

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141



DRB FILE NUMBER: DRB23-0922

SCOPE OF WORK:
MULTI - FAMILY

TABLE OF CONTENT

GENERAL	
G-0	COVER SHEET
G-1	NOTES, SYMBOLS & ABBREVIATIONS
G-2	ZONING DATA SHEET
G-2.1	ZONING REQUIREMENTS & LOCATION
G-2.2	ZONING REQUIREMENTS & LOCATION
G-3	SURVEY
G-4	SITE PLAN
G-5	AREA DIAGRAMS
G-6	EXISTING EXT. PICTURES
G-7	EXISTING INT. PICTURES
G-7.1	EXISTING INT. PICTURES
G-8	SITE & CONTEXT PICTURES
G-8.1	SITE & CONTEXT PICTURES
G-8.2	SITE & CONTEXT PICTURES
G-9	CONTEXTUAL ELEVATION
DEMO	
D1-1.00	DEMOLITION NOTES
D1-1.01	EXISTING GROUND LEVEL FLOOR PLAN
D1-1.02	EXISTING ELEVATION
D1-2.01	DEMO GROUND LEVEL PLAN
D2-2.02	DEMOLITION ELEVATION
ARCHITECTURE	
A1-1.01	GROUND FLOOR PLAN
A1-1.02	FLOOR PLAN 2TH LEVEL
A1-1.03	FLOOR PLAN 3TH LEVEL
A1-1.04	ROOFTOP PLAN LEVEL
A2-1.01	NORTH & SOUTH ELEV.
A2-1.02	EAST & WEST ELEVATION
A3-1.01	LONGITUDINAL SECTION
A3-1.02	CROSS SECTION
A3-2.01	EXPLODED AXONOMETRIC
A3-2.02	EXPLODED AXONOMETRIC
A4-1.01	STREET VIEW
A4-1.02	STREET VIEW
A4-1.03	STREET VIEW
A4-1.04	STREET VIEW
A7-1.02	WALL TYPES
P-1.01	AXONOMETRIC VIEW
P-1.02	STREET VIEW
P-1.03	GROUND LEVEL VIEW
LANDSCAPE	
L-1.01	TREE DISPOSITION
L-1.02	TREE DISPOSITION SCHEDULE
L-2.01	TREE & PALM PLANTING PLAN
L-2.02	UNDERSTORY PLANTING PLAN
L-3.01	PLANTING SCHEDULE
L-3.02	LANDSCAPE LEGEND
L-3.03	PLANTING DETAILS

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
COVER SHEET

SCALE:

N.T.S.
SHEET NO:
G-0

5/15/2023 5:25:08 PM

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:		7921 Carlyle Ave, Miami Beach, FL 33141		
2	Board and file numbers :		BRD - 23-0922		
3	Folio number(s):		02-3202-007-1430		
4	Year constructed:	1940	Zoning District:	RM-2 / OVERLAY: NORTH SHORE HIST. DISTRICT	
5	Based Flood Elevation:	8.0 N.G.V.D.	Grade value in NGVD:	6' 8" N.G.V.D.	
6	Adjusted grade (Flood+Grade/2):	7' 4" N.G.V.D.	Lot Area:	5,650 SF	
7	Lot width:	50'	Lot Depth:	113'	
8	Minimum Unit Size	662 SF	Average Unit Size	803 SF	
9	Existing use:	SINGLE FAMILY	Proposed use:	MULTI-FAMILY	
		Maximum	Existing	Proposed	Deficiencies
10	Height	45 FT	15' 3"	35' 10"	N/A
11	Number of Stories	4	1	3	N/A
12	FAR	5,650 SF X 1.25= 7,062 SF	1694 SF	6,996 SF	N/A
13	Gross square footage	N/A			
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A			
20	Side Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
	At Grade Parking:				
24	Front Setback:	20'-0"	18'-9"	10'-0"	
25	Side Setback:	5'-0"	5'-0"	5'-0"	
26	Side Setback:	5'-0"	5'-0"	5'-0"	
27	Side Setback facing street:	N/A			
28	Rear Setback:	10% lot depth= 11'-3"	46'-9"	11'-3"	
	Pedestal:				
29	Front Setback:	10'-0"		10'-0"	
30	Side Setback:	5'-0"	5'-0"	5'-0"	
31	Side Setback:	5'-0"	5'-0"	5'-0"	
32	Side Setback facing street:	N/A			
33	Rear Setback:	5'-0"	46' 9"	5'-0"	
	Tower:				
34	Front Setback:	N/A			
35	Side Setback:	N/A			
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	5'-0"	5'-0"	5'-0"	
37	Side Setback facing street:	N/A			
38	Rear Setback:	5'-0"	46' 9"	5'-0"	
	Front Setback:	10'-0"	18' 9"	10'-0"	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	1	1	1	
40	Total # of parking spaces	0	1	4	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	8 1/2' X 18'		8 1/2' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			90o	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	12'		12'	
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			
56	Is this a contributing building?		Yes		
57	Located within a Local Historic District?		Yes		

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC

3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

M U V E
ARCHITECTURE

DESIGNER:

RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

STATE OF FLORIDA
RICARDO J. MUNIZ-GUILLET
REGISTERED ARCHITECT
AR97841

SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
ZONING DATA SHEET

SCALE:

N.T.S.

SHEET NO:

G-2

5/15/2023 5:25:12 PM

DENBORA BAY

3179 HOLYLAKE RD.

ARCHITECT:

954 812 6650

AA#26003161



954 850 9965

ADMIN@RED

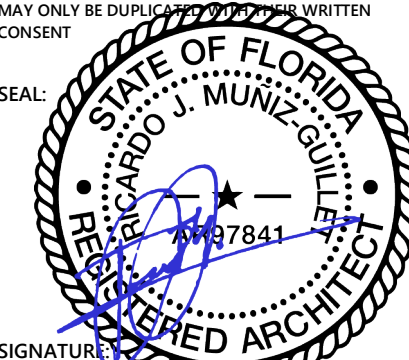
FINAL SUBMITTAL

SHEET ISSUE DATE: 03-31-2023

DRAWN BY: BK

DRAWN BY: BK **APPROVED BY:** YM

SEAL:



SIGNATURE _____

SHEET TITLE:

CLIPM

SURVEY

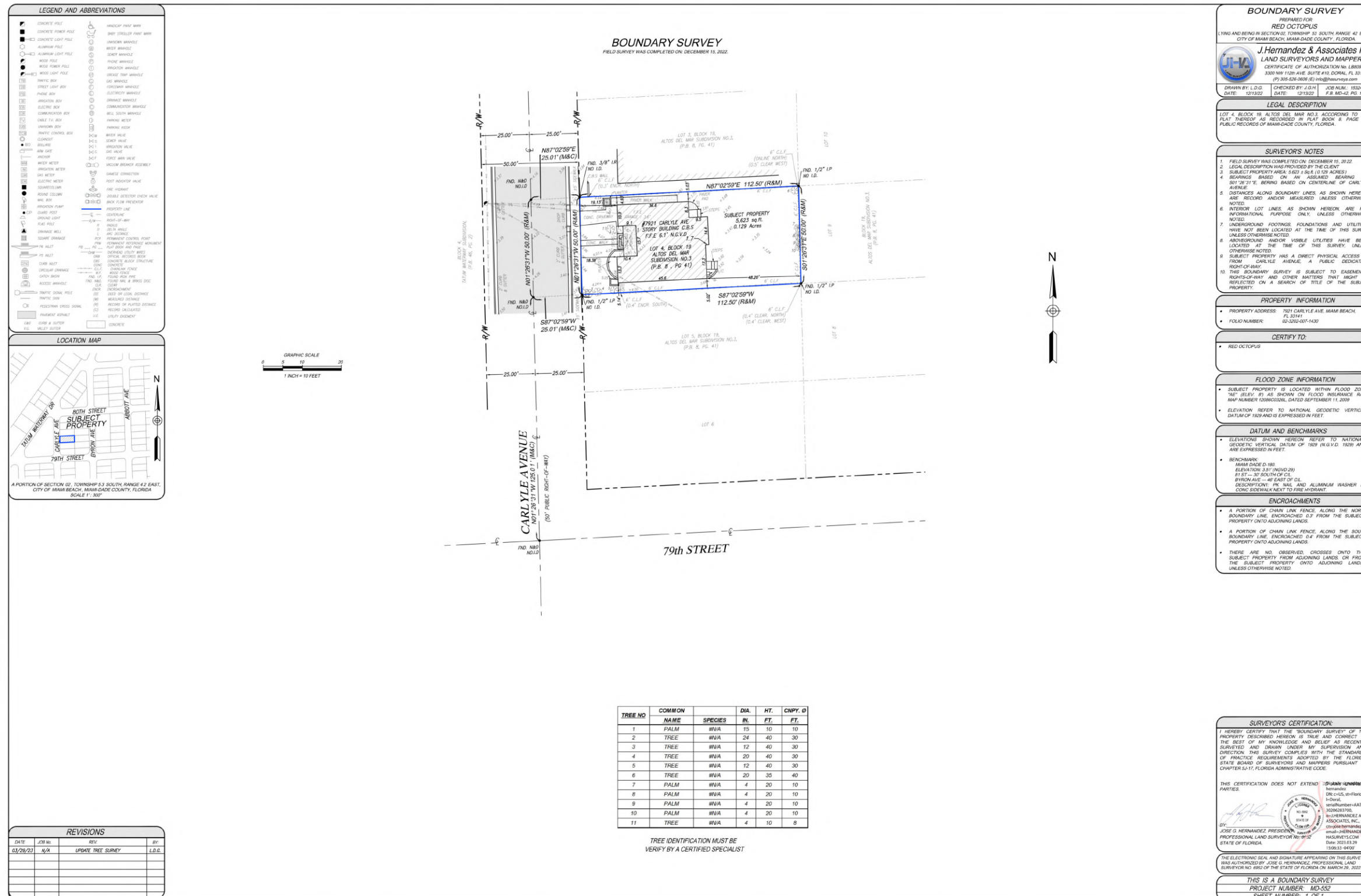
SCALE:

N.T.S.

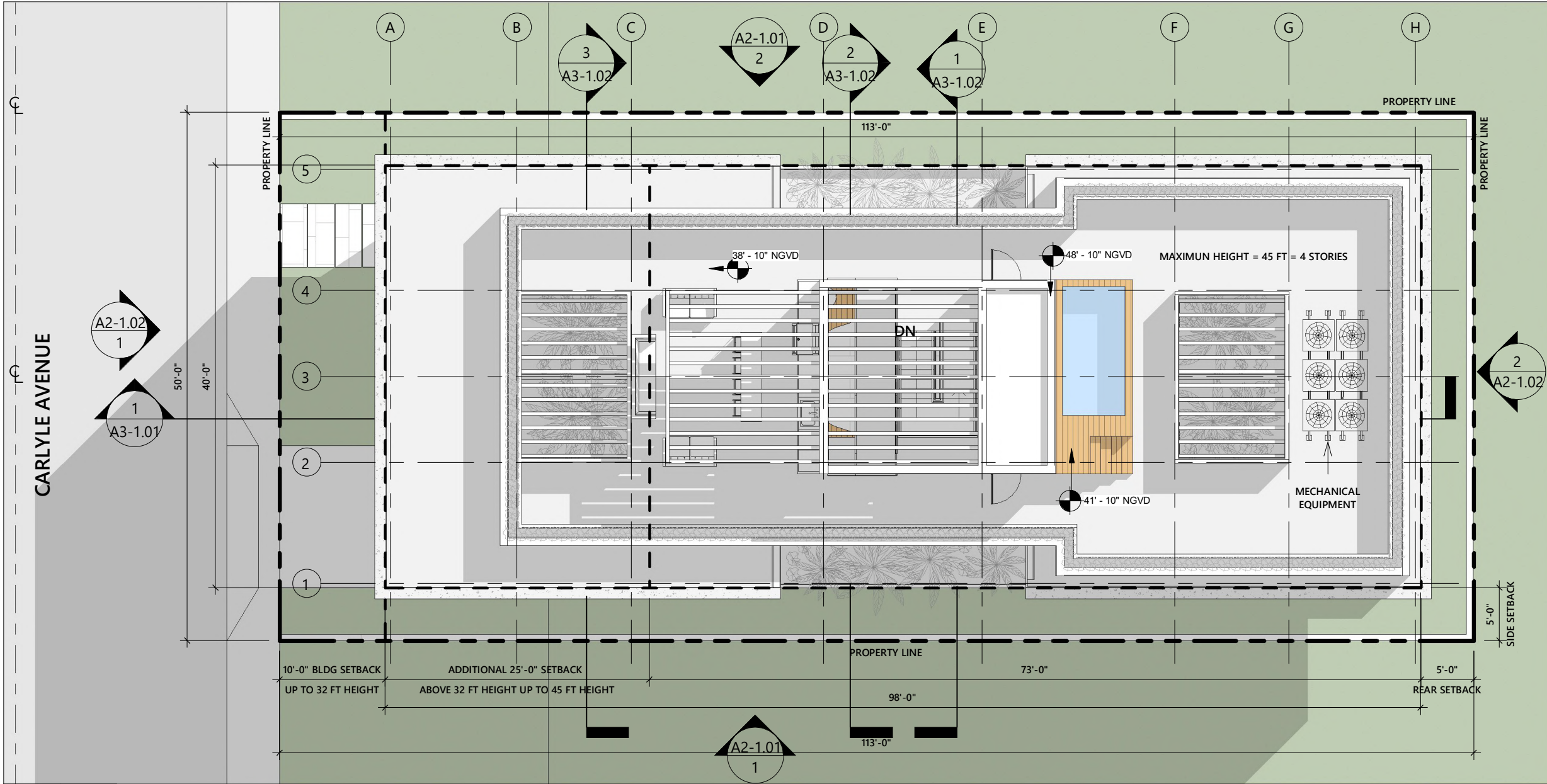
SHEET NO:

G-3

5/15/2023 5:25:15 PM



<div><p>SUBJECT LOCATION 7921 CARLYLE AVE MIAMI BEACH FL 33141</p></div>			<div><p>SUBJECT LOCATION 7921 CARLYLE AVE MIAMI BEACH FL 33141</p></div>			<div><p>SUBJECT LOCATION 7921 CARLYLE AVE MIAMI BEACH FL 33141</p></div>			<div><div>PROJECT AND OWNER: DENBORA BAY 7921 CARLYLE AVE MIAMI BEACH FL 33141 DENDORA BAY LLC 3179 HOLYLAKE RD. LAKE WORTH FL 33467 ARCHITECT: 2030 HABERSHAM TRCE CUMMING GA 30041 954 812 6650 RICARDO@MUVEARCH.COM AA#26003161 <div></div> DESIGNER: <div> 1535 NORTH PARK DRIVE #102 WESTON FL 33326 954 850 9965 ADMIN@REDOCTOPUSLLC.COM</div> <div><div>FINAL SUBMITTAL</div><div>PERMIT APPLICATION DATE: 05-15-2023 SHEET ISSUE DATE: 03-31-2023 PROJECT NO.: 2301 DRAWN BY: BK APPROVED BY: YM</div><div><table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table></div><div>ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT</div><div><div>SEAL: </div><div>SIGNATURE: RICARDO J. MUNIZ-GUILLET LIC# AR97841</div><div>SHEET TITLE: ZONING REQUIREMENTS & SCA LOCATION N.T.S. SHEET NO: G-2.2 5/15/2023 5:25:15 PM</div></div></div></div></div>									
<div></div>	<div>1</div>	<div>ZONING MAP N.T.S.</div>	<div></div>	<div>2</div>	<div>HISTORIC DISTRICT MAP 1 1/2" = 1'-0"</div>	<div></div>	<div>3</div>	<div>FUTURE LAND USE MAP 1 1/2" = 1'-0"</div>										



1 SITE PLAN
3/32" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY
7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

DESIGNER:
RED OCTOPUS LLC
INTEGRAL ARCHITECTURAL SERVICES
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL
PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

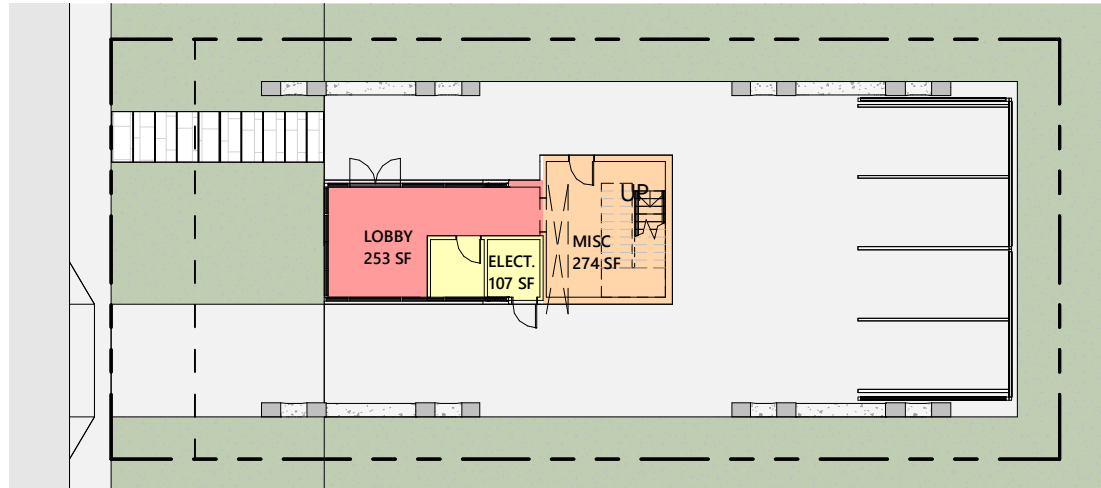
SIGNATURE: RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
SITE PLAN

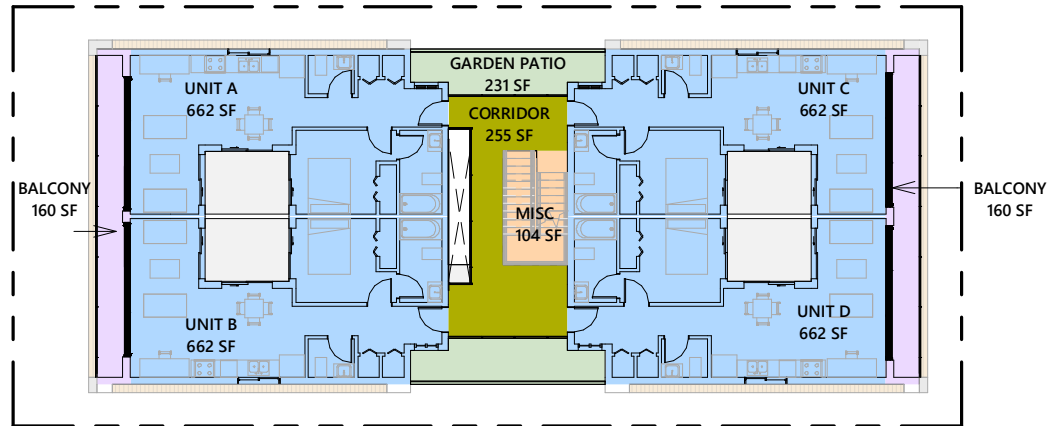
SCALE:
3/32" = 1'-0"

SHEET NO:
G-4









5/15/2023 5:25:26 PM

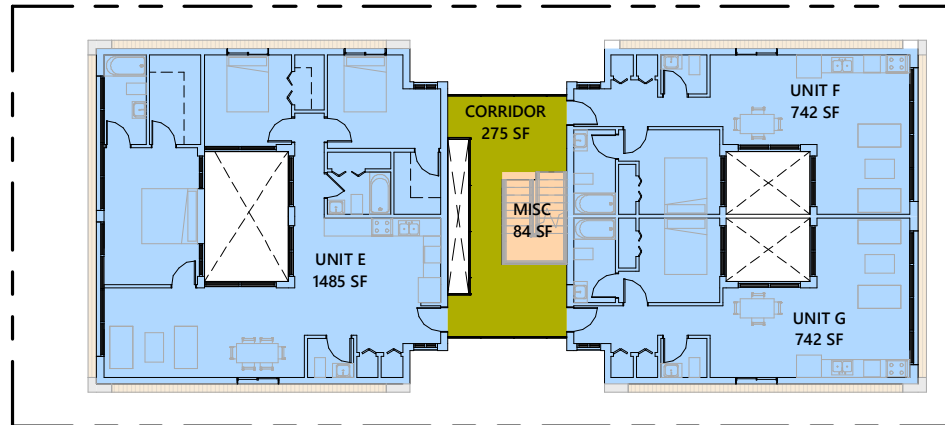


1	FAR DIAGRAM LEVEL 01
	3/64" = 1'-0"

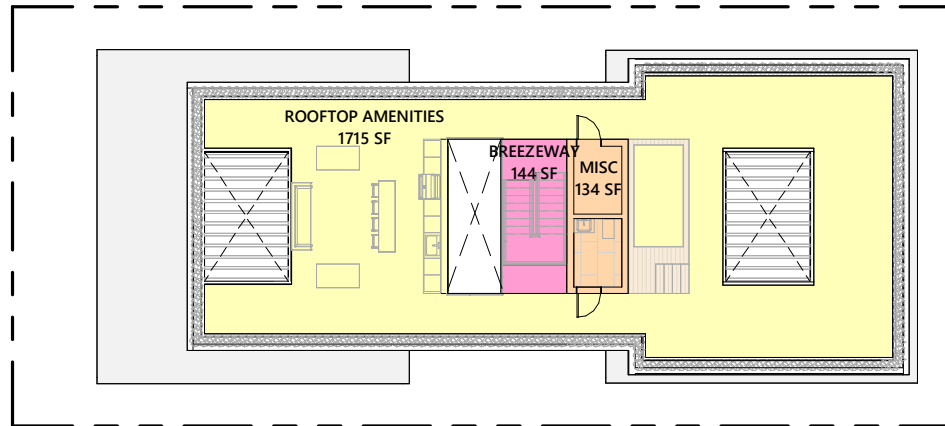


2	FLOOR PLAN LEVEL 02
	3/64" = 1'-0"

AREA LEGEND			AREA CALCULATIONS	UNCOVERED AREA					COVERED AREA			
TYPE	UNCOVERED AREA	COVERED AREA			ROOFTOP/ MECH	GARDEN PATIO	BALCONY	BREEZEWAY	LOBBY	CORRIDOR	MISC	UNITS
		1B / 2B UNIT										
		LOBBY		1 FLOOR	107 SF				253 SF		274 SF	
		MISC		2 FLOOR		231 SF	320 SF			255 SF	104 SF	2,648 SF
		CORRIDOR		3 FLOOR						275 SF	84 SF	2,969 SF
	GARDEN PATIO			4 FLOOR	1,715 SF			144 SF			134 SF	
	BALCONY			AREA SF:	1,822 SF	231 SF	320 SF	144 SF	253 SF	530 SF	596 SF	6,996 SF
	ROOFTOP / MECH. ROOM			TOTAL SF:	2,517 SF UNCOVERED AREA				6,996 SF COVERED AREA			
	BREEZEWAY											



3	FAR DIAGRAM LEVEL 03
	3/64" = 1'-0"



4	FAR DIAGRAM LEVEL 04
	3/64" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



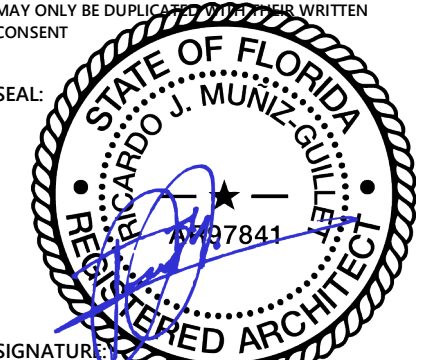
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM


FINAL SUBMITTAL

PERMIT APPLICATION DATE:	05-15-2023
SHEET ISSUE DATE:	03-31-2023
PROJECT NO.: 2301	
DRAWN BY: BK	APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE: 
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

AREA DIAGRAMS

SCALE:

N.T.S.

SHEET NO:

G-5

5/15/2023 5:25:28 PM



CURRENT EXTERIOR PHOTOGRAPHS, DATED MARCH 24TH, 2023


PROJECT AND OWNER:

DENBORA BAY


7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE:05-15-2023

SHEET ISSUE DATE:03-31-2023

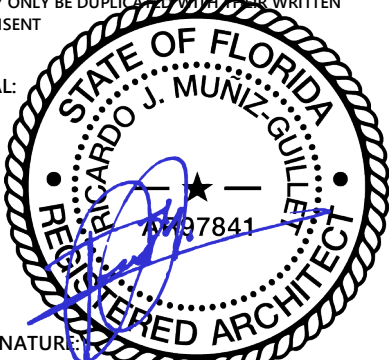
PROJECT NO.:2301

DRAWN BY: BK

APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

EXISTING EXT. PICTURES

SCALE:

N.T.S.

SHEET NO:

G-6

5/15/2023 5:25:29 PM



CURRENT INTERIOR PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC

3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



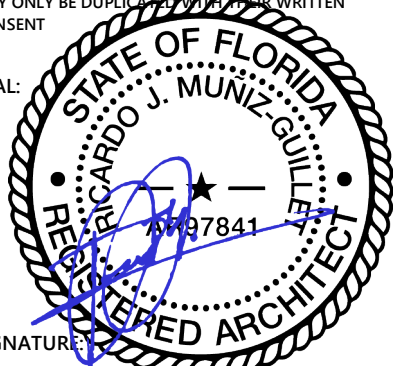
DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL
PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK
APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
EXISTING INT. PICTURES

SCALE:

N.T.S.

SHEET NO:

G-7

5/15/2023 5:25:30 PM



CURRENT INTERIOR PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



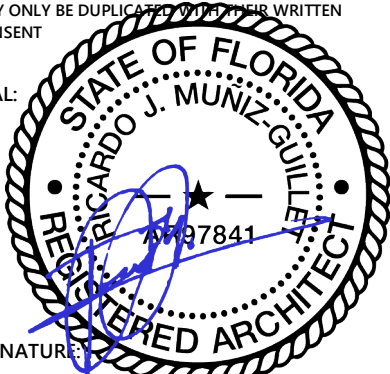
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



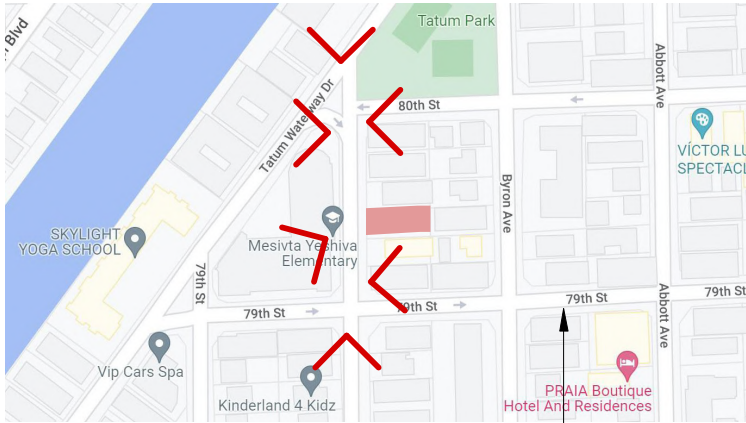
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
EXISTING INT. PICTURES

SCALE:
N.T.S.

SHEET NO:
G-7.1

5/15/2023 5:25:31 PM



SUBJECT LOCATION
7921 CARLYLE AVE | MIAMI BEACH | FL 33141



1

KEY DIRECTIONAL PLAN

1 1/2" = 1'-0"



CORNER TO CORNER VIEW



ACROSS THE STREET VIEW 1

CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



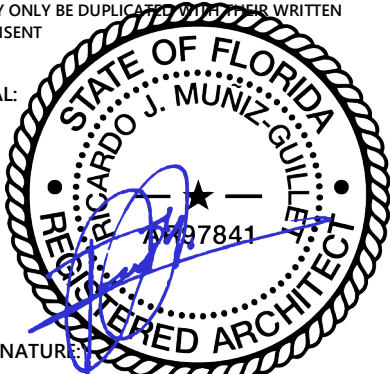
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

SITE & CONTEXT PICTURES

SCALE:

N.T.S.

SHEET NO:

G-8

5/15/2023 5:25:32 PM



SURROUNDING PROPERTIES 1



CORNER TO CORNER VIEW 2

CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023


PROJECT AND OWNER:

DENBORA BAY


7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE:05-15-2023

SHEET ISSUE DATE:03-31-2023

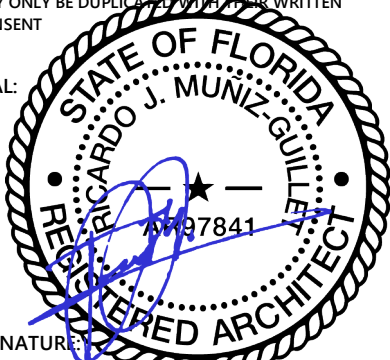
PROJECT NO.:2301

DRAWN BY: BK

APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

SITE & CONTEXT PICTURES

SCALE:

N.T.S.

SHEET NO:

G-8.1

5/15/2023 5:25:33 PM



ACROSS THE STREET VIEW 2



SURROUNDING PROPERTIES 2

CONTEXT PHOTOGRAPHS, DATED MARCH 24TH, 2023

PROJECT AND OWNER:

DENBORA BAY


7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE:05-15-2023

SHEET ISSUE DATE:03-31-2023

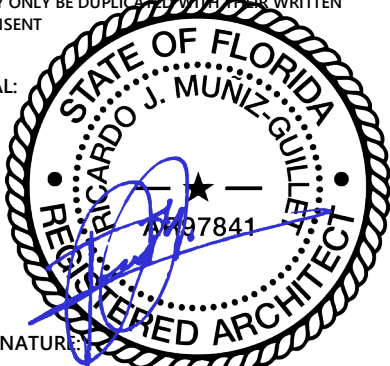
PROJECT NO.:2301

DRAWN BY: BK

APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

SITE & CONTEXT PICTURES

SCALE:

N.T.S.

SHEET NO:

G-8.2

5/15/2023 5:25:34 PM

PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

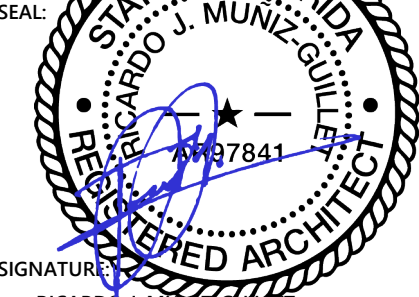
REDOCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



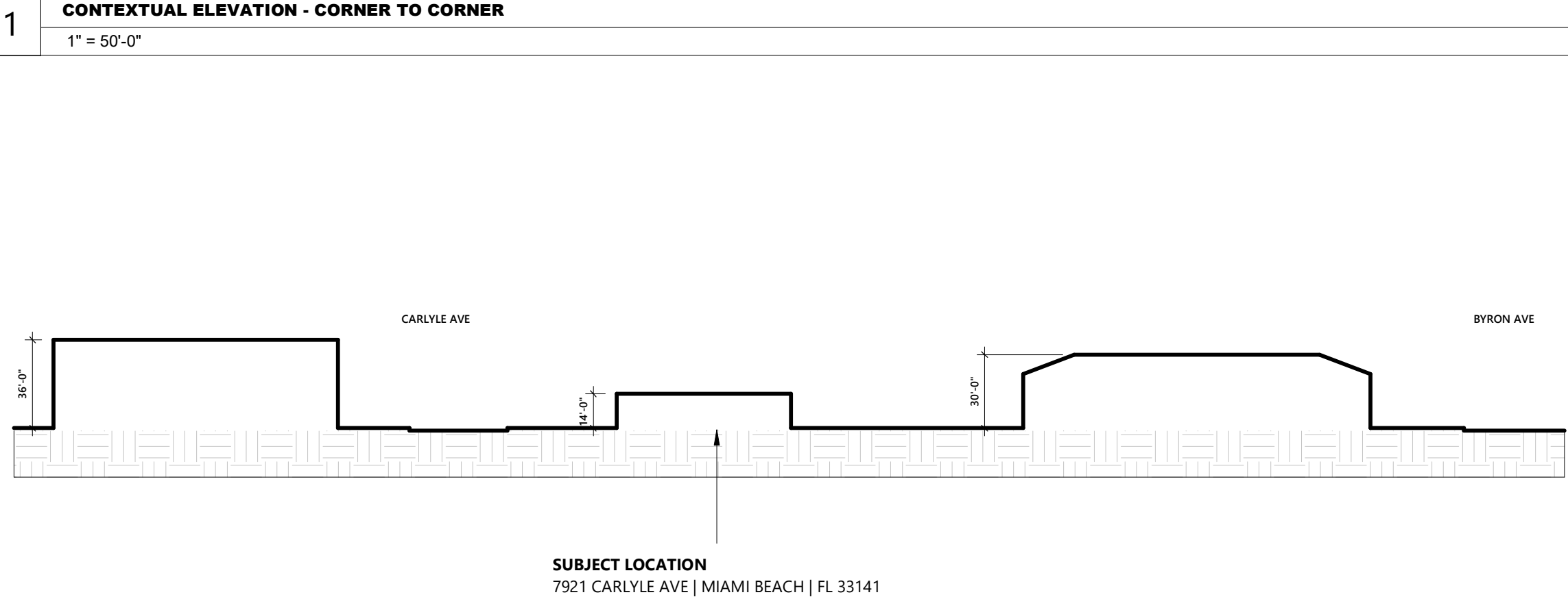
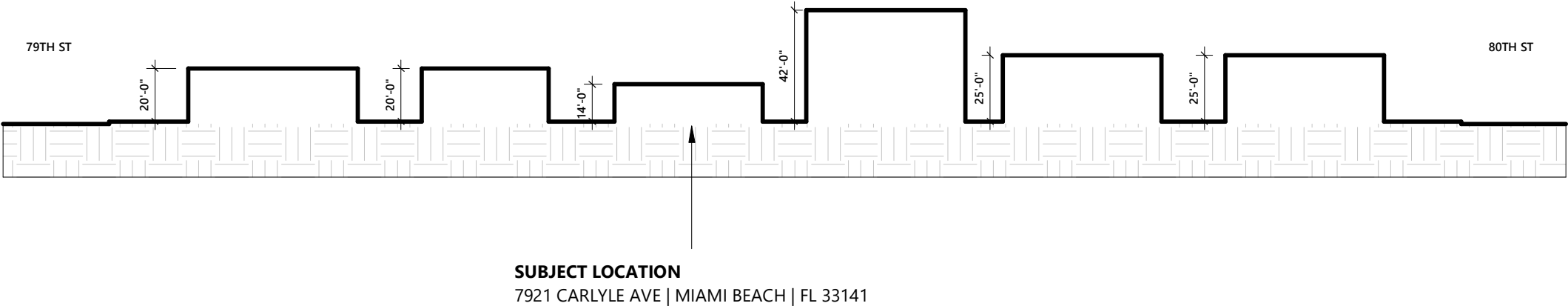
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
CONTEXTUAL ELEVATION

SCALE:
N.T.S.

SHEET NO:



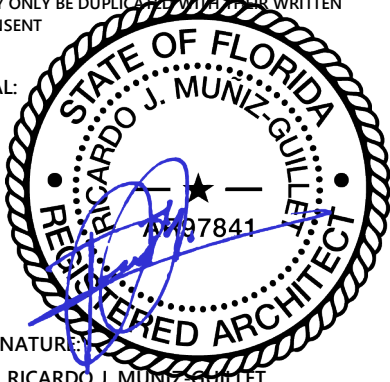
G-9
5/15/2023 5:25:35 PM

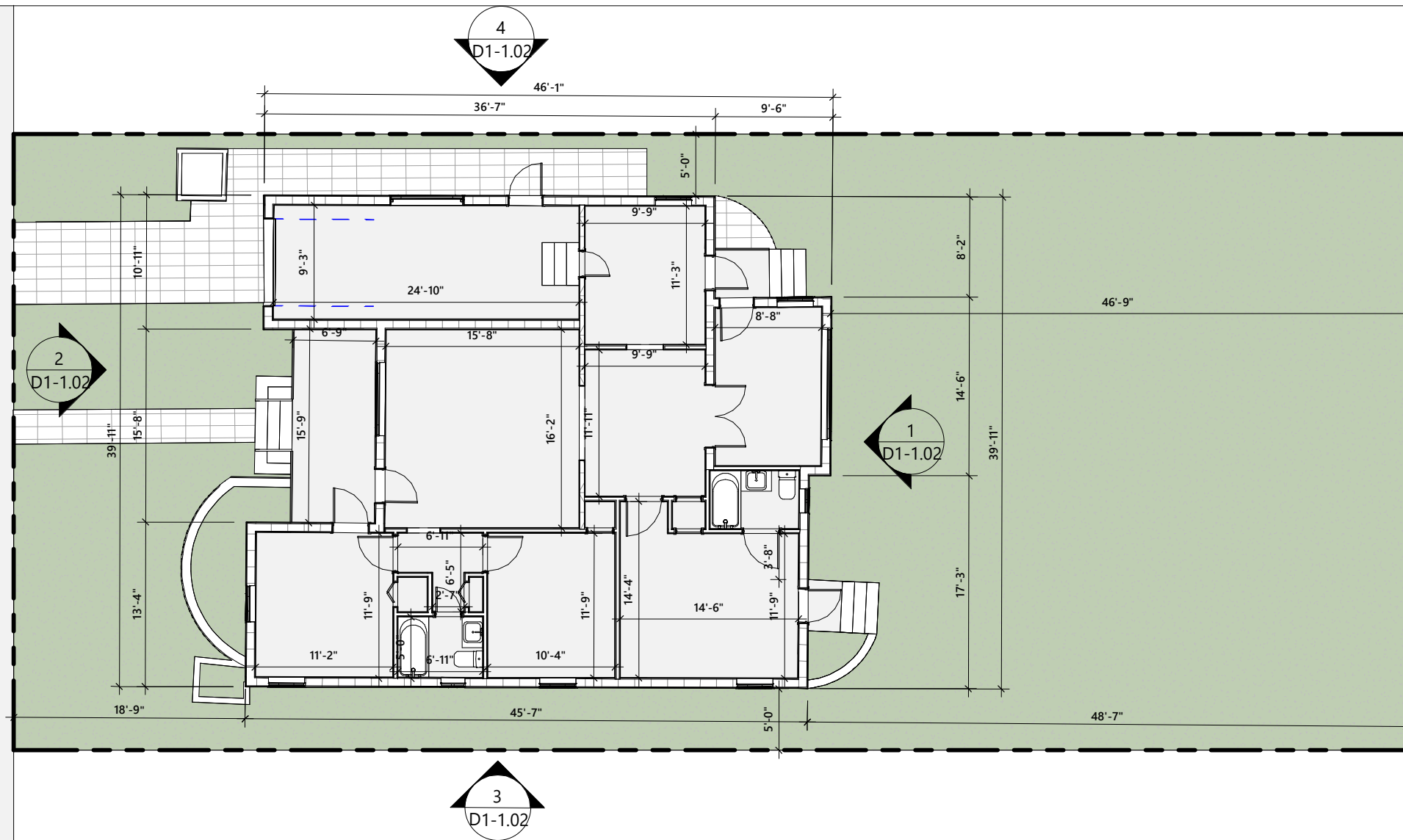


2

CONTEXTUAL ELEVATION - ACROSS THE STREET AND SURROUNDING PROPERTIES

1" = 50'-0"

WALL LEGEND		DEMOLITION NOTES		PROJECT AND OWNER: DENBORA BAY										
<div><div>1</div><div></div><div>TYPICAL 4" INTERIOR PARTITION NON-RATED</div></div> <div><div>2</div><div></div><div>EXTERIOR - EXISTING TO REMAIN</div></div> <div><div>3</div><div></div><div>INTERIOR - EXISTING TO REMAIN</div></div> <div><div></div><div></div><div>TO BE DEMOLISHED</div></div>		<p>02110 DEMOLITION</p> <p>1. PROVIDE LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL DEMOLITION AND REMOVAL WORK SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK.</p> <p>"TITLE OF PROPERTY": EXCEPT AS OTHERWISE SPECIFIED, OR INDICATED, ALL SALVAGE- ABLE MATERIAL AND EQUIPMENT TO BE DISCONNECTED AND REMOVED SHALL BECOME THE PROPERTY OF THE OWNER TO BE ASSIGNED AND DISPOSED OF BY THE CONTRACTOR AT THE OWNERS DIRECTION. CONTRACTOR SHALL SUBMIT TO OWNER REFERENCES AND EXPERIENCE OF TRADES FOR REVIEW AND APPROVAL. THESE ITEMS MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:</p> <p>1. EQUIPMENT, CONDUIT, LIGHT FIXTURES, TOILET FIXTURES AND FITTINGS, WINDOWS/DOORS AND MECHANICAL ITEMS. PROTECTION OF PERSONS AND PROPERTY: SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL</p> <p>2. DISCONNECTION OF SERVICES: BEFORE STARTING THE WORK, ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED. ALL UTILITY MAINS SHALL BE SEALED IN AN APPROVED MANNER. IF IT BECOMES NECESSARY TO INTERRUPT THE UTILITY SERVICE TO UTILITIES NOT PART OF THIS CONTRACT, PRIOR APPROVAL SHALL BE OBTAINED IN WRITING FROM THE OWNER.</p> <p>3. CONTRACTOR SHALL INVESTIGATE THE EXISTENCE OF ASBESTOS AND NOTIFY THE OWNER BEFORE PROCEEDING WITH DEMOLITION WORK.</p> <p>SCOPE OF WORK</p> <p>CONTRACTOR TO OBTAIN ALL NECESSARY BUILDING PERMITS. DEMOLITION AND REMOVAL FOR BUILDING AS INDICATED ON DRAWINGS. CONTRACTOR TO REMOVE ALL PARTITIONS, WALLS, PLUMBING AS INDICATED IN THE DRAWINGS. THE ABOVE SCOPE OF WORK IS NOT EXHAUSTIVE. REFERENCE SHOULD BE MADE TO EXISTING SITE CONDITIONS TO VERIFY EXTENT OF REMOVALS TO COMPLETE THE PROJECT. SHOULD THERE BE A QUESTION AS TO THE REMOVAL OF ANY PORTION OF THE PROJECT, THE CONTRACTOR SHOULD REQUEST CLARIFICATION FROM THE OWNER.</p> <p>EXECUTION</p> <p>ALL DEMOLITION SHALL BE CARRIED OUT WITH MINIMUM DAMAGE TO ADJOINING WORK. HOLES OR OTHER DAMAGE LEFT BY THE CONTRACTOR IN EXISTING BUILDING SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT SURFACE. ASSIGN REMOVAL AND CUTTING WORK TO TRADES EXPERIENCED IN THE PARTICULAR WORK TO AVOID UNNECESSARY DAMAGE DUE TO UNSKILLED WORKMANSHIP. REMOVE ALL DEBRIS AND MATERIAL RESULTING FROM DEMOLITION OFF THE SITE AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING WIRING, PIPING, TUBING AND EQUIPMENT. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE CAUSED BY HIS OPERATIONS. ALL DEMOLITION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH REQUIREMENTS OF REGULATIONS OSHA AND OF LOCAL AUTHORITIES AND APPLICABLE BUILDING CODES. DEMOLITION WORK SHALL BE COORDINATED WITH BUILDING MANAGEMENT.</p>		7921 CARLYLE AVE MIAMI BEACH FL 33141 DENDORA BAY LLC 3179 HOLYLAKE RD. LAKE WORTH FL 33467										
				ARCHITECT: 2030 HABERSHAM TRCE CUMMING GA 30041 954 812 6650 RICARDO@MUVEARCH.COM AA#26003161										
														
				DESIGNER:										
ALL LIFE SAFETY EQUIPMENT TO REMAIN OPERABLE DURING DEMOLITION														
				1535 NORTH PARK DRIVE #102 WESTON FL 33326 954 850 9965 ADMIN@REDOCTOPUSLLC.COM										
DEMOLITION PLAN KEYNOTES		NOTE:		FINAL SUBMITTAL										
<div><div>1</div><div>REMOVE EXISTING INTERIOR PARTITION</div></div> <div><div>2</div><div>REMOVE EXISTING DOOR</div></div> <div><div>3</div><div>REMOVE PLUMBING FIXTURES, CAP EXISTING CONNECTIONS AND COVER ALL SANITARY AND DRAINAGE LINES TO PREVENT THE INTRUSION OF DEBRIS</div></div> <div><div>4</div><div>REMOVE FINISH FLOOR</div></div> <div><div>5</div><div>REMOVE KITCHEN APPLIANCES CABINETS AND COUNTERTOPS</div></div> <div><div>6</div><div>REMOVE EXISTING CEILING</div></div>		<p>1. THE REMOVAL OF THE WALLS MUST BE PERFORMED CAREFULLY TO ENSURE EXISTING PLUMBING VENT AND SANITARY STACKS WILL NOT BE DAMAGED AND/OR MODIFIED IN ANY MANNER. IF A PLUMBING/VENT STACK IS TO BE CONCEALED WITHIN A WALL THE GENERAL CONTRACTOR NEEDS TO ASCERTAIN THAT, BEFORE THE PLUMBING STACK IS COVERED WITHIN ANY ARCHITECTURAL FINISH, COLUMN ELEMENT OR WALL SECTION, THAT THE FIRE RATED SEALANTS THAT SEPARATE THE UNITS AT THE SLABS ARE C PRESENT.</p> <p>2. THE EXISTING/REMAING SMOKE DETECTORS AS WELL AS FIRE ALARM SYSTEM SPEAKERS AND ASSOCIATED WIRING SHOULD BE PROTECTED FROM DUST, PAINT OR ANY TYPE OF DAMAGE DURING CONSTRUCTION.</p> <p>3. ANY NEW OPENINGS, PENETRATIONS, AND/OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS (INCLUDING AND NOT LIMITED TO WALLS, SLABS, COLUMNS, BEAMS, ETC) ARE STRICTLY NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION.</p> <p>4. ANY AND ALL FIRE SPRINKLER SYSTEM WORK SHOULD BE PERFORMED BY THE ASSOCIATION'S FIRE SPRINKLER CONTRACTOR THAT IS RESPONSIBLE FOR MAINTAINING AND REPAIRING THE FIRE SPRINKLER SYSTEM ON A BUILDING WIDE BASIS.</p>		<table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>										
		GENERAL DEMOLITION NOTES												
COORDINATE SELECTIVE REMOVAL / RELOCATION OF LIGHT LIXTURES, ELECTRICAL WIRES, CONDUITS, "J" BOXES, DUCT WORK, DIFFUSERS, GRILLS.		<p>1. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGH THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVRY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE DOING WORK RELATED OT THAT INSPECTION.</p> <p>2. DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE COMPLETED UNDER THIS CONTRACT, INCIDENTAL WORK MUST ALSO BE NECESSARY ON AREAS NOT SHOWN IN THE DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS, SUCH INCIDENTAL WORK IS ALSO AS PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND AS CERTAIN WORKNEEDED AND TO THAT WORK ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.</p> <p>3. TAKE ALL NECESSARY PRECAUTIONS TO GUARD AGAINST ANY AND ALL POSSIBLE HAZARDOUS CONDITIONS (I.E. EXPOSED "HOT" WIRING, MATERIALS PLACED IN TRAFFIC PATHS CREATING A "TRIPPING" HAZARD, ETC.) WHICH MIGHT OCCUR AS A RESULT OF DEMOLITION AND CONSTRUCTION.</p> <p>4. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS, WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN AR ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE OF EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNERS REPRESENTATIVE IN WRITTEN, ACCURATE DETAIL.</p> <p>5. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.</p> <p>6. UPON COMPLETION OF DEMOLITION WORK, REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. LEAVE RESULTING DEBRIS FROM INTERIOR AREAS BROOM CLEAN.</p> <p>7. USE SAW CUT TO REMOVE MASONRY WHERE REMAINING MASONRY IS TO BE EXPOSED.</p> <p>8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT EXISTING STRUCTURES TO REMAIN. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.</p> <p>9. BEFORE ANY STRUCTURAL DEMOLITION CAN START, CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER FOR AUTHORIZATION.</p> <p>10. DEMOLITION OPERATION SHALL BE EXECUTED BY ADEQUATE NUMBER OF SKILLED WORKERS EXPERIENCED IN THE NECESSARY CRAFTS. SHUT OFF, CAP AND OTHERWISE PROTECT MECHANICAL AND ELECTRICAL INSTALLATIONS, WORK IN PUBLIC UTILITY LINES SHALL BE COORDINATED WITH THE AGENCY OR UTILITY HAVING JURISDICTION AND THE CONTRACTOR SHALL PROTECT EXISTING INSTALLATIONS ACCORDING TO THEIR REQUIREMENTS.</p> <p>11. ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO THE CONTRACTOR, AND NOT TO BE KEPT BY THE OWNER, MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. MATERIALS AND EQUIPMENT TO BE REUSED SHALL BE TREATED WITH CARE AND REINSTALLED AS SHOWN ON PLANS.</p> <p>12. G.C. SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION. FIRE PROTECTION WILL BE PROVIDED FROM THE OCCUPIED SIDE OF THE BUILDING TO THE DEMO SIDE.</p>		ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT										
REMOVE ALL DUCTWORK, DIFFUSERS, GRILLS, LIGHTS, AND CLEAN THE BOTTOM OF THE SLAB FROM REMAINING DEBRIS.														
SPRINKLER LINES TO REMAIN AND BE RELOCATED PER REVISED PLAN				SIGNATURE: RICARDO J. MUNIZ-GUILLET LIC# AR97841										
				SHEET TITLE: DEMOLITION NOTES										
				SCALE: N.T.S.										
				SHEET NO: D1-1.00										
				5/15/2023 5:25:35 PM										



PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE:	05-15-2023
--------------------------	------------

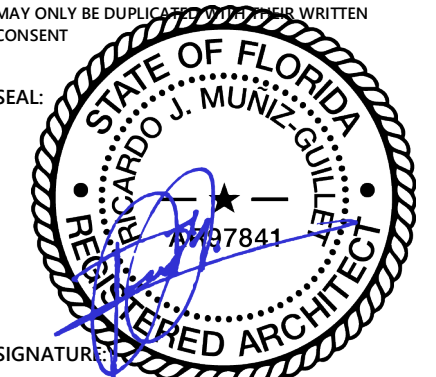
SHEET ISSUE DATE:	03-31-2023
-------------------	------------


PROJECT NO.: 2301

DRAWN BY: BK **APPROVED BY:** YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:  RED ARC
RICARDO J. MUNIZ-GILLET
LIC# AR97841

SHEET TITLE:

EXISTING GROUND LEVEL

SCA FLOOR PLAN

$$3/32'' = 1'-0''$$

SHEET NO:

D1-1.01

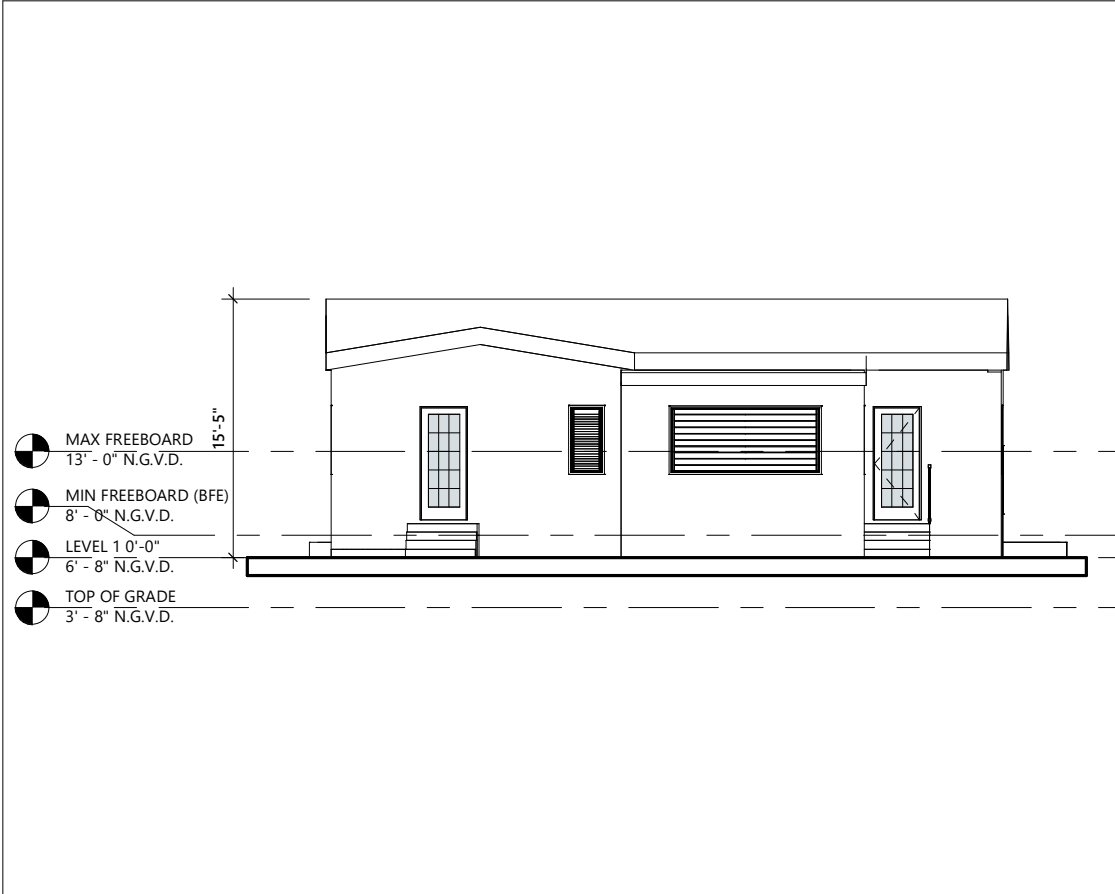
5/15/2023 5:25:36 PM



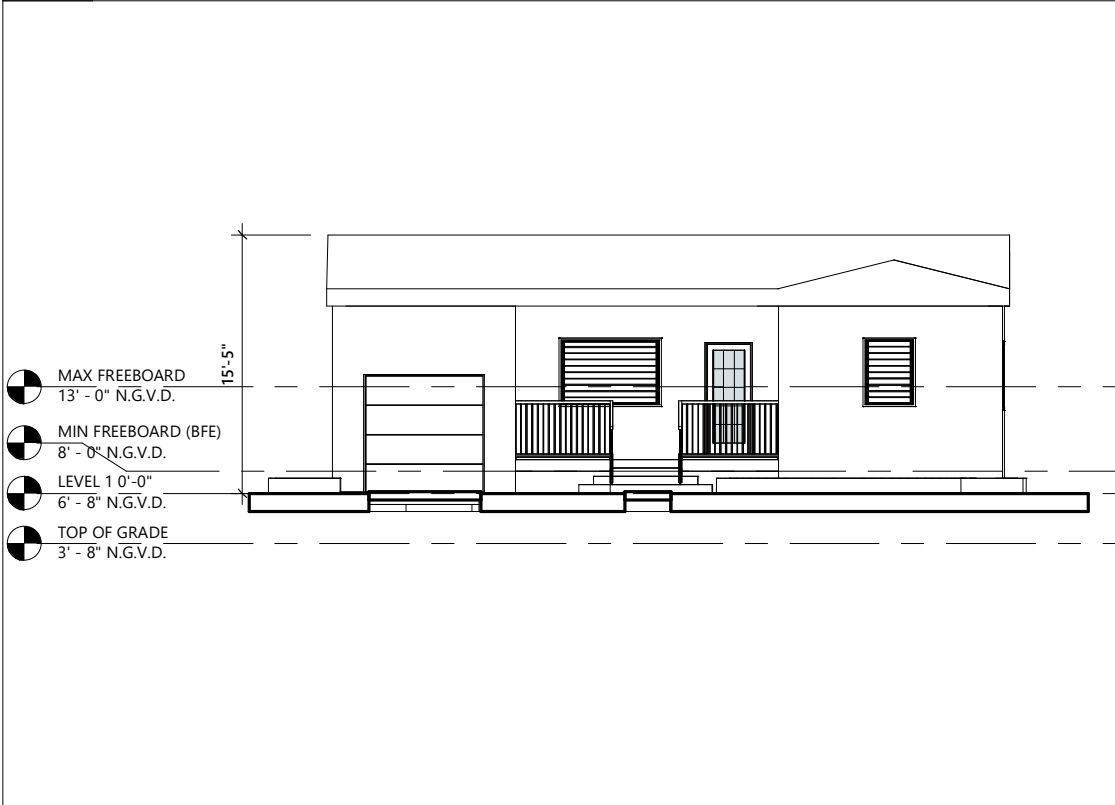
1

EXISTING GROUND LEVEL PLAN

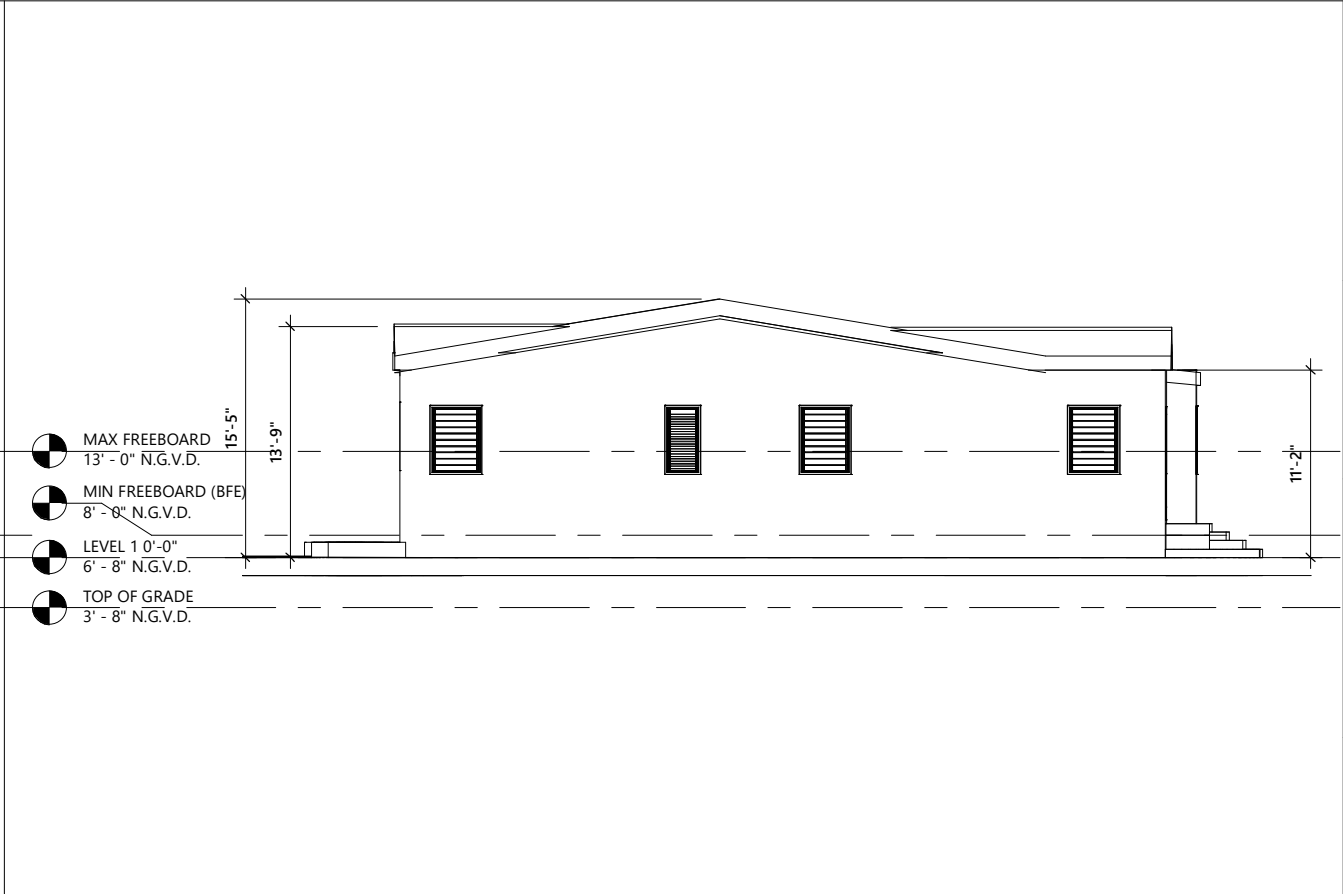
3/32" = 1'-0"



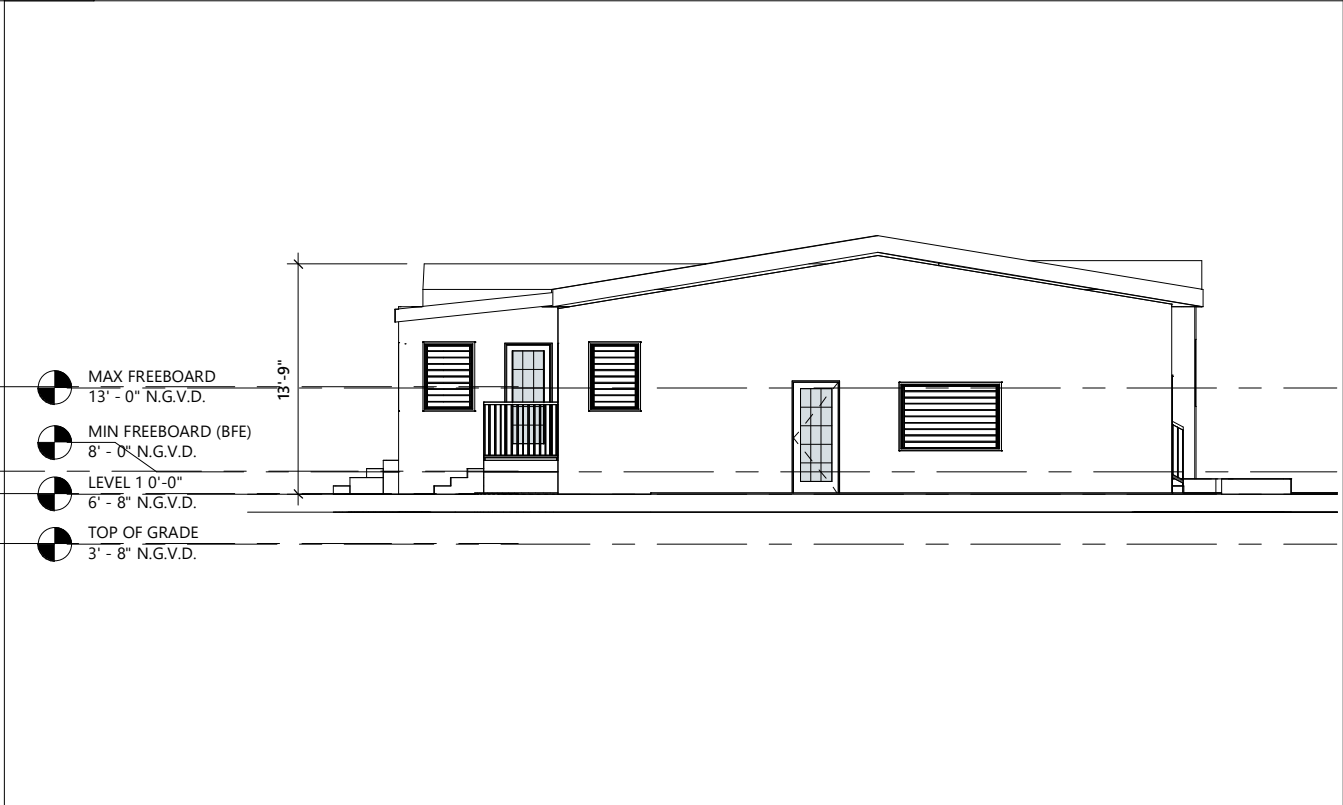
1 **EXISTING WEST ELEVATION**
3/32" = 1'-0"



2 **EXISTING EAST ELEVATION**
3/32" = 1'-0"



3 **EXISTING NORTH ELEVATION**
3/32" = 1'-0"



4 **EXISTING SOUTH ELEVATION**
3/32" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC

3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161


DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023

PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
EXISTING ELEVATION

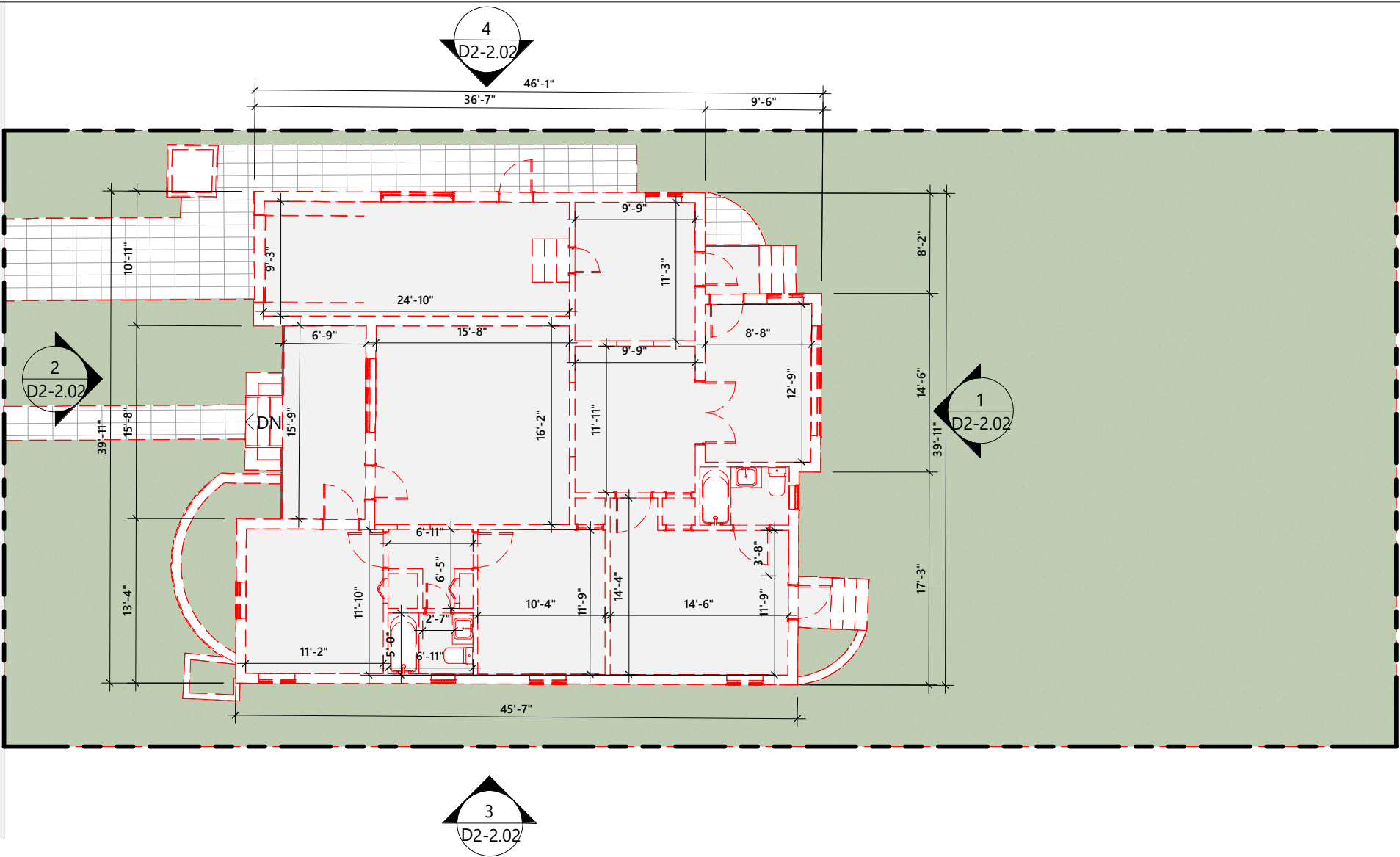
SCALE:

3/32" = 1'-0"

SHEET NO:

D1-1.02

5/15/2023 5:25:38 PM



1

DEMO GROUND LEVEL PLAN

3/32" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



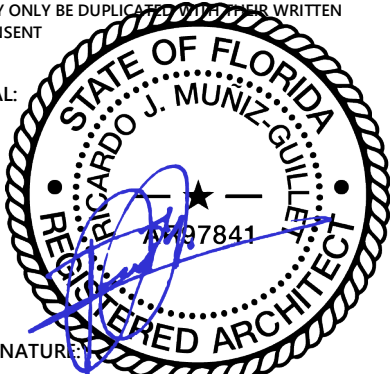
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



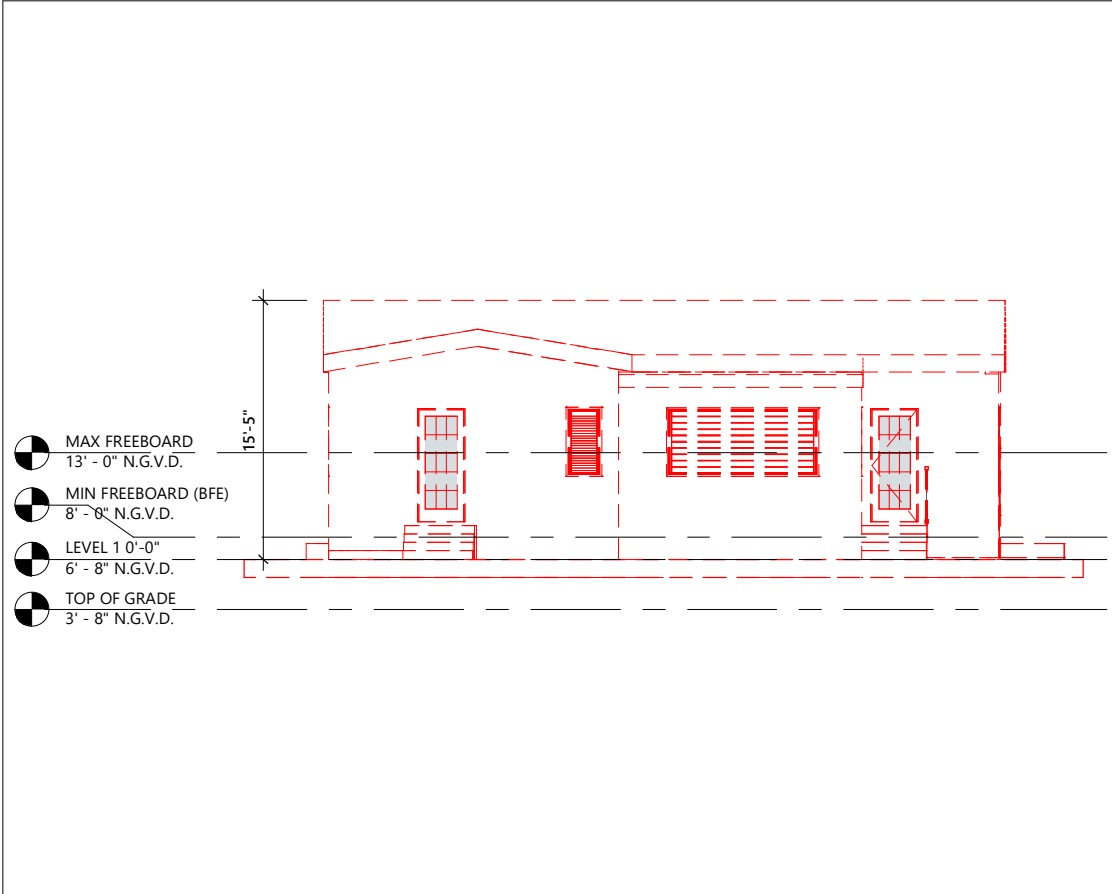
SIGNATURE:
RICARDO J. MUNIZ-GILLET
LIC# AR97841

SHEET TITLE:
DEMO GROUND LEVEL PLAN

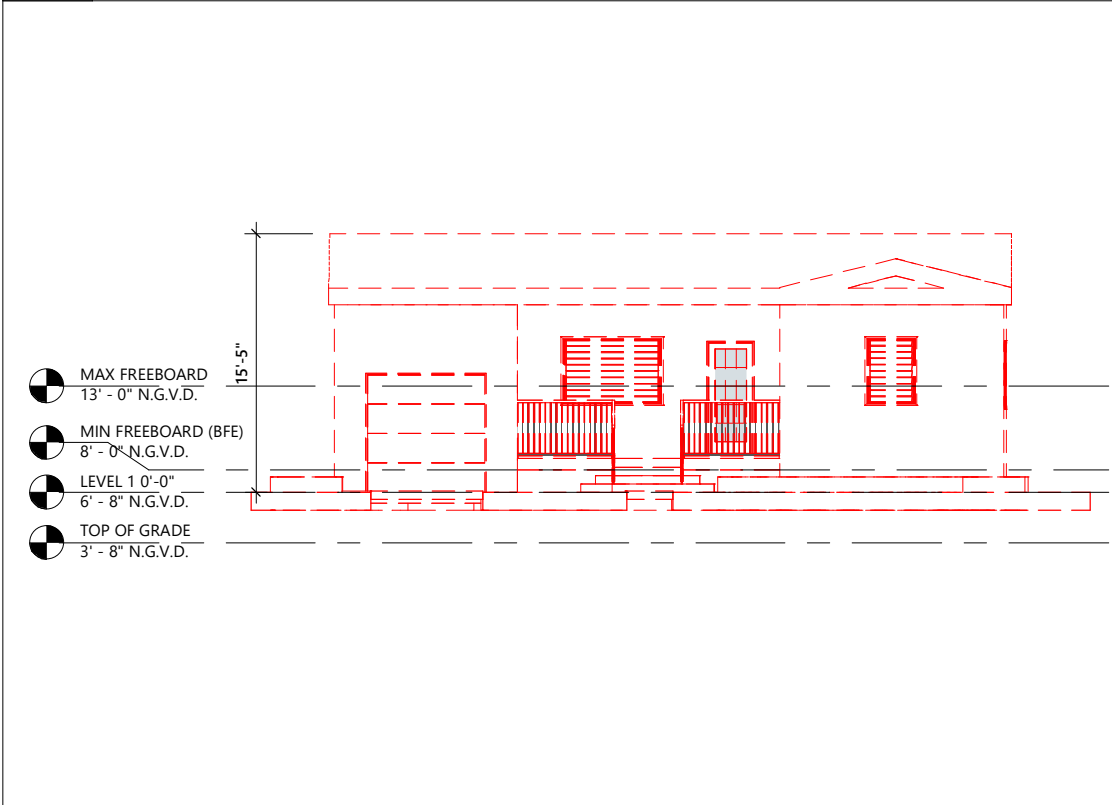
SCALE:
3/32" = 1'-0"

SHEET NO:
D1-2.01

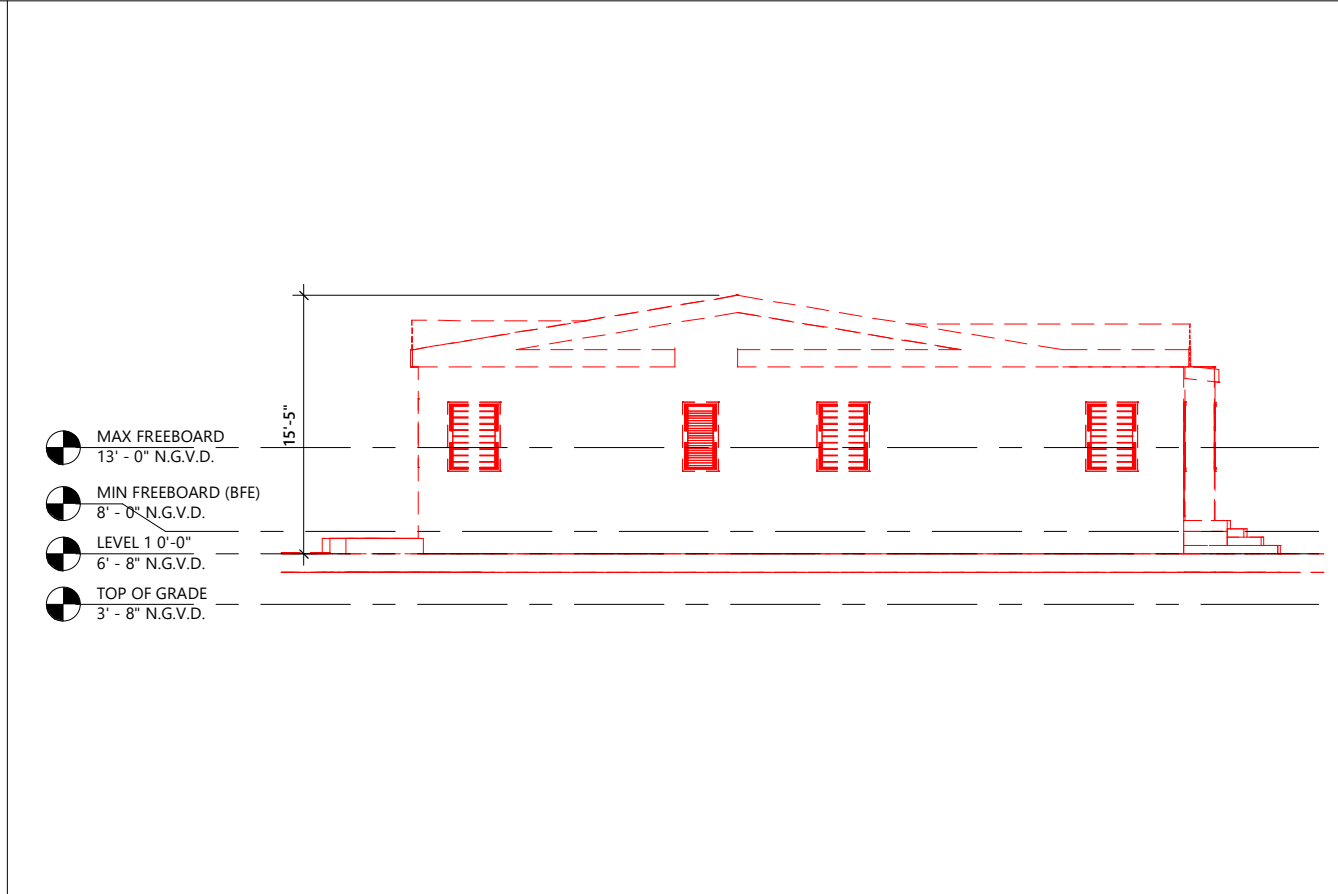
5/15/2023 5:25:39 PM



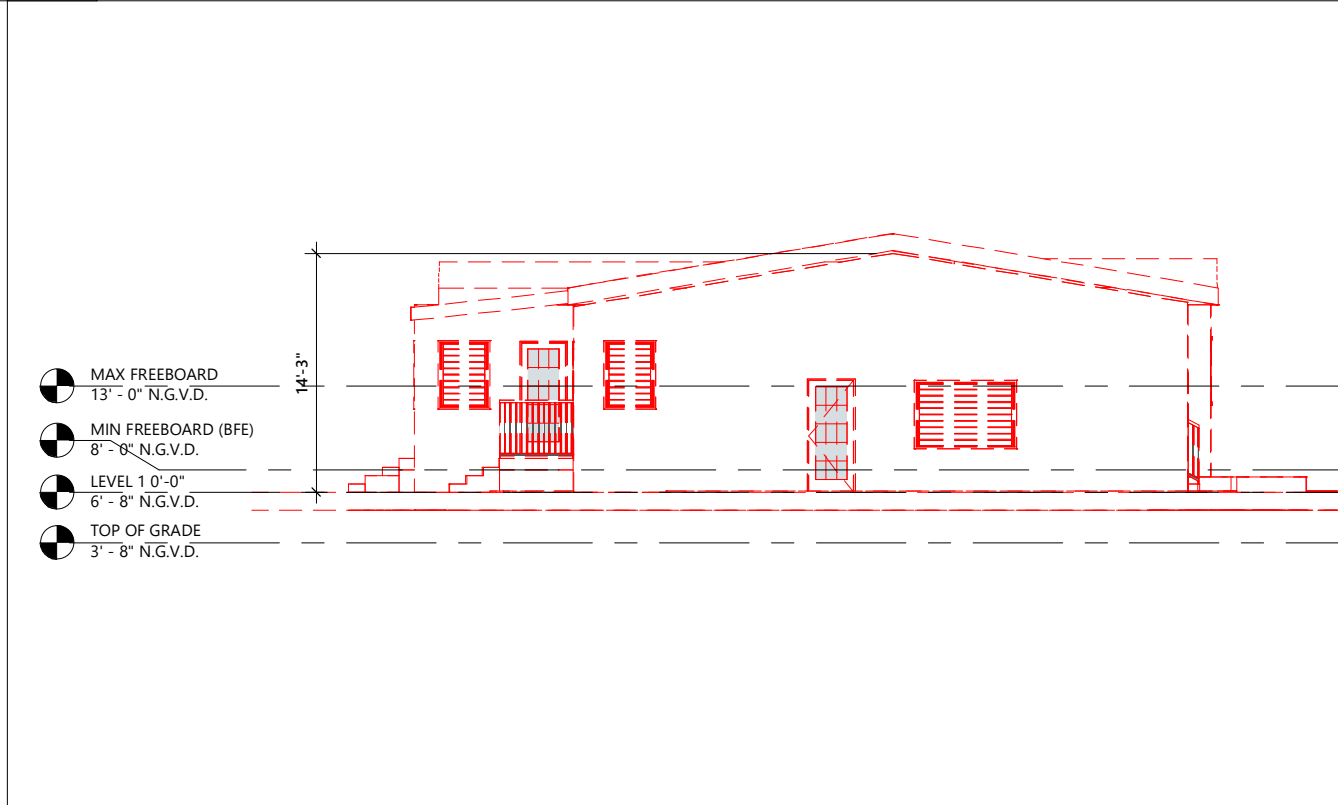
1	DEMO WEST ELEVATION
	3/32" = 1'-0"



2	DEMO EAST ELEVATION
	3/32" = 1'-0"



3	DEMO NORTH ELEVATION
	3/32" = 1'-0"



4	DEMO SOUTH ELEVATION
	3/32" = 1'-0"

PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE:	05-15-2023
SHEET ISSUE DATE:	03-31-2023
PROJECT NO.:	2301
DRAWN BY:	BK
APPROVED BY:	YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
DEMOLITION ELEVATION

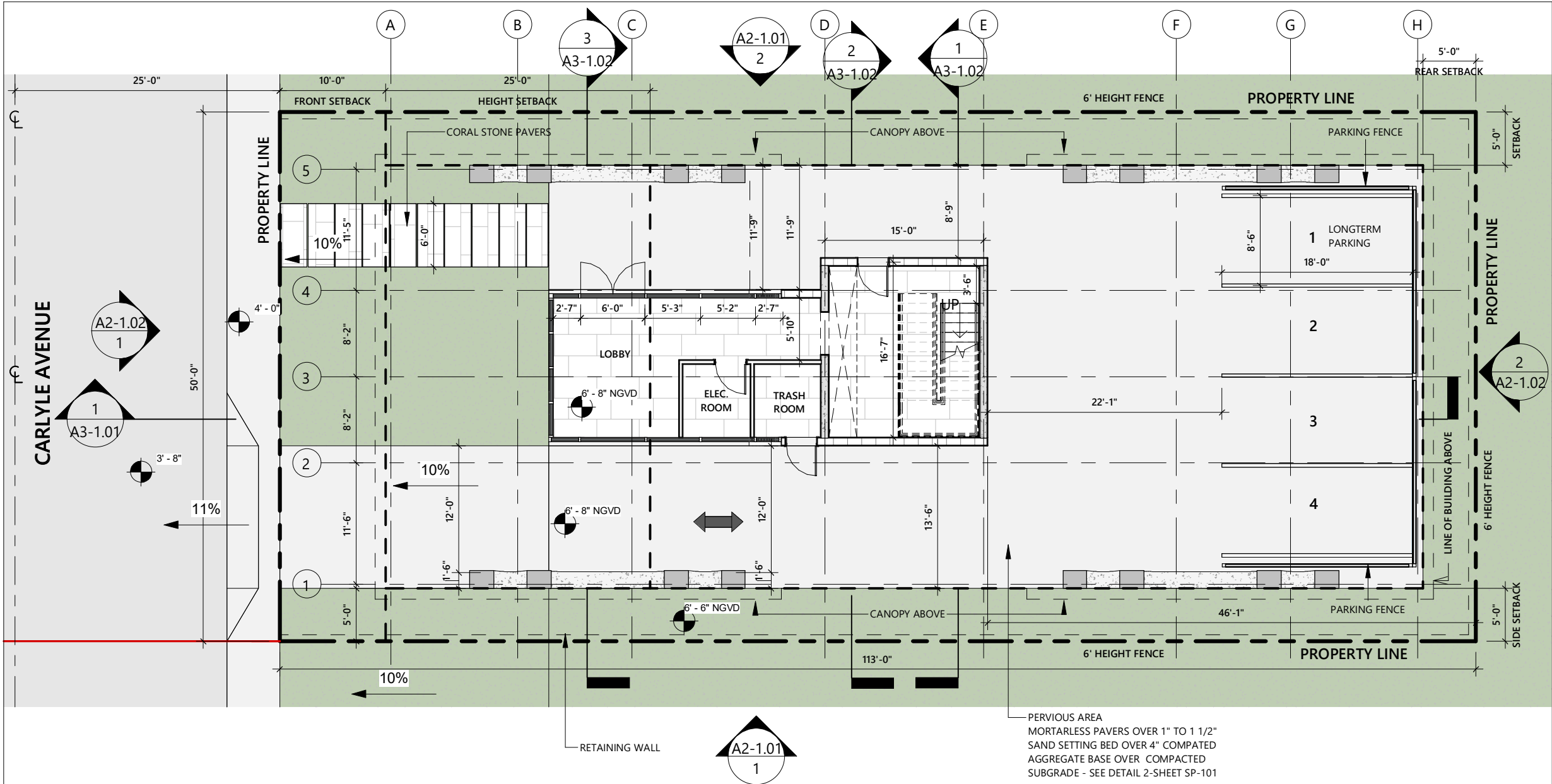
SCALE:

3/32" = 1'-0"

SHEET NO:

D2-2.02

5/15/2023 5:25:40 PM



1 GROUND LEVEL FLOOR PLAN
3/32" = 1'-0"

GROUND LEVEL AREA: 621 S.F.

WALL LEGEND		PLAN NOTES
1		<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
2		
3		
4		
5		
	REMOVE/DEMO	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



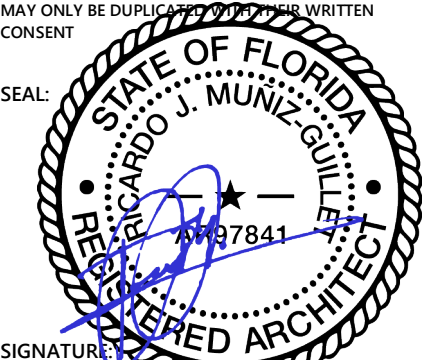
1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:

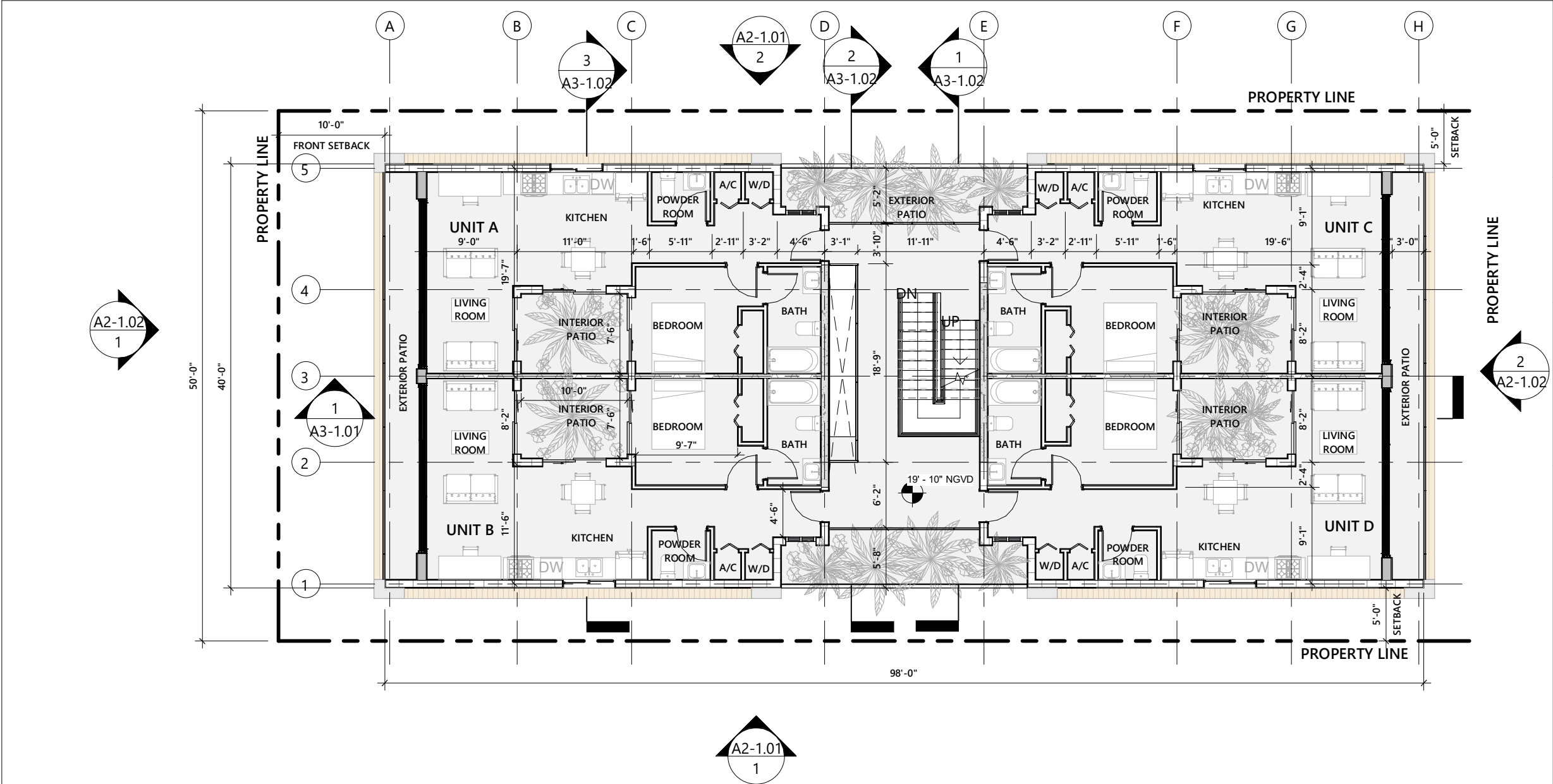


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
GROUND FLOOR PLAN

SCALE:
As indicated

SHEET NO:
A1-1.01
5/15/2023 5:25:41 PM







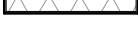



2

FLOOR PLAN LEVEL 02

3/32" = 1'-0"

GROUND LEVEL AREA: 3,007 S.F.

WALL LEGEND		PLAN NOTES
<div>1</div>	<div></div> <div>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
<div>2</div>	<div></div> <div>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	
<div>3</div>	<div></div> <div>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</div>	
<div>4</div>	<div></div> <div>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</div>	
<div>5</div>	<div></div> <div>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</div>	
<div></div>	<div>REMOVE/DEMO</div>	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK
APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:

FLOOR PLAN 2TH LEVEL

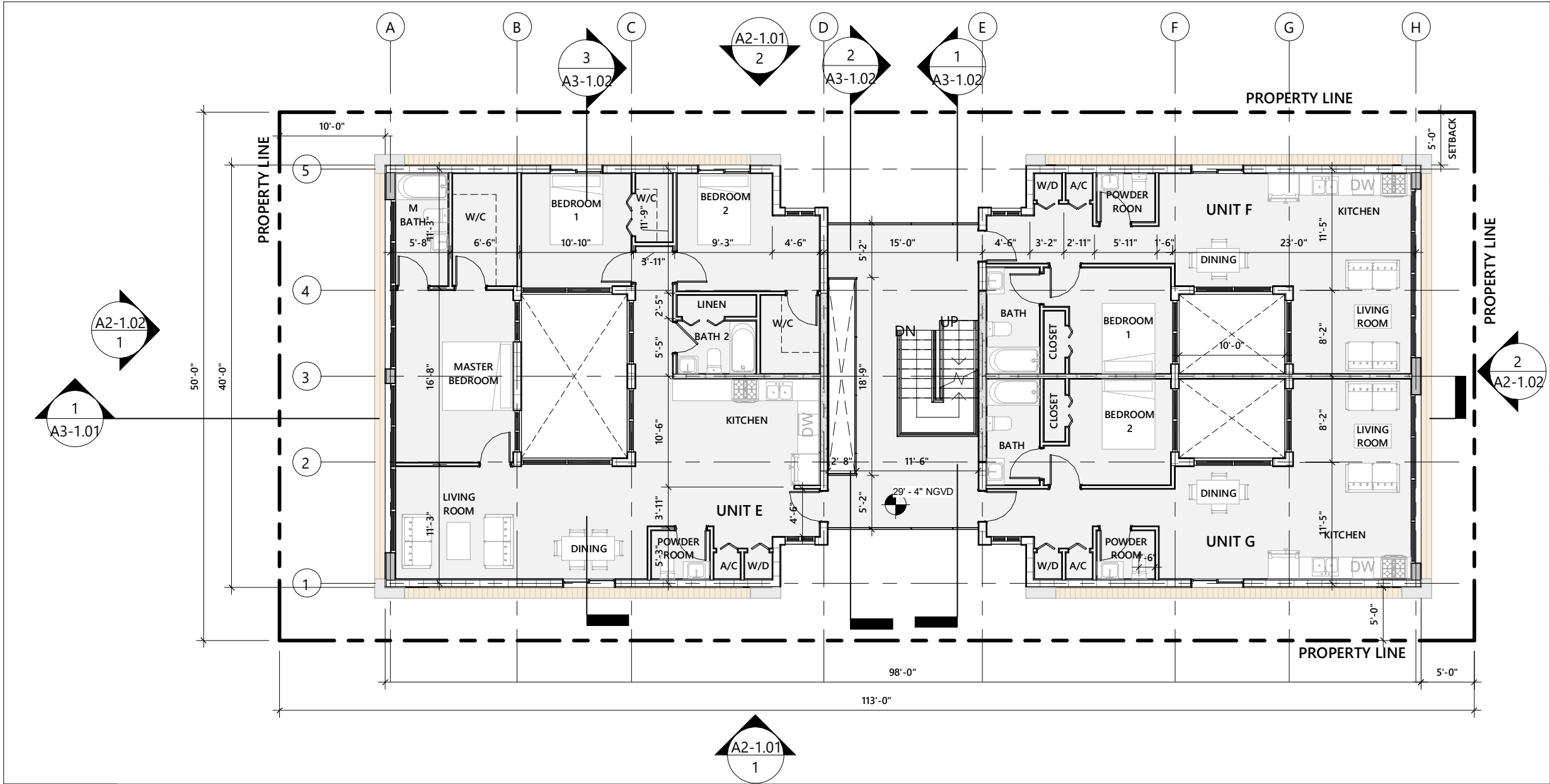
SCALE:

As indicated

SHEET NO:

A1-1.02

5/15/2023 5:25:43 PM



1

FLOOR PLAN LEVEL 03
3/32" = 1'-0"

GROUND LEVEL AREA: 3,328 S.F.

WALL LEGEND		PLAN NOTES
<div>1</div>	<div></div> <div>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
<div>2</div>	<div></div> <div>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	
<div>3</div>	<div></div> <div>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</div>	
<div>4</div>	<div></div> <div>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</div>	
<div>5</div>	<div></div> <div>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</div>	
<div></div>	<div>REMOVE/DEMO</div>	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

DESIGNER:

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK
APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

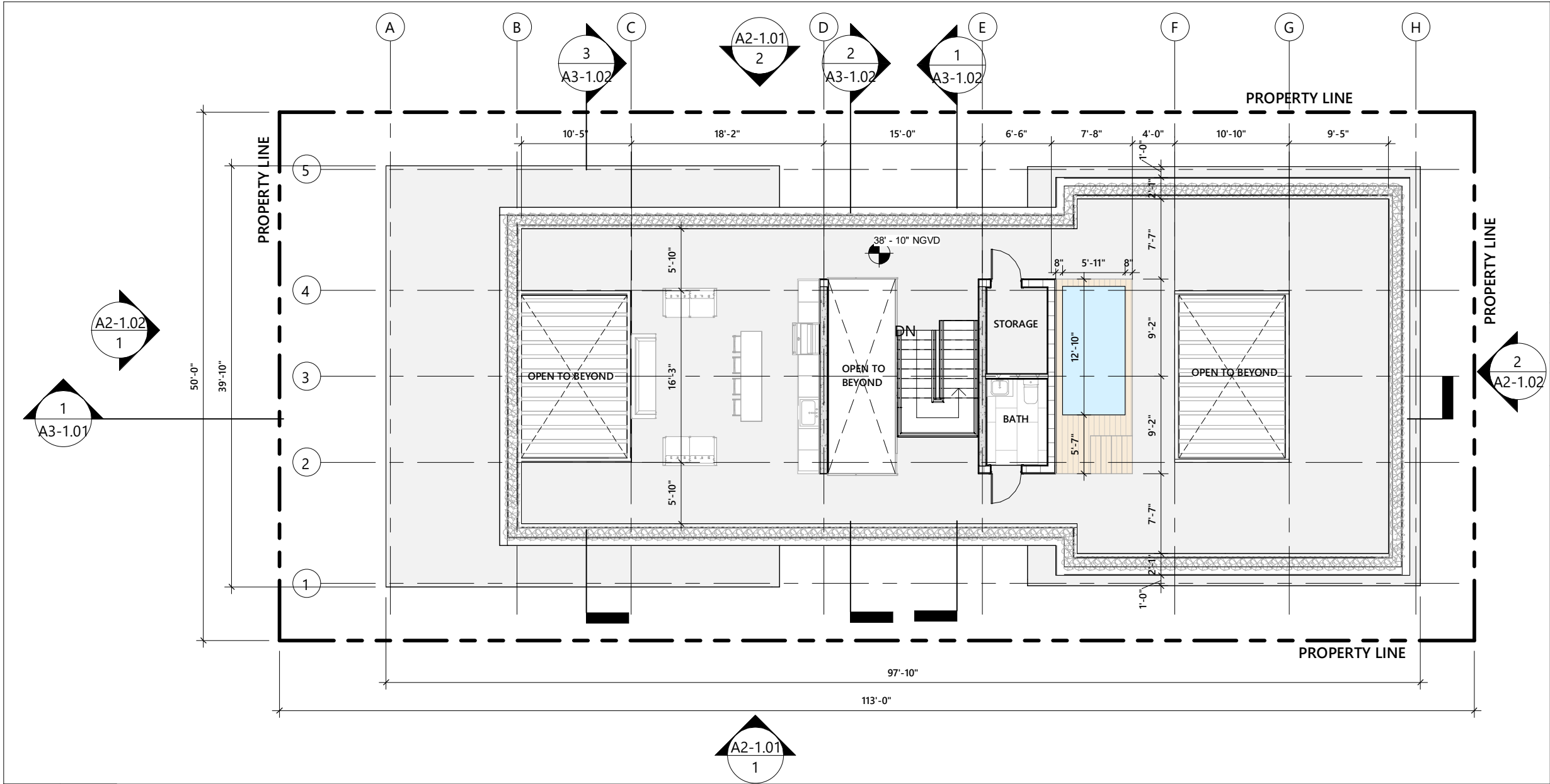
SIGNATURE: RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
FLOOR PLAN 3TH LEVEL

SCALE:
As indicated

SHEET NO:
A1-1.03

5/15/2023 5:25:45 PM





1

ROOFTOP PLAN LEVEL

3/32" = 1'-0"


PROJECT AND OWNER:

DENBORA BAY


7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

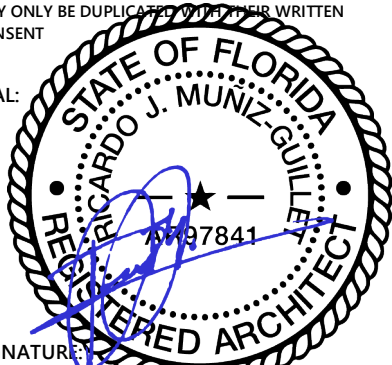


1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK
APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT









SIGNATURE: RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
ROOFTOP PLAN LEVEL

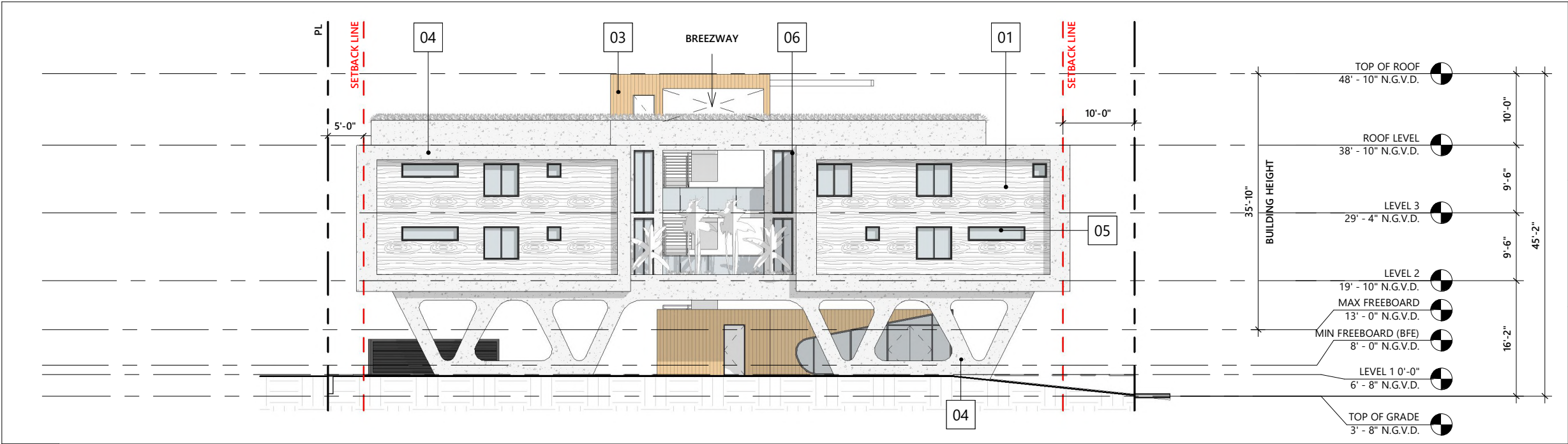
SCALE:
As indicated

SHEET NO:
A1-1.04

5/15/2023 5:25:46 PM

WALL LEGEND		PLAN NOTES
<div>1</div>	<div></div> <div>WALL TYPE 1 TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	<div>1. BUILDING IS FULLY SPRINKLERED.</div> <div>2. SEE ELECTRICAL DRAWINGS FOR LIFE SAFETY/ EGRESS LIGHTS.</div> <div>3. ALL INTERIOR PARTITION ARE TO BE WALL TYPE 4, UNLESS OTHERWISE NOTED.</div> <div>4. ALL BATHROOMS TO RECEIVE WATER RESISTANT GYP. BOARD IN NON WET AREAS.</div> <div>5. FRAMING CONTRACTOR TO VERIFY FLOOR FINISH WITH OWNER PRIOR TO INSTALLATIONS OF DOOR FRAME.</div> <div>6. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.</div> <div>7. VERIFY LAYOUT OF ALL FIXTURES LOCATED IN CONCRETE SLAB WITH ARCHITECT PRIOR TO POUR.</div> <div>8. FINAL SELECTION, LOCATION, AND DESIGN OF FINISHES, FIXTURES, AND EQUIPMENT WILL BE PROVIDED BY OWNER.</div> <div>9. REFER TO SHEET A5-1.01 FOR ENLARGED KITCHEN PLANS AND ELEVATIONS.</div> <div>10. REFER TO SHEET A5-2.01 FOR ENLARGED BATHROOM PLANS AND ELEVATIONS.</div> <div>11. REFER TO SHEET A7-1.04 FOR WALL TYPE DETAILS.</div> <div>12. REFER TO SHEET A7-1.02 FOR DOOR SCHEDULE</div>
<div>2</div>	<div></div> <div>WALL TYPE 2 EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL REINFORCING. SEE STRUCTURE FOR DETAILS.</div>	
<div>3</div>	<div></div> <div>WALL TYPE 3 TYPICAL 4" INTERIOR PARTITION NON-RATED.</div>	
<div>4</div>	<div></div> <div>WALL TYPE 4 REINFORCED CONCRETE WALL. SEE STRUCTURE FOR DETAILS.</div>	
<div>5</div>	<div></div> <div>WALL TYPE 5 UNIT DEMISING PARTITION 1 HR FIRE RATED.</div>	
<div></div>	<div>REMOVE/DEMO</div>	
SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS		

GROUND LEVEL AREA: 621 S.F.



PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC

3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

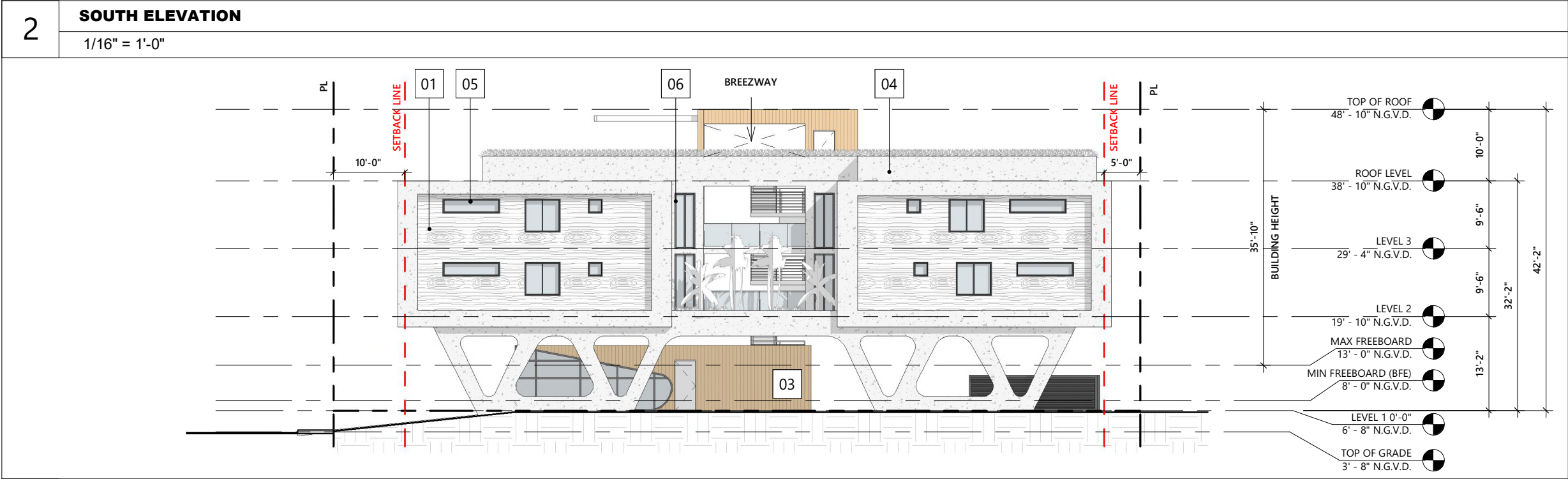
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

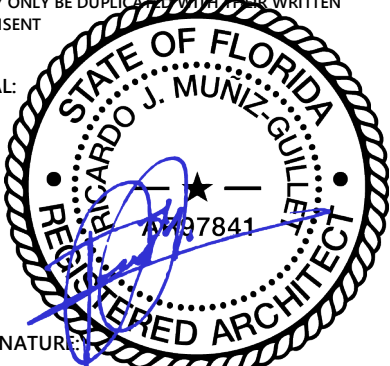


1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM



FINAL SUBMITTAL
PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK
APPROVED BY: YM


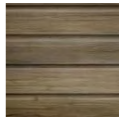


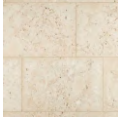

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

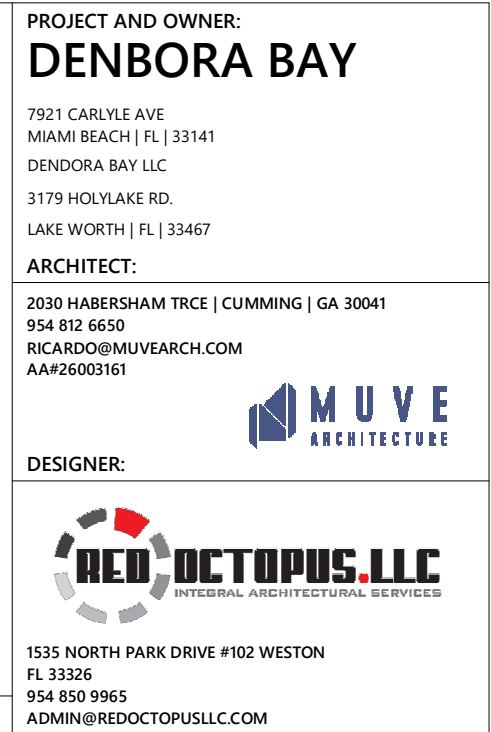
SEAL:


SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
NORTH & SOUTH ELEV.
SCALE:
As indicated
SHEET NO:
A2-1.01
5/15/2023 5:25:49 PM

1
NORTH ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND							
	1 BOARD FORMED CONCRETE		3 WOOD SIDING		5 LAMINATED GLASS		7 BLACK METAL GUTTER
	2 CORAL STONE		4 EXPOSED CONCRETE		6 ALUMINUM FRAMING		



FINAL SUBMITTAL





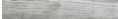


SHEET TITLE:
EAST & WEST ELEVATION

SHEET NO:

A2-1.02

5/15/2023 5:25:53 PM



	<div>1</div> BOARD FORMED CONCRETE		<div>3</div> WOOD SIDING		<div>5</div> LAMINATED GLASS		<div>7</div> BLACK METAL GUTTER
	<div>2</div> CORAL STONE		<div>4</div> EXPOSED CONCRETE		<div>6</div> ALUMINUM FRAMING		

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



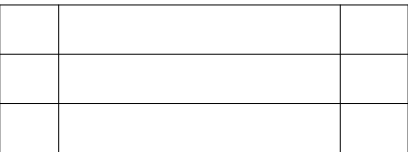
DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

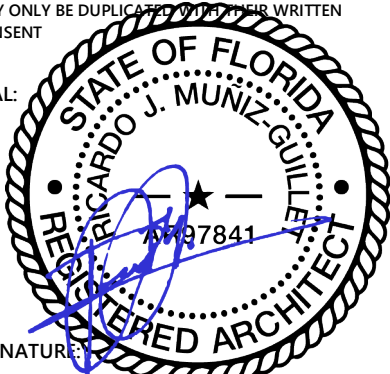
FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM



ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



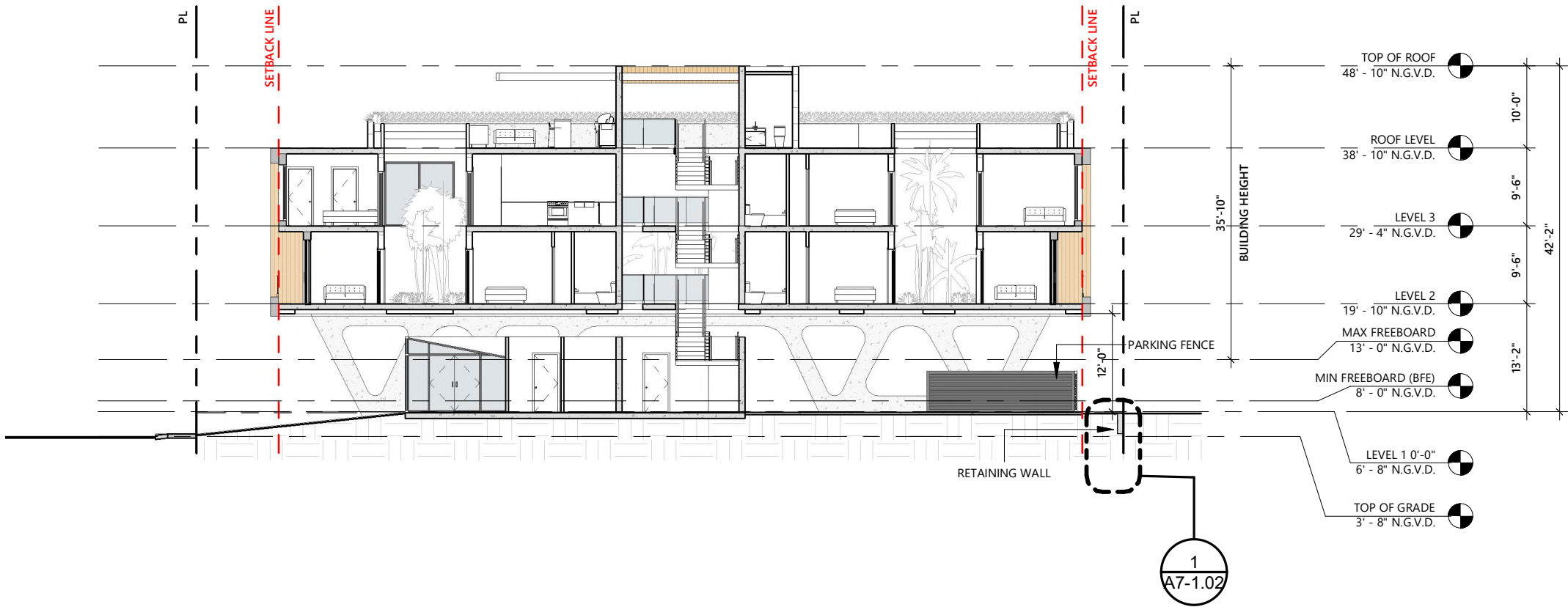
SIGNATURE:
RICARDO J. MUNIZ-GILLET
LIC# AR97841

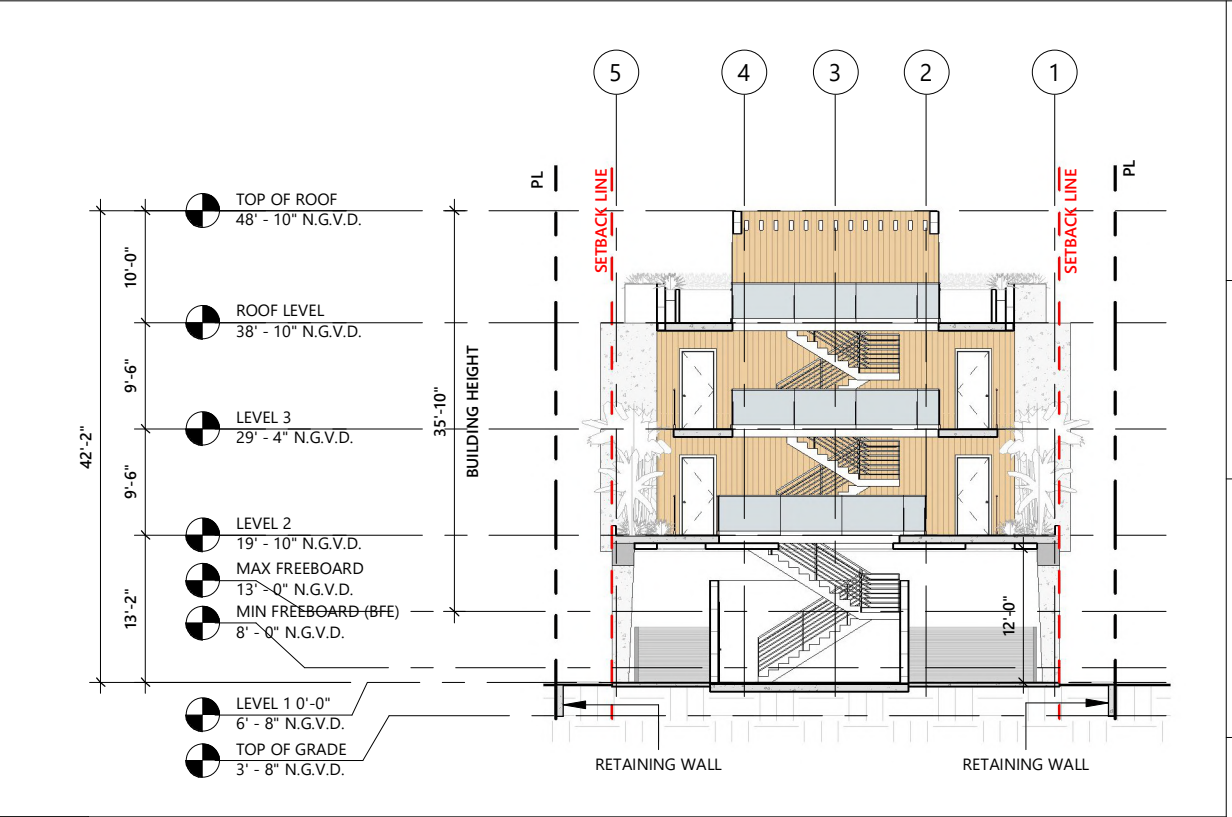
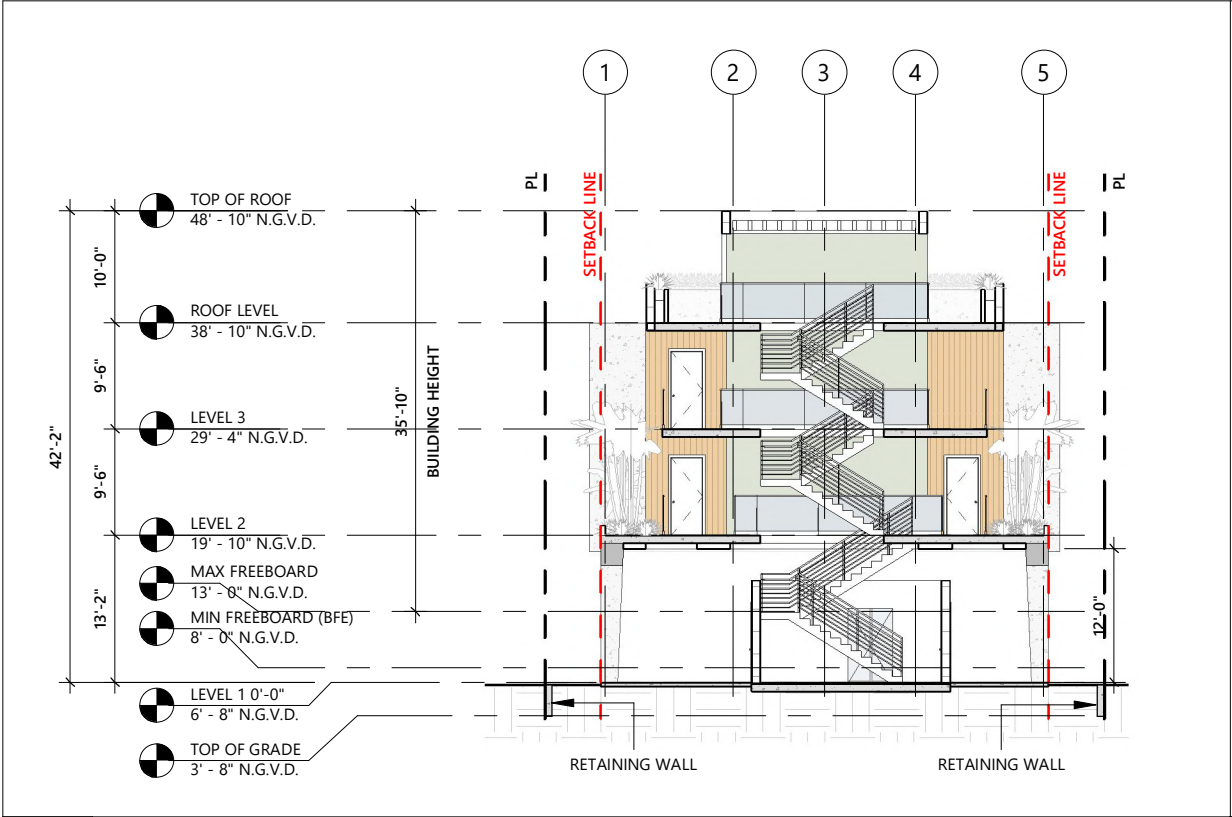
SHEET TITLE:
LONGITUDINAL SECTION

SCALE:
1/16" = 1'-0"

SHEET NO:
A3-1.01

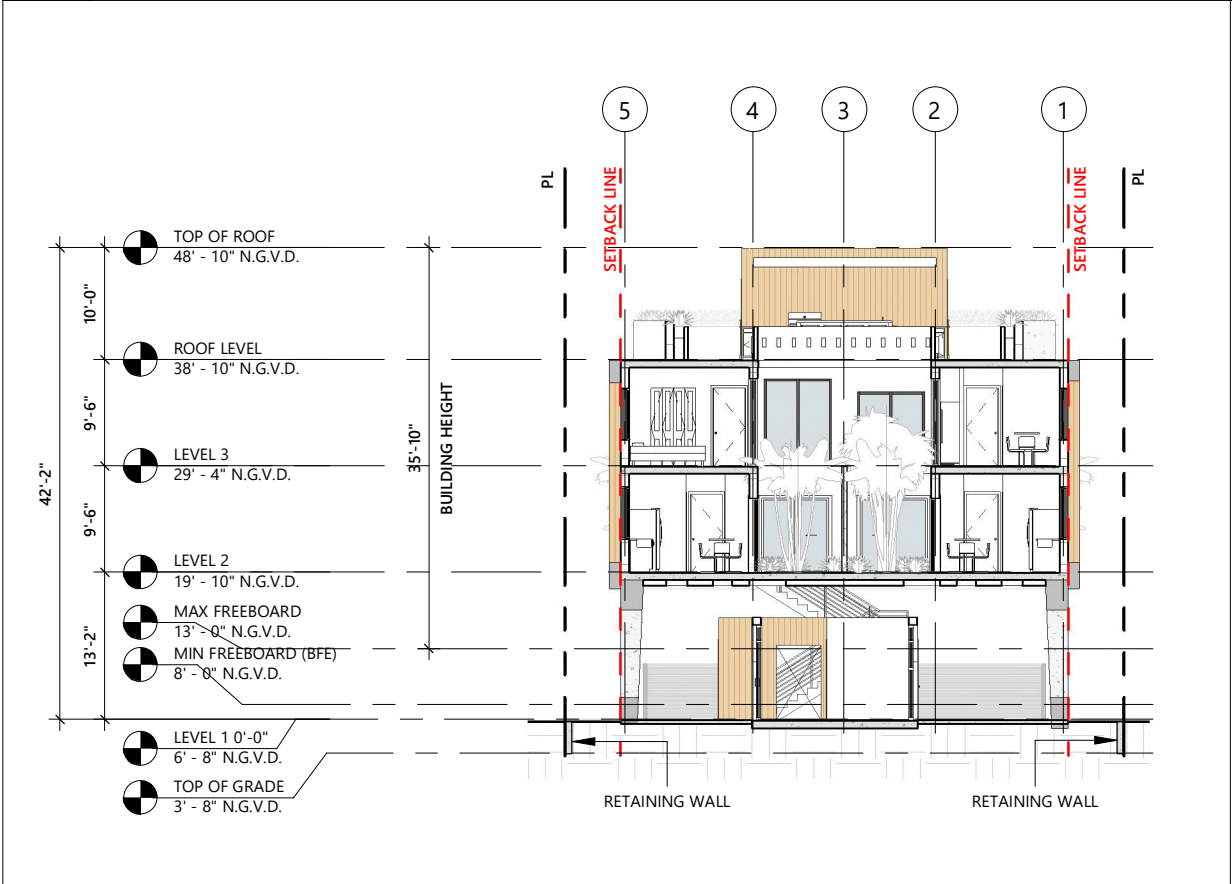
5/15/2023 5:25:54 PM





1 **CROSS SECTION 1**
1/16" = 1'-0"

2 **CROSS SECTION 2**
1/16" = 1'-0"



3 **CROSS SECTION 3**
1/16" = 1'-0"

3 **CROSS SECTION 3**
1/16" = 1'-0"

PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

DESIGNER:
M U V E
ARCHITECTURE

RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:
STATE OF FLORIDA
RICARDO J. MUNIZ-GUILLET
REGISTERED ARCHITECT
AR97841

SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
CROSS SECTION

SCALE:
1/16" = 1'-0"

SHEET NO:
A3-1.02

5/15/2023 5:25:58 PM



PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

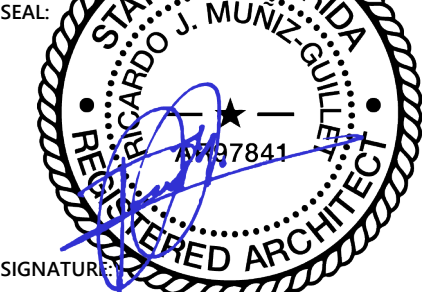


1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.01

5/15/2023 5:26:03 PM



PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

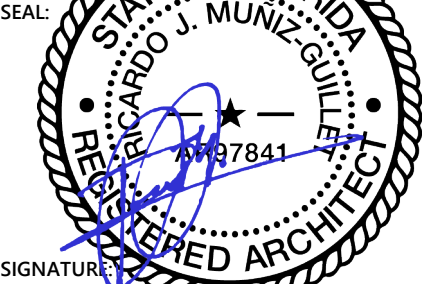
RED OCTOPUS.LLC
INTEGRAL ARCHITECTURAL SERVICES

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.02

5/15/2023 5:26:08 PM



PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

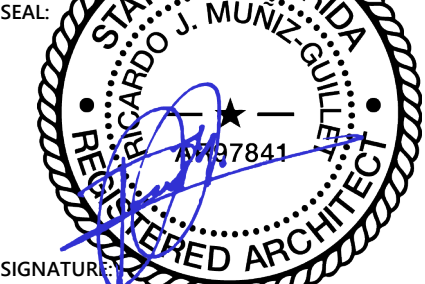


1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



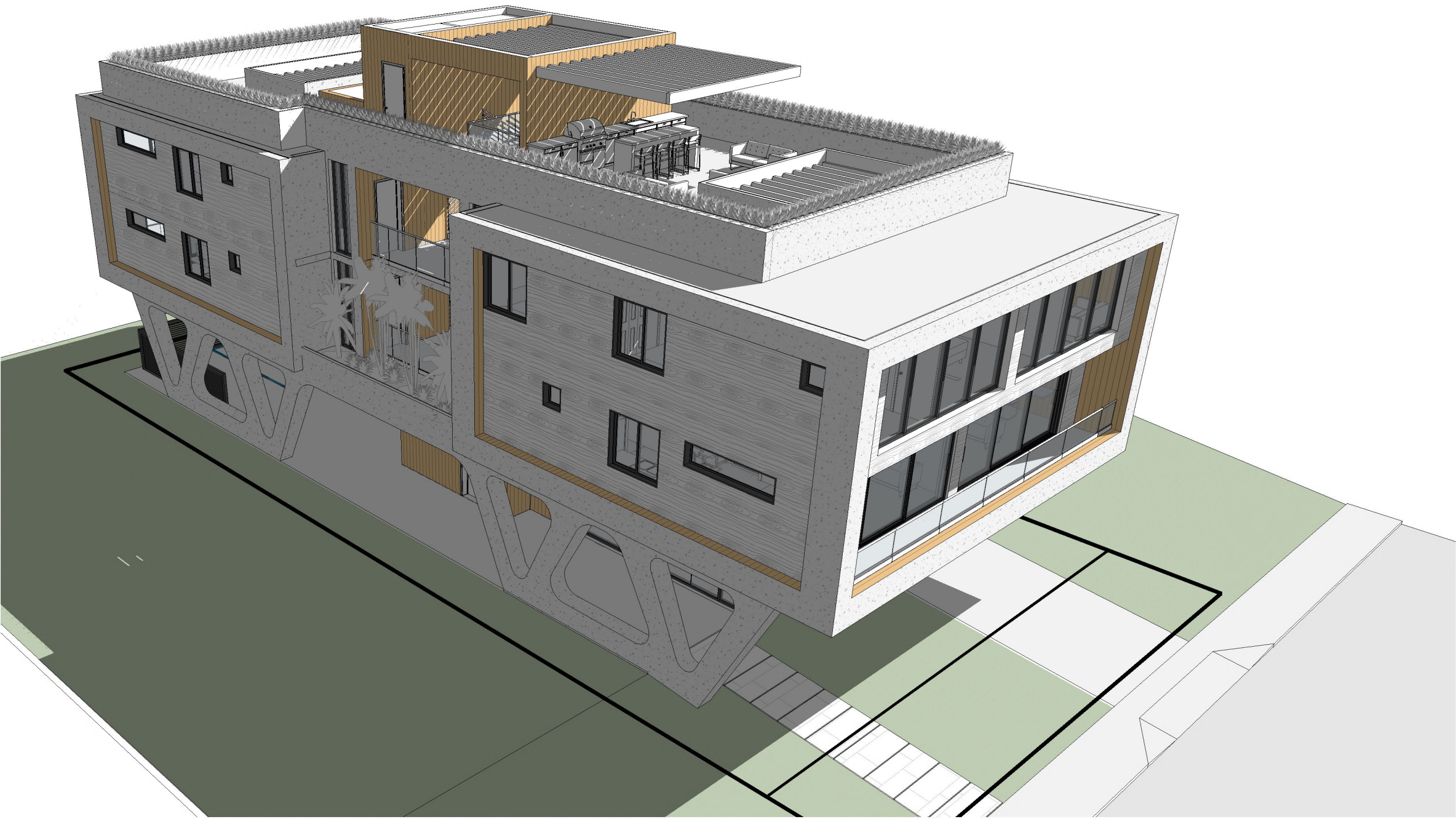
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.03

5/15/2023 5:26:13 PM



PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

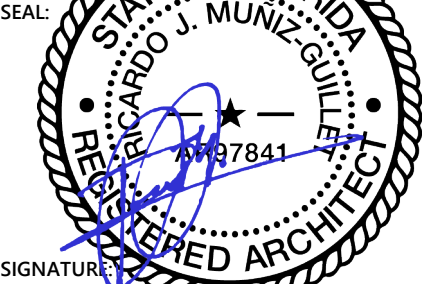
RED OCTOPUS LLC
INTEGRAL ARCHITECTURAL SERVICES

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



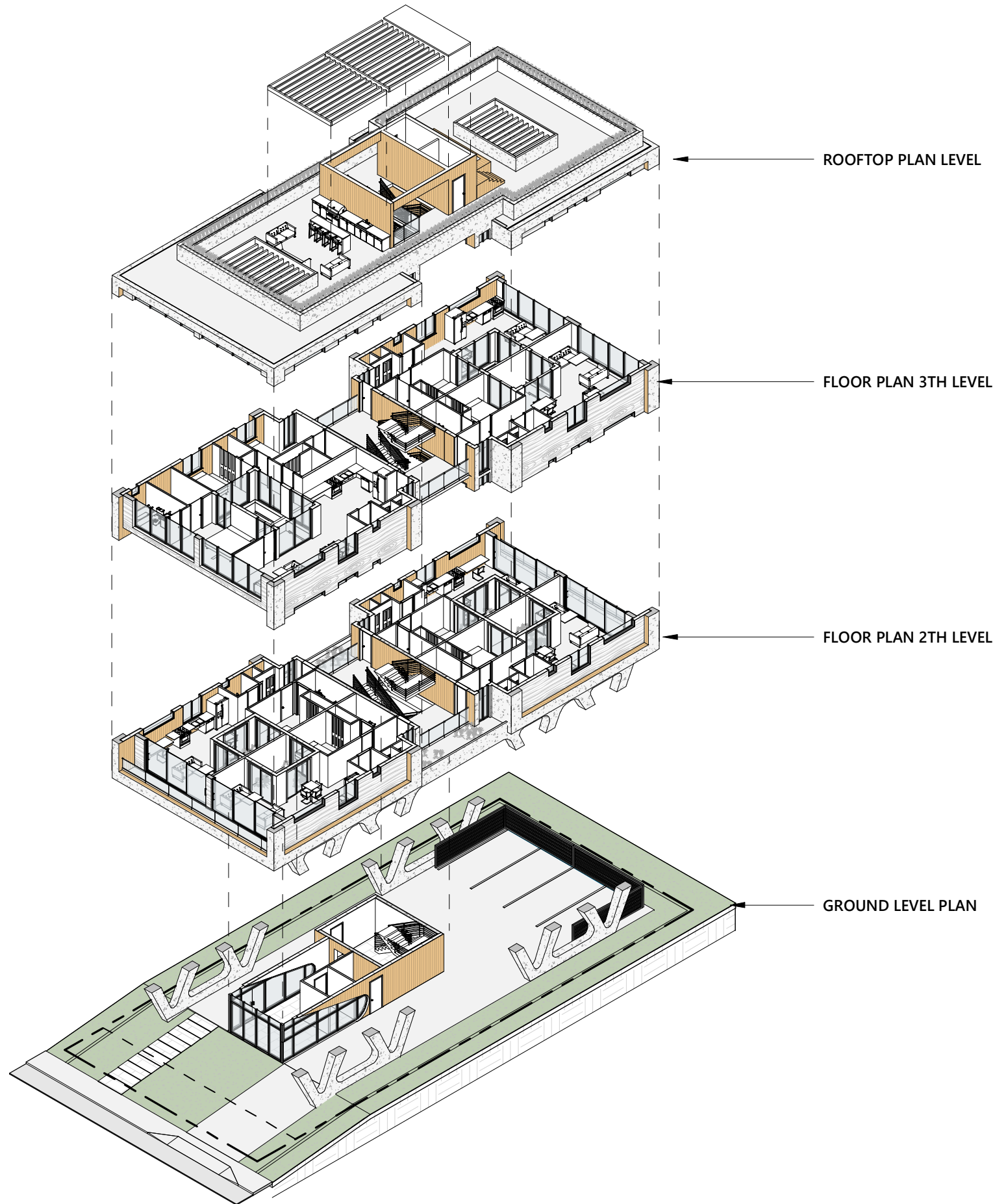
SIGNATURE:
RICARDO J. MUNIZ-GUILLET
LIC# AR97841

SHEET TITLE:
STREET VIEW

SCALE:
N.T.S.

SHEET NO:
A4-1.04

5/15/2023 5:26:18 PM



PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:

2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



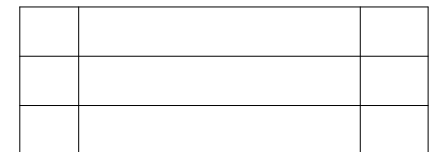
DESIGNER:



1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

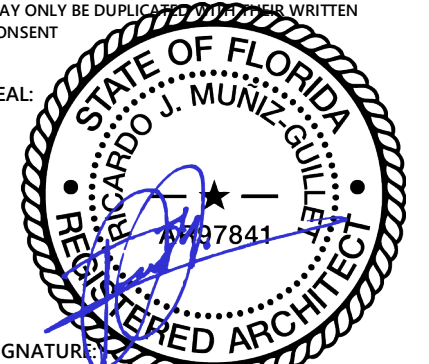
FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM



ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAL:



SIGNATURE:

RICARDO J. MUNIZ-GILLET
LIC# AR97841

SHEET TITLE:

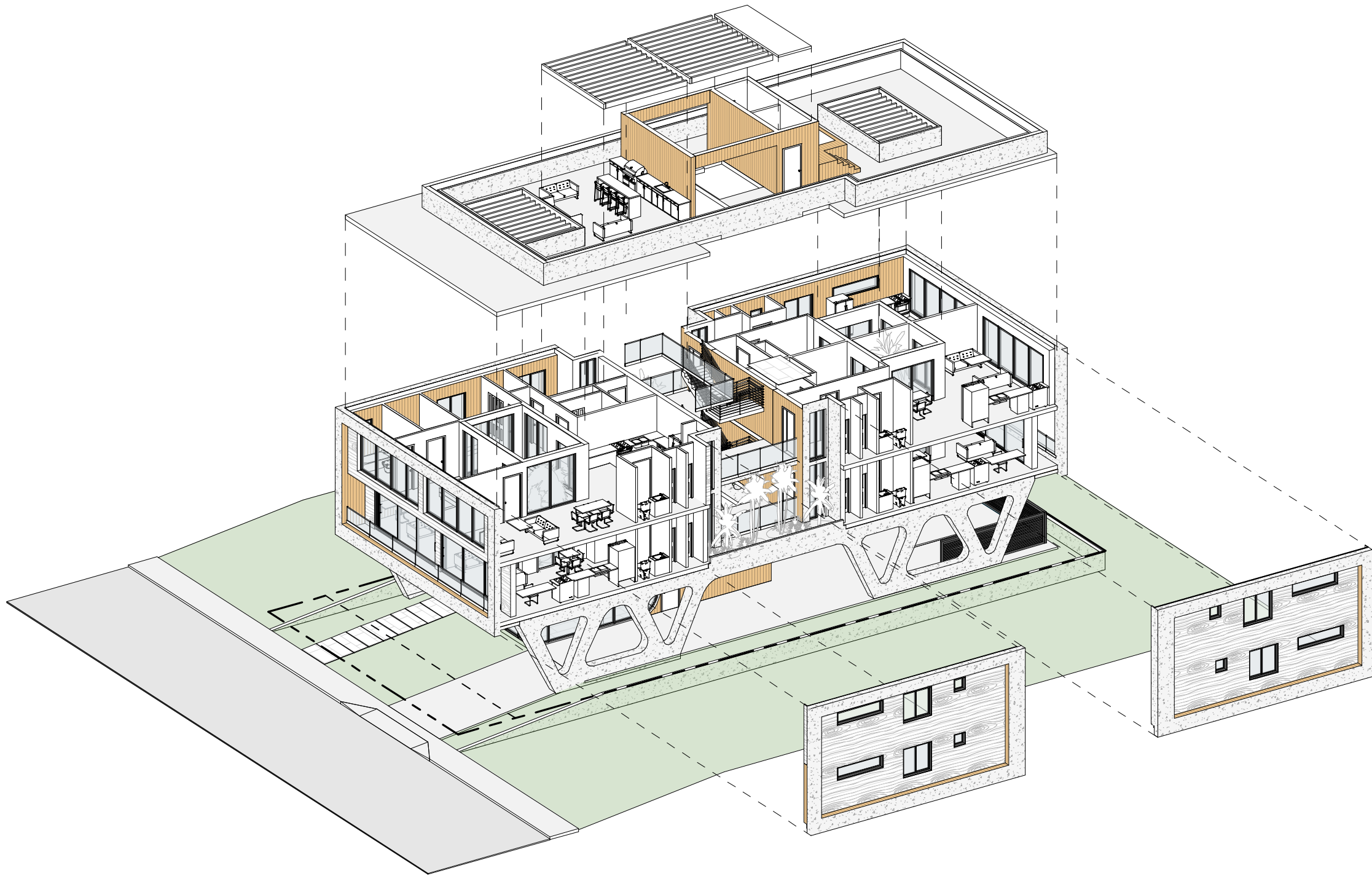
EXPLOTED AXONOMETRIC

SCALE:

SHEET NO:

A3-2.01

5/15/2023 5:26:25 PM



PROJECT AND OWNER:
DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC
3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:
2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161



DESIGNER:

1535 NORTH PARK DRIVE #102 WESTON
FL 33326
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

FINAL SUBMITTAL

PERMIT APPLICATION DATE: 05-15-2023
SHEET ISSUE DATE: 03-31-2023
PROJECT NO.: 2301
DRAWN BY: BK APPROVED BY: YM

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN
CONSTITUTE ORIGINAL WORK OF THE DESIGNER AND
MAY ONLY BE DUPLICATED WITH THEIR WRITTEN
CONSENT



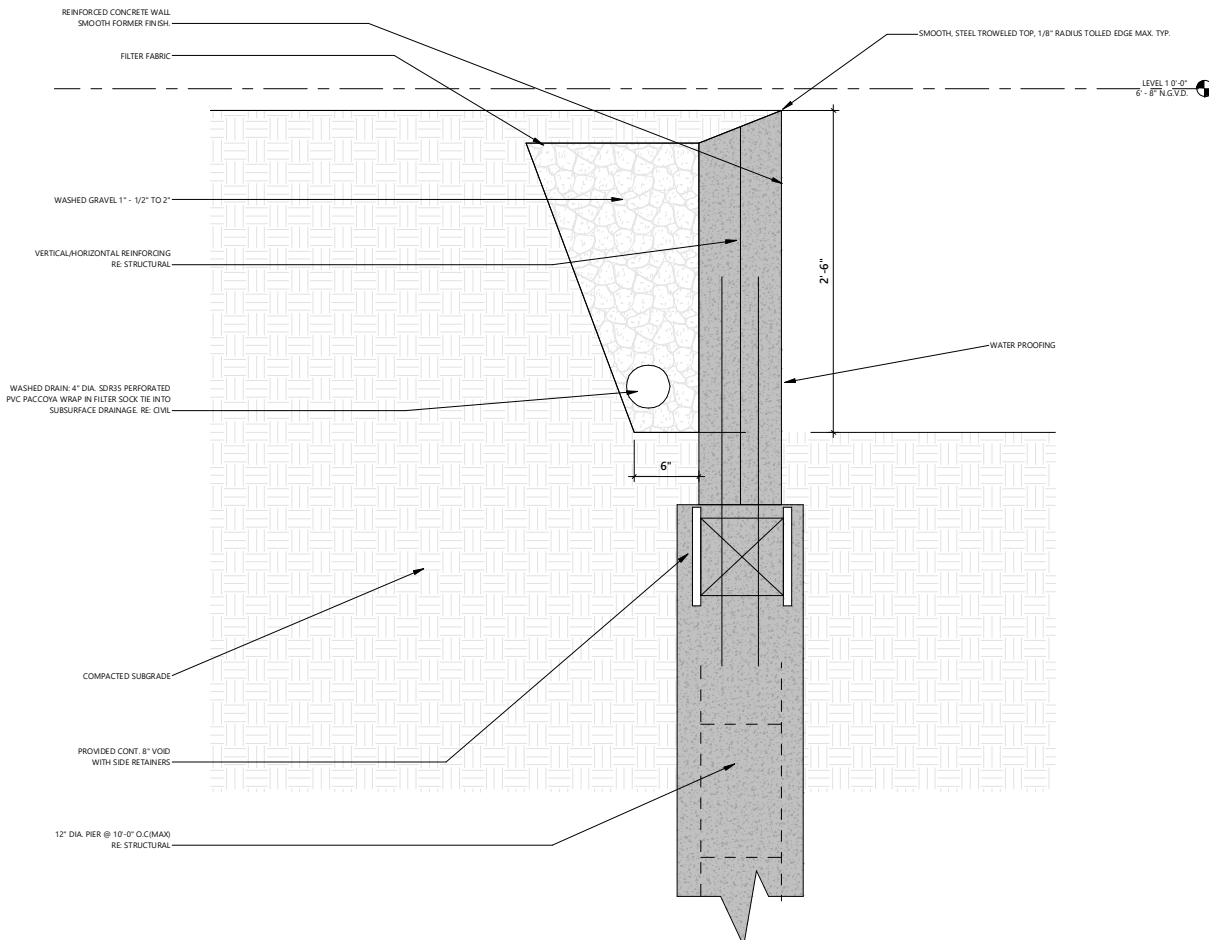
SIGNATURE:
RICARDO J. MUNIZ-GILLET
LIC# AR97841

SHEET TITLE:
EXPLOTED AXONOMETRIC

SCALE:

SHEET NO:
A3-2.02

5/15/2023 5:26:29 PM



1 RETAINING WALL DETAIL SECTION
1 1/2" = 1'-0"

PROJECT AND OWNER:

DENBORA BAY

7921 CARLYLE AVE
MIAMI BEACH | FL | 33141
DENDORA BAY LLC

3179 HOLYLAKE RD.
LAKE WORTH | FL | 33467

ARCHITECT:



2030 HABERSHAM TRCE | CUMMING | GA 30041
954 812 6650
RICARDO@MUVEARCH.COM
AA#26003161

DESIGNER:



1146 LAVENDER CIR | WESTON | FL 33327
954 850 9965
ADMIN@REDOCTOPUSLLC.COM

CONSULTING ENGINEERS:

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

KEY PLAN:

FINAL SUBMITTAL

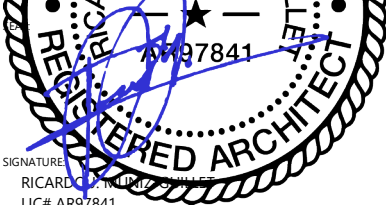
PERMIT APPLICATION DATE: 05-15-2023

SHEET ISSUE DATE:

PROJECT NO.: 2301

DRAWN BY: APPROVED BY:

ALL DRAWINGS AND WRITTEN
CONSTITUTION
ORIGINAL WORK OF THE DESIGNER
AND MAY NOT BE DUPLICATED
WITHOUT THE WRITTEN CONSENT



SIGNATURE:
RICARDO J. CUMMING
LIC# AR97841

SHEET TITLE:
WALL TYPES

SCALE:
N.T.S.

SHEET NO:

A7-1.02



MATERIAL MOODBOARD



EXPOSED
CONCRETE



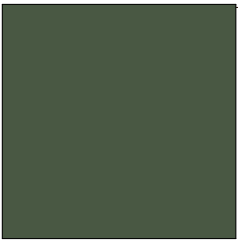
BOARD FORMED
CONCRETE



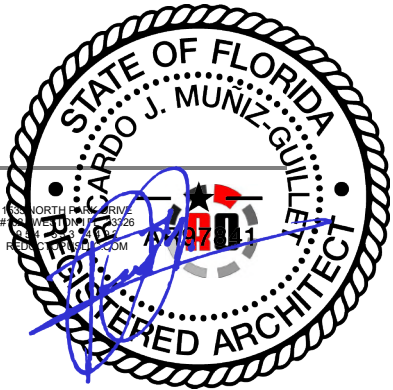
CORAL STONE

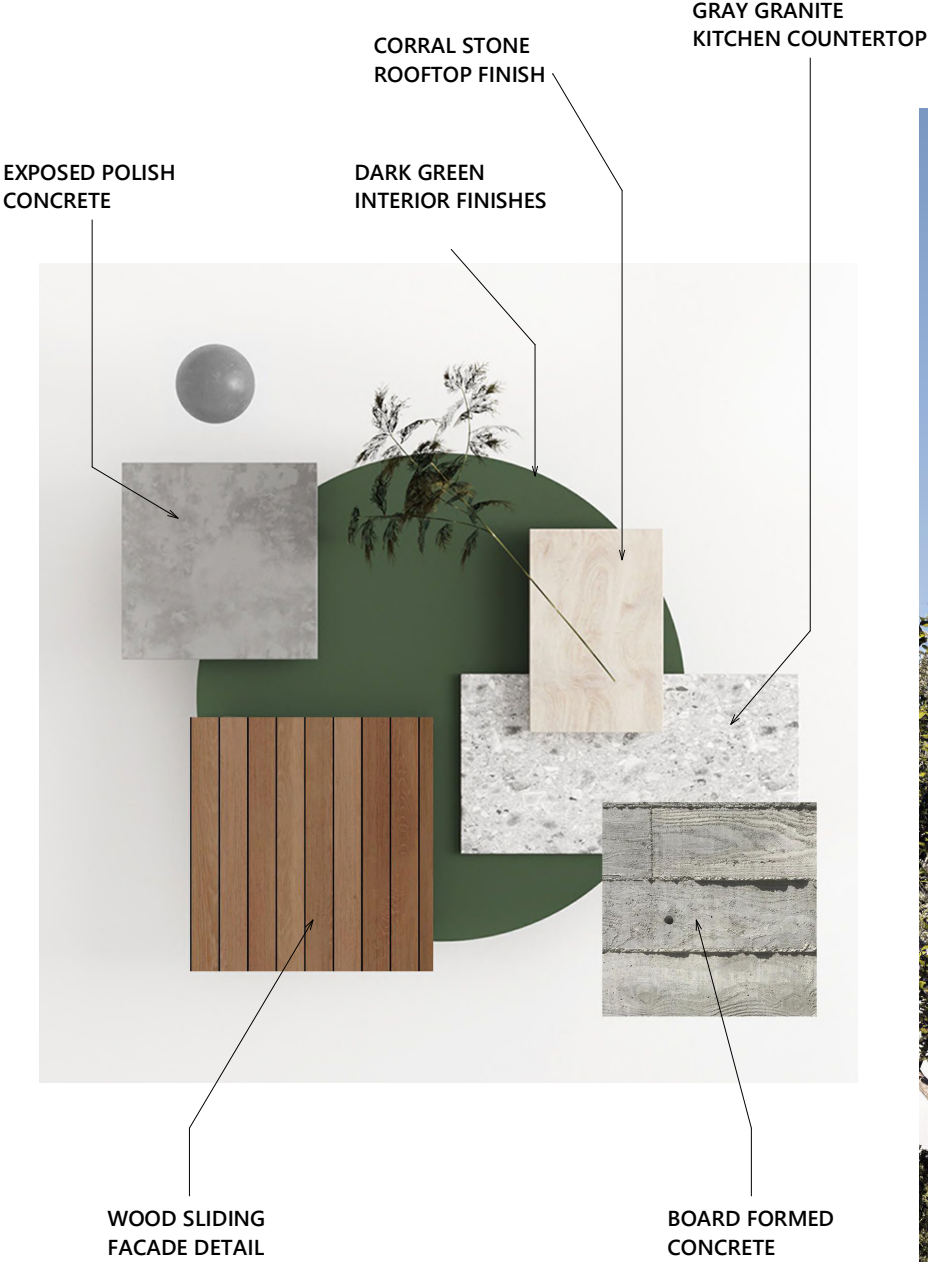


WOOD SIDING



DARK GREEN
INTERIOR FINISHES





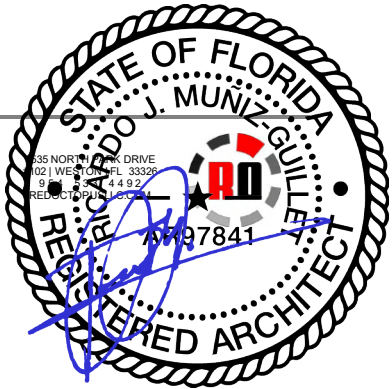
DENBORA BAY | 7921 CARLYLE AVE
MIAMI BEACH | FL | 33141

DRAWING
STREET VIEW

SHEET NO.
P-1.02

DATE
12/02/2022

OWNER
DENDORA BAY LLC





DENBORA BAY | 7921 CARLYLE AVE
MIAMI BEACH | FL | 33141

DRAWING
GROUND LEVEL VIEW

SHEET NO.
P-1.03

DATE
12/02/2022

OWNER
DENDORA BAY LLC

