

data analysis

SITE PLAN INFORMATION

LAND USE DESIGNATION: CPS-1 (Residential-RP-S2)
 *TOTAL SITE AREA: 61,630 sq.ft. (ONE OCEAN - South)
 25,750 sq.ft. (ONE OCEAN - North)
 BUILDING HEIGHT: 78'-0" (ONE OCEAN - South)
 78'-0" (ONE OCEAN - North)
 REQUIRED OPEN SPACE: 87380 sq.ft. x 65% = 56,767 sq.ft.
 PROVIDED OPEN SPACE: 33,889 sq.ft.

*NOTE: ONE OCEAN - South (for lots 5 thru 13, including alley)
 ONE OCEAN - North (for lots 1 thru 3, and lot 17)

SETBACKS

REQUIRED	PROVIDED
front/side setback: 5'-0" pedestal/tower 20'-0" above 40' in height	front/side setback: 5'-0" pedestal/tower 20'-0" above 40' in height
rear setback: 3'-6" pedestal/tower	rear setback: 23'-4" pedestal/tower
side setback: 7'-6" sides setback	side setback: 7'-6" sides setback

PARKING:

REQUIRED	PROVIDED
Unit 2.2 spaces per unit 2.2 x 35 = 77 parking spaces	Unit 2.2 spaces per unit 2.2 x 15 = 33 parking spaces
Retail 2,290 sq. ft. / 300 = 8	PROVIDED 33 parking spaces
Restaurant 1 space per 4 seats, or 8,880 sq. ft. / 100 8,880 sq. ft. = 89 spaces 174 parking spaces (77+8+ 89)	
PROVIDED 174 parking spaces	
TOTAL PROVIDED, NORTH AND SOUTH: 207 parking spaces	

F.A.R.

Maximum/Allowable: 2.0 x Lot Area
TOTAL MAXIMUM / ALLOWABLE; 87,380 sq.ft. x 2.0 = 174,760 sq.ft.

ONE OCEAN - SOUTH Actual / Provided F.A.R.

sub. lev. = 0 sq. ft.
 level 01 = 12,805 sq. ft.
 level 02 = 13,748 sq. ft.
 level 03 = 18,786 sq. ft.
 level 04 = 18,806 sq. ft.
 level 05 = 18,786 sq. ft.
 level 06 = 18,801 sq. ft.
 level 07 = 18,786 sq. ft.
 level 08 = 2,981 sq. ft.
 level 09 = 137 sq. ft.
 F.A.R. 123,636 sq. ft.

development

level 0 = 0 units
 level 1 = 1 TH unit/comm.
 level 2 = 4 condo units
 level 3 = 6 condo units
 level 4 = 6 condo units
 level 5 = 6 condo units
 level 6 = 6 condo units
 level 7 = 6 condo units
 level 8 = 0
 level 9 = 0
 total = 35 units

ONE OCEAN - NORTH Actual / Provided F.A.R.

level 01 = 4,910 sq. ft.
 level 02 = 7,105 sq. ft.
 level 03 = 7,105 sq. ft.
 level 04 = 7,105 sq. ft.
 level 05 = 7,105 sq. ft.
 level 06 = 7,105 sq. ft.
 level 07 = 7,105 sq. ft.
 level 08 = 1,577 sq. ft.
 F.A.R. 49,117 sq. ft.

development

level 1 = 3 TH units
 level 2 = 2 condo units
 level 3 = 2 condo units
 level 4 = 2 condo units
 level 5 = 2 condo units
 level 6 = 2 condo units
 level 7 = 2 condo units
 level 8 = 0
 total = 15 units

TOTAL F.A.R. = 172,753 sq. ft. TOTAL = 50 UNITS

CODES USED

Construction of this building shall comply with:
 The Florida Building Code: 2010 edition
 Florida Fire Prevention Code: 2010 edition
 The Life Safety Code, NFPA 101: 2009 edition
 The Fair Housing Act 1988, as amended
 The Florida Accessibility Code - Chapter 11, FBC 2010 edition
 Americans With Disabilities Act (ADA) 2012 edition & ANSI 117.1

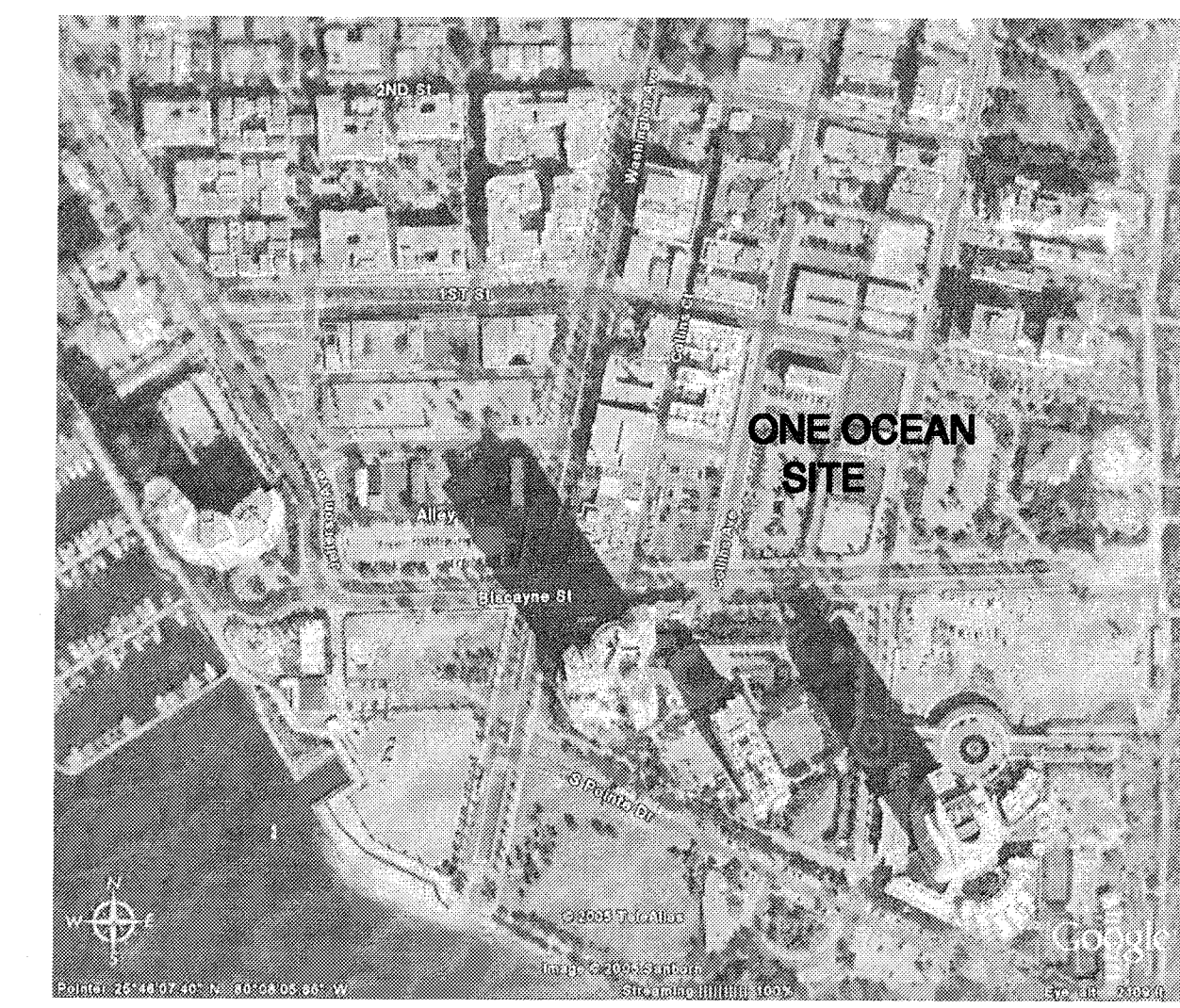
Should conflicts arise between codes the General Contractor shall comply with the most stringent requirement or shall receive written authorization from the Building Official for compliance.

LEGEND

AP	ACCESS PANEL
EP	ELECTRICAL PANEL
AFF	ABOVE FINISHED FLOOR
AFD	ABOVE FINISHED DECK
UON	UNLESS OTHERWISE NOTED
CLG	CEILING
TOW	TOP OF WALL
TOS	TOP OF SLAB
TOP	TOP OF PARAPET
BFE	BASE FLOOD ELEVATION
TOC	TOP OF CURB
FD	FLOOR DRAIN
RD	ROOF DRAIN
TYP	TYPICAL
SIM	SIMILAR
OPP HAND	OPPOSITE HAND (REVERSE)
HC	HANDICAP
WC	WAND CLOSET
LAV	LAVATORY
SH	SHOWER
FAR	FLOOR AREA RATIO

General Notes:

- References to standards, codes, specifications, recommendations and regulations in these drawings shall mean the editions being enforced by the various agencies and governing bodies at the time of submission. Editions specifically called out in the documents, if not in conflict with the above, shall apply. If neither of the above conditions apply, the edition shall be the latest one published prior to the date on the Permit Issue.
- In cases of conflicts between the drawings and standards listed, or conflicts between standards, the more stringent requirements shall govern.
- In case of discrepancies, large scale drawings shall take precedence over small scale drawings and dimensions shall take precedence over any scale drawings.
- Any noted discrepancies between the drawings shall be promptly called to the attention of the Architect and no work so affected shall be undertaken in advance of the Architect's decision except at the Contractor's own risk.
- Where a material is indicated, it is intended that such material be used throughout entire length and height of walls, partitions, panels, windows, lights, areas, etc., or in detail in which it occurs for other similar locations throughout building, unless another material is indicated.
- Wherever any item, device or part of equipment is referred to in the Drawings in singular number, as many items, devices, parts as are required for complete installation shall be installed.
- Where typical or representative detail is shown on plans, this detail shall constitute the standard in workmanship and materials throughout corresponding parts of building and site, and where necessary, Contractors shall be required to accept such detail for use in said corresponding parts of building or site; said adoption, however, shall be subject to Architect's approval.
- All indications or notations which apply to one or a number of similar situations, materials or processes shall be deemed to apply to all such situations, materials or processes wherever they appear in the Work, unless otherwise indicated in the drawings.
- All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written or printed directions and instructions unless otherwise indicated in the drawings.
- Fire extinguishers shall be provided in all public spaces. In garage areas fire extinguishers shall be provided every 75' in public spaces within the building one (1) fire extinguisher shall be provided for every 2500 square feet of floor area, minimum.
- No responsibility, either direct or implied, is assumed by Architect or Owner for omissions or duplications by Contractor or Subcontractors, due to real or alleged error in arrangement of matter in the Drawings.
- The Contractor shall carefully study and compare the Drawings with each other and with information furnished by the Owner and shall at once report to the Architect, errors, inconsistencies or omissions discovered.
- The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions and other information known to the Contractor with the Drawings before commencing activities. Errors, inconsistencies or omissions discovered shall be reported to the Architect at once.
- The Contractor shall be responsible for verifying that all caulking compounds and releasing agents used are compatible.
- The Contractor shall be responsible to the Owner for acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons performing portions of the Work under a contract with the Contractor.
- The Contractor shall be responsible for inspection of portions of Work already performed under this Contract to determine that such portions are in proper condition to receive subsequent Work.
- The Contractor shall coordinate the work of all Subcontractors, material suppliers and mechanics, and shall be responsible for the proper fitting of all Work. He shall do and be responsible for the correct laying out of the Work as per Drawings and written instruction of the Architect, including all necessary leveling and checking. He shall establish grades and bench marks, and shall lay out all partition lines and other significant reference lines or points which will enable all trades to accurately place their boxes, openings, sleeves, conduits, hangers, inserts and other devices.
- The General Contractor shall have the final responsibility to Architect and Owner for coordination and complete execution of the Work according to Contract Documents. Subcontractors who start and continue their work are accepting the preparatory work others and cannot later claim that such work was unsatisfactory as a base or preparation. No work to be started until all necessary corrections are completed.
- After the Contract has been executed, the Owner and the Architect will consider a formal request for the substitution of products in place of those specified only under the conditions set forth below:
 a) The Contractor shall personally investigate the proposed substitute product and determine that it is equal or superior in all respects to that specified;
 b) The Contractor will provide the same warranty for the substitution that the Contractor would for that specified;
 c) The Contractor shall certify the cost data presented is complete and includes all related costs under this Contract including the Architect's redesign costs, and waives all claims for additional costs related to the substitution which subsequently become apparent.
 d) The Contractor will coordinate the installation of the accepted substitute, making such changes as may be required for the be complete in all respects.
- General Contractor shall provide a Certificate of Protective Treatment for prevention of termites per the requirements of FBC section 104.2.6. Such treatment shall comply with all applicable requirements as specified in FBC section 1816.1.



location map

n.t.s.

SYMBOLS LEGEND

- | | | | |
|--|--|--|--|
| | STUD PARTITION | | WINDOW, SLIDING GLASS DOOR & STOREFRONT DETAIL |
| | FIRE RATED STUD PARTITION | | DETAIL TITLE SCALE |
| | CONCRETE WALL | | SECTION TITLE SCALE |
| | CONCRETE BLOCK WALL | | DOOR DESIGNATION CORE AND UNITS |
| | CONCRETE BLOCK WALL 1 HOUR FIRE RATED | | DOOR DESIGNATION PUBLIC SPACES |
| | CONCRETE BLOCK WALL 2 HOUR FIRE RATED | | WINDOW DESIGNATION |
| | CONCRETE BLOCK WALL 4 HOUR FIRE RATED | | BALCONY DIVIDER DESIGNATION |
| | STEEL | | SLIDING GLASS DOOR DESIGNATION |
| | PLYWOOD | | STOREFRONT DESIGNATION |
| | FIBERGLASS BATT INSULATION | | ROOM NUMBER |
| | RIGID DENSE FOAM W/ MESH & STUCCO FINISH - MOULDING CORNICES, ETC... | | WALL TYPE DESIGNATION ON PLANS (REFER TO DWG. A.801) |
| | REINF. CONCRETE | | CEILING HEIGHTS |
| | CLEAN COMPACTED FILL | | |
| | LOOSE FILL OR SOIL | | |
| | WALL MOUNTED FIRE EXTINGUISHER (see 1/8" scale drawings) | | |
| | RECESSED FIRE EXTINGUISHER CABINET (see 1/8" scale drawings) | | |

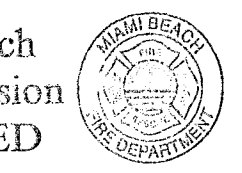
UNIT MATRIX

CONSTRUCTION LEVEL	UNIT LINE NUMBER																		HEIGHT	
	SOUTH BUILDING						NORTH BUILDING													
UPPER ROOF	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17			
ROOF TERRACE																				
7	A	D	C	C rev	D rev	B	A	A rev												12
6	A	D	C	C rev	D rev	B	A	A rev												9.958
5	A	D	C	C rev	D rev	B	A	A rev												9.958
4	A	D	C	C rev	D rev	B	B	C rev mod												9.958
3	A	D	C	C rev	D rev	B	A	A rev												9.958
2			C2	C rev	D rev mod	B mod	D	D rev mod												9.958
1	RETAIL, LOBBY, FITNESS, SPA, BOH						TH-1S	TH-1N	TH-2N	TH-3N										16.208
0	SUBTERRANEAN PARKING GARAGE																			
																			77.998	
																			6.88	
																			84.878	
																			NGVD-AMSL	
																			AMSL	

UNIT AREA MATRIX

CONSTRUCTION LEVEL	UNIT AREA																								HEIGHT										
	LINE 1						LINE 2						LINE 3						LINE 4							LINE 5						LINE 6			
UPPER ROOF	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA	UNIT TYPE	UNIT AREA	BALC. AREA					
ROOF TERRACE	A	3,534	938	D	2125	255	C	2,751	213	C rev	2,751	213	D rev	2,122	255	B	3,316	938	A	3,206	624	A rev	3,206	3002											
6	A	3,534	968	D	2067	304	C	2,678	235	C rev	2,890	166	D rev	2,183	201	B	3,316	866	C	3,329	588	B rev	3,133	2957											
5	A	3,534	938	D	2125	255	C	2,751	213	C rev	2,751	213	D rev	2,122	255	B	3,316	938	A	3,206	624	A rev	3,206	3002											
4	A	3,534	856	D	2190	201	C	2,890	166	C rev	2,678	235	D rev	2,060	304	B	3,316	968	B	3,133	624	C rev mod	3,329	3128											
3	A	3,534	938	D	2125	255	C	2,751	213	C rev	2,751	213	D rev	2,042	256	B	3,211	1,441	A	3,206	624	A rev	3,206	3002											
2	POOL DECK						C2	2,594	902	C rev	2,751	213	D rev mod	1,886	253	B mod	3,803	1,141	D	3,120	2,532	D rev mod	2,826	2630											
1	RETAIL, LOBBY, FITNESS, SPA, BOH						TH-1S			TH-1N			TH-2N			TH-3N																			
0	SUBTERRANEAN PARKING GARAGE																																		
	TOTAL UNITS						17,670	4,638	10,632	1,270	13,791	1,040	13,791	1,040	10,529	1,271	16,475	5,141	16,080	3,089	16,080	15,071	1,746	1,601											
	TOTAL AREAS						17,670	4,638	10,632	1,270	13,791	1,040	13,791	1,040	10,529	1,271	16,475	5,141	16,080	3,089	16,080	15,071	1,746	1,601											

City of Miami Beach
Fire Prevention Division
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Revision 07/30/2013
Construction Issue Note

BID SET 07.01.2013
BUILDING PERMIT 04.30.2013
JOB NUMBER: A1202
Sheet Number:



FAR floor plan - level 0 (garage)

FAR floor plan - level 0 (garage)

FAR (shaded area) 0 sq. ft.

subterranean garage level 00 elev. = -14'-0" (elev. 0'-0" = +6.88' N.G.V.D.)

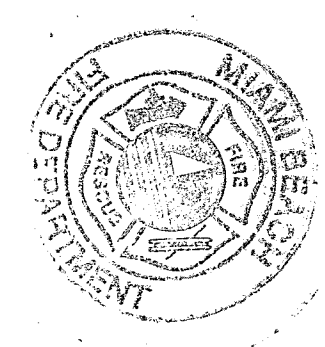


3/32"

Firm: # A4128
Charles W. Sieger, F.A.I.A.
Lic. # AR5782
José J. Suarez, A.I.A.
Lic. # AR1005

The Sieger Suarez Architectural Partnership

14121 Southwest 119 Avenue, Miami, Florida, 33186. 305/274-2702.



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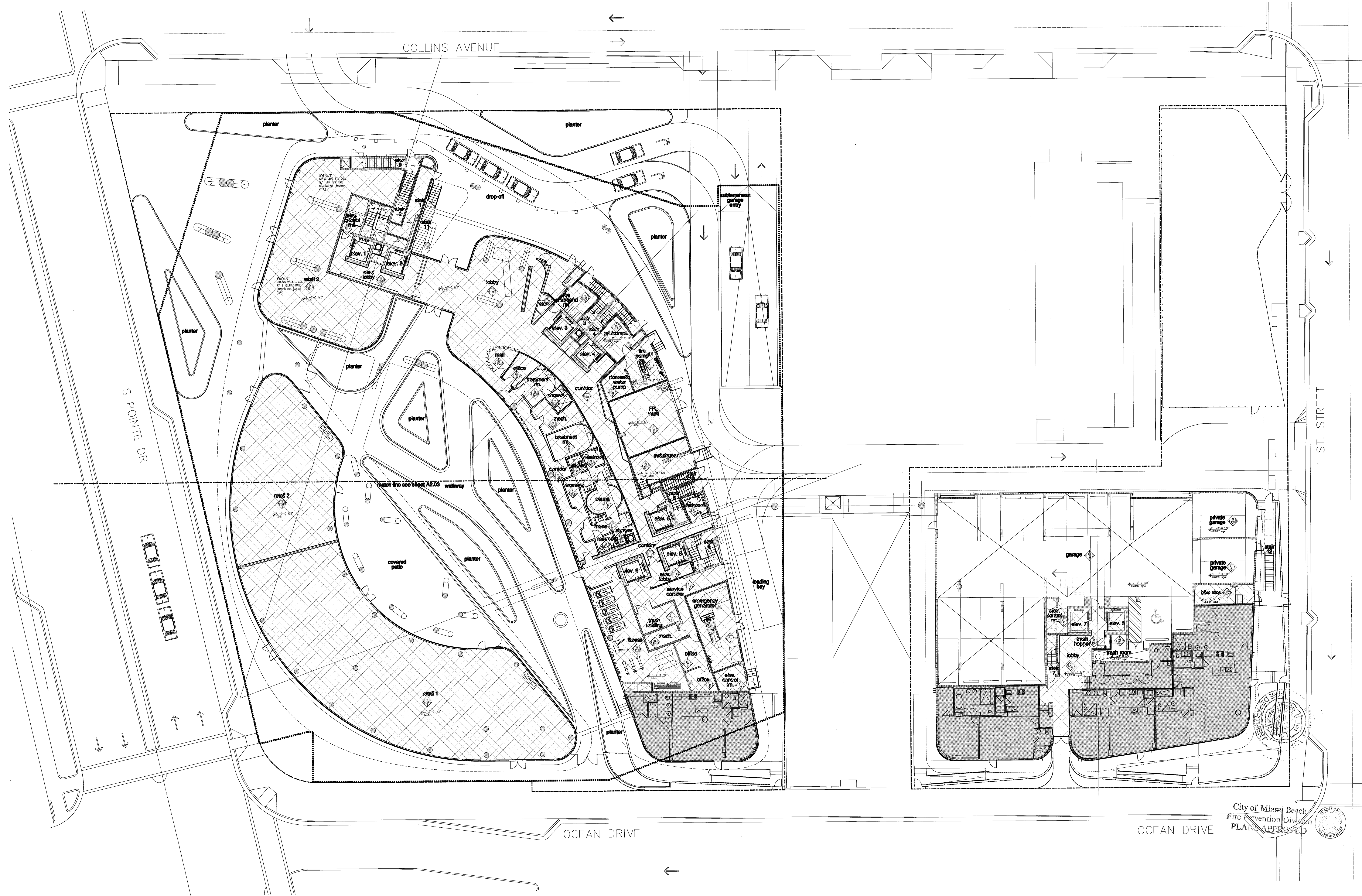
FOR CONSTRUCTION

[Signature]
Aug. 6, 2013

Revision Δ 07/30/2013
Construction Issue Date

Bid Date: 07.01.2013
Issue Date: 04.30.2013
BUILDING PERMIT
Sheet Number: A1202

New Sheet
A11.01



FAR floor plan - level 01 (lobby)

FOR CONSTRUCTION

AUG 11 2013

City of Miami Beach
Fire Prevention Division
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FAR floor plan - level 1 (lobby)

FAR (shaded area @ 100%) 5,605 sq. ft.
FAR (hatched area) @ 50% 12,105 sq. ft.
total FAR 17,710 sq. ft.

level 1 (lobby) elev. = -0'-0 1/2" (elev. 0'-0" = +6.88' N.G.V.D.)

NORTH
1/16"

The Sieger Suarez Architectural Partnership

14121 Southwest 119 Avenue, Miami, Florida, 33186, 305/274-2702.

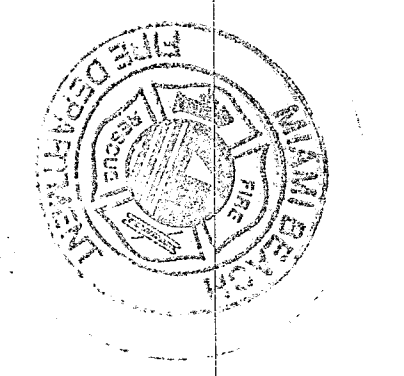
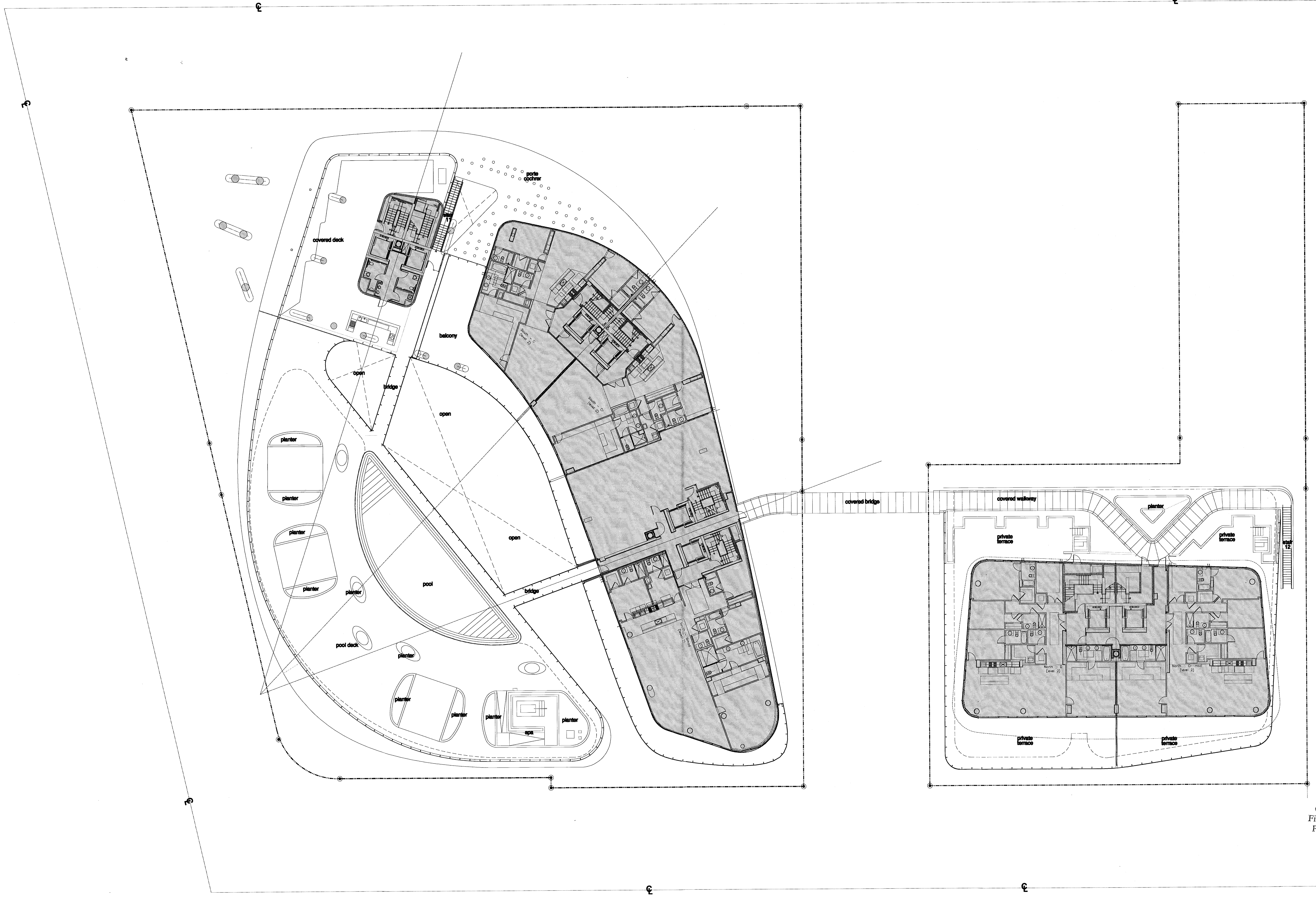
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Charles M. Sieger, F.A.I.A.
Lic. # AB5782
José J. Suarez, A.I.A.
Lic. # AB11025

Revision	Date
1	07/30/2013
Construction Issue Date	
As Built Date	
BID SET 07/01/2013	
BUILDING PERMIT 04.30.2013	
A1202	
Sheet Number	

New Sheet
A11.02

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 REV. KEROX.CTB
 P.V.
 PENS
 SCALE: 1/16" = 1'-0"
 DWG: 14121 SW 119 Ave.dwg
 DATE: 07/30/2013 11:00:00 AM

FAR floor plan - level 02 (pool deck)



FOR CONSULTATION
AUG 01 2013

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Fire Prevention Division
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FAR floor plan - level 2 (pool deck)
level 02 (pool deck) elev. = +16'-2 1/2" = (elev. 0'-0" = +6.88' N.G.V.D.)

FAR (shaded area) 20,853 sq.ft.

NORTH
1/16"

Revisions:

Revision	Date
1	07/30/2013
2	
3	
4	
5	
6	
7	
8	
9	
10	

Appendix:
As built Date: _____
Bid Date: 07.01.2013
Issue Date: _____
BUILDING PERMIT: 04.30.2013
Job Number: A1202
Sheet Number: _____
New Sheet: **A11.03**

REV. KEROX.CTB
PENN

I hereby certify that I am a duly licensed professional architect in the State of Florida, and that I am the author of these plans, or that I am a duly licensed professional architect in the State of Florida, and that I am the author of these plans, or that I am a duly licensed professional architect in the State of Florida, and that I am the author of these plans.

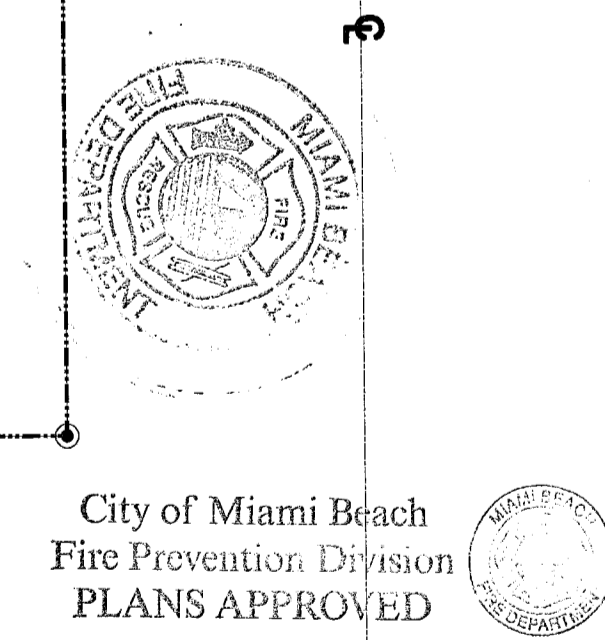


FAR floor plan - level 3

FAR (shaded area) 25,891 sq. ft.

level 03 elev. = +26'-2" = (elev. 0'-0" = +6.88' N.G.V.D.)

NORTH
 1/16"



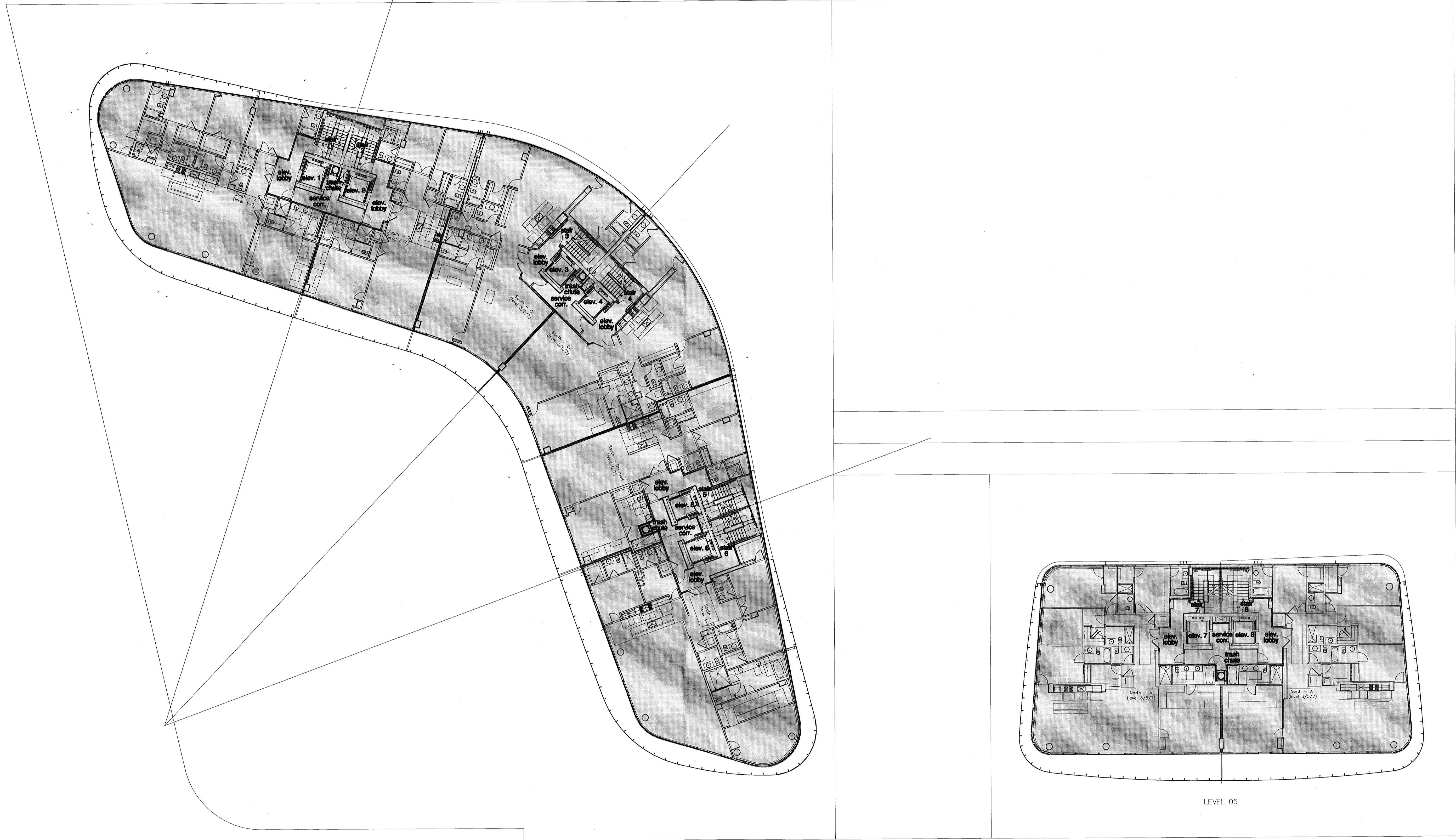
City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED

FOR CONSTRUCTION

AUG 01 2013

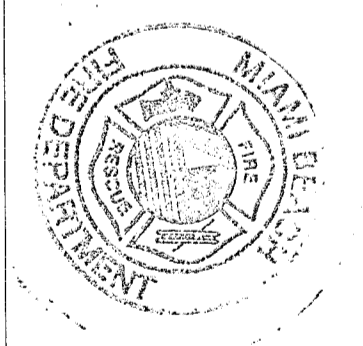
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07/30/2013	Construction Issue Date
07.01.2013	Issue Date
04.30.2013	Issue Date
A1202	Issue Date

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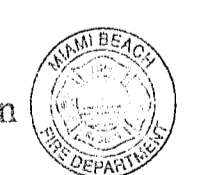


FOR CONSTRUCTION

FOR CONSTRUCTION
AUG 01 2013



City of Miami Beach
Fire Prevention Division
PLANS APPROVED



I, the undersigned, being a duly licensed professional engineer, certify that I am the author of the above design and that I am a duly licensed professional engineer in the State of Florida.

Revisions table with columns for Revision, Date, and Description.

Revision 07/30/2013

As Built Date

Bid Date 07.01.2013

Building Permit 04.30.2013

Job Number A1202

Sheet Number

New Sheet A11.06

FAR floor plan - level 5

FAR (shaded area) 25,891 sq. ft.

level 05 elev. = +45'-1" = (elev. 0'-0" = +6.88' N.G.V.D.)

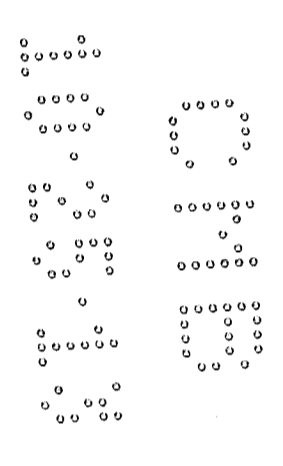
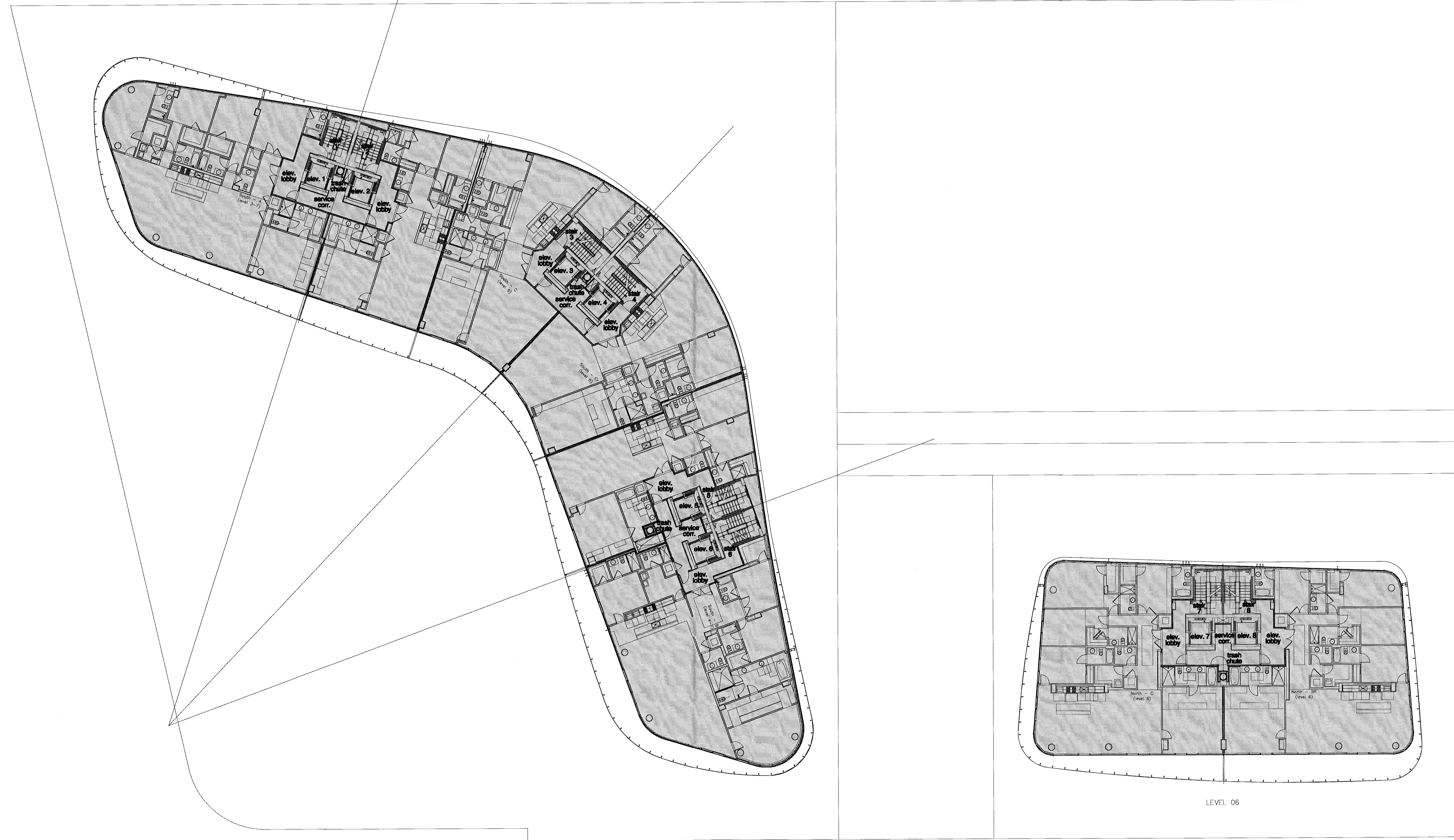
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1/16"

The Sieger Suarez Architectural Partnership

14121 Southwest 119 Avenue, Miami, Florida, 33186, 305/274-2702.

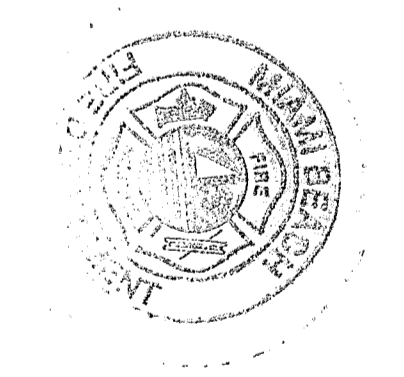
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Charles M. Sieger, F.A.I.A.
Lic. # AS5782
José J. Suarez, A.I.A.
Lic. # AR11005

REV. KEROK.GTB
P.F.S.
SCALE

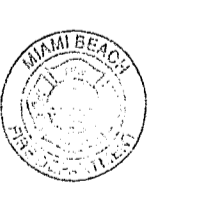


FOR CONSTRUCTION

Seal
 In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes and fire safety codes, as amended by statute, for the jurisdiction in which the structure contained in these documents shall be constructed.



City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED



FAR floor plan - level 6

FAR (shaded area) 25,906 sq. ft.

level 06 elev. = +56'-1/2" = (elev. 0'-0" = +6.88' N.G.V.D.)

NORTH
 1/16"

Revision	Date
1	07/30/2013
As built	
Bid Set	07.01.2013
Issue Date	04.30.2013
Building Permit	
Sheet Number	A1202

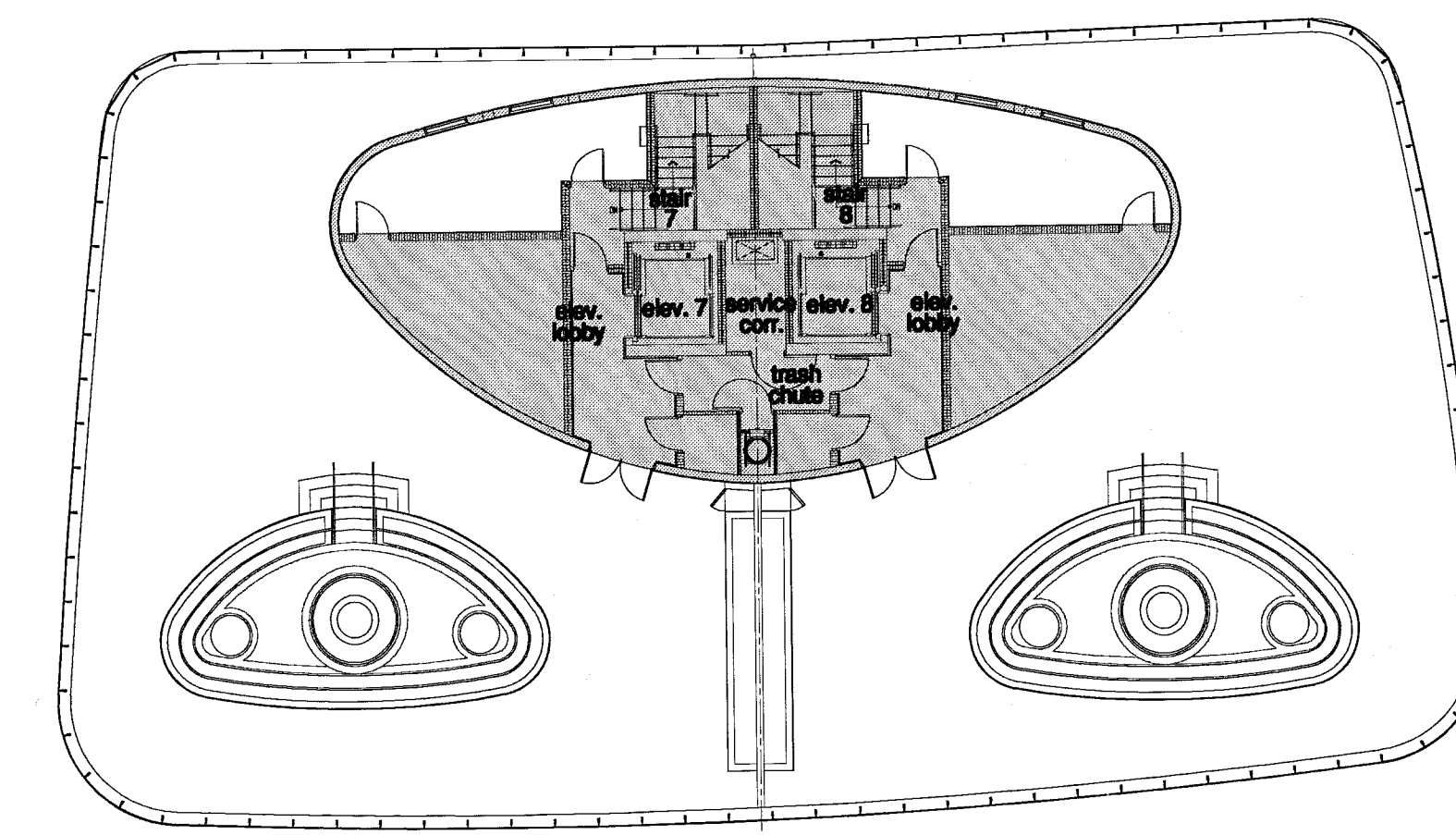
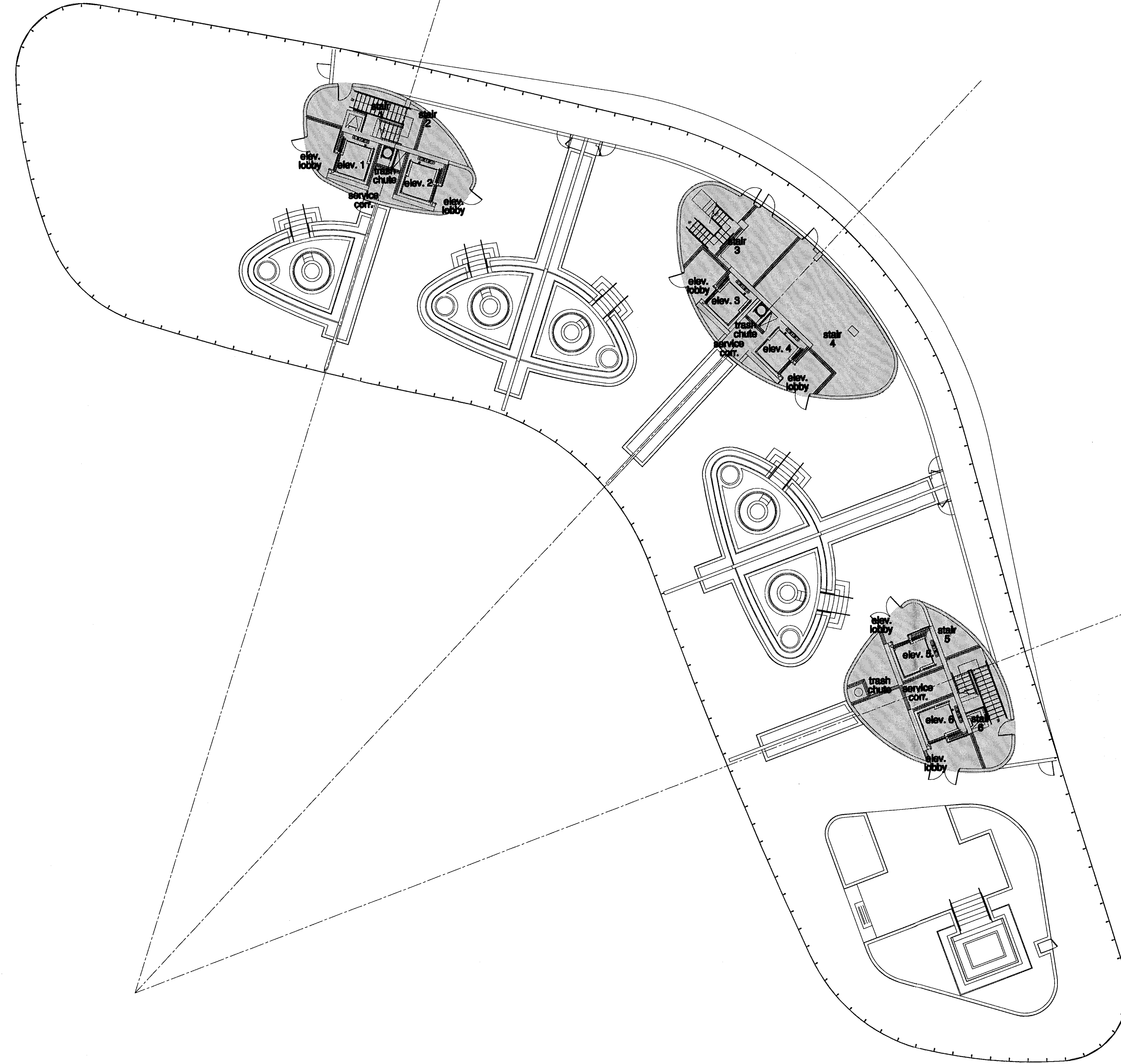
The Sieger Suarez Architectural Partnership

14121 Southwest 119 Avenue, Miami, Florida, 33186. 305/274-2702.

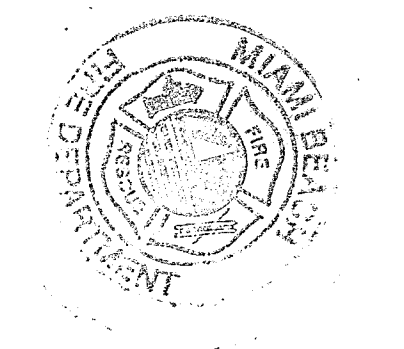
Firm
 Lic. # A4128
 Charles M. Sieger, F.A.I.A.
 Lic. # AR552
 José J. Suarez, A.I.A.
 Lic. # AR1005

New Sheet
A11.07

DATE: 07/30/2013
 REV. 07/30/2013
 P.V.
 PENS



FOR CONSTRUCTION



City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED

[Signature]
 Seal
 I, the undersigned, being a duly licensed Architect under the laws of the State of Florida, do hereby certify that I am the author of the design and content of these plans and that I am a duly licensed Architect under the laws of the State of Florida, and I am not providing my services as an Architect under a contract that is prohibited by law. I am not providing my services as an Architect under a contract that is prohibited by law. I am not providing my services as an Architect under a contract that is prohibited by law.

FAR floor plan - level 8 (main roof)

FAR (shaded area) 4,558 sq. ft.

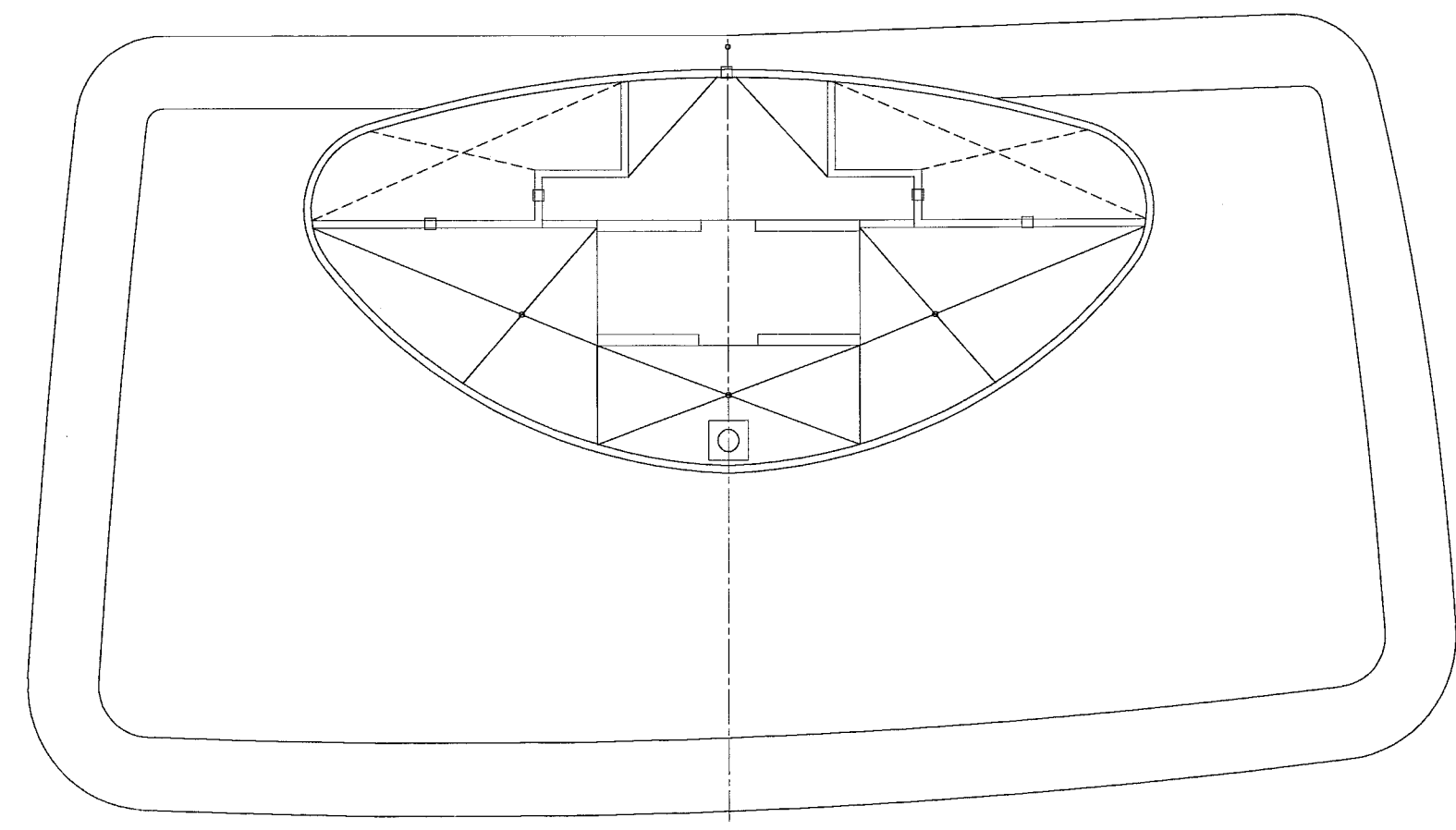
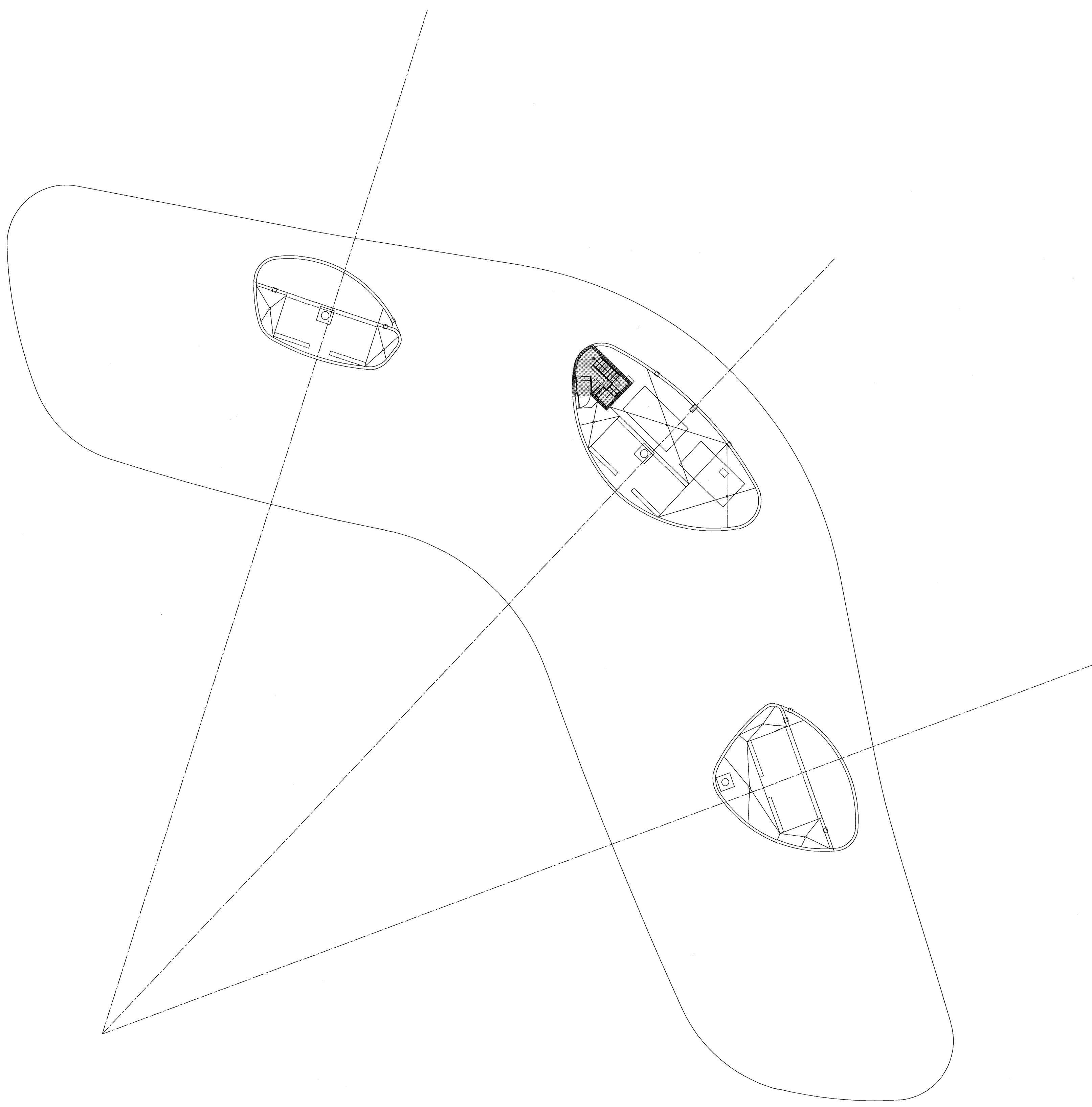
level 08 (main roof) elev. = +78'-0" = (elev. 0'-0" = +6.88' N.G.V.D.)

NORTH
 1/16"

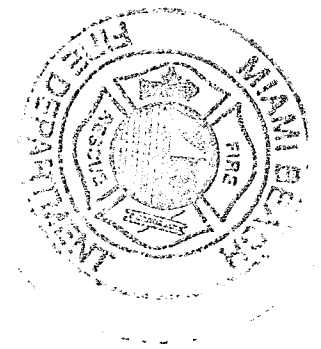
Revision	As Built Date
07/30/2013	07.01.2013
Construction Issue Date	Issue Date
	04.30.2013
	Job Number
	A1202
	Sheet Number

DATE: 07/30/2013
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 P.V.
 P.E.N.S.
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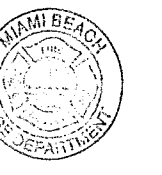
FAR floor plan - level 08 (upper roof)



FOR CONSTRUCTION



City of Miami Beach
Fire Prevention Division
PLANS APPROVED



Seal
In my professional judgment
and to the best of my
knowledge and belief, these
plans and specifications
comply with the applicable
building codes and fire safety
codes, as mandated by
statute, for the jurisdiction in
which the structure specified
in these documents shall be
constructed.

Revisions

Revision 07/30/2013
Construction Issue Date

BID SET 07.01.2013
Issue Date

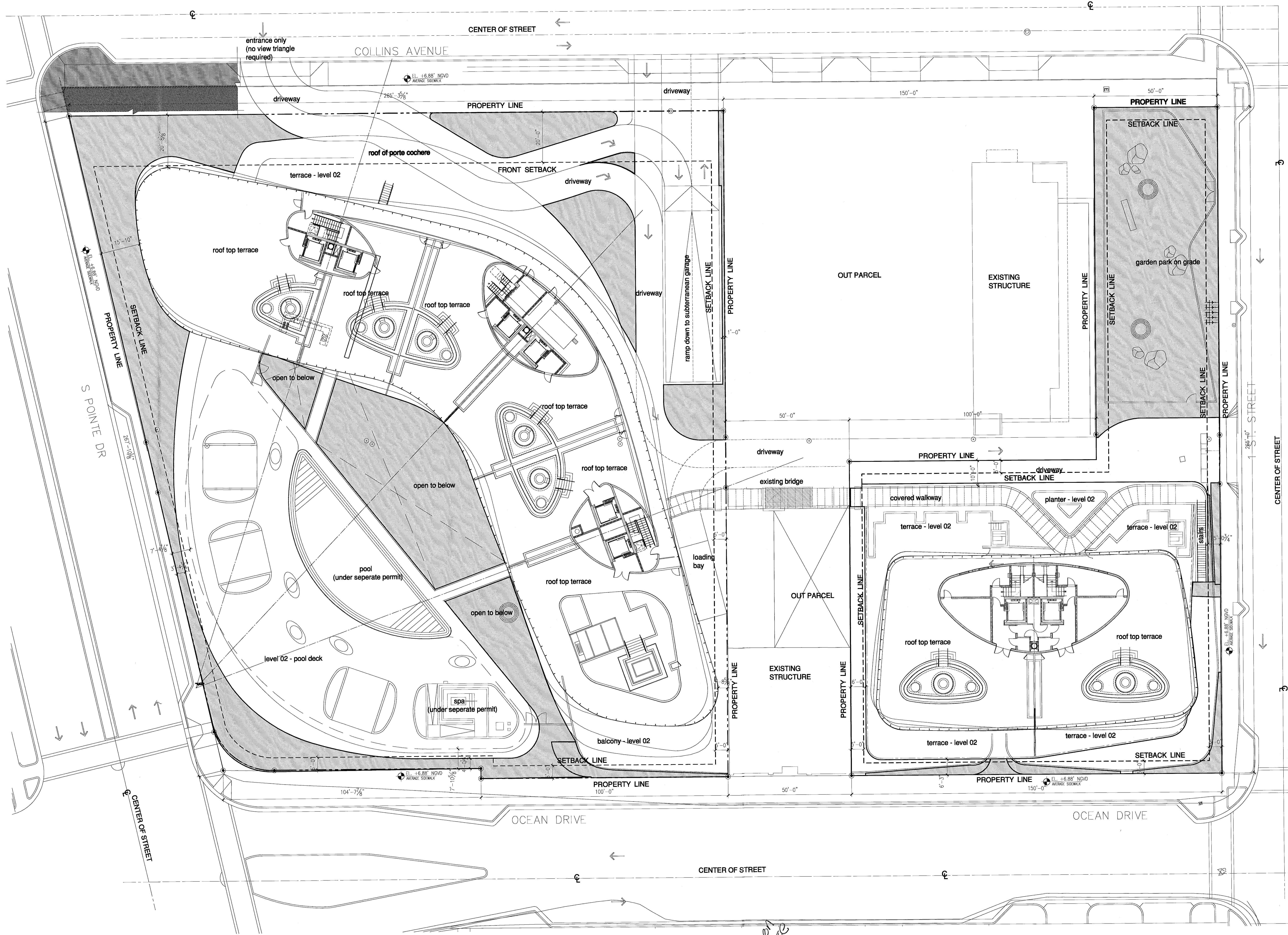
BUILDING PERMIT 04.30.2013
Issue Date

Sheet Number: A1202
New Sheet: A11.10

FAR floor plan - level 9 (upper roof) FAR (shaded area) 137 sq. ft.

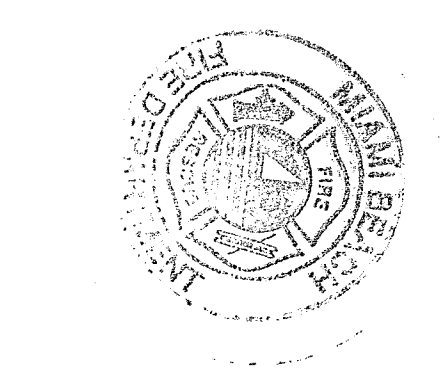
level 08 (main roof) elev. = +78'-0" = (elev. 0'-0" = +6.88' N.G.V.D.)

NORTH
1/16"



open space level 01 plan

FOR CONSTRUCTION



City of Miami Beach
 Fire Prevention Division
 PLANS APPROVED

REQUIRED OPEN SPACE: 87,380 sq.ft. x 65% = 56,797 sq.ft.
 PROVIDED OPEN SPACE: 20,536 sq.ft. (level 01)
 13,353 sq.ft. (level 02)
 33,889 sq.ft. total

22,900 open space fee

open space level 01 plan
 elev. 0'-0" = (+6'.88" NGVD)

Revision Δ 07/30/13
 Construction Takeoff Date

NORTH
 1/16"
 BID SET 07.01.2013
 BUILDING PERMIT 04.30.2013
 A1202

