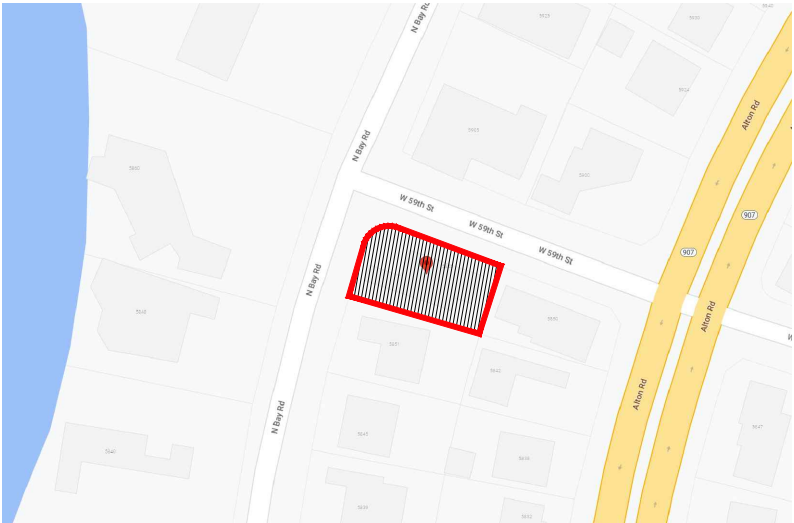


SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	5855 NORTH BAY RD. MIAMI BEACH. 33140			
2	FOLIO NUMBER(S):	02-3233-001-0450			
3	BOARD AND FILE NUMBERS:	TBD			
4	YEAR BUILT:		ZONING DISTRICT:	RS-4	
5	BASE FLOOD ELEVATION:	+10.0' NGVD	GRADE VALUE IN N.G.V.D:	+3.11' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.55' NGVD	FREE BOARD:	+13.0' NGVD (+5')	
7	LOT AREA:	8,333 S.F.			
8	LOT WIDTH:	63.40 FT (SHAPE VARIES)	LOT DEPTH:	125 FT (SHAPE VARIES)	
9	MAX. LOT COVERAGE SF AND %	2,499 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	2,427 SF (29.13%)	
10	EXISTING LOT COVERAGE SF AND %	2,212 SF (21.06%)	LOT COVERAGE DEDUCTED (GARAGE-STORAGE)	2,424 SF (29.13%)	
11	FRONT YARD OPEN SPACE SF AND %	1,147 SF (99.31%)	REAR YARD OPEN SPACE SF AND %:	894 SF (70.0%)	
12	MAX. UNIT SIZE SF AND %	4,166 SF (50%)	PROPOSED UNIT SIZE SF AND %:	4,150 SF (49.8%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:	4,424 SF (42.13%)	PROPOSED FIRST FLOOR UNIT SIZE SF AND %:	2,140 SF (25.76%)	
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	N/A	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	1,940 SF (23.28%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A	
			GROSS AREA:	7,987 SF	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	31 FT. FROM FREEBOARD 24 FT. FROM FIRST FLOOR		27'-10" FT. 24 FT.	
18	SETBACKS:				
19	FRONT FIRST LEVEL:	30 FT.	N/A	32'-11" FT.	
20	FRONT SECOND LEVEL:	30 FT.	N/A	32'-11" FT.	
21	SIDE 1 -	15'-0"		16'-1"	
22	SIDE 2 -	10'-0"		10'-0"	
23	REAR:	20'-0"		20'-2"	
24	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2	7'-6"	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:		N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINATE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE WITH UNDERSTORY

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020 7TH EDITION, RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-4)

LEGAL DESCRIPTION

LOT 1, BLOCK 6, "LA GORCE GOLF SUBDIVISION," ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

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P 305 576 8063

FL LIC: AR 0014966
FL LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE
5855 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: BILL HERNANDEZ

REVISION & DATE

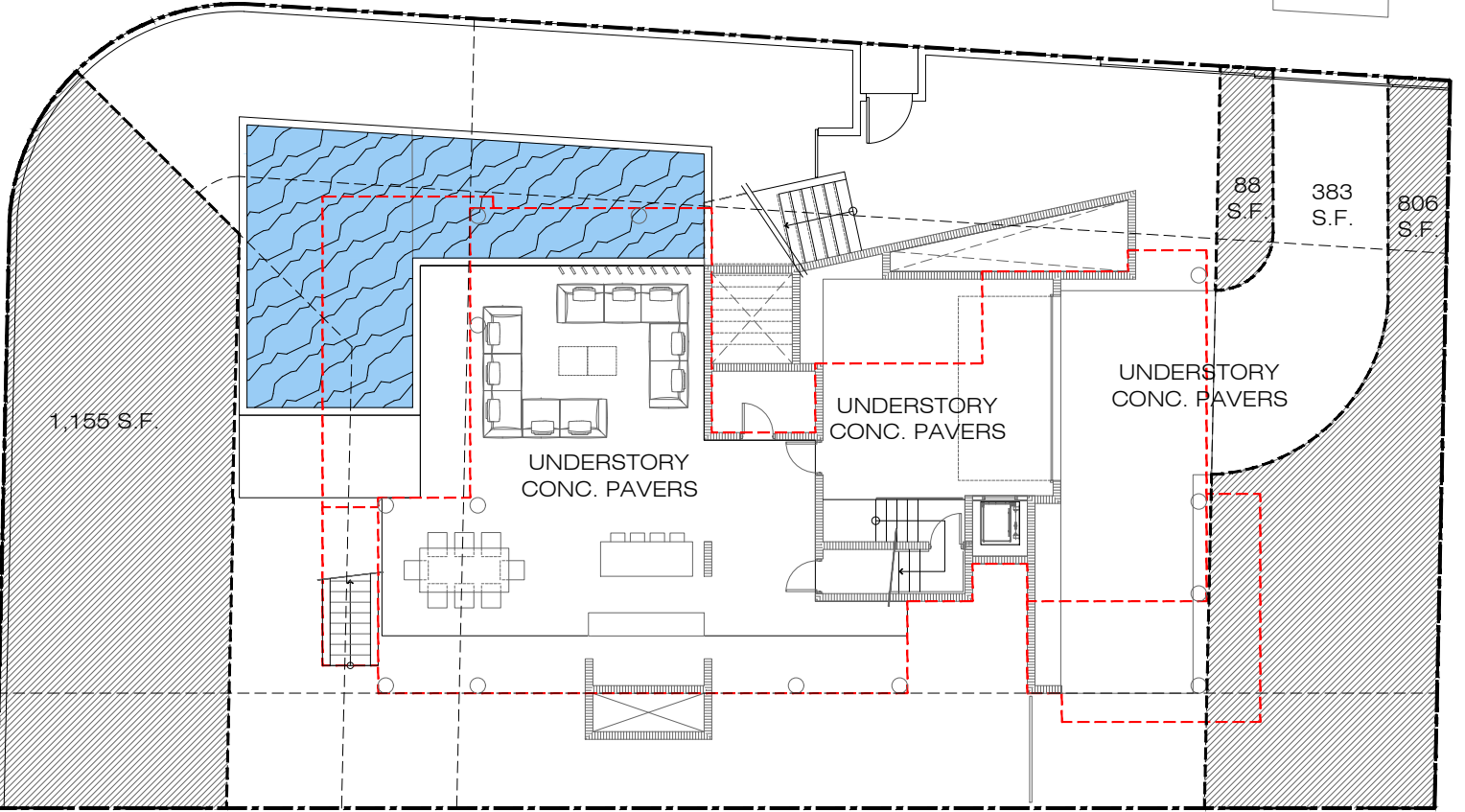
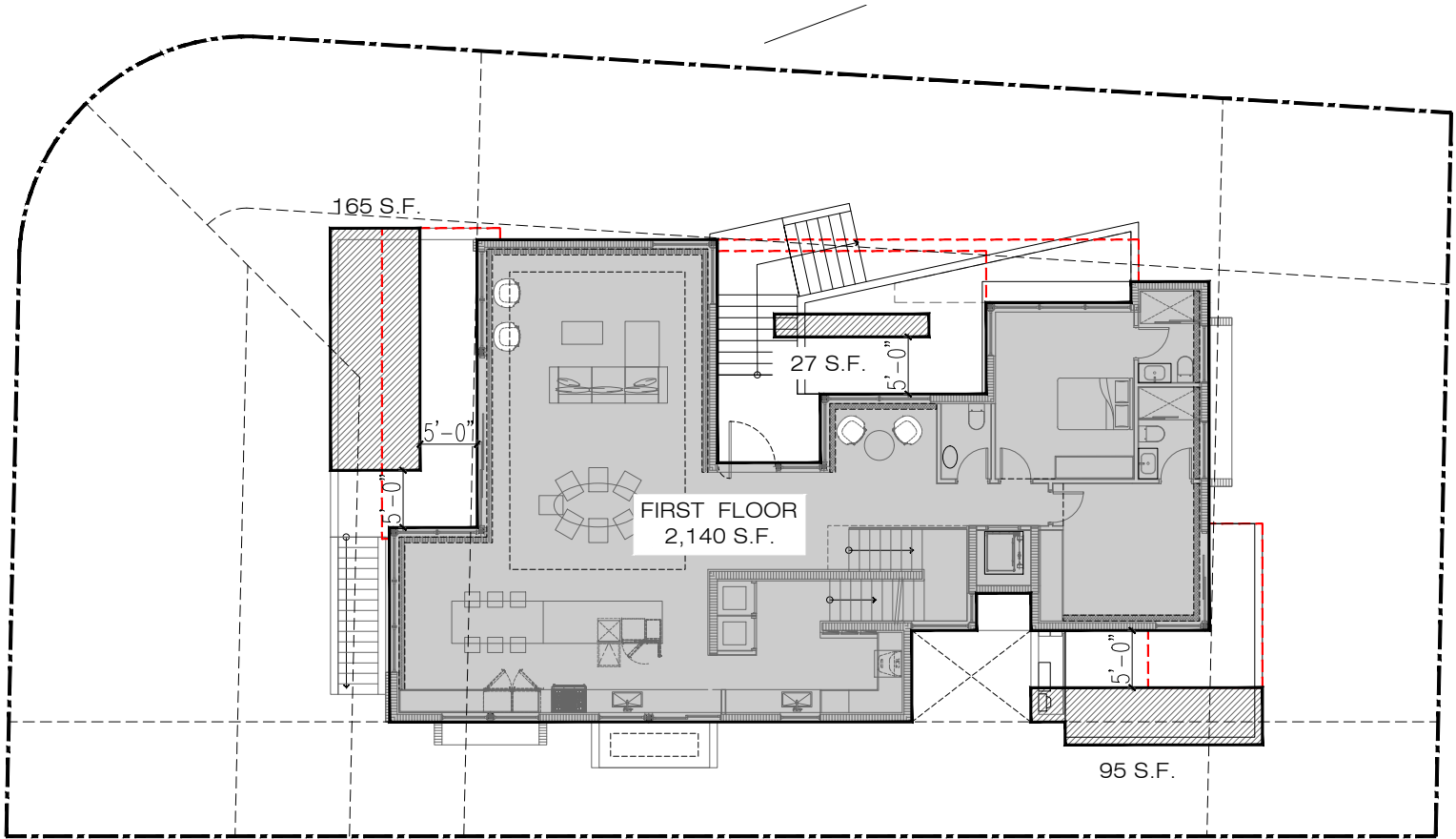
DRAWING TITLE

ZONING DATA
/ LOCATION
PLAN

SCALE: AS SHOWN
DATE: 02-14-2023

SHEET NUMBER

A-1.0



FRONT YARD
AREA: 1,155 S.F.

HATCH DENOTES GRASSED AREA

REAR YARD
TOTAL: 1,277 S.F.

COVERAGE (RS-4)	
LOT AREA	8,333
MAX COVERAGE (30%)	2,499
FIRST FL. AC	2,140
2ND FL. AC PROJECTION	0
	0
	0
PAST 5 FT TERRACE	165
PAST 5 FT BALCONY	95
PAST 5 FT ROOF	27
TOTAL PROPOSED	2,427 S.F.
PERCENT OF LOT AREA	29.13%
DIFFERENCE (- UNDER / + OVER)	-72.00

1 LOT COVERAGE DIAGRAM

1/16"=1'-0"



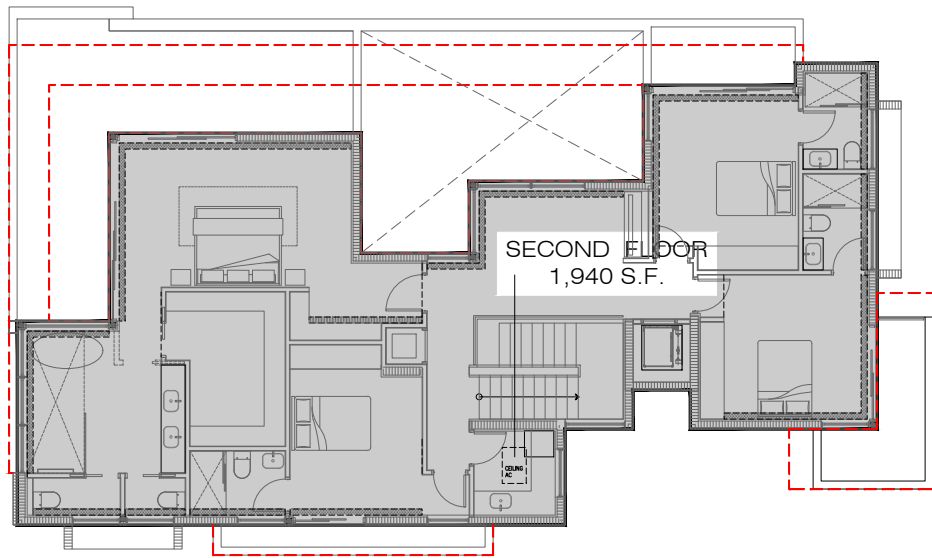
FRONT YARD	
YARD AREA	1,155
MIN. PERVIOUS (70%)	808
	0
TOTAL IMPERVIOUS	0 S.F.
TOTAL PERVIOUS	1,155 S.F.
PERCENT OF PERVIOUS	100.00%

REAR YARD	
YARD AREA	1,277
MIN. PERVIOUS (70%)	894
DRIVEWAY	383
TOTAL IMPERVIOUS	383 S.F.
TOTAL PERVIOUS	894 S.F.
PERCENT OF PERVIOUS	70.01%

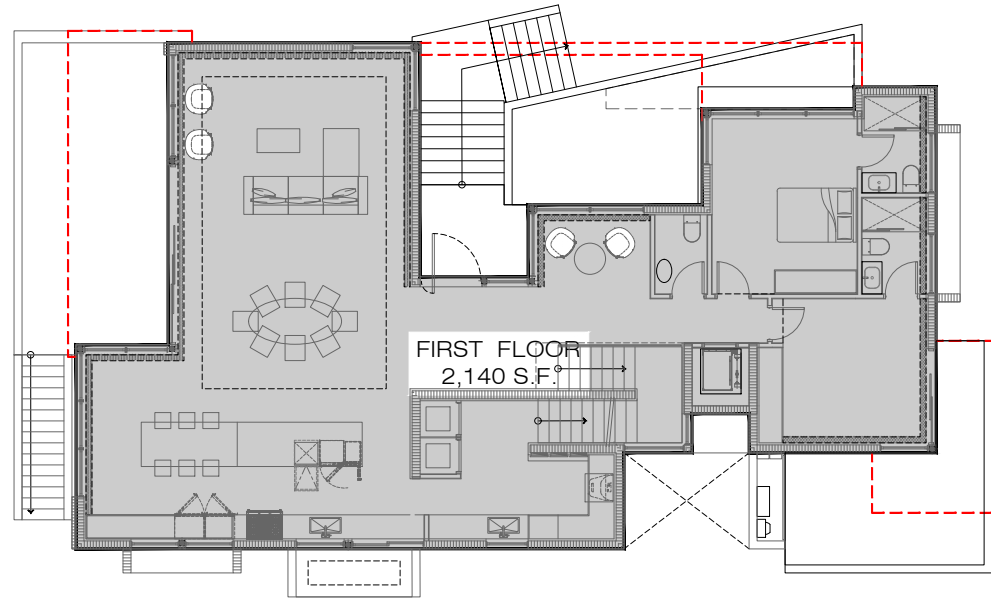
2 OPEN SPACE DIAGRAM

1/16"=1'-0"

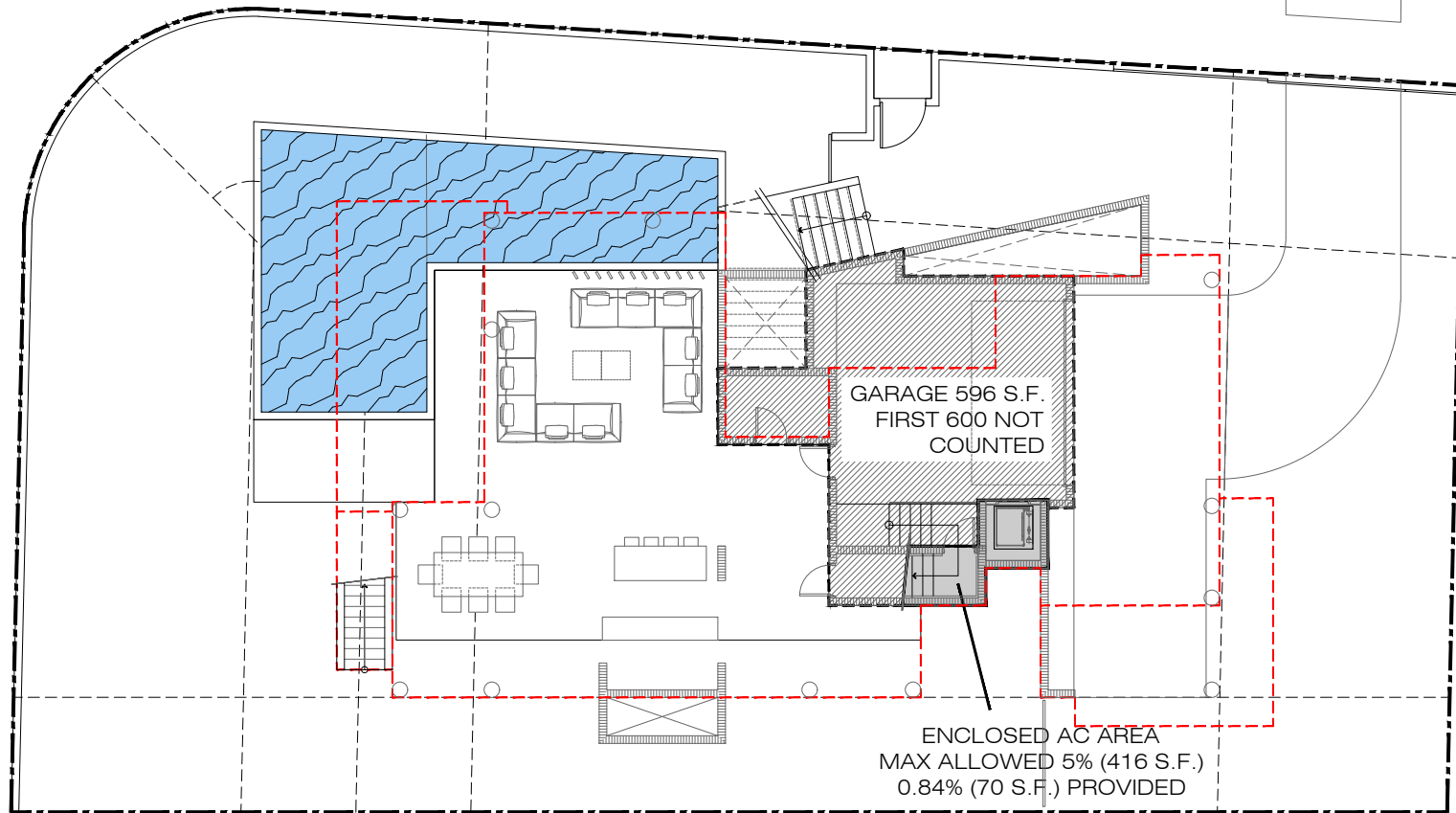




3 UNIT SIZE DIAGRAM
SECOND FLOOR 1/16"=1'-0"



2 UNIT SIZE DIAGRAM
FIRST FLOOR 1/16"=1'-0"



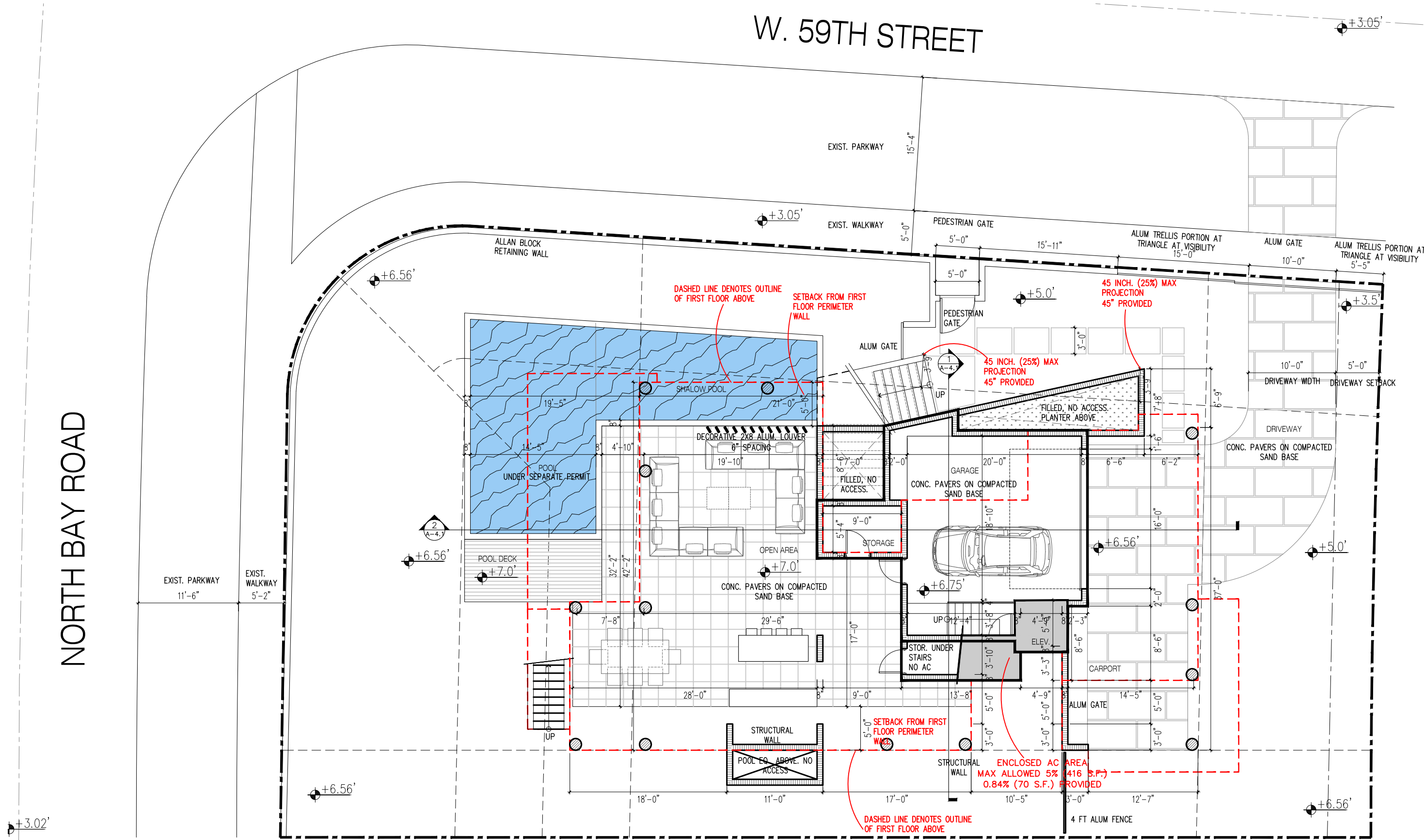
HATCH DENOTES GARAGE AREA
 HATCH DENOTES AC AREA

1 UNIT SIZE DIAGRAM
GROUND FLOOR 1/16"=1'-0"

unit size 50%	
LOT AREA	8,333
MAX UNIT SIZE (50%)	4,166
GROUND FLOOR -ACCESS	70
GARAGE 596 SF.(EXCLUDED)	0
FIRST FL. AC	2,140
2ND FL. AC	1,940
TOTAL PROPOSED	4,150 S.F.
PERCENT OF LOT AREA	49.80%
DIFFERENCE (- UNDER / + OVER)	-16.00

NORTH BAY ROAD

W. 59TH STREET

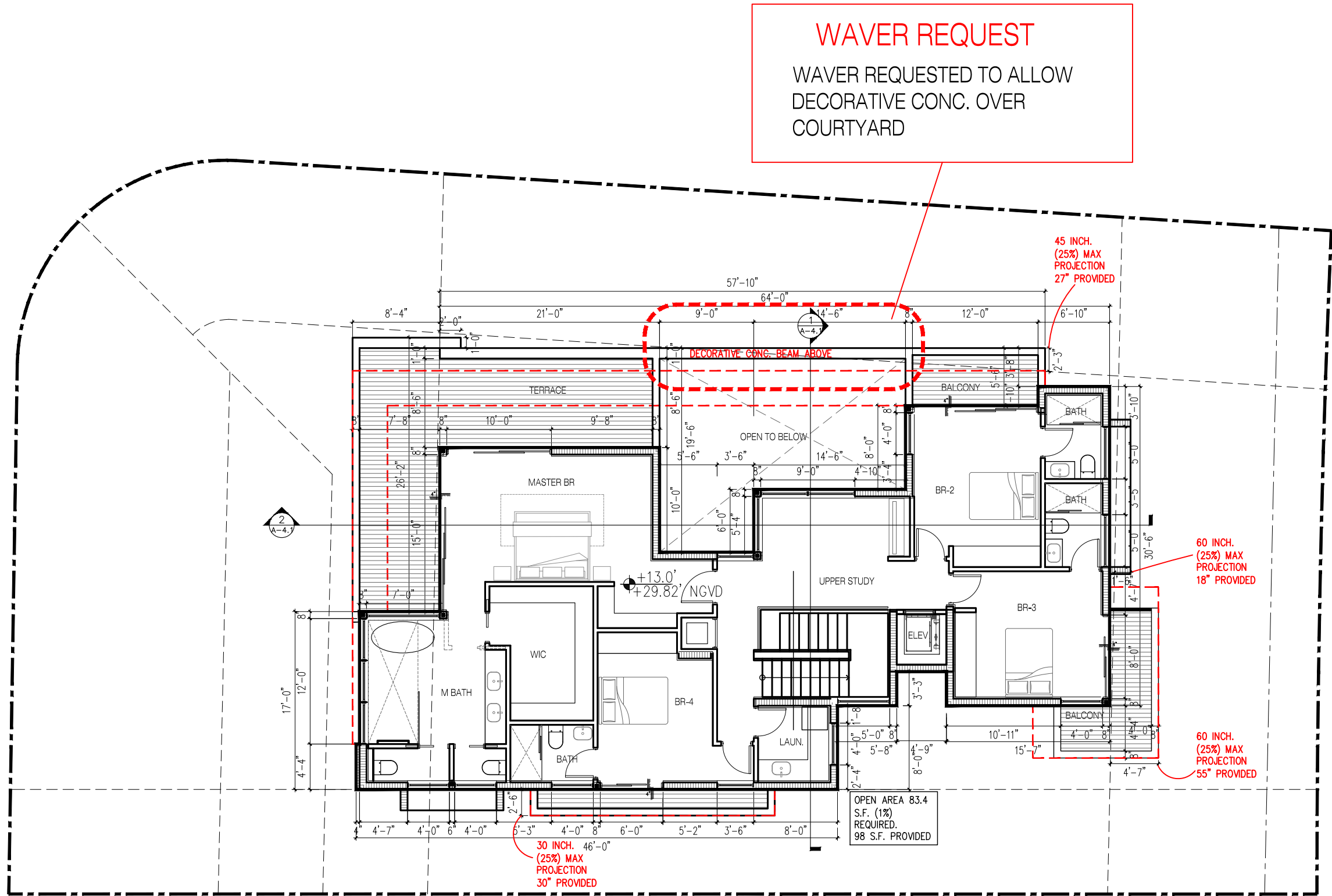


UNDERSTORY /
GROUND FLOOR PLAN

1

3/32"=1'-0"





WAVER REQUEST

WAVER REQUESTED TO ALLOW
DECORATIVE CONC. OVER
COURTYARD

1 SECOND FLOOR PLAN

3/32"=1'-0"

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P 305 576 8063

FL. LIC: AR 0014966
FL. LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE
5855 NORTH BAY ROAD
MIAMI BEACH, FL. 33140
OWNER: BILL HERNANDEZ

REVISION & DATE

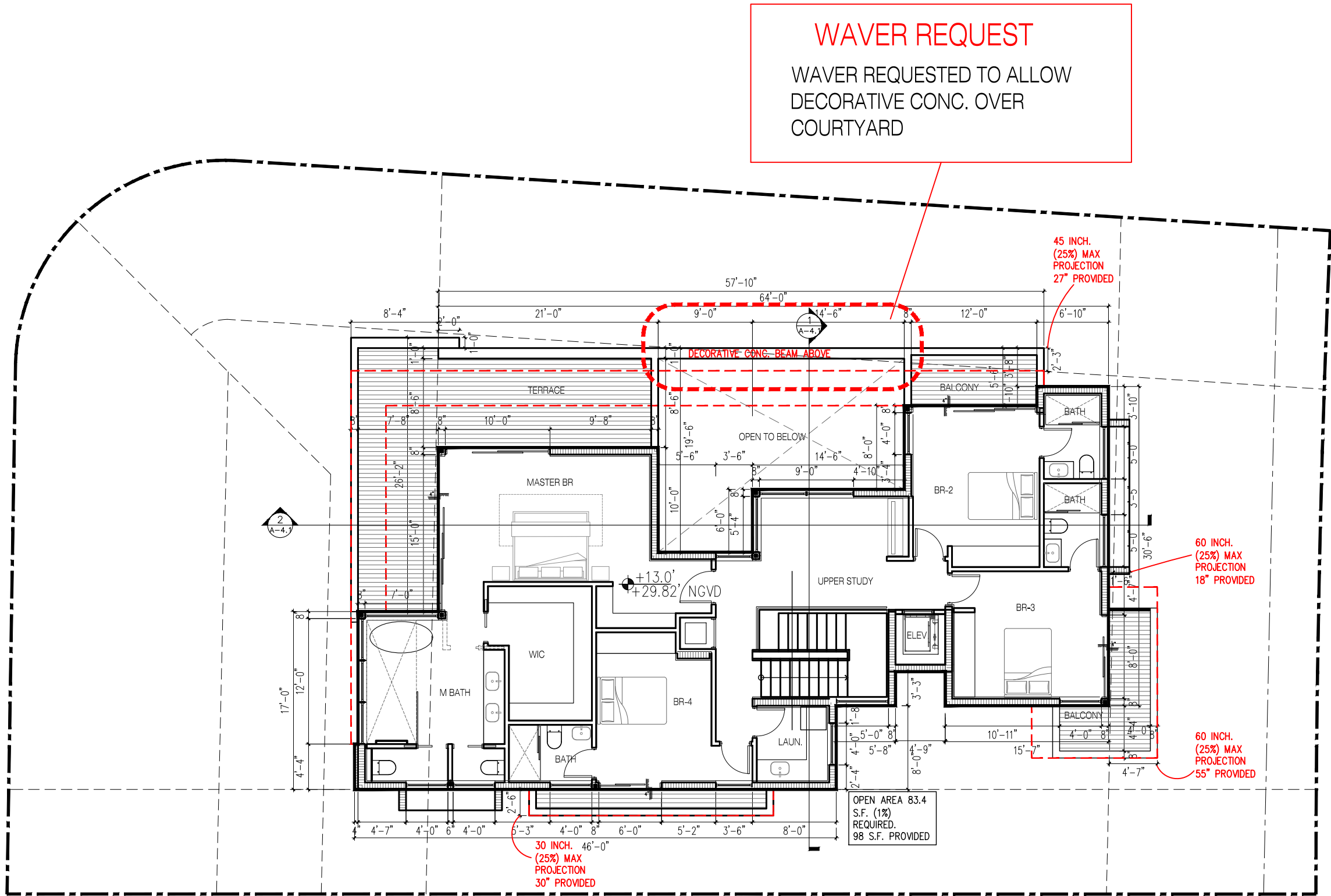
DRAWING TITLE

**SECOND
FLOOR PLAN**

SCALE: AS SHOWN
DATE: 02-14-2023

SHEET NUMBER

A-2.3



WAVER REQUEST

WAVER REQUESTED TO ALLOW
DECORATIVE CONC. OVER
COURTYARD

1 SECOND FLOOR PLAN

3/32"=1'-0"

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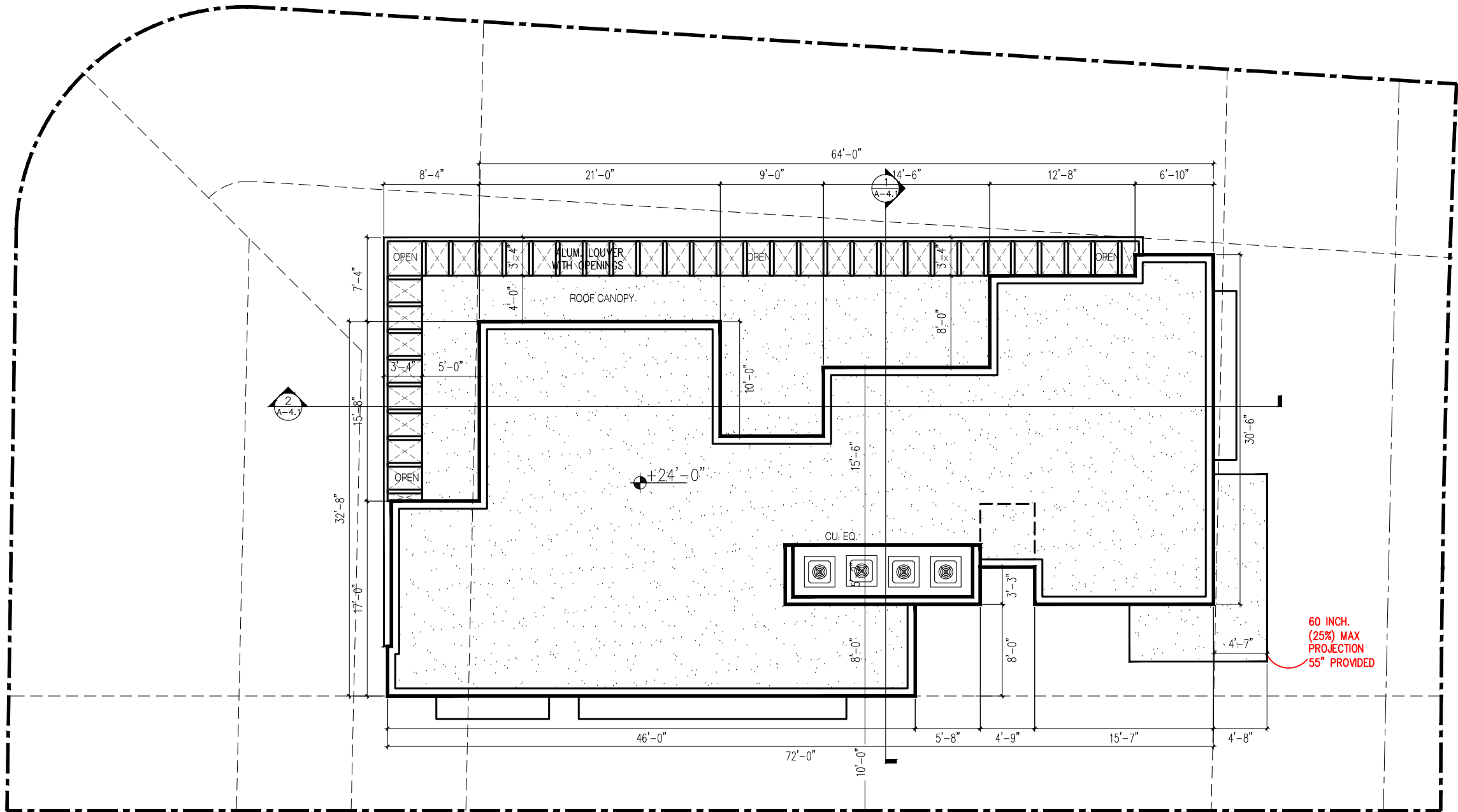
DRAWING TITLE

SECOND FLOOR PLAN

SCALE: AS SHOWN
DATE: 02-14-2023

SHEET NUMBER

A-2.3



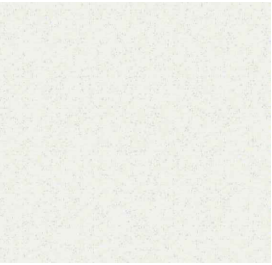
1 ROOF PLAN 3/32"=1'-0"



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS



MATERIAL LEGEND



1. STUCCO, EXTERIOR PAINT
COLOR



2. DECORATIVE STONE
MATERIAL - CIMULATED
CONCRETE



3. ACCENT WOOD FINISH



4. VERT. ALUM LOUVER FENCE
TO MATCH WOOD FINISH OR
WINDOW FRAMING FINISH



CONCRETE PAVER DRIVEWAY
WITH GRASS INLAY, PATTERN
TBD

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MATERIAL
LEGEND

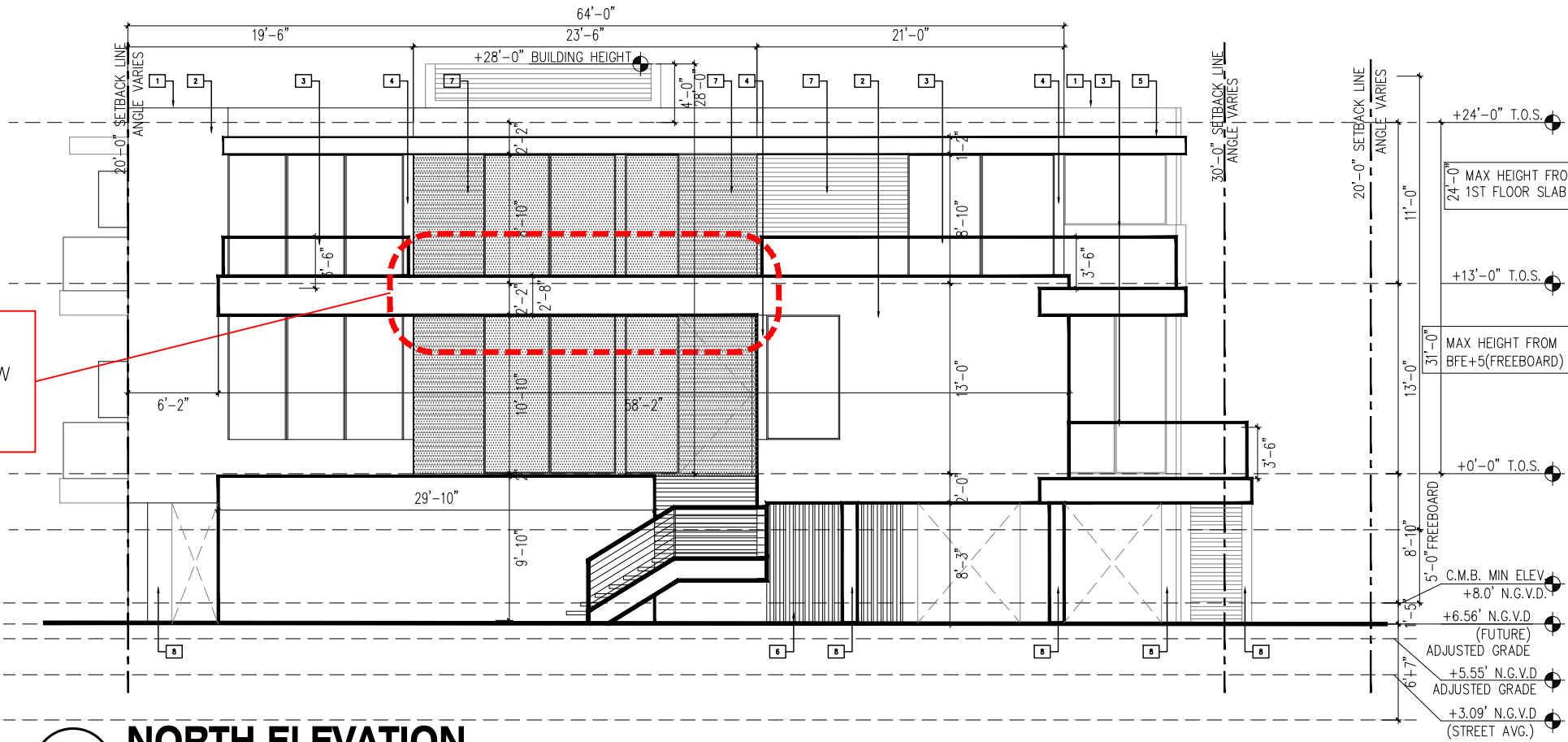
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DATE: 02-14-2023

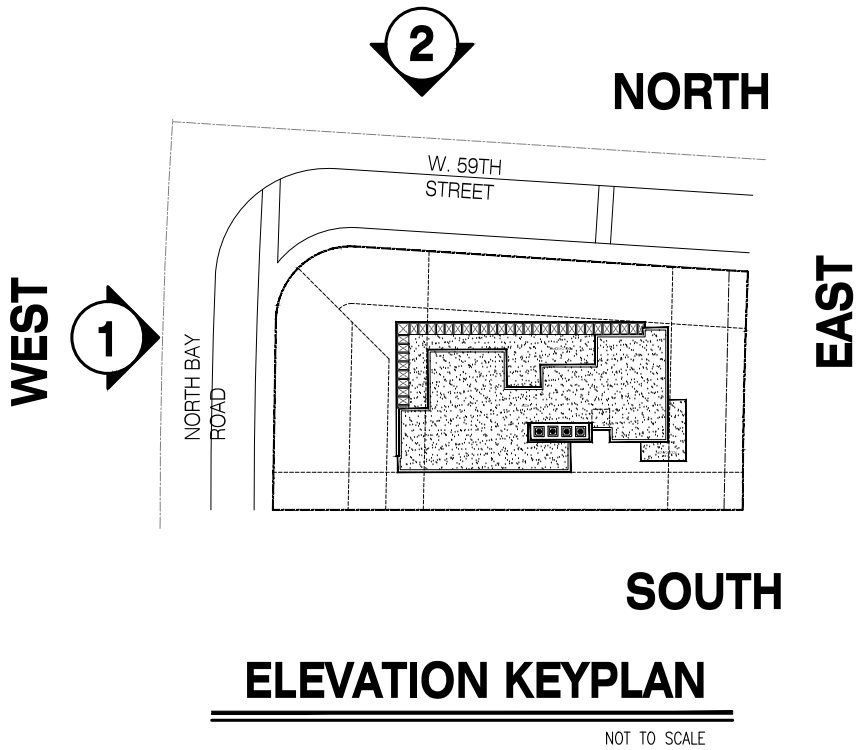
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A-3.0

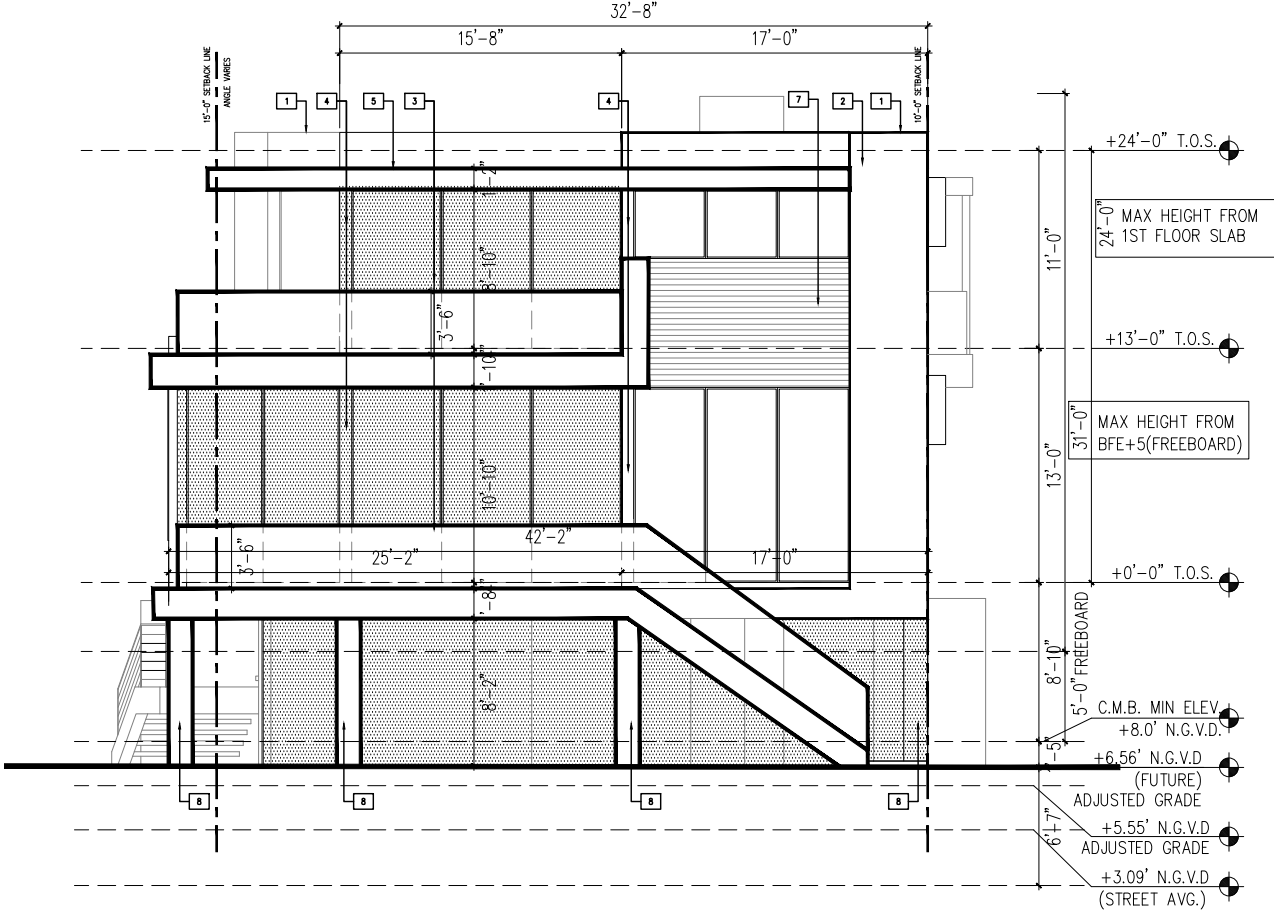
WAIVER REQUEST
WAIVER REQUESTED TO ALLOW
DECORATIVE CONC. OVER
COURTYARD



2 NORTH ELEVATION
(FRONT)
3/32"=1'-0"



ELEVATION KEYPLAN
NOT TO SCALE



1 WEST ELEVATION
(STREET SIDE)
3/32"=1'-0"

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
 2. 8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 3. ALUM./GLASS HANDRAIL/GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
 4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
 5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
 6. ALUM. LOUVER
 7. WOOD/SIMULATED WOOD CLADDING
 8. CONCRETE COLUMN.
 9. ALUM. GATE

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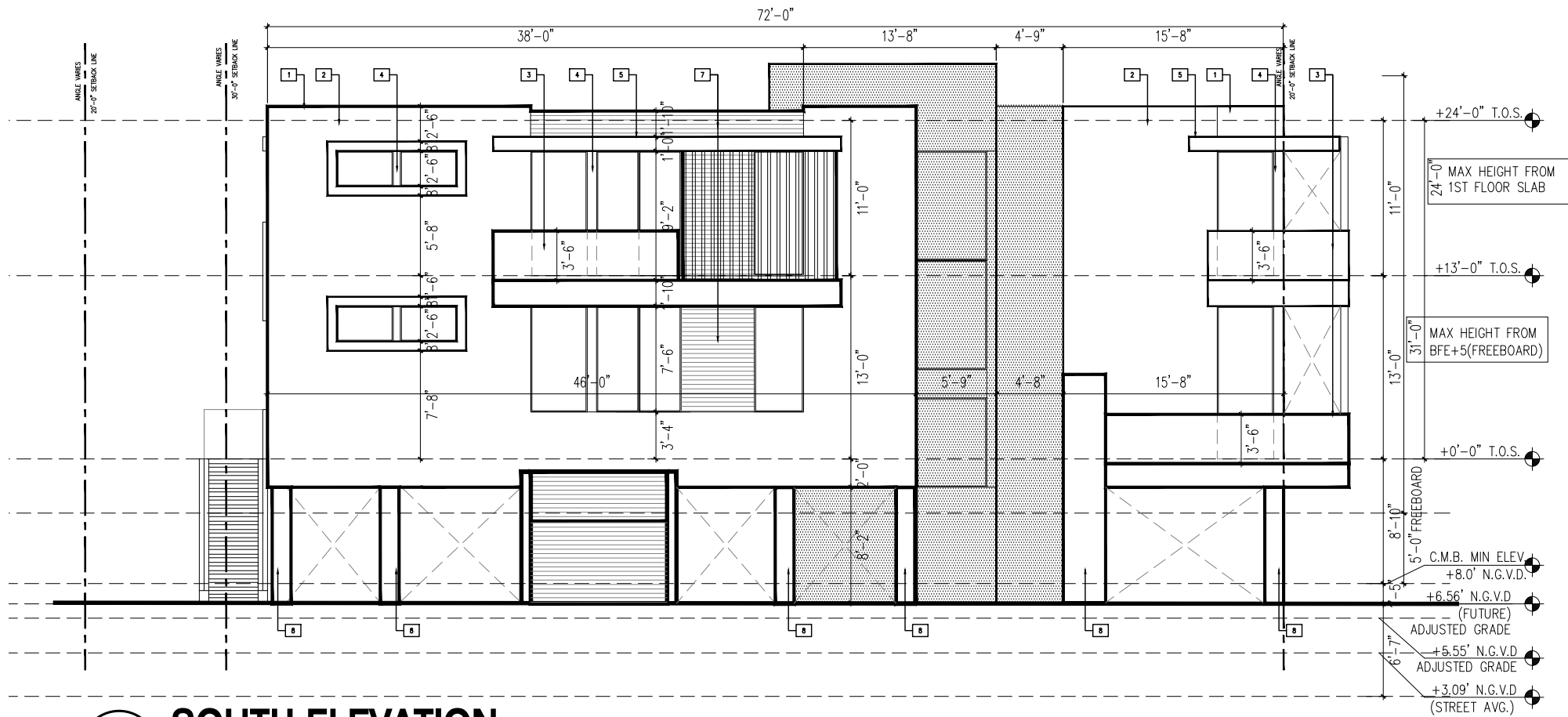
DRAWING TITLE

ELEVATION

SCALE: AS SHOWN
DATE: 02-14-2023

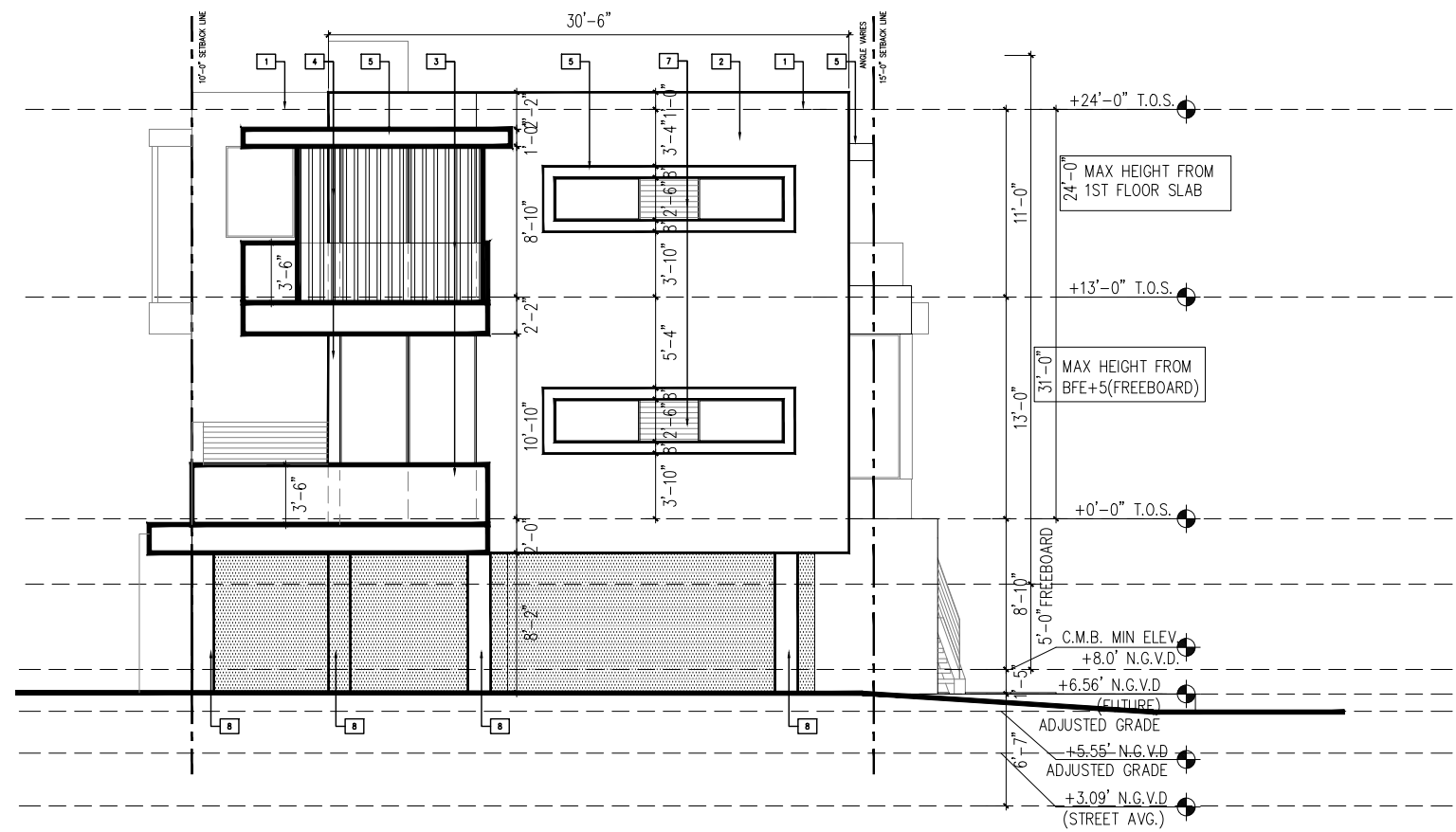
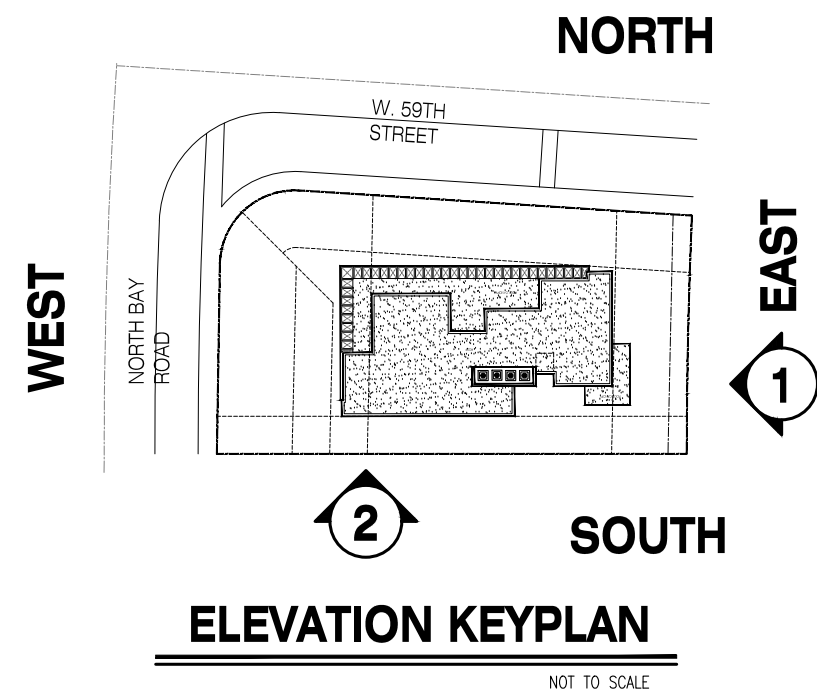
SHEET NUMBER

A-3.1



2 SOUTH ELEVATION
(REAR)

3/32"=1'-0"



1 EAST ELEVATION
(SIDE)

3/32"=1'-0"

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
 2. 8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 3. ALUM./GLASS HANDRAIL/GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
 4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
 5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
 6. ALUM. LOUVER
 7. WOOD/SIMULATED WOOD CLADDING
 8. CONCRETE COLUMN.
 9. ALUM. GATE

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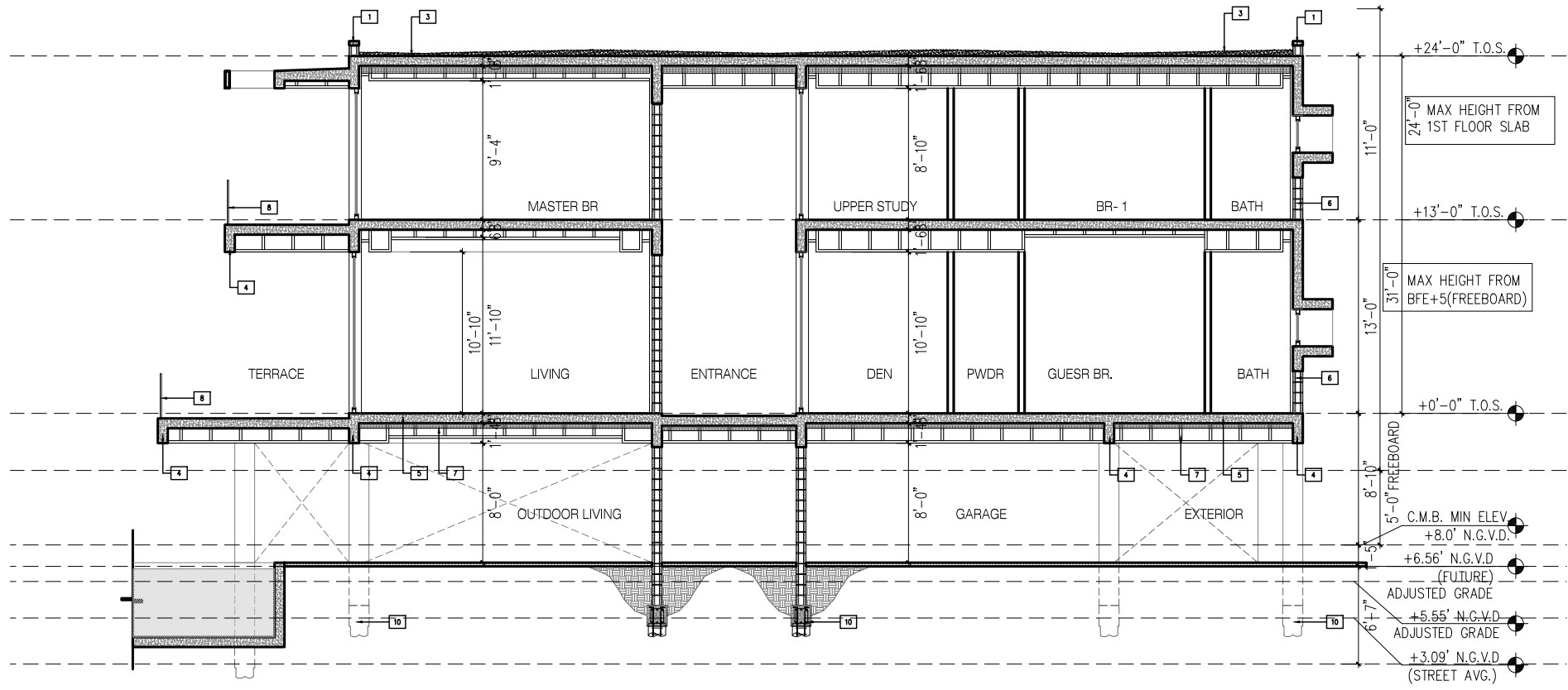
DRAWING TITLE

ELEVATION

SCALE: AS SHOWN
DATE: 02-14-2023

SHEET NUMBER

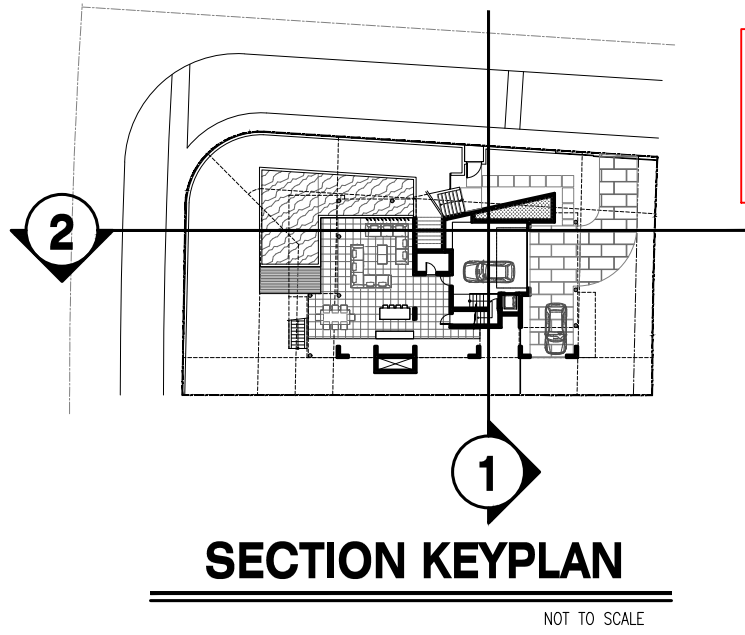
A-3.2



- SECTION KEYNOTES / SPECIFICATIONS
1. ROOFTOP CURB (SEE ROOF PLAN FOR HEIGHT)
 2. 8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 3. PROVIDE 20 YR WARRANTY ROOFING SYSTEM OVER RIGID FOAM BOARDS.. PROVIDE SHOP DRAWING OF THE LIGHTWEIGHT CONC SYSTEM. ROOFING SYSTEM INSTALLATION SHALL BE PERFORMED PER MANUFACTURER'S RECOMMENDATIONS AND PER NATIONAL ROOFING CONTRACTORS ASSOCIATION STANDARD DETAILS.
 4. CONCRETE BEAM (SEE STRUCT. DWGS. FOR REINF.).
 5. CONCRETE SLAB (SEE STRUCT. DWGS.)..
 6. CMU WALLS WITH 2" FURR/GYP BD & R-7.1 FOIL INSULATION.
 7. SUSPENDED 5/8" GYPSUM CEILING ON METAL STUD FRAMING. INSTALL AFTER DUCTWORK AND PLUMBING IS IN PLACE.
 8. GLASS GUARDRAILS/HANDRAILS (42" HIGH A.F.F.). PROVIDE SHOP DRAWINGS AND ENGINEERING CALCULATIONS. GUARDRAILS SHALL NOT HAVE POSTS. SHALL BE ST. STEEL 'U' CHANNEL TYPE INSTALLATION. OR SIDE WALL WITH STAINLESS STEEL BUTTONS TYPE INSTALLATION.
 9. 3/4" RECESS AT ALL SLABS SUPPORTING EXTERIOR WALLS (TYP.)
 10. CONCRETE FOUNDATION (SEE STRUCT. DWGS.)
 11. ALUM. HANDRAIL/GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
 12. COMPACTED FILL TO 95% COMPACTION WITH PROCTOR TEST.
 13. BATT. INSULATION (R-19)

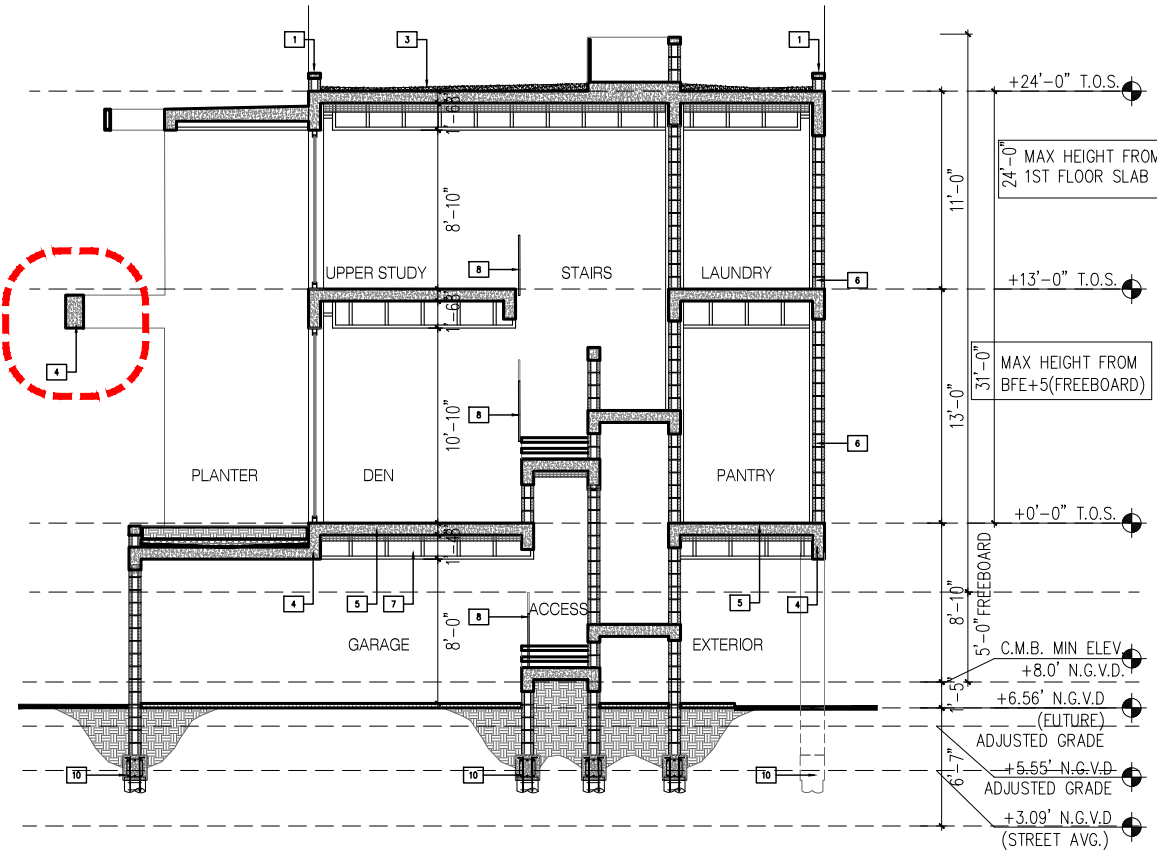
NOTES:
A. ALL PLANTERS SHALL RECEIVE WATERPROOFING COATING. SEE STANDARD DETAIL.

2 SECTION
3/32"=1'-0"



SECTION KEYPLAN
NOT TO SCALE

WAIVER REQUEST
WAIVER REQUESTED TO ALLOW
DECORATIVE CONC. OVER
COURTYARD



1 SECTION
3/32"=1'-0"

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DRAWING TITLE

SECTION

SCALE: AS SHOWN

DATE: 02-14-2023

SHEET NUMBER

A-4.1