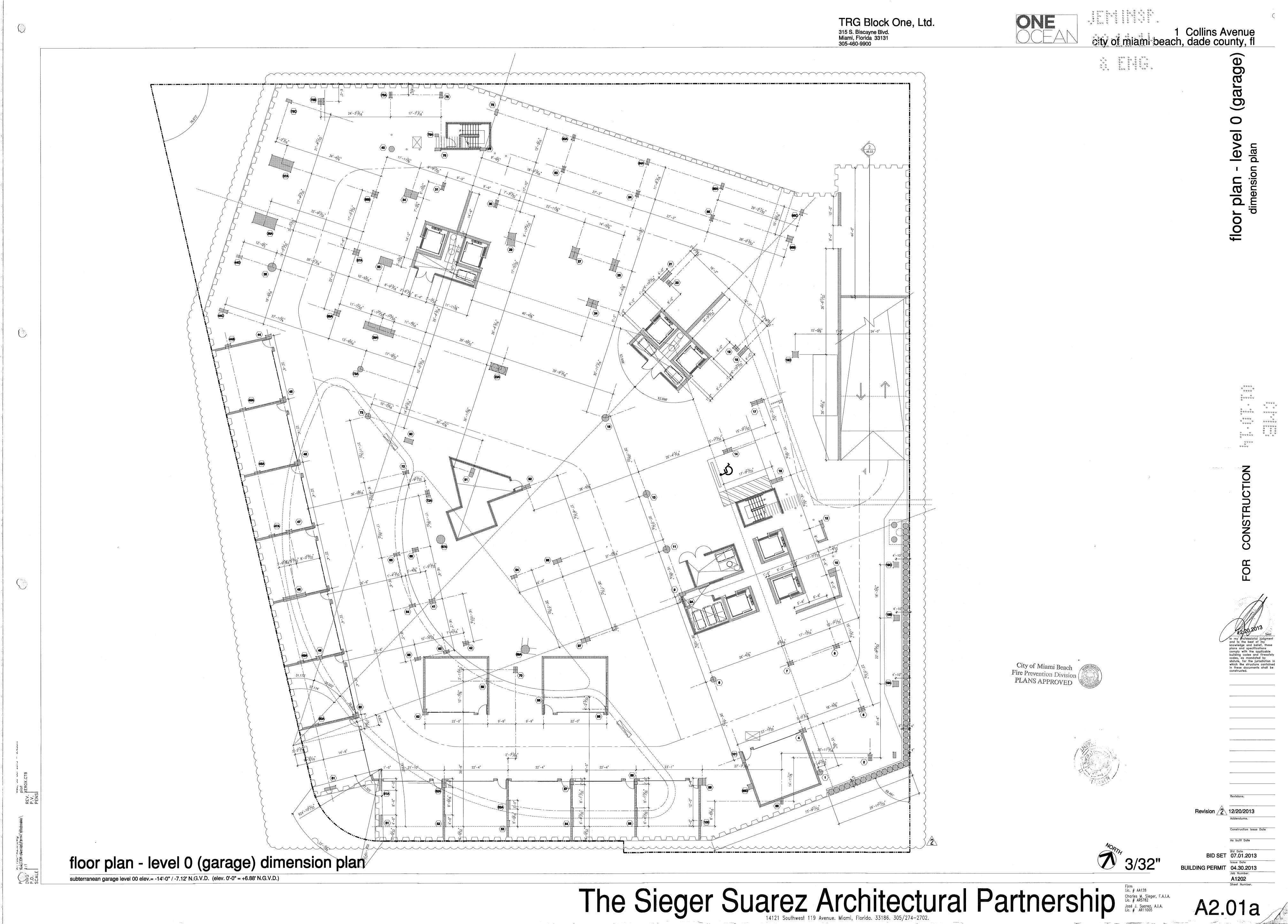
elev. 0'-0" = (+6.88' NGVD)

The Sieger Suarez Architectural Partnership [Lic. # AA128 Charles M. Sieger, F.A.I.A. Lic. # AR11005]

The Sieger Suarez Architectural Partnership [Lic. # AR128 Charles M. Sieger, F.A.I.A. Lic. # AR11005]

Avenue. Miami, Florida. 33186. 305/274-2702.

A2.01



The Sieger Suarez Architectural Partnership | Firm | Lic. # AA128 | Charles M. Sieger, F.A.I.A. | Lic. # AR5782 | José J. Suarez, A.I.A. | Lic. # AR11005 | Avenue, Migmi, Florida 33186 305/274-2702.

A2.02

