

333 EAST RIVO ALTO RESIDENCE

FINAL SUBMITTAL JUNE 6, 2023 DRB



333 E. RIVO ALTO DRIVE. MIAMI BEACH, FL. 33139

- NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH UNDERSTORY

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FL. LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE

333 E. RIVO ALTO DRIVE

MIAMI BEACH, FL. 33139

OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

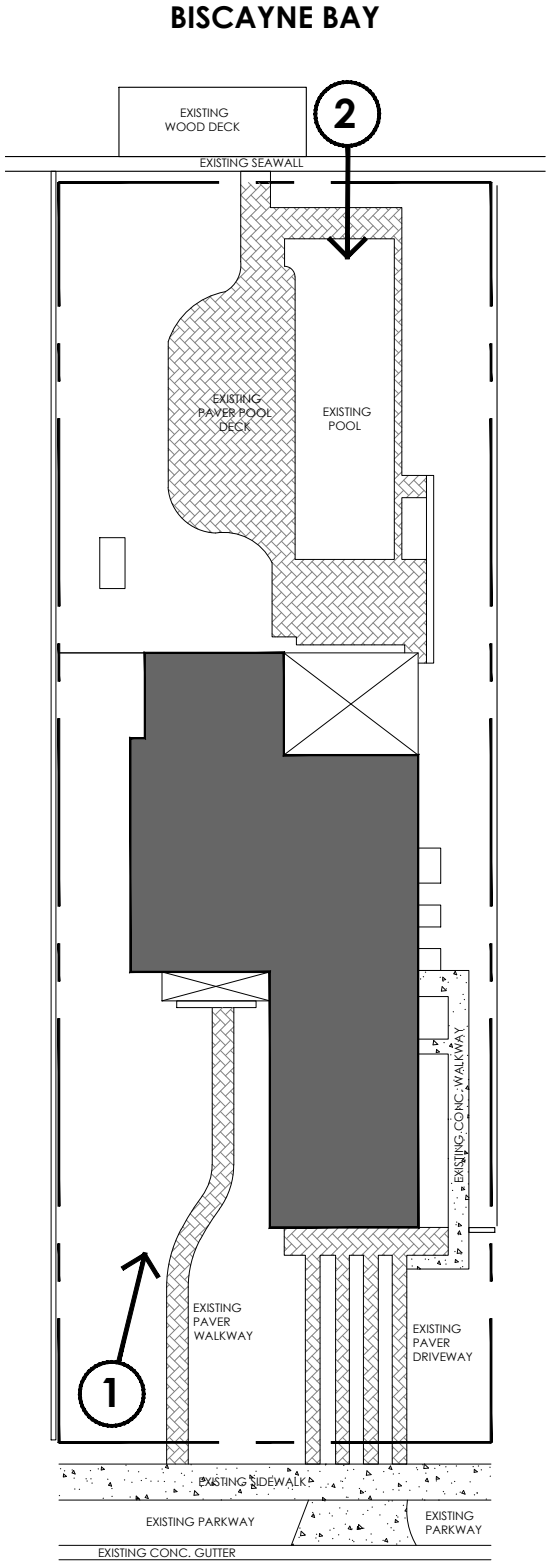
COVER SHEET

SCALE: AS SHOWN

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COVER



EAST RIVO ALTO DRIVE

KEY PLAN - VIEWS



1 EXISTING RESIDENCE - FRONT



2 EXISTING RESIDENCE - REAR

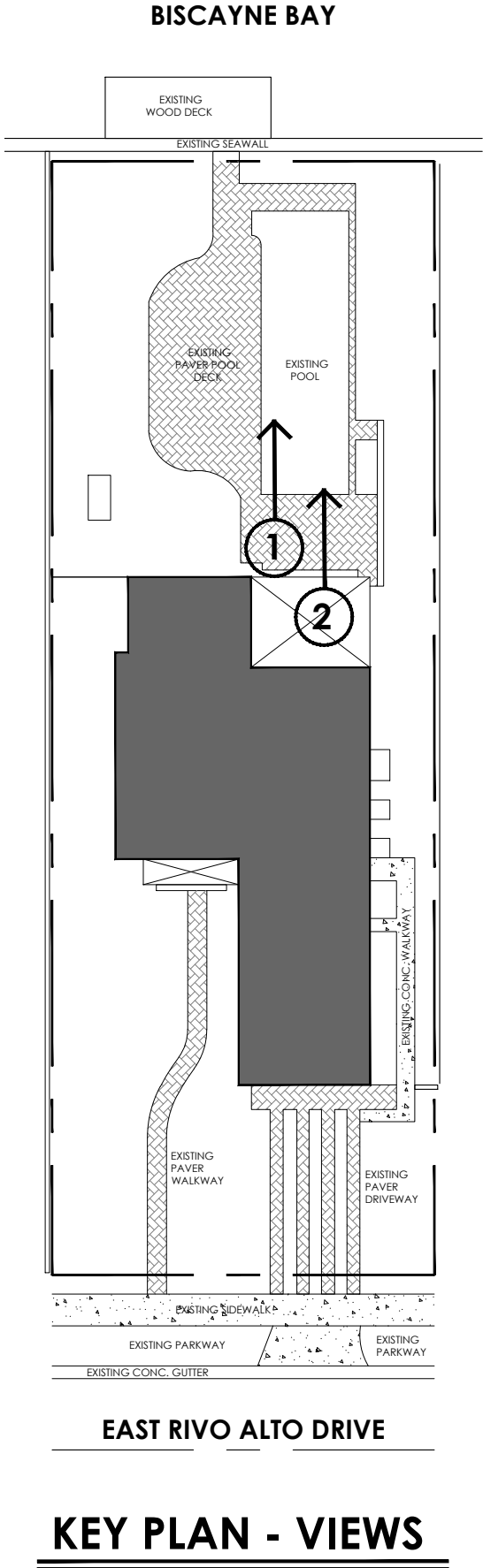
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2 **EXISTING RESIDENCE - REAR**



1 **EXISTING RESIDENCE - REAR**

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PH-1.1

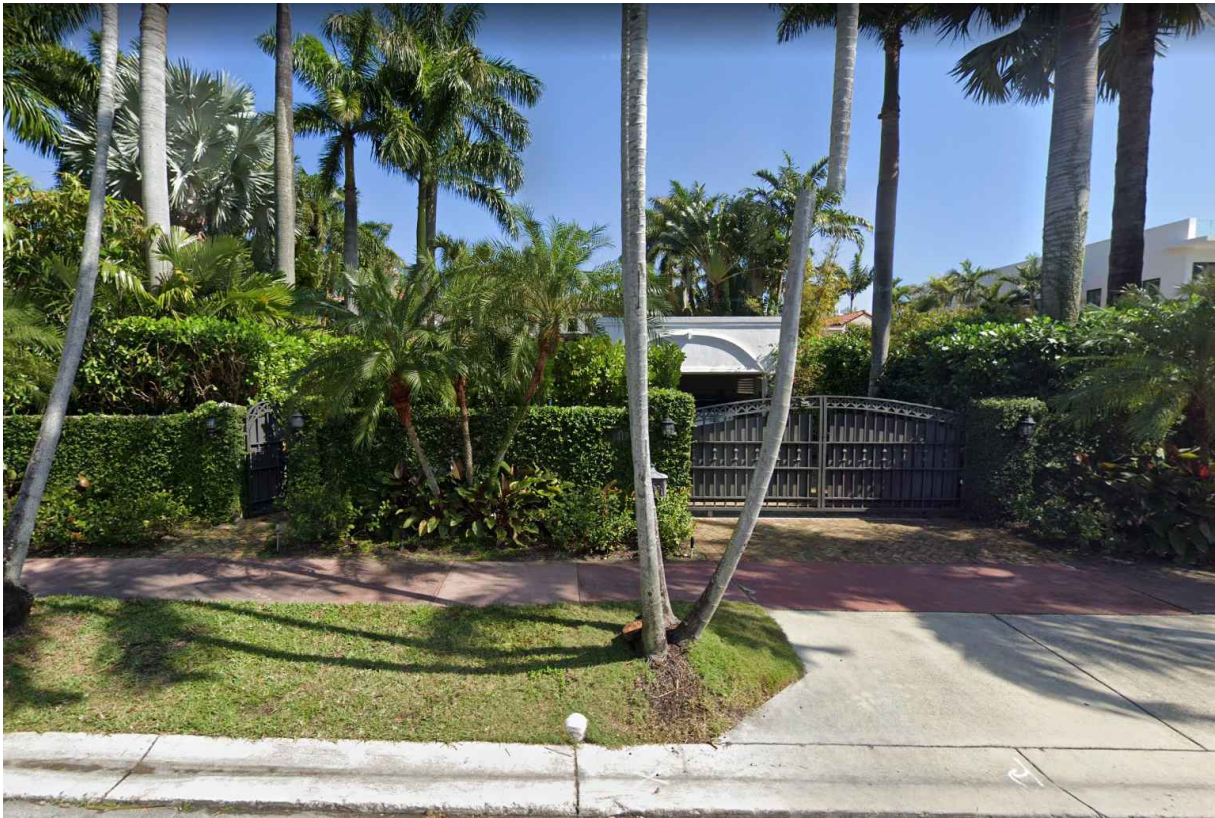


2 NEIGHBORHOOD AERIAL MAP

1. 315 E. RIVO ALTO DRIVE
2. 327 E. RIVO ALTO DRIVE
3. 324 E. RIVO ALTO DRIVE
4. 400 E. RIVO ALTO DRIVE
5. 401 E. RIVO ALTO DRIVE
6. 411 E. RIVO ALTO DRIVE
7. 415 E. RIVO ALTO DRIVE



1 AERIAL LOCATION MAP



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



RESIDENCE 6



RESIDENCE 7

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SURROUNDING

PROPERTY

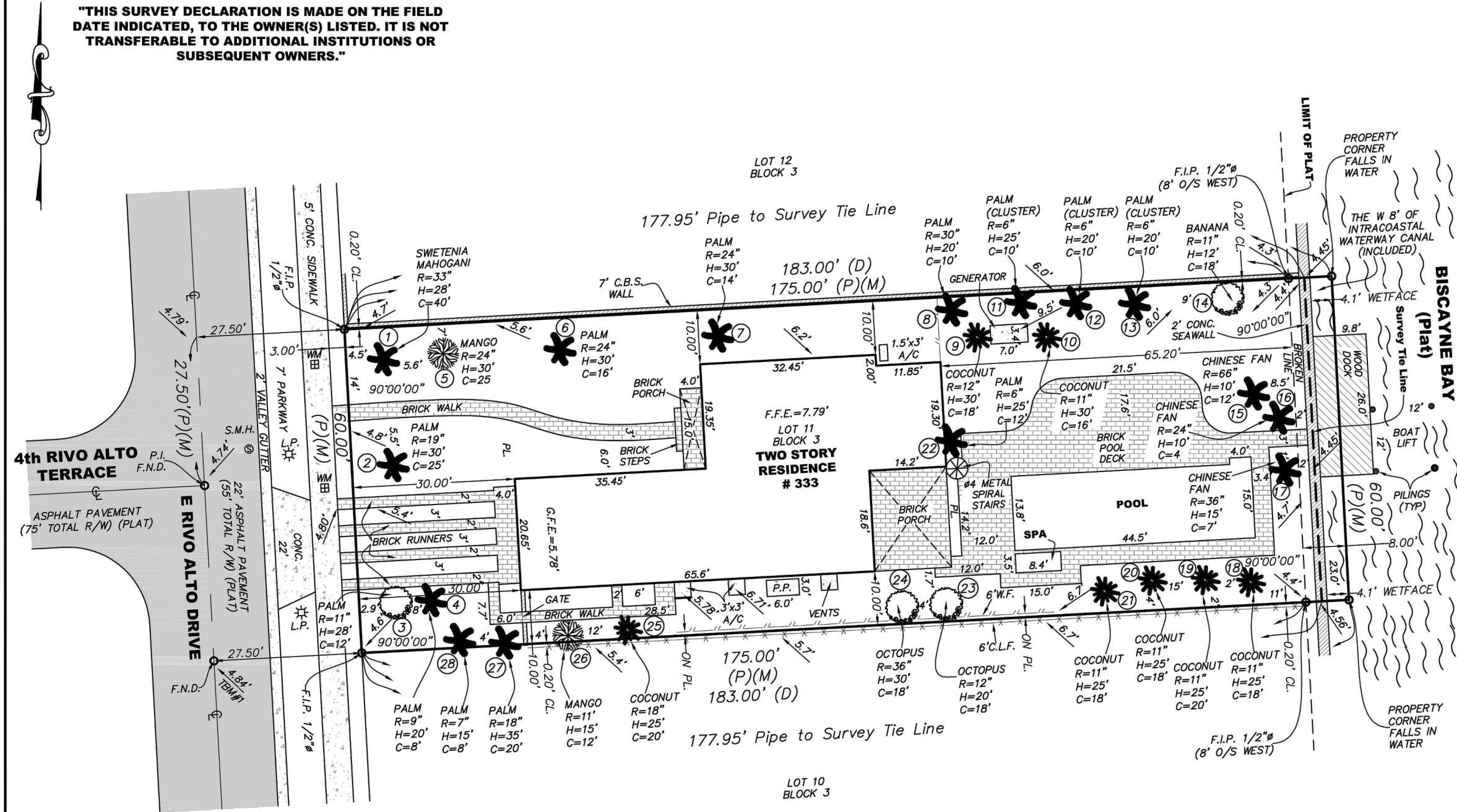
PHOTOS

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PH-2.2



This property described as:

Lot 11, Block 3, RIVO ALTO, an Island in Biscayne Bay, according to the Plat thereof as recorded in Plat Book 7, Page 74, of the Public Records of Miami-Dade County, Florida, also an 8' Strip of Land contiguous to the Easterly boundary line of said Lot 11 lying between the Easterly Extensions of the North boundary line and the South boundary line of said Lot 11, lying and being in Dade County, Florida, being a strip of land 8' by 60' in dimension.

NOTES:

Elevations Show refer to NGVD 1929 BM # D-169 Elev.=7.88' (Miami-Dade)

NOTES:

- No visible Encroachments in this Lot
- No platted Easement in this Lot.
- (folio# 02-3233-001-0450)

Address:

333 E Rivo Alto Drive, Miami Beach, FL 33139

REVISIONS:

08/23/2022 Lot Area Added
09/02/2022 Revisions

FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX:	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
AE	120651	0294	L	
F.I.R.M.DATE	F.I.R.M.INDEX	BASE ELEV.		
09 / 11 / 09	09 / 11 / 09	+ 10' N.G.V.D.		

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in chapter 5J-17 Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

RENE AIGUESVIVES 01/18/22
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.

Surveyors, Mappers and Land Planners

9789 Sunset Drive, Miami, FL 33173

Phone 305.220.2424 Fax 305.552.8181

L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
01/18/22	1"= 20'	A.I.	22-23398

NOTE: a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined.
b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
c) Code restrictions and title search not reflected in this survey
d) Underground utilities, improvements, footings and encroachments, if any not located.
e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

g) All roads shown hereon are public unless otherwise noted.
h) No identification cap found on property corners unless otherwise noted.
i) Distance along boundary are record and measured unless otherwise noted.
j) The graphic portions of this document are intended to be displayed at the graphic/name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.
k) Accuracy: The expected use of land as classified in the minimum technical standards (5J-17-FAC), is "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
l) Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

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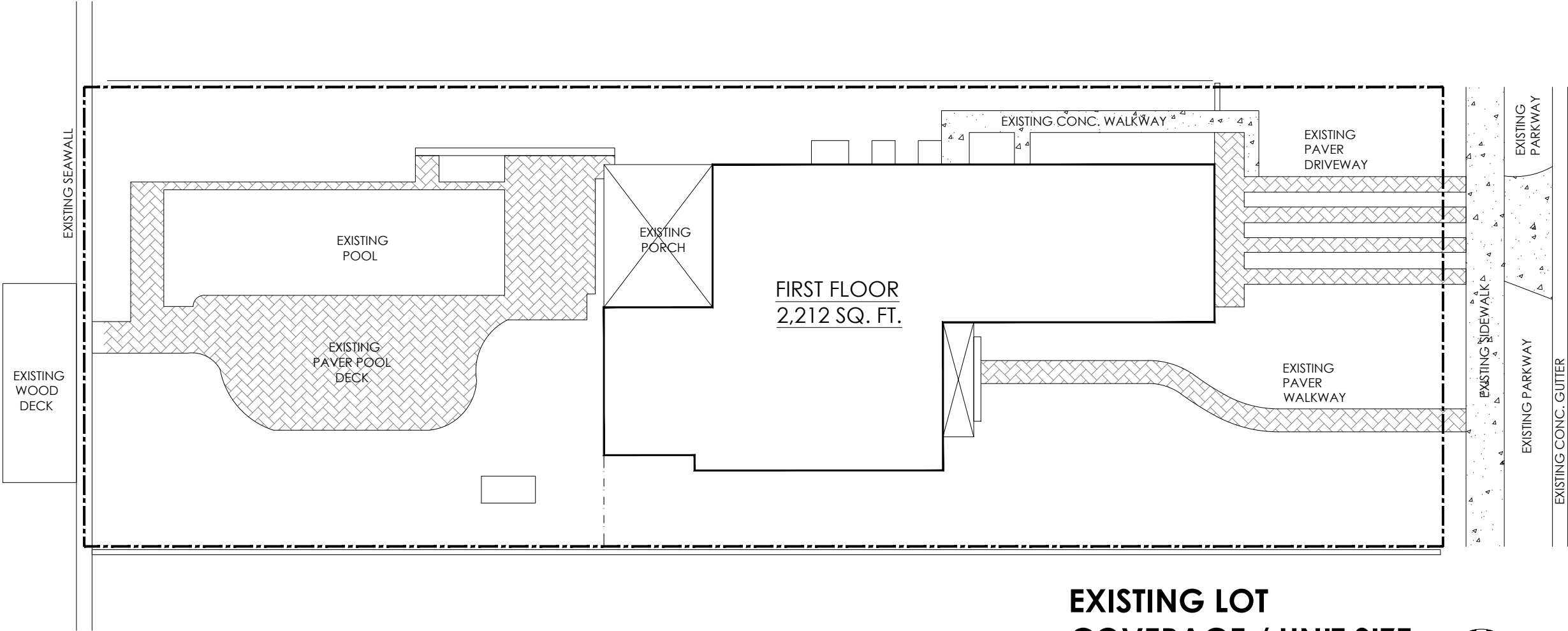
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SURVEY

SCALE: AS SHOWN
DATE: 07-20-2022
SHEET NUMBER

SURVEY

BISCAYNE BAY



1

EXISTING LOT
COVERAGE / UNIT SIZE

1/16" = 1'-0"

↓

LOT AREA: 10,677 S.F.

EXISTING LOT COVERAGE	
FIRST FL.	2,212 S.F.
TOTAL	2,212 S.F. 20.7%

EXISTING UNIT SIZE	
FIRST FL.	2,212 S.F.
SECOND FL. (ESTIMATE)	2,212 S.F.
TOTAL	4,424 S.F. 40.4%

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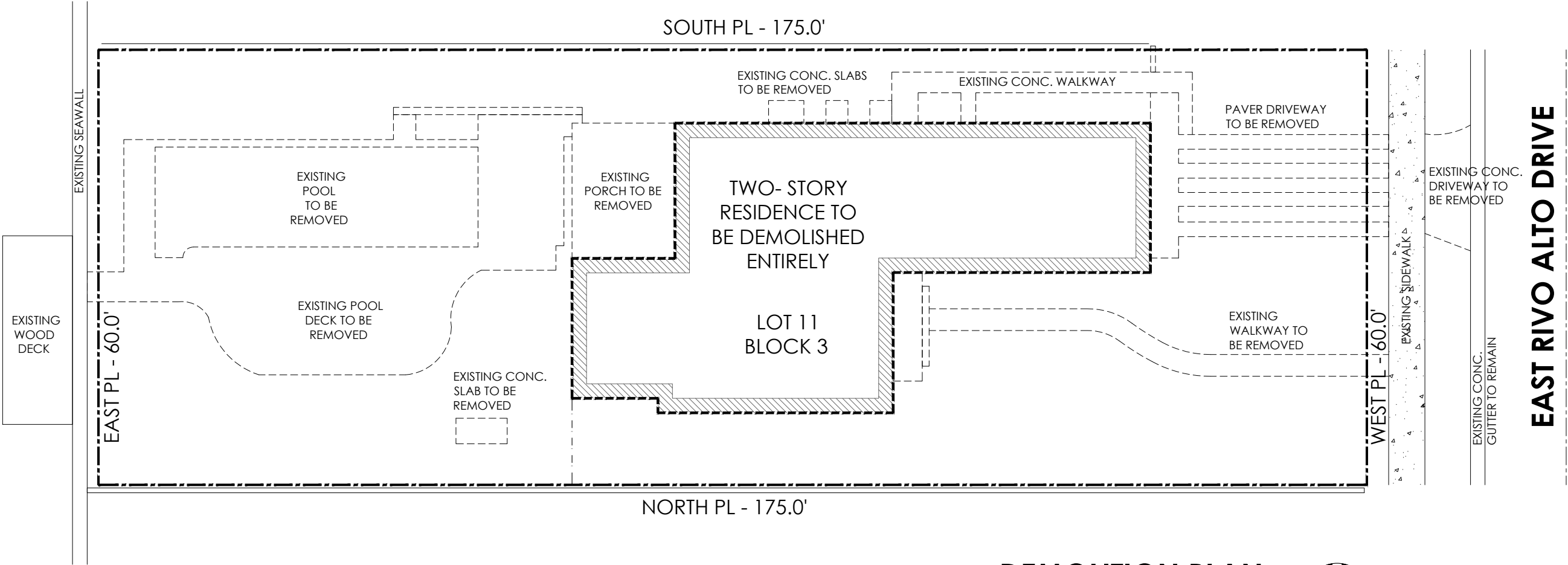
EXIST. LOT
COVERAGE /
UNIT SIZE

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EX-1.0

BISCAYNE BAY



1 DEMOLITION PLAN

1/16" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

SCOPE OF WORK

- SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL DECK, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN AND PROTECT ALL EXISTING TREES.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

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Jose L
Sanchez

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DEMO PLAN

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FRONT VIEW RENDERING / 3D PERSPECTIVE

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FRONT RENDERING

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3D-1

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REAR VIEW RENDERING / 3D PERSPECTIVE

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REAR RENDERING

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3D-3

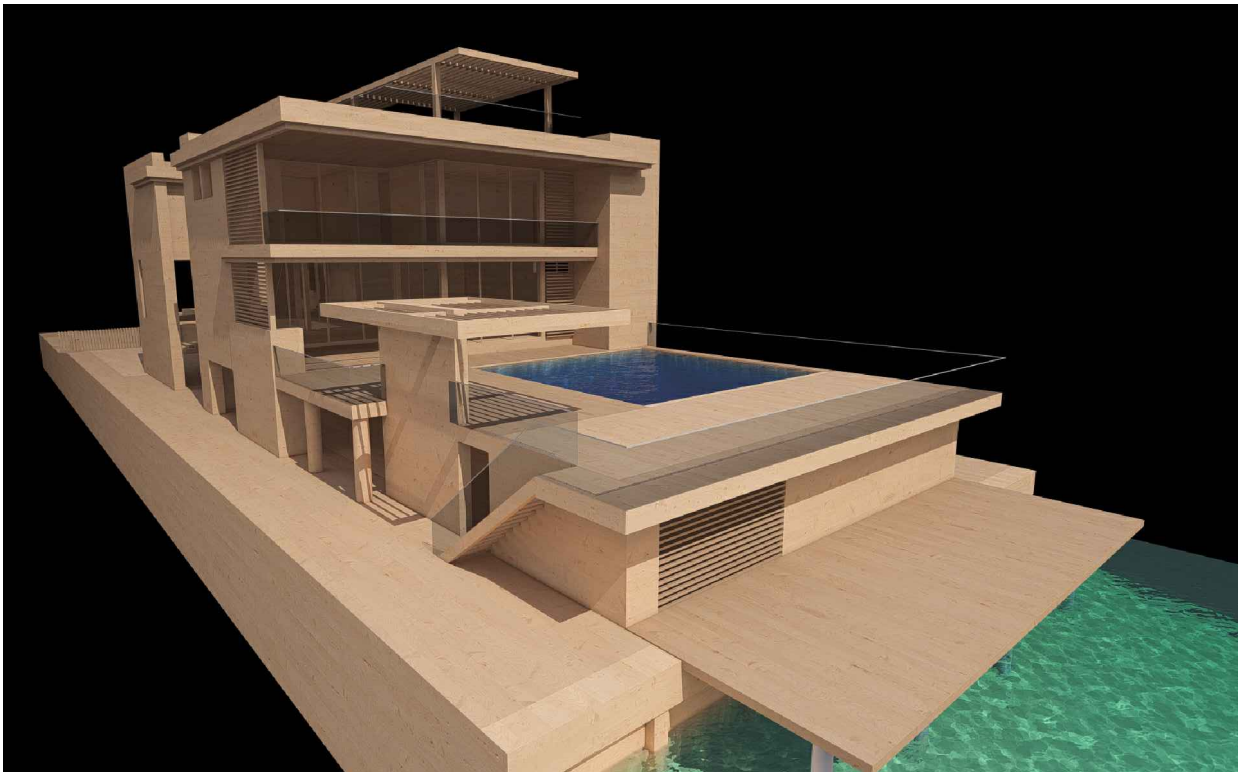
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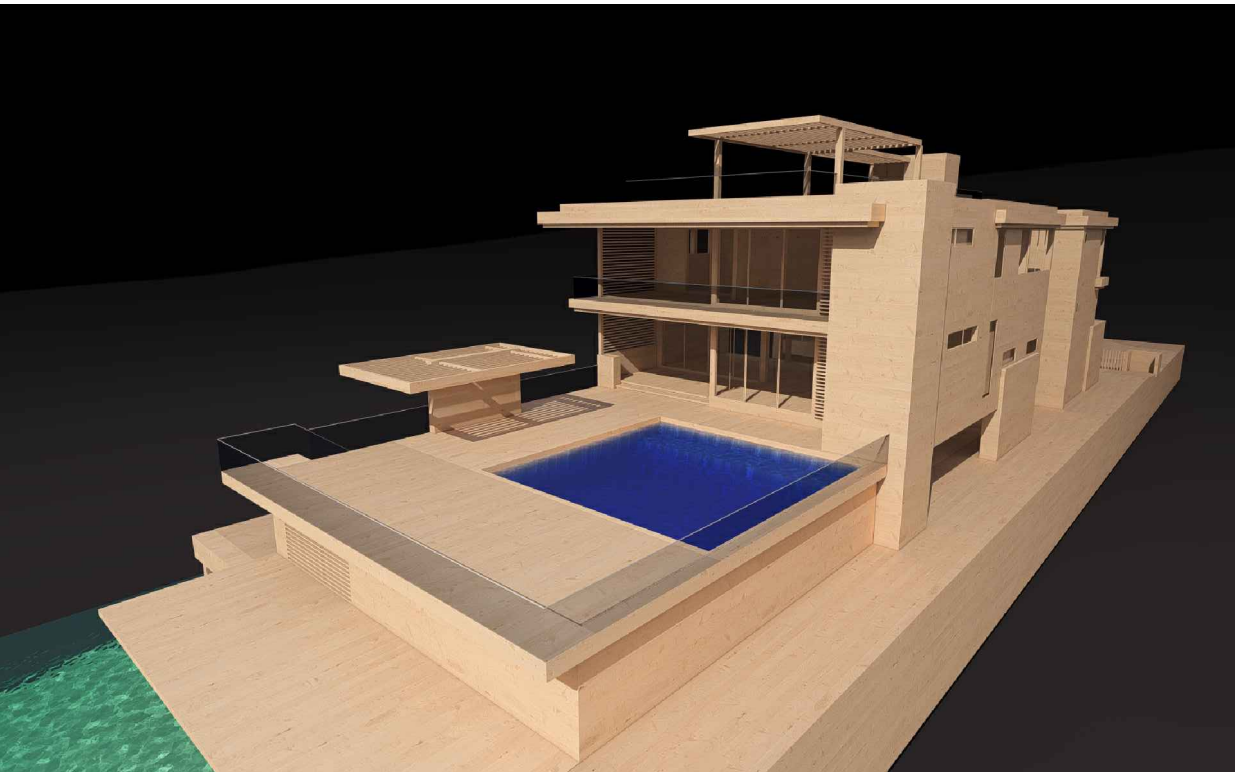
PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

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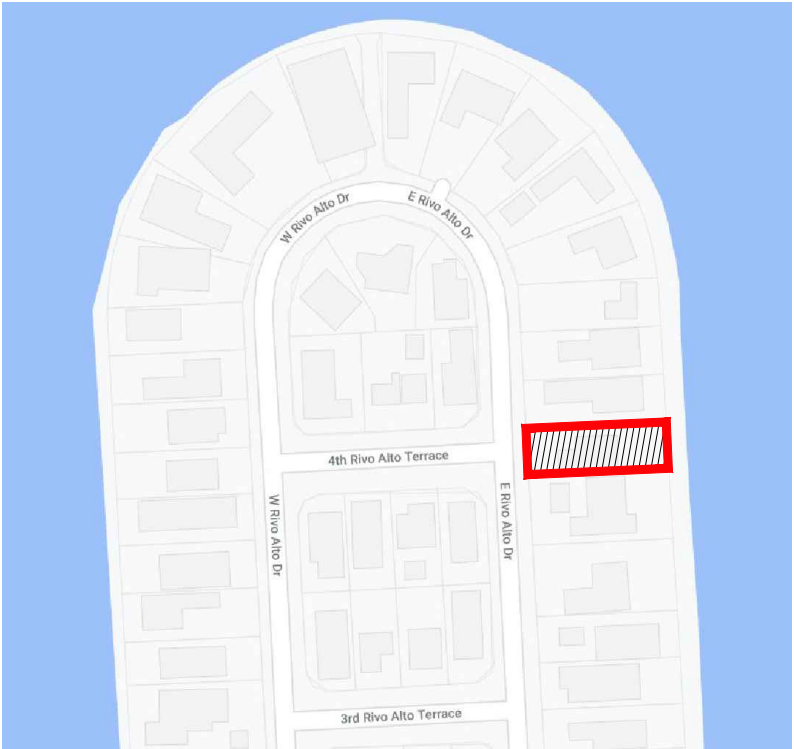
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3D-4

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	333 EAST RIVO ALTO DR. MIAMI BEACH. 33139			
2	FOLIO NUMBER(S):	02-3233-001-0450			
3	BOARD AND FILE NUMBERS:	DRB22-0876			
4	YEAR BUILT:	1938	ZONING DISTRICT:	RS-3	
5	BASED FLOOD ELEVATION:	+10.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.8' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+7.4' NGVD	FREE BOARD:	+15.0' NGVD (+5')	
7	LOT AREA:	10,677 S.F.			
8	LOT WIDTH:	60'-0"	LOT DEPTH:	178'-0" (TO SEAWALL MIDPOINT)	
9	MAX. LOT COVERAGE SF AND %:	3,203 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,203 SF (30%)	
10	EXISTING LOT COVERAGE SF AND %:	2,212 SF (21.07%)	LOT COVERAGE DEDUCTED (GARAGE-STORAGE)	3,203 SF (30%)	
11	FRONT YARD OPEN SPACE SF AND %:	1,261 SF (70.06%)	REAR YARD OPEN SPACE SF AND %:	1,233 SF (76.97%)	
12	MAX. UNIT SIZE SF AND %:	5,339 SF (50%)	PROPOSED UNIT SIZE SF AND %:	5,339 SF (50.0%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:	4,424 SF (40.4%)	PROPOSED FIRST FLOOR UNIT SIZE SF AND %:	2,551 SF (23.89%)	
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	N/A	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,551 SF (23.89%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	633 SF (24.81%)	
			GROSS AREA:	7,987 SF	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	31 FT FOR UNDERSTORY FROM FREEBOARD 24 FT FROM FIRST FLOOR		25'-2" 23'-10"	
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20 FT.	N/A	26'-6"	
20	FRONT SECOND LEVEL:	30 FT.	N/A	40'-0"	
21	SIDE 1 - SOUTH (INTERIOR):	7'-6"		7'-6"	
22	SIDE 2 - WEST (INTERIOR):	7'-6"		7'-6"	
	COMBINED SIDE SETBACKS	15'-0"		15'-0"	
23	REAR:	26'-8"		50'-0"	
24	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	10'-6"	
25	ACCESSORY STRUCTURE SIDE 2	7'-6"	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	13'-1"	N/A	21'-3" SUPPORT WALL 16'-2" TRELLIS	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINATE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY HOME WITH UNDERSTORY

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020 7TH EDITION, RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-3)

LEGAL DESCRIPTION

LOT 11, BLOCK 3,
RIVO ALTO, AN ISLAND IN BISCAYNE BAY, ACCORDING TO THE PLAT THEREOF AS RECORDER IN PLAT BOOK 7, PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALSO AN 8' STRIP OF LAND CONTIGUOUS TO THE EASTERLY BOUNDARY LINE OF SAID LOT 11 LYING BETWEEN THE EASTERLY EXTENSIONS OF THE NORTH BOUNDARY LINE AND THE SOUTH BOUNDARY LINE OF SAID LOT 11, LYING AND BEING IN DADE COUNTY, FLORIDA, BEING A STRIP OF LAND 8' BY 60' DIMENSION.

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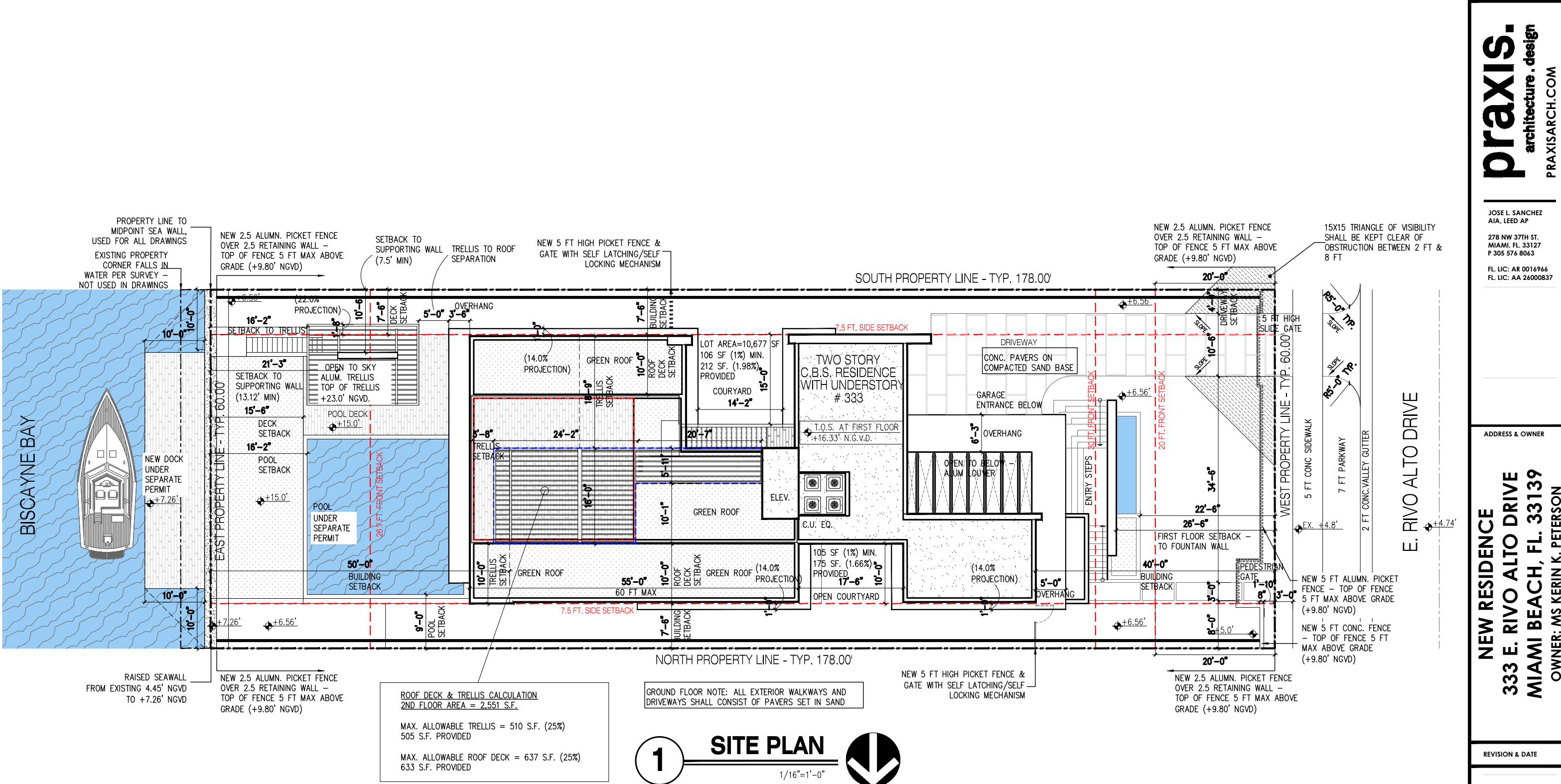
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ZONING DATA
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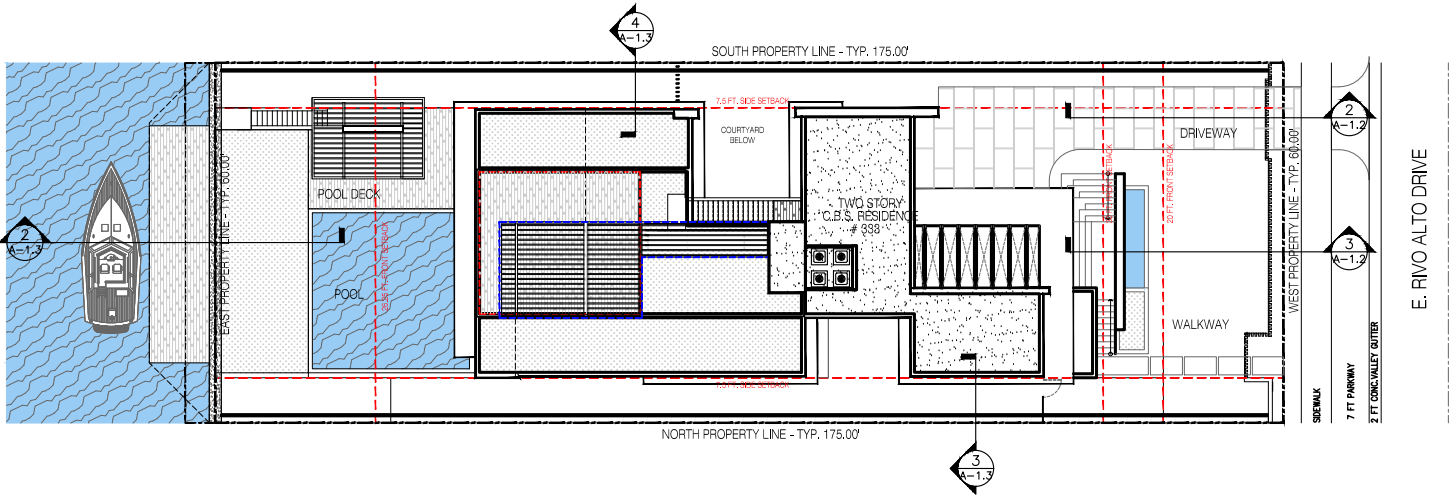
SITE PLAN

SCALE: AS SHOWN

DATE: 07-20-2022

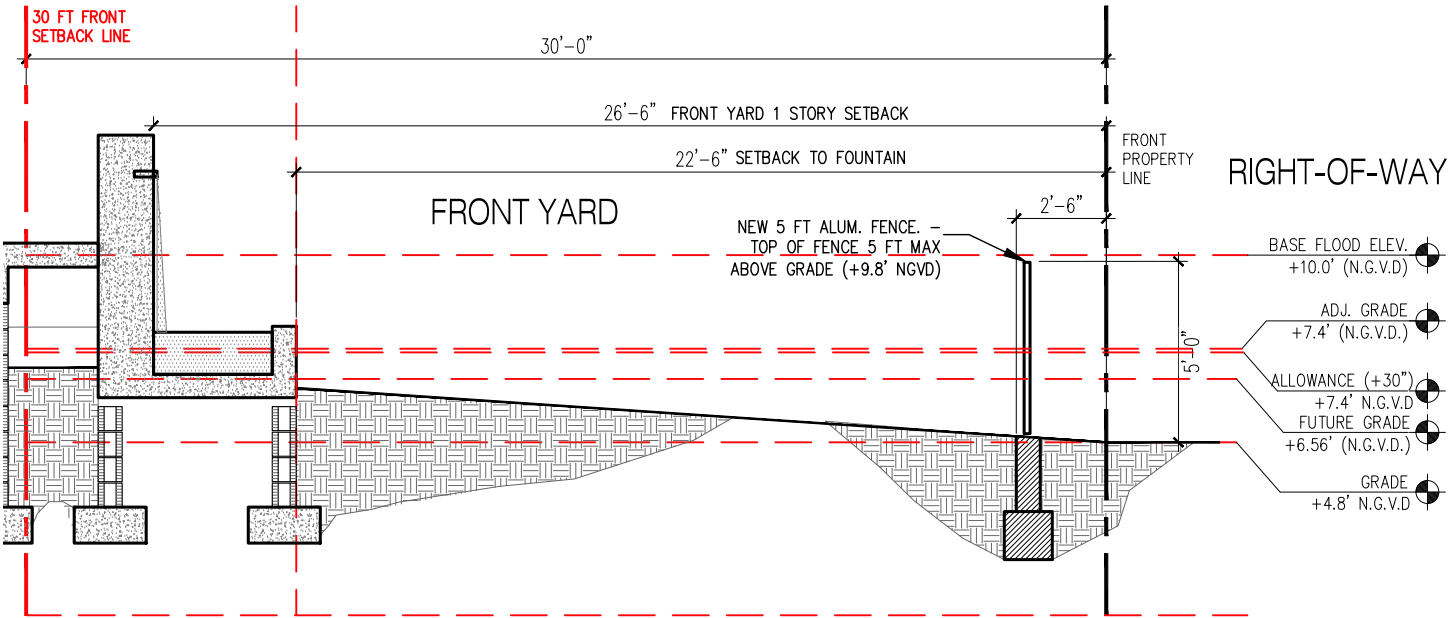
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A-1.1



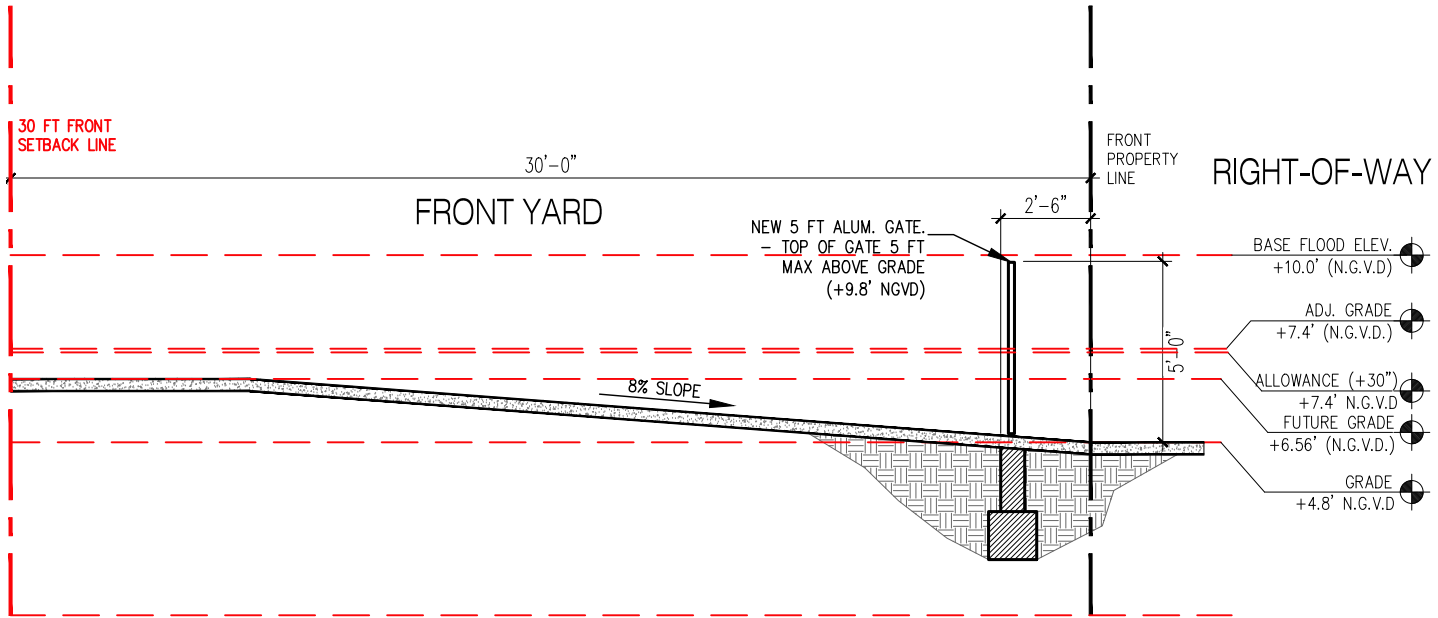
1 YARD SECTION KEYPLAN

NOT TO SCALE



3 FRONT YARD SECTION

3/16" = 1'-0"



2 FRONT YARD SECTION

3/16" = 1'-0"

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P 305 576 8063

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FL. LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

REVISION & DATE

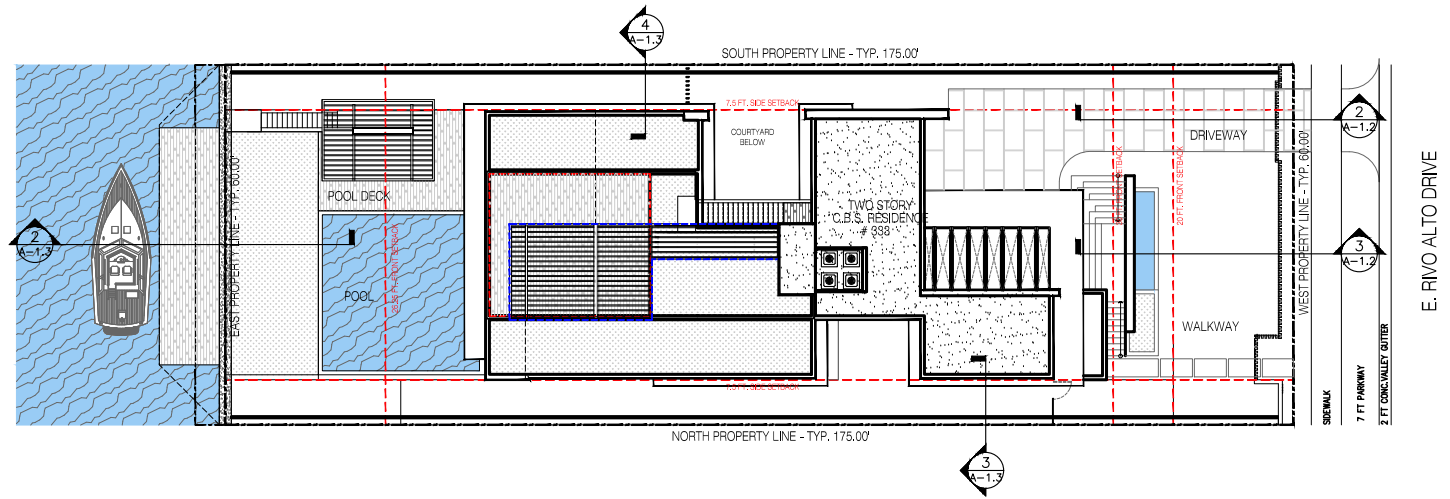
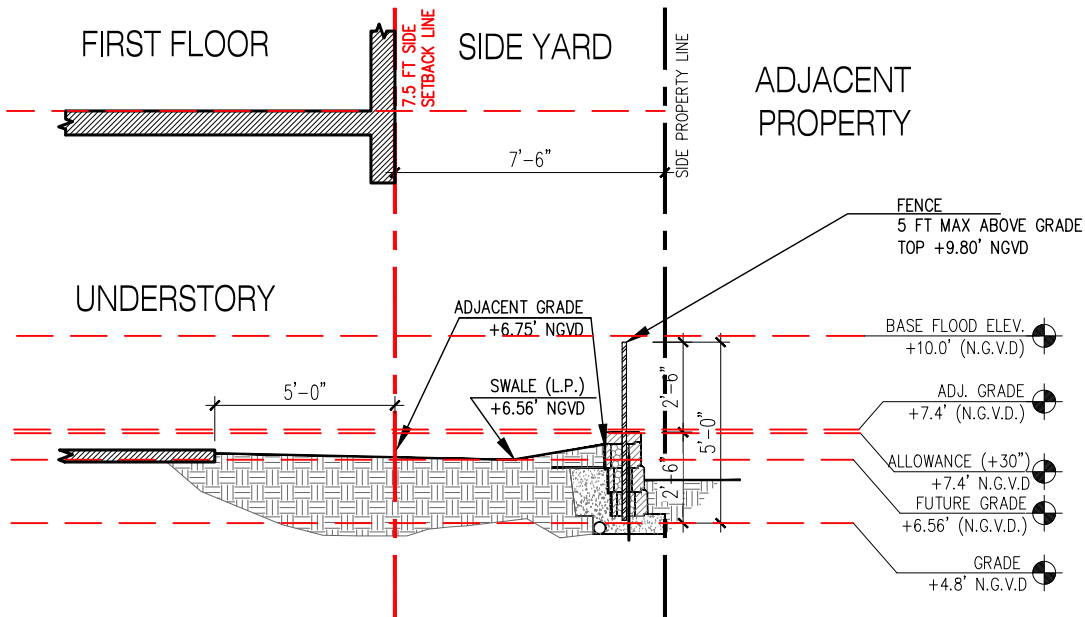
DRAWING TITLE

YARD SECTIONS

SCALE: AS SHOWN
DATE: 07-20-2022

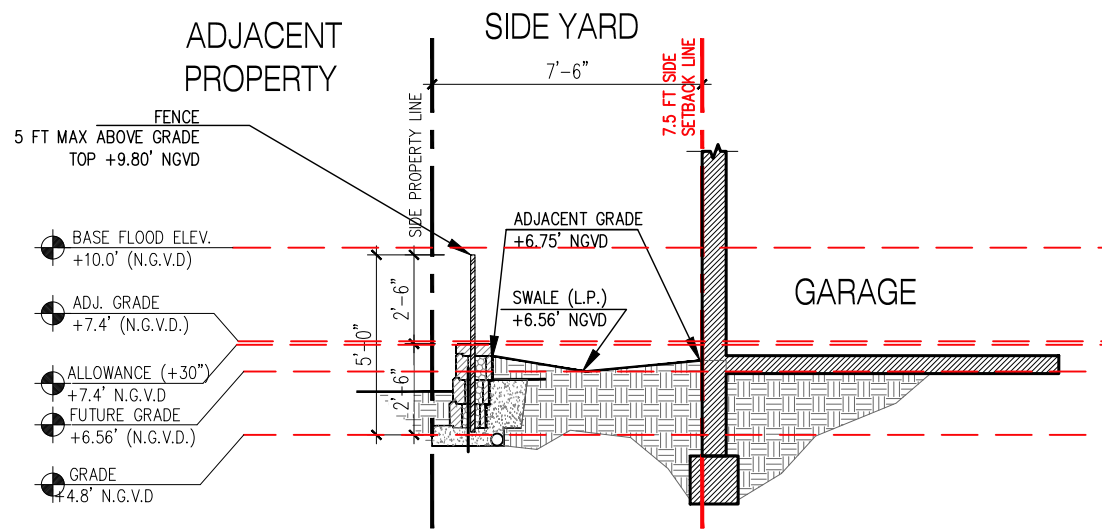
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A-1.2

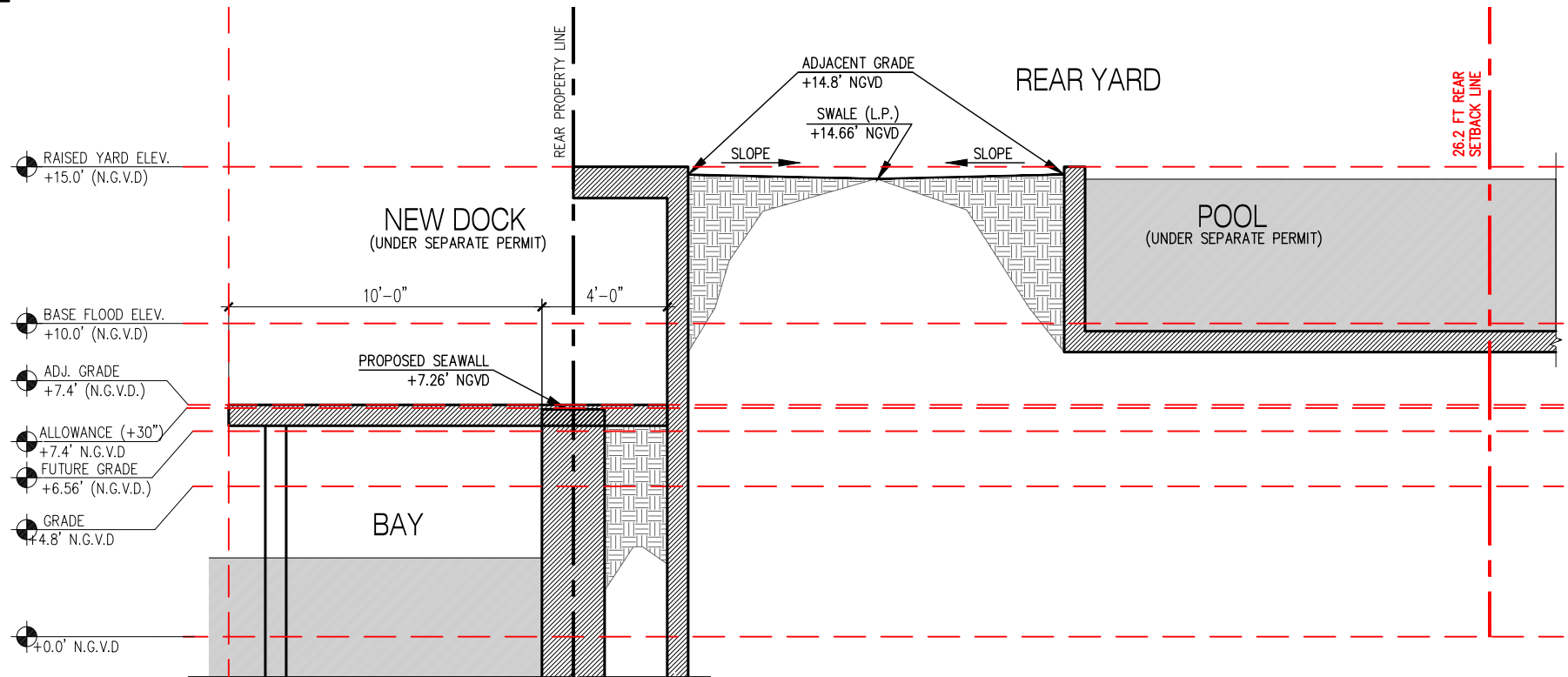


1 **YARD SECTION KEYPLAN** NOT TO SCALE

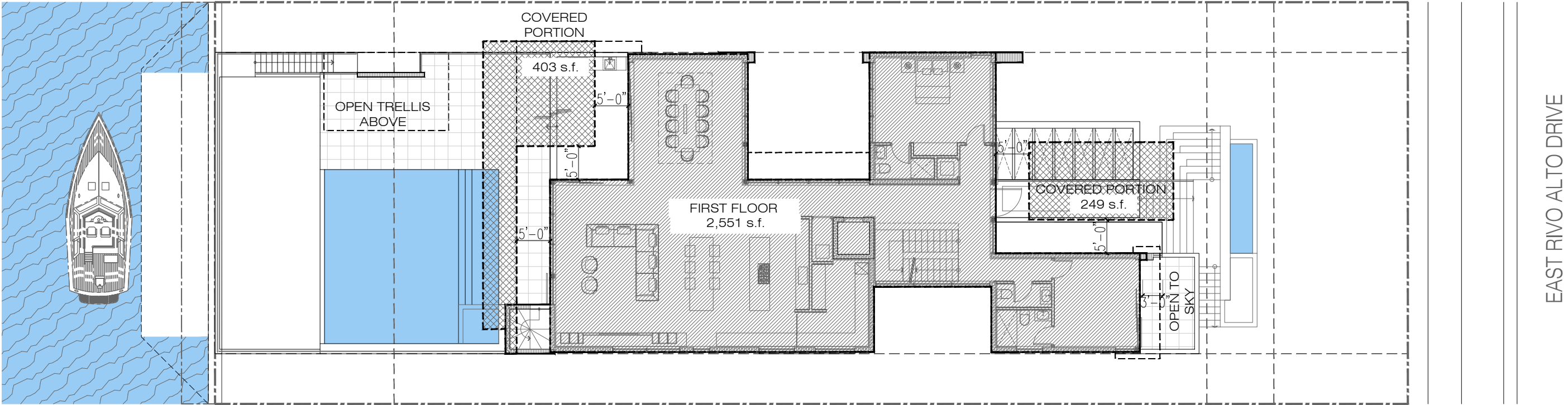
4 **SIDE YARD SECTION - SOUTH** 3/16" = 1'-0"



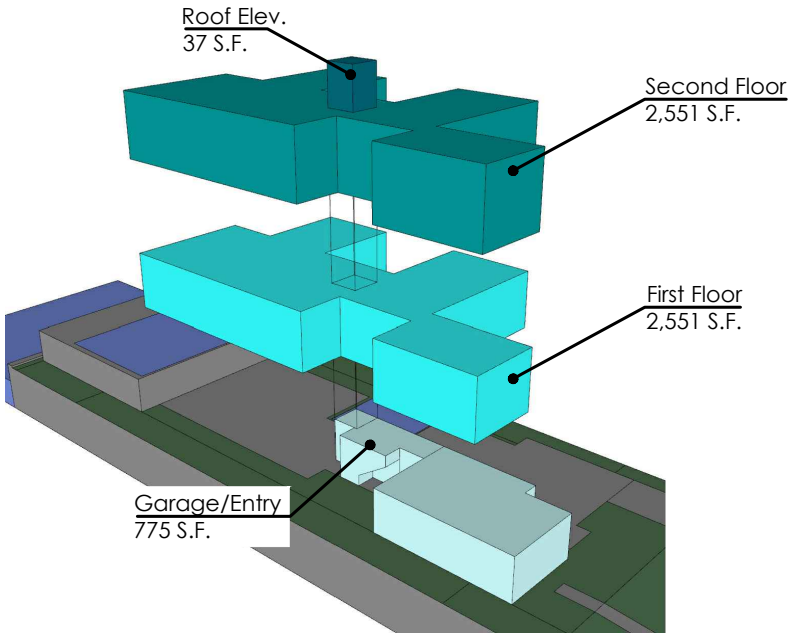
3 **SIDE YARD SECTION - NORTH** 3/16" = 1'-0"



2 **REAR YARD SECTION** 3/16" = 1'-0"



- HATCH DENOTES FIRST FLOOR
- HATCH DENOTES AREA COVERED PAST 5 FT



2 **VOLUME
DIAGRAM**

1 **LOT COVERAGE
DIAGRAM** 1/16" = 1'-0"

COVERAGE (RS-3)	
LOT AREA	10,677
MAX COVERAGE (30%)	3,203
FIRST FL. AC	2,551
2ND FL. AC PROJECTION	0
COVERED PAST 5 FT	403
COVERED PAST 5 FT	249
TOTAL PROPOSED	3,203 S.F.
PERCENT OF LOT AREA	30.00%
DIFFERENCE (- UNDER / + OVER)	-0.10

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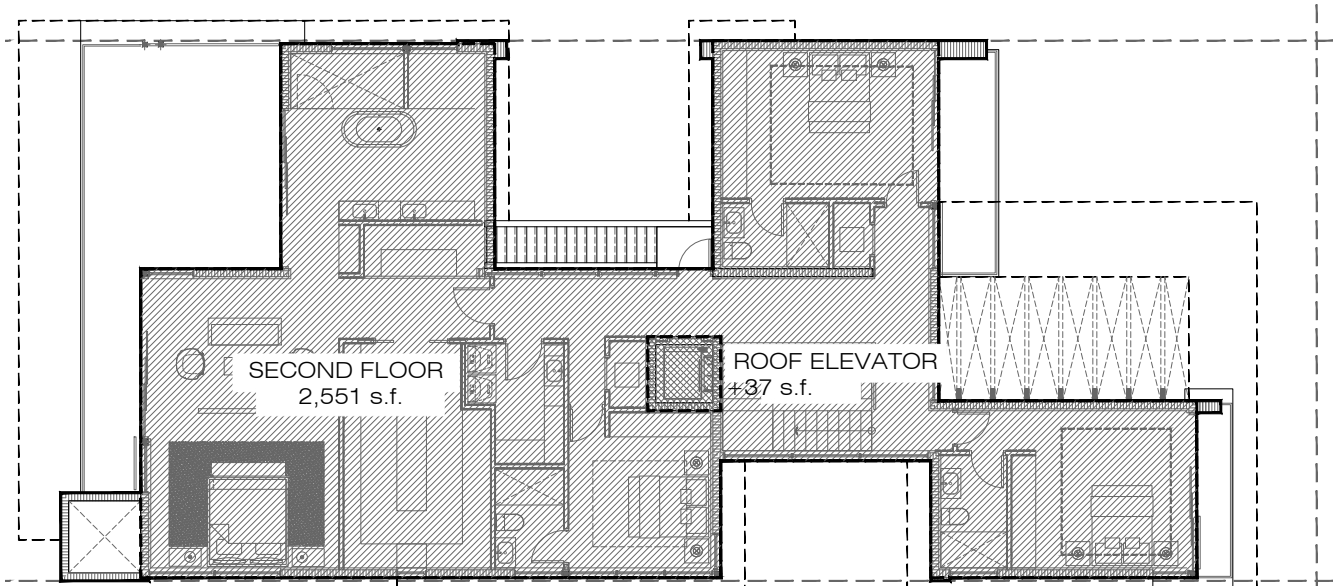
LOT COVERAGE
DIAGRAM

SCALE: AS SHOWN

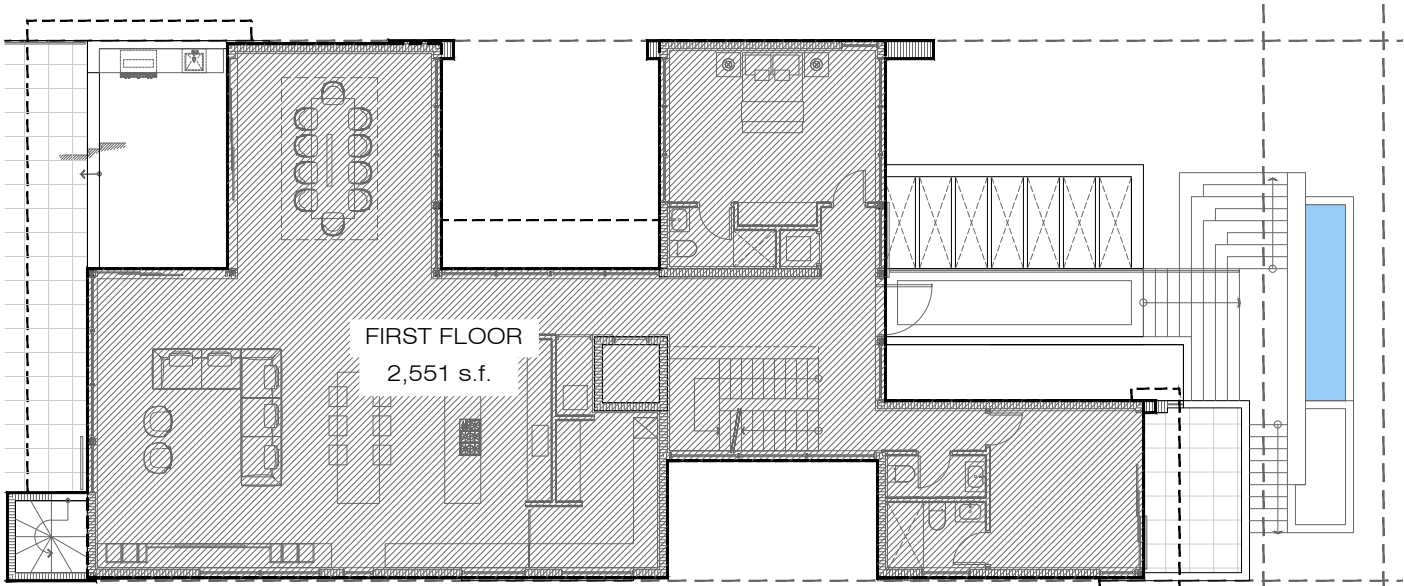
DATE: 07-20-2022

SHEET NUMBER

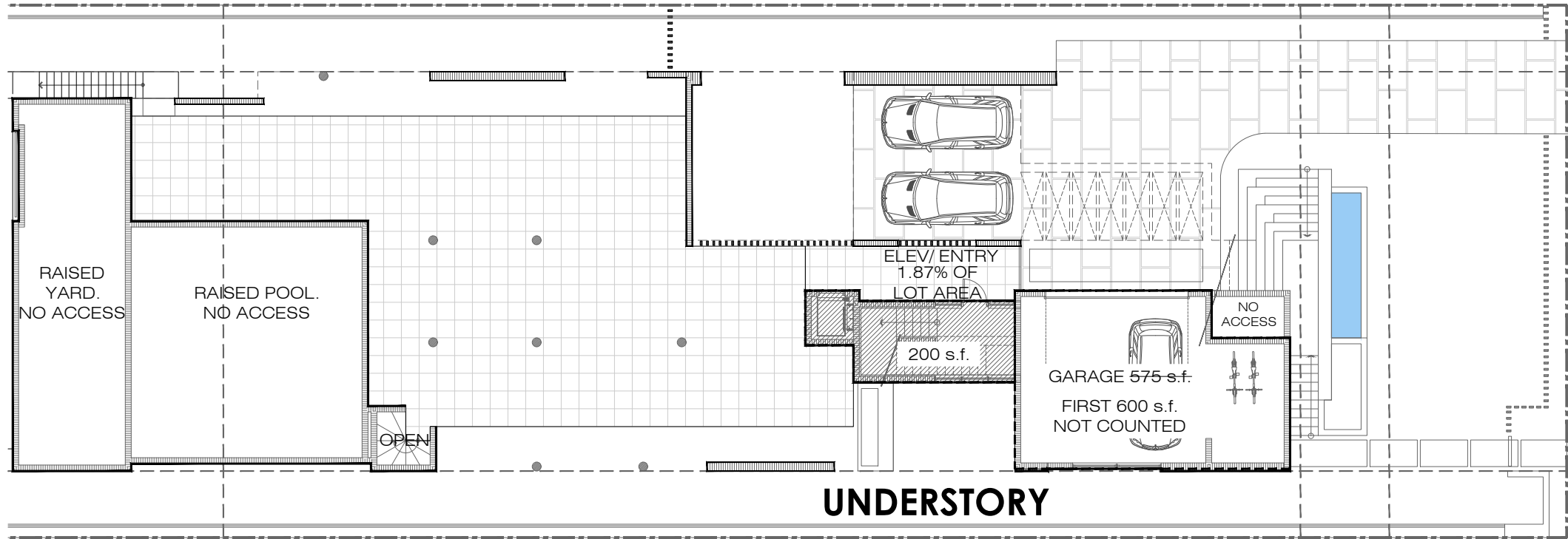
A-1.4



SECOND FLOOR



FIRST FLOOR



UNDERSTORY

HATCH DENOTES AREA COUNTED

1

UNIT SIZE
DIAGRAM

1/16" = 1'-0"

↓

UNIT SIZE (RS-3)	
LOT AREA	10,677
MAX UNIT SIZE (50%)	5,339
GARAGE (N/A) UNDER 600	0
GROUND FLOOR ENTRY / ELEV	200
FIRST FL. AC	2,551
SECOND FL. AC	2,551
ROOF ELEVATOR	37
TOTAL PROPOSED	5,339 S.F.
PERCENT OF UNIT AREA	50%

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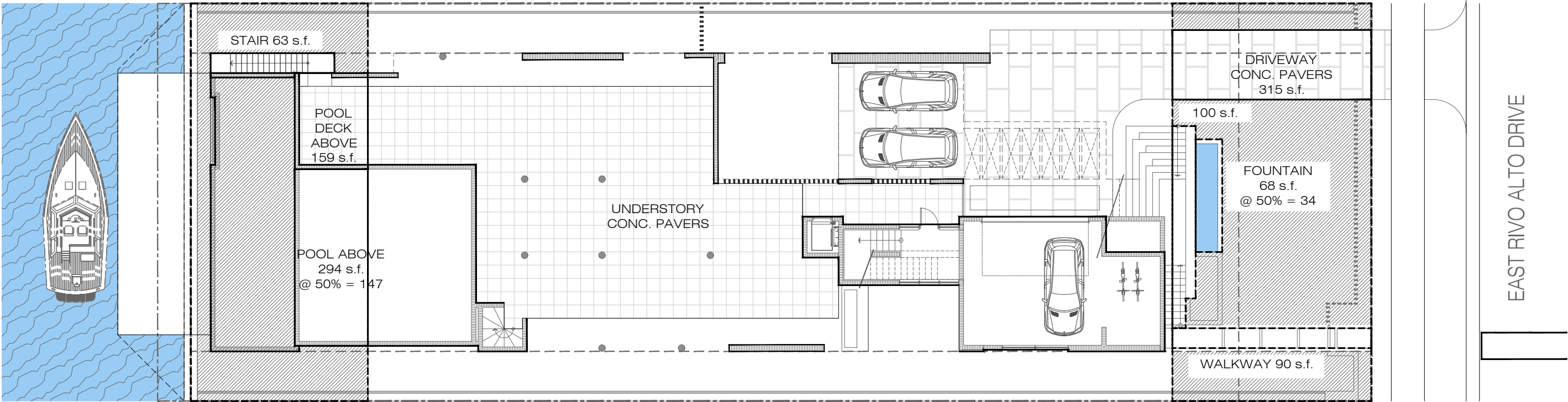
DRAWING TITLE

UNIT SIZE
DIAGRAM

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-1.5

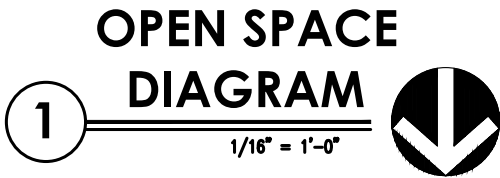


REAR YARD
TOTAL: 1,602 S.F.

 HATCH DENOTES GRASSED AREA

FRONT YARD
AREA: 1,800 S.F.

REAR YARD	
YARD AREA	1,602
MIN. GREEN AREA (70%)	1221
POOL DECK	159
POOL @ 50%	147
ACCESS STAIRS	63
TOTAL COVERED AREA	369 S.F.
TOTAL GREEN AREA	1,233 S.F.
PERCENTAGE OF GREEN AREA PROVIDED	76.97%



FRONT YARD	
YARD AREA	1,800
MIN. GREEN AREA (70%)	1260
DRIVEWAY	315
FOUNTAIN @ 50%	34
ENTRY STAIR	100
WALKWAY	90
TOTAL COVERED AREA	539 S.F.
TOTAL GREEN AREA	1,261 S.F.
PERCENTAGE OF GREEN AREA PROVIDED	70.06%

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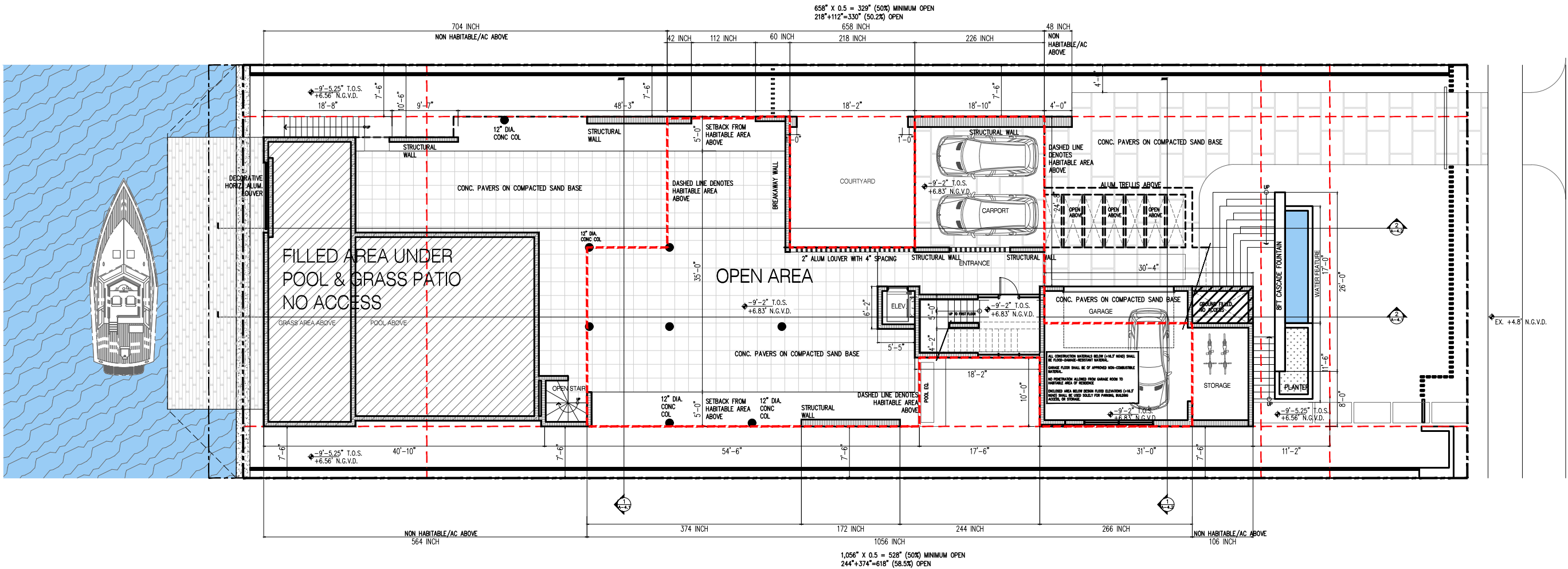
DRAWING TITLE

**OPEN SPACE
DIAGRAM**

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-1.6



1

UNDERSTORY / GROUND FLOOR PLAN



1/16"=1'-0"

EAST RIVO ALTO DRIVE

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

ADDRESS & OWNER

REVISION & DATE

DRAWING TITLE

UNDERSTORY /
GROUND
FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

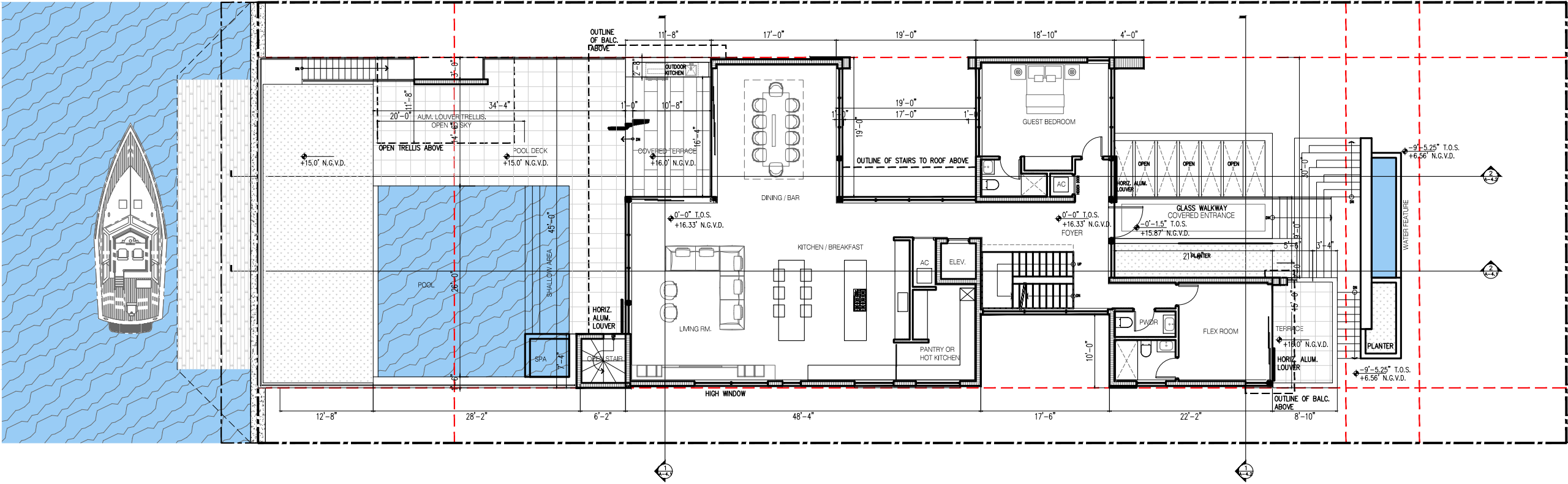
A-2.1

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1 FIRST FLOOR PLAN

1/16"=1'-0"

EAST RIVO ALTO DRIVE

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

FIRST
FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-2.2

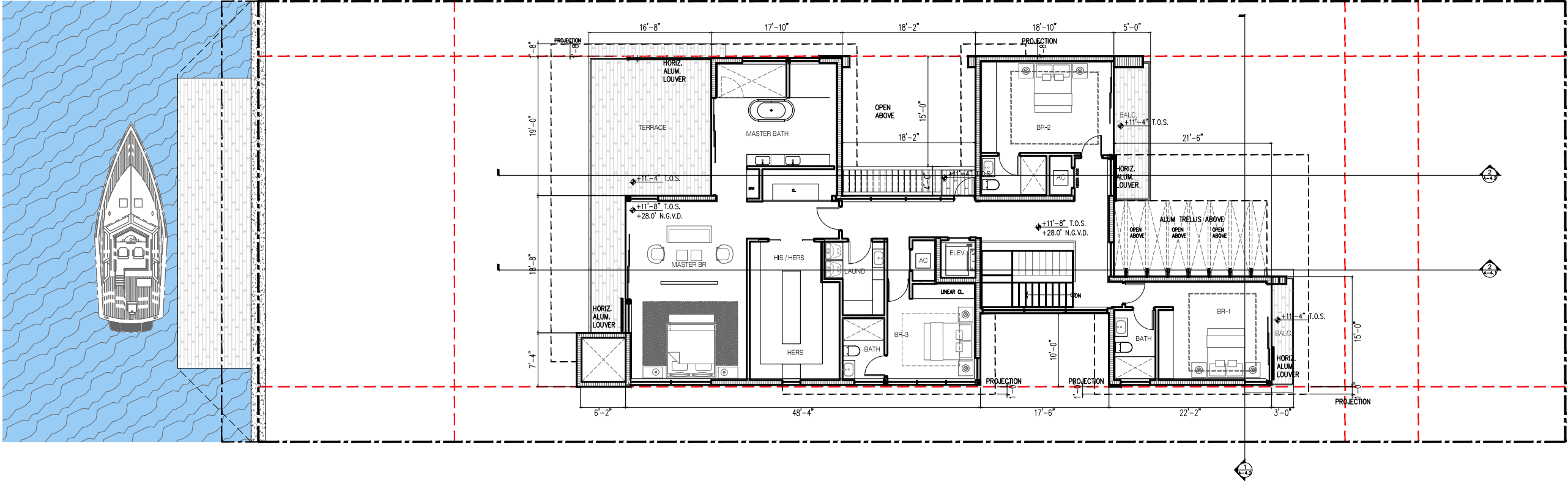
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EAST RIVO ALTO DRIVE

1 SECOND FLOOR PLAN 1/16"=1'-0" ↓

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FL LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE

333 E. RIVO ALTO DRIVE

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DRAWING TITLE

SECOND FLOOR PLAN

SCALE: AS SHOWN

DATE: 07-20-2022

SHEET NUMBER

A-2.3



EAST RIVO ALTO DRIVE

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ROOF PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

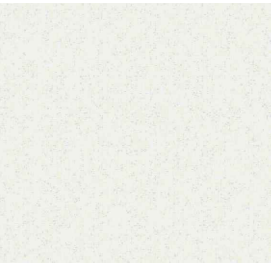
SHEET NUMBER

A-2.4



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS

MATERIAL LEGEND



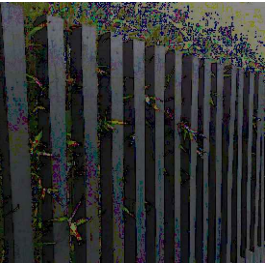
1. STUCCO, EXTERIOR PAINT COLOR



2. DECORATIVE TILE TO SIMULATE STONE MATERIAL



3. ACCENT WOOD FINISH



4. VERT. ALUM LOUVER FENCE



5. CONCRETE PAVER DRIVEWAY WITH GRASS INLAY, PATTERN TBD



6. DARK MARBLE FINISH

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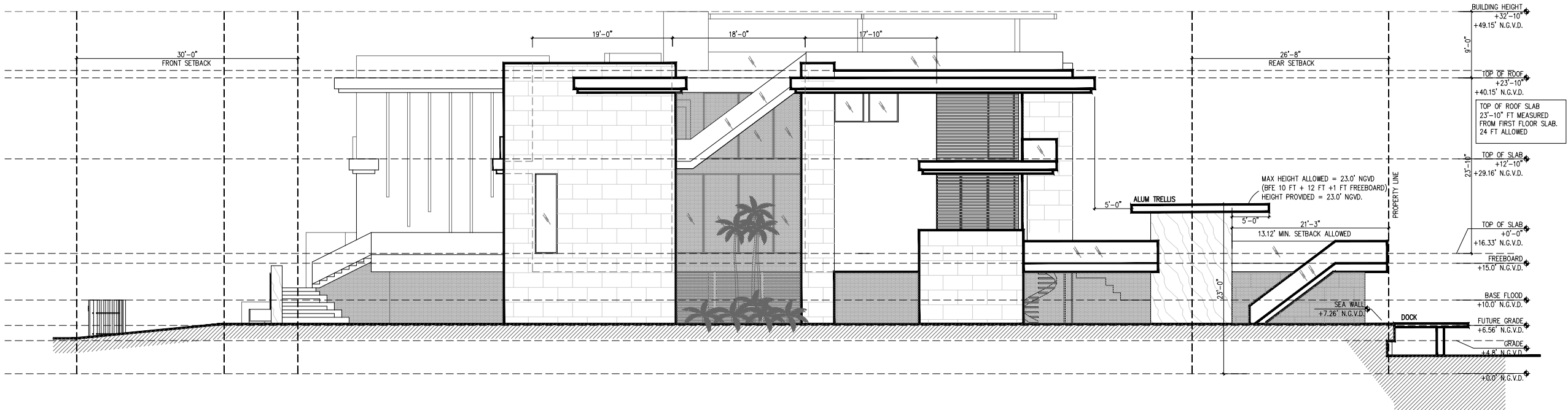
MATERIAL LEGEND

SCALE: AS SHOWN

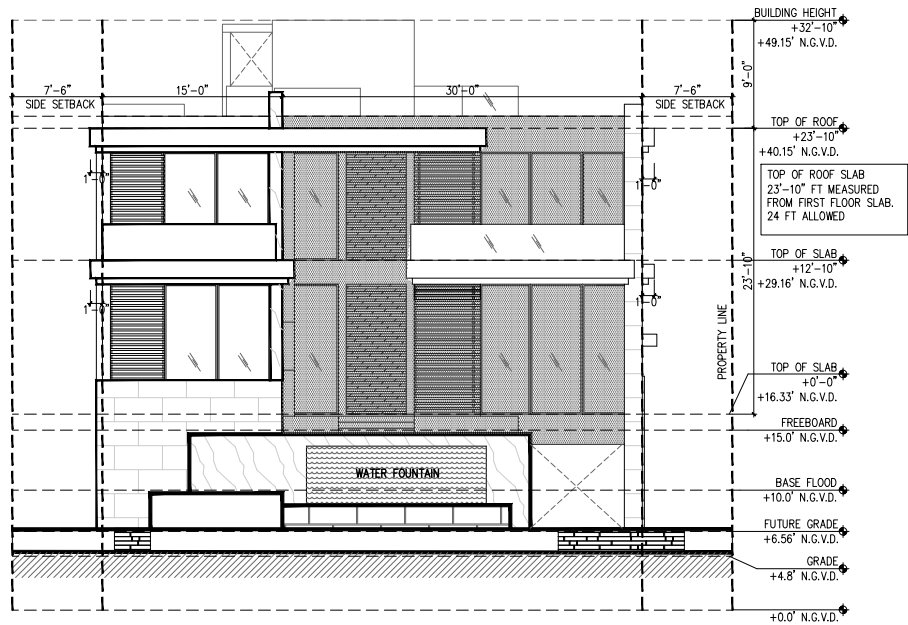
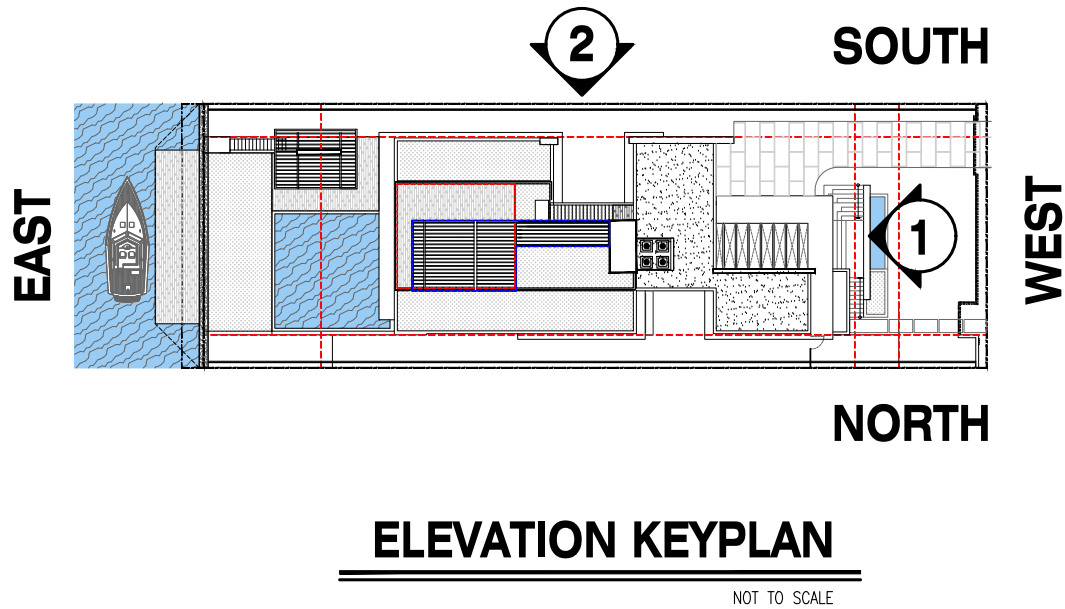
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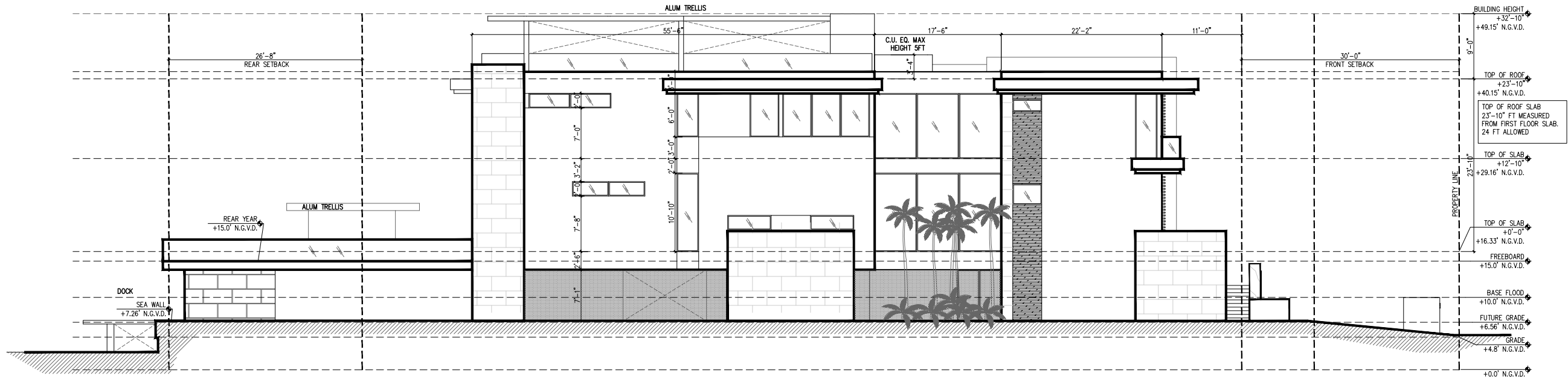
A-3.0



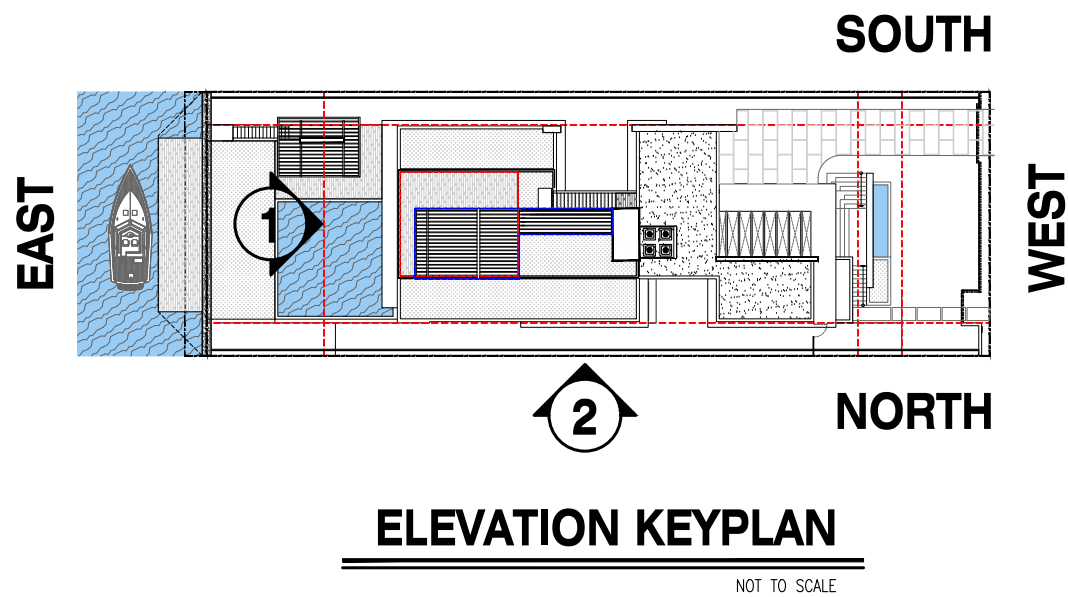
2 SOUTH ELEVATION
(SIDE)
1/16"=1'-0"



1 WEST ELEVATION
(FRONT)
1/16"=1'-0"

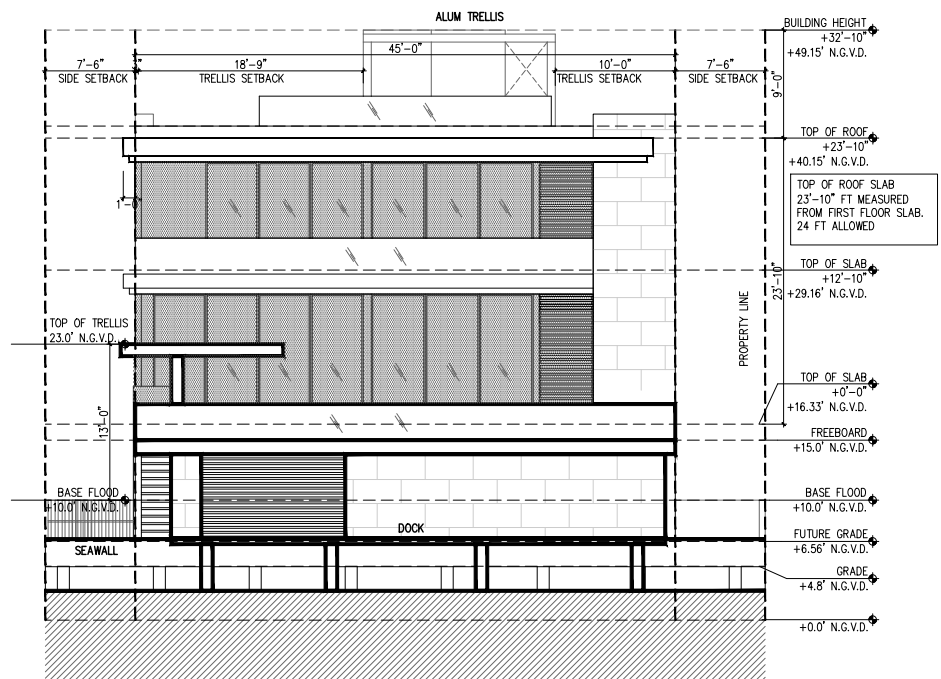


2 NORTH ELEVATION
(SIDE)
1/16"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE



1 EAST ELEVATION
(REAR)
1/16"=1'-0"

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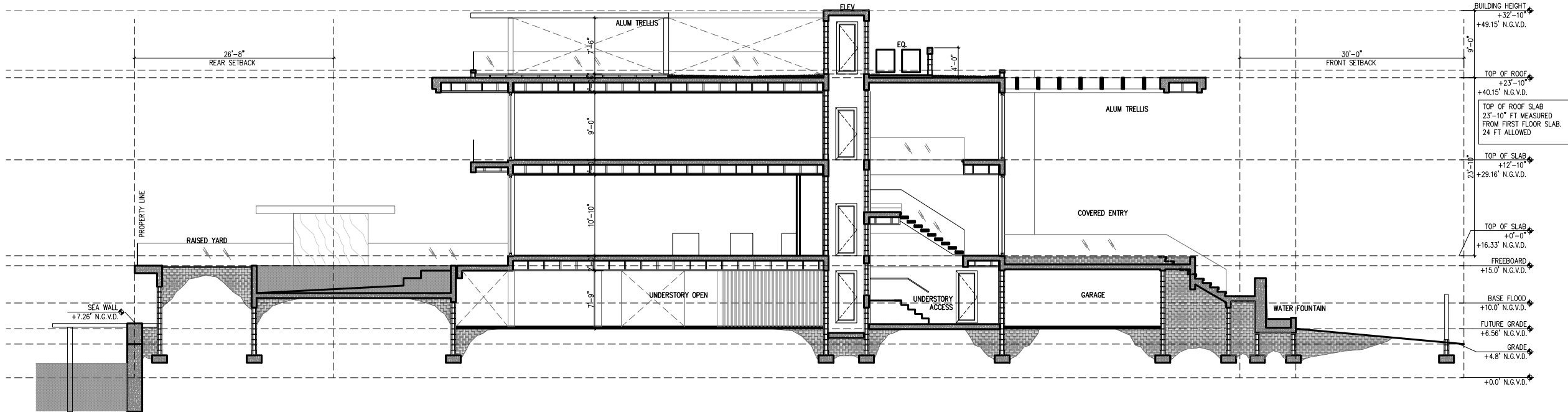
DRAWING TITLE

ELEVATION

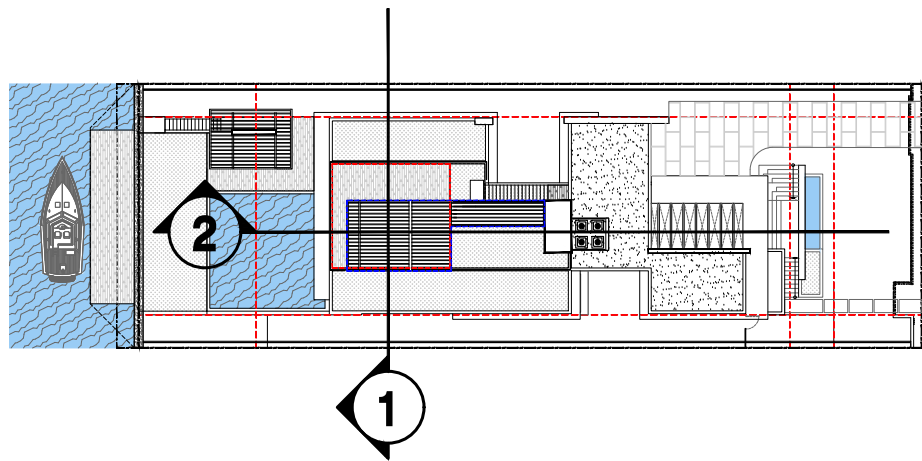
SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

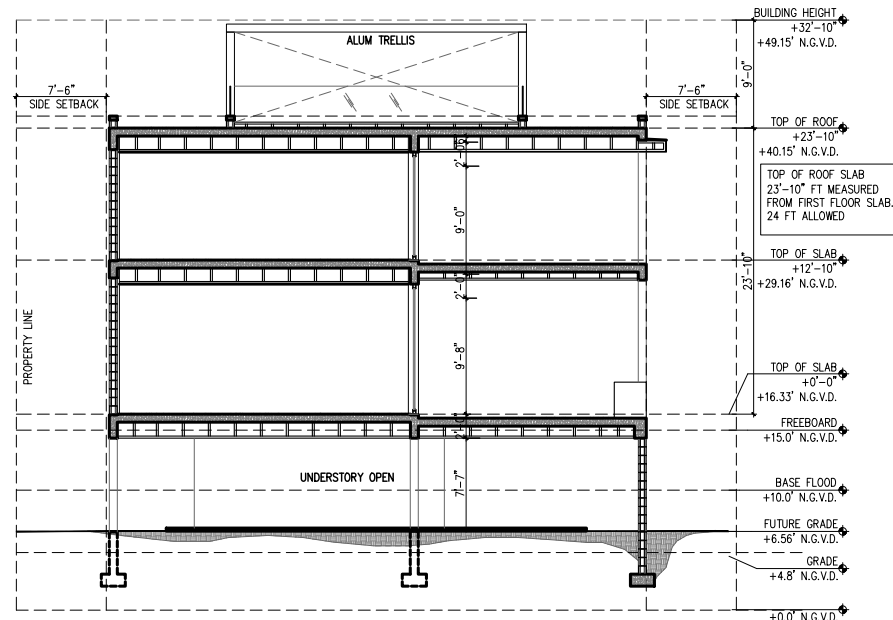
A-3.2



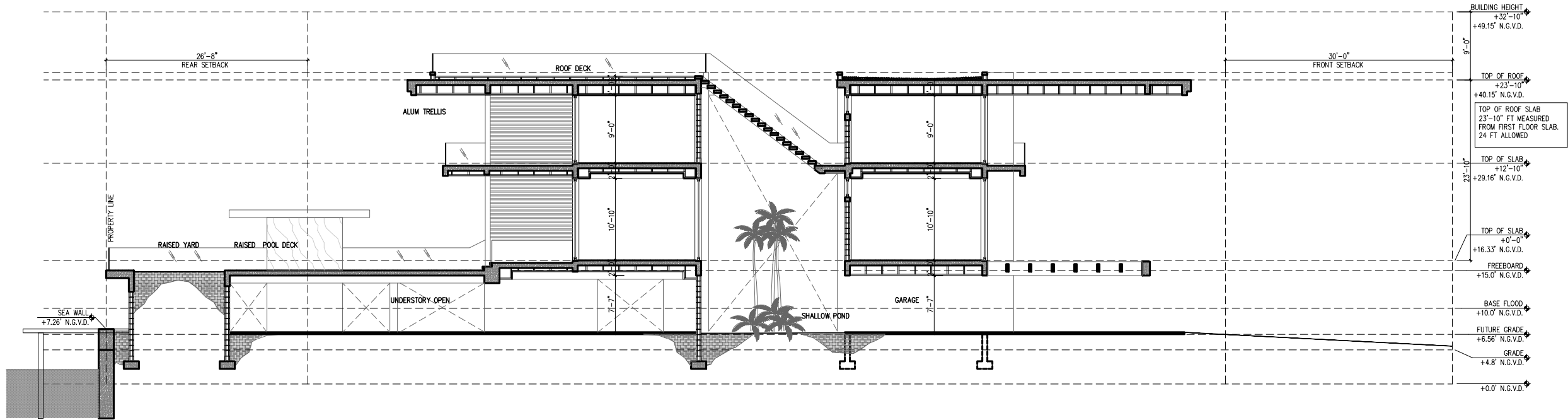
2 SECTION
1/16"=1'-0"



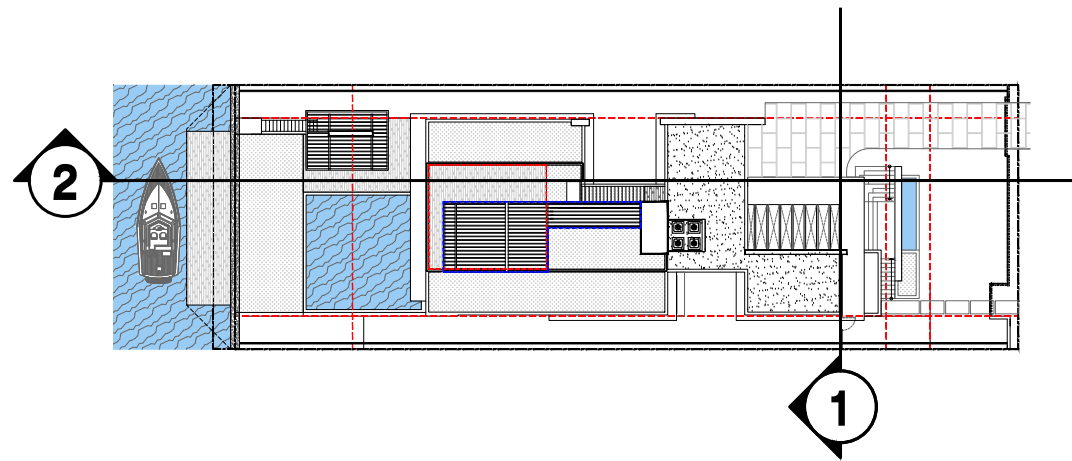
SECTION KEYPLAN
NOT TO SCALE



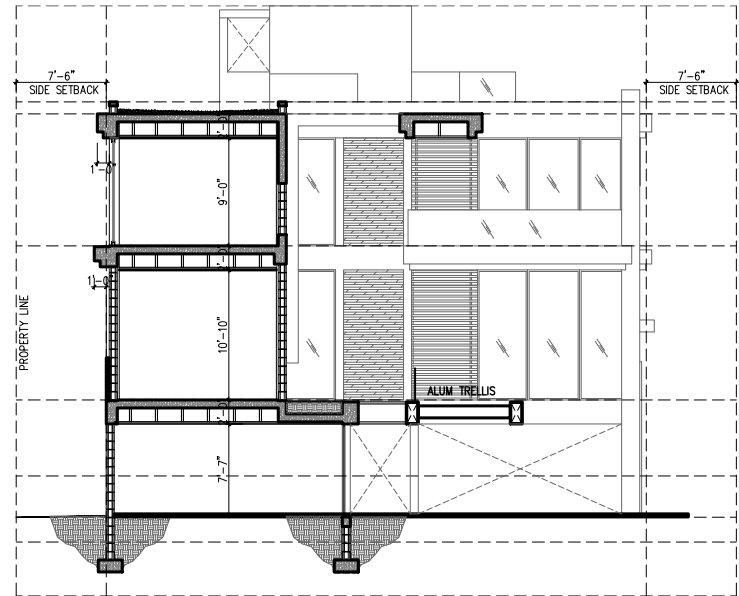
1 SECTION
1/16"=1'-0"



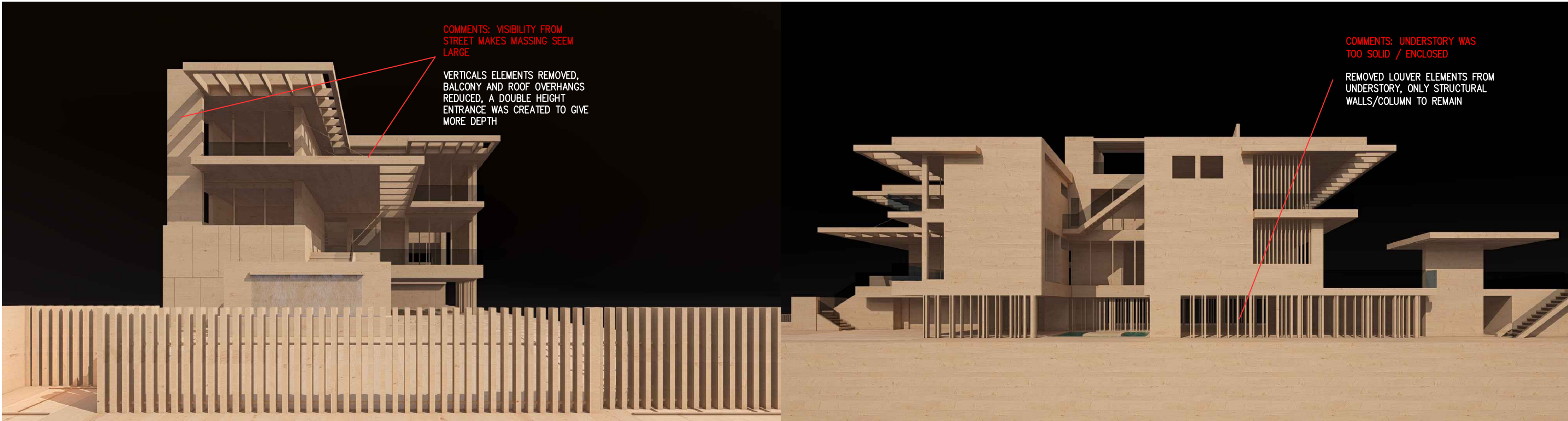
2 **SECTION**
1/16"=1'-0"



SECTION KEYPLAN
NOT TO SCALE



1 **SECTION**
1/16"=1'-0"



COMMENTS: VISIBILITY FROM STREET MAKES MASSING SEEM LARGE

VERTICALS ELEMENTS REMOVED, BALCONY AND ROOF OVERHANGS REDUCED, A DOUBLE HEIGHT ENTRANCE WAS CREATED TO GIVE MORE DEPTH

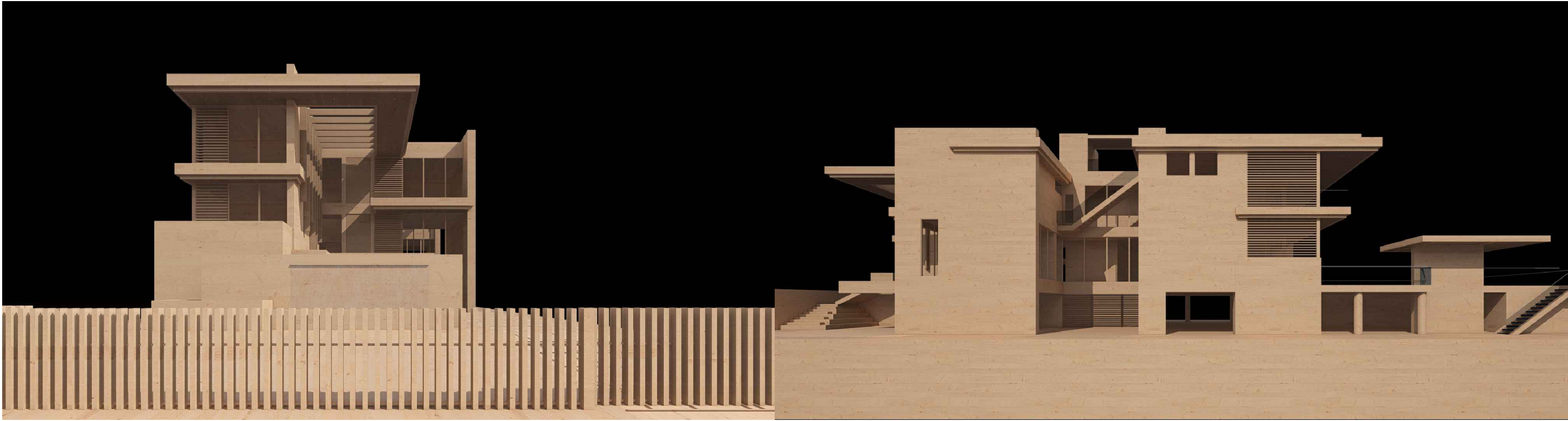
COMMENTS: UNDERSTORY WAS TOO SOLID / ENCLOSED

REMOVED LOUVER ELEMENTS FROM UNDERSTORY, ONLY STRUCTURAL WALLS/COLUMN TO REMAIN

FRONT

NOV. 2022 DESIGN

SIDE



FRONT

MAY 2023 DESIGN

SIDE

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DRAWING TITLE

DESIGN COMPARISON

SCALE: AS SHOWN

DATE: 07-20-2022

SHEET NUMBER

A-5.1



SIDE



REAR

NOV. 2022 DESIGN



SIDE



REAR

MAY 2023 DESIGN

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DRAWING TITLE

DESIGN

COMPARISON

SCALE: AS SHOWN

DATE: 07-20-2022

SHEET NUMBER

A-5.2