

BLACK CAT CIGAR LOUNGE - 924 71 ST

FIRST SUBMITTAL:

MARCH 08, 2023

SCOPE OF WORK:

RECONFIGURATION OF SPACE, THE
ADDITION OR ELIMINATION OF ANY
DOOR.

BLACK CAT CIGAR LOUNGE

924 71 ST
MIAMI BEACH, FL, 33141

BEILINSON
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD, S 309-310

M I A M I F L 3 1 3 8 - 4 6 6 4

T 305.559.1250 F 305.551.1746

J O S E L G O M E Z

A R 0 0 1 5 4 1 6

DWG. TITLE

COVER

SCALE

N.T.S.

PROJECT NO.

2023-09

DATE

02-22-23

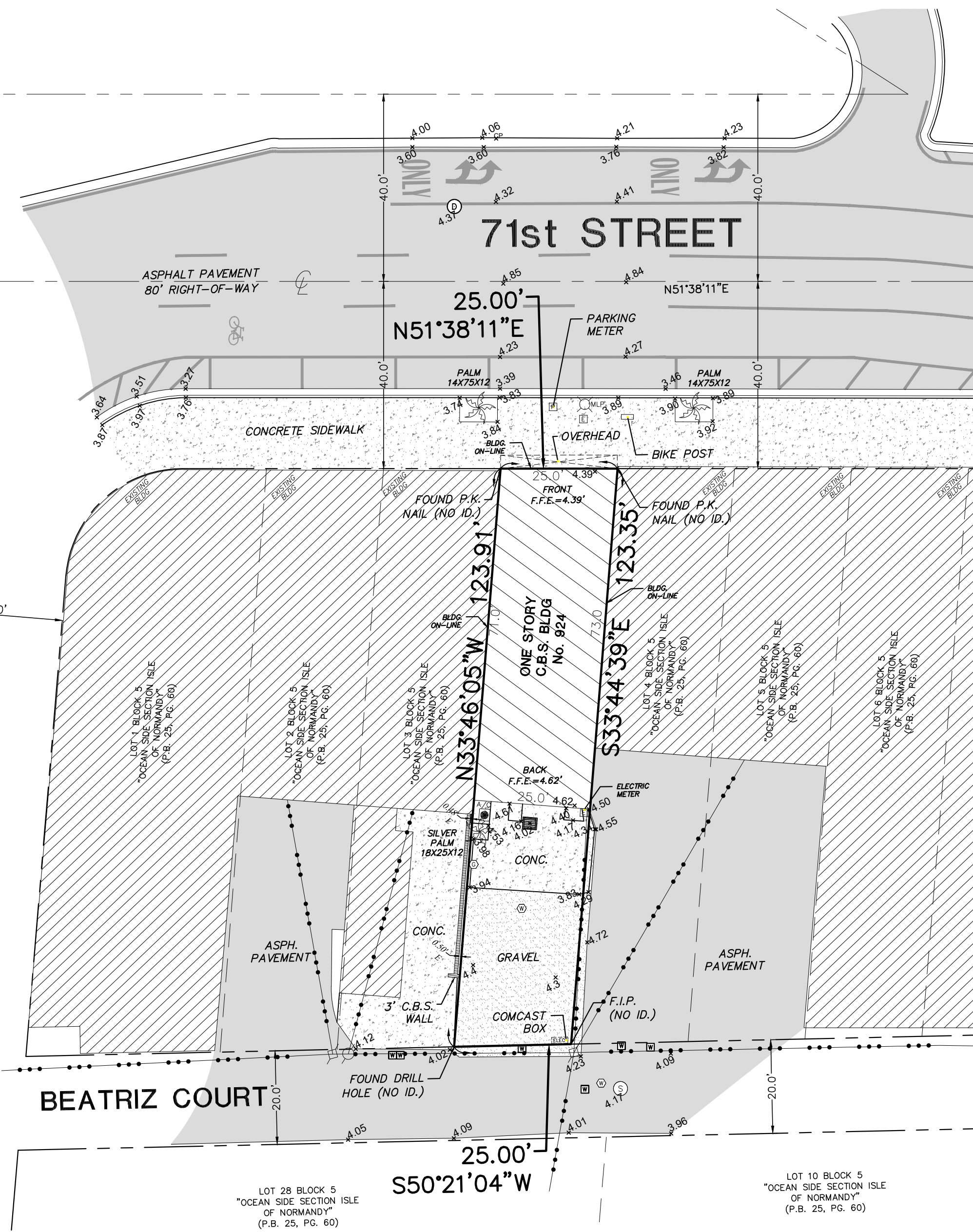
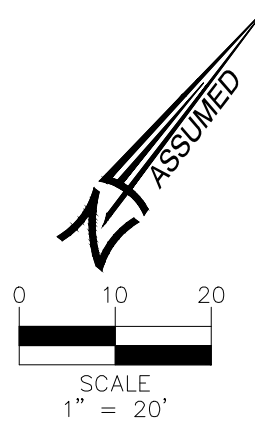
SHEET NUMBER

A-000

△ DATE

REVISION

MAP OF BOUNDARY SURVEY



SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

1. The date of completion of the field work of the Boundary Survey was on March 06, 2023.

SECTION 2) LEGAL DESCRIPTION:

Lot 4, in Block 5, of "OCEAN SIDE SECTION OF ISLE OF NORMANDY", according to the Plat thereof, recorded in Plat Book 25, at Page 60, of the Public Records of Miami-Dade County, Florida, more commonly known as 924 71st Street, Miami Beach FL 33141.

Property Address and Tax Folio Number:

924 71st Street,
Miami Beach, Florida, 33141
Folio No.: 02-3210-013-0490

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=20') or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Plat of "OCEAN SIDE SECTION OF ISLE OF NORMANDY", recorded in Plat Book 26, at Page 70, Miami-Dade County Records.

Quit-Claim Deed, dated August 20th, 2009, recorded in Official Records Book 26986, Page 283, Miami-Dade County Records.

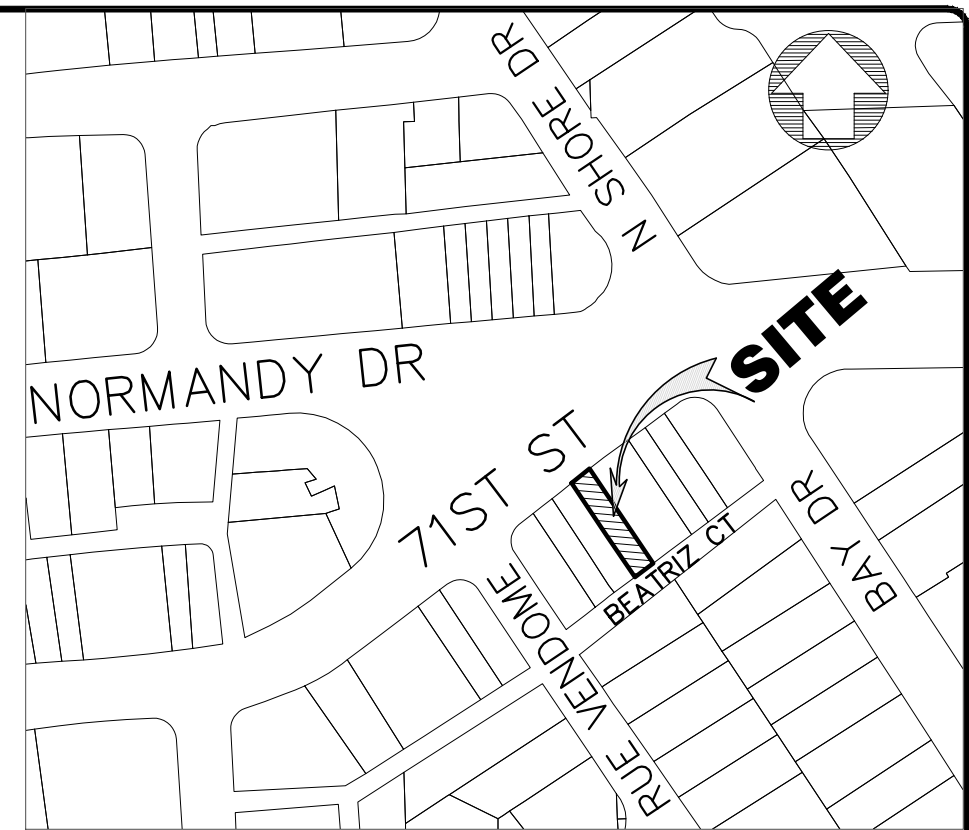
Bearings as shown hereon are based upon the Center Line of 71st STREET with an assumed bearing of N51°38'11"E, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "AE", with a Base Flood Elevation of 8.0 Feet as per Federal Emergency Management Agency (FEMA) Community Number 120651 (City of Miami Beach), Map Panel No. 12086C0307, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

City of Miami Municipal Atlas, Sheet No. 32 G, prepared by the City of Miami, Department of Engineering.

Elevations as shown hereon are based on the National Geodetic Vertical Datum of 1929, as per Miami-Dade County's Benchmark Number M-313, Elevation 4.47 feet.



LOCATION MAP

SECTION 5) LIMITATIONS:

Since no other information were furnished other than that is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear in the public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

GUS MANESSIS

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify that this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

HADONNE CORP., a Florida Corporation
Florida Certificate of Authorization Number LB7097

By: _____
Raul Izquierdo, PSM
For the Firm
Registered Surveyor and Mapper LS6099
State of Florida

NOTICE: Not valid without the original signature and seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

LEGEND:

- | | | | |
|---|---------------------------------|--------------------------|-----------------------------|
| DRWY = DRIVEWAY | F.I.P. = FOUND IRON PIPE | □ = ELECTRIC BOX | --- = RIGHT OF WAY LINE |
| P.B. = PLAT BOOK | F.I.R. = FOUND IRON REBAR | □ = CABLE TV BOX | --- = PROPERTY LINE |
| P.C. = PAGE | M.V. = MEASURED VALUE | □ = WIRE PULL BOX | --- = EASEMENT LINE |
| C.L. = CENTER LINE | R.V. = RECORD VALUE | □ = WIRE PULL BOX | --- = IRON FENCE |
| CONC. = CONCRETE | F.F.E. = FINISH FLOOR ELEVATION | □ = DRAINAGE CATCH BASIN | --- = WOOD FENCE |
| F.N.D. = FOUND NAIL/DISK | W.M. = WATER METER | □ = TRAFFIC SIGN | --- = CHAIN LINK FENCE |
| R/W = RIGHT OF WAY | W.V. = WATER VALVE | □ = PALM TREE | --- = OVERHEAD UTILITY LINE |
| SEC. = SECTION | M.L.P. = METAL LIGHT POLE | ○ = TRUNK DIAMETER | |
| SWK = SIDEWALK | W.V. = WATER VALVE | ○ = TREE HIGH | |
| BLDG. = BUILDING | C.P.P. = CONCRETE POWER POLE | ○ = CANOPY DIAMETER | |
| C.B. = CATCH BASIN | W.P.P. = WOODEN POWER POLE | □ = CONCRETE | |
| C.B.S. = CONCRETE BLOCK STRUCTURE | M.H. = MANHOLE | □ = GRAVEL | |
| BL. = BASELINE | S.S.M. = SANITARY SEWER MANHOLE | □ = PAVEMENT | |
| N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM | E. = ELEVATION | □ = C.B.S. WALL | |
| ℙ = PROPERTY LINE | | | |
| ℄ = NOT TO SCALE | | | |
| N.T.S. = NOT TO SCALE | | | |
| E. = ELEVATION | | | |

REVISIONS		
1.	6.	16.
2.	7.	17.
3.	8.	18.
4.	9.	19.
5.	10.	20.

HADONNE
LAND SURVEYOR AND MAPPERS
3D LASER SCANNING
UTILITY COORDINATION
SUBSURFACE UTILITY ENGINEERING
1985 NW 88th Court, Suite 101 - Doral, FL 33172 - P: +1(305)266-1188 - F: +1(305)207-6845 - W: www.hadonne.com

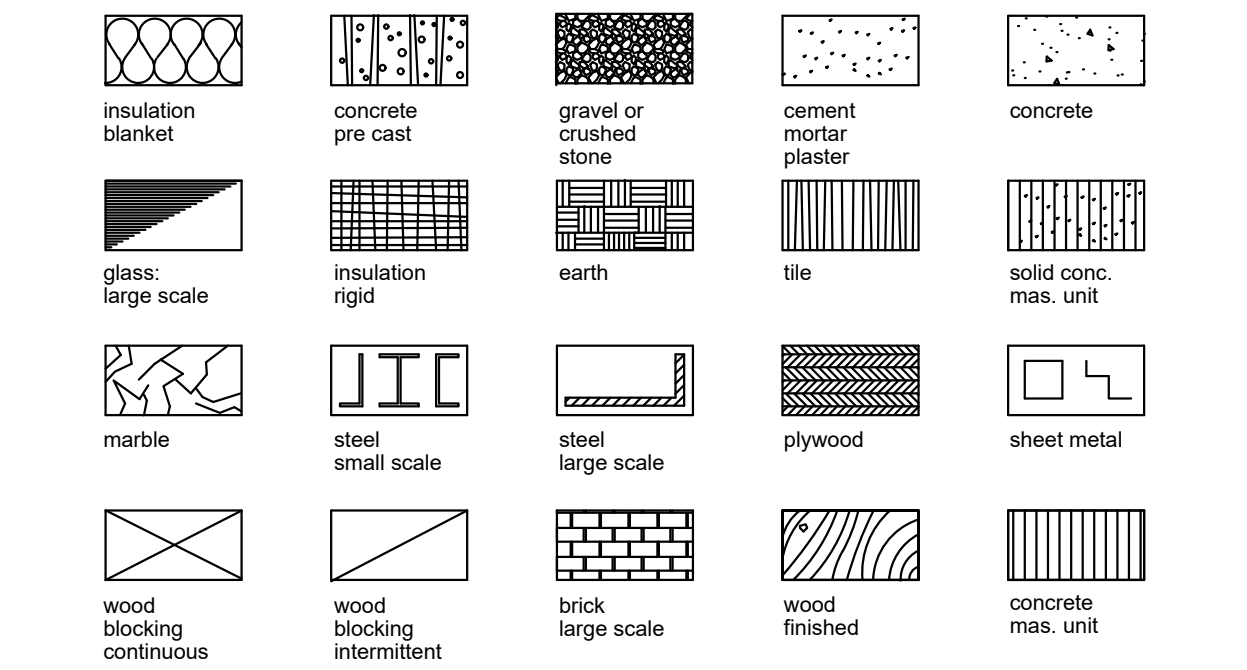
MAP OF BOUNDARY SURVEY
for
GUS MANESSIS
of
924 71st STREET, MIAMI BEACH, FL 33141

Field Book: FILE	Job No.: 23026
DRAWN BY: M.M.	
TECH BY: R.I.	
QA/QC BY: J.S.	1/1

ABBREVIATIONS

A	ACOUS. A.C. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT
B	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM
C	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLO. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT CASED OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CERAMIC TILE CENTER
D	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING
E	E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S. E.W.C. EXST. EXP. EXT.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXPANDED EXPANSION EXTERIOR
F	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. F.S. FT. FTG. FURR. FUT. F.V. F.V.C.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE FIELD VERIFY FIRE VALVE CABINET
G	GA. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD
H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT
I	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT
J	JAN. JST. JT.	JANITOR JOIST JOINT
K	KIT.	KITCHEN
L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT
M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.L. M.O. MTD. MUL.	MAXIMUM MEDICINE CABINET MACHINE MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MATCH LINE MASONRY OPENING MOUNTED MULLION
N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE
P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D. PTN. PTR.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE
Q	Q.T.	QUARRY TILE
R	R. RAD. R.D. REF. REFL. REFR. RF. RGTR. REINF. REQ. RESIL. RM. R.O. RWD. R.W.L.	RISER RADIUS ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER
S	S. SABF S.C. S.C.D. SCHED. S.D. SECT. SH. SHR. SHT. SIM. S.N.D. S.N.R. SPEC. SQ. S.S. S.SK. STA. STD. STL. STOR. STRL. SUSP. SYM.	SOUTH SOUND ATTENUATION FIRE BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPEND SYMMETRICAL
T	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. T.P. T.P.D. T.V. T.W. TYP. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE THICK TOILET TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB
U	UNF. U.O.N. UR.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UNDERWRITERS LAB
V	V.I.F. VERT. V.T. VEST. V.B.	VERIFY IN FIELD VERTICAL VINYL TILE VESTIBULE VAPOR BARRIER
W	W. WT. W/ W.C. WD. W/O WP. WSCT.	WEST WEIGHT WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT

MATERIAL LEGEND

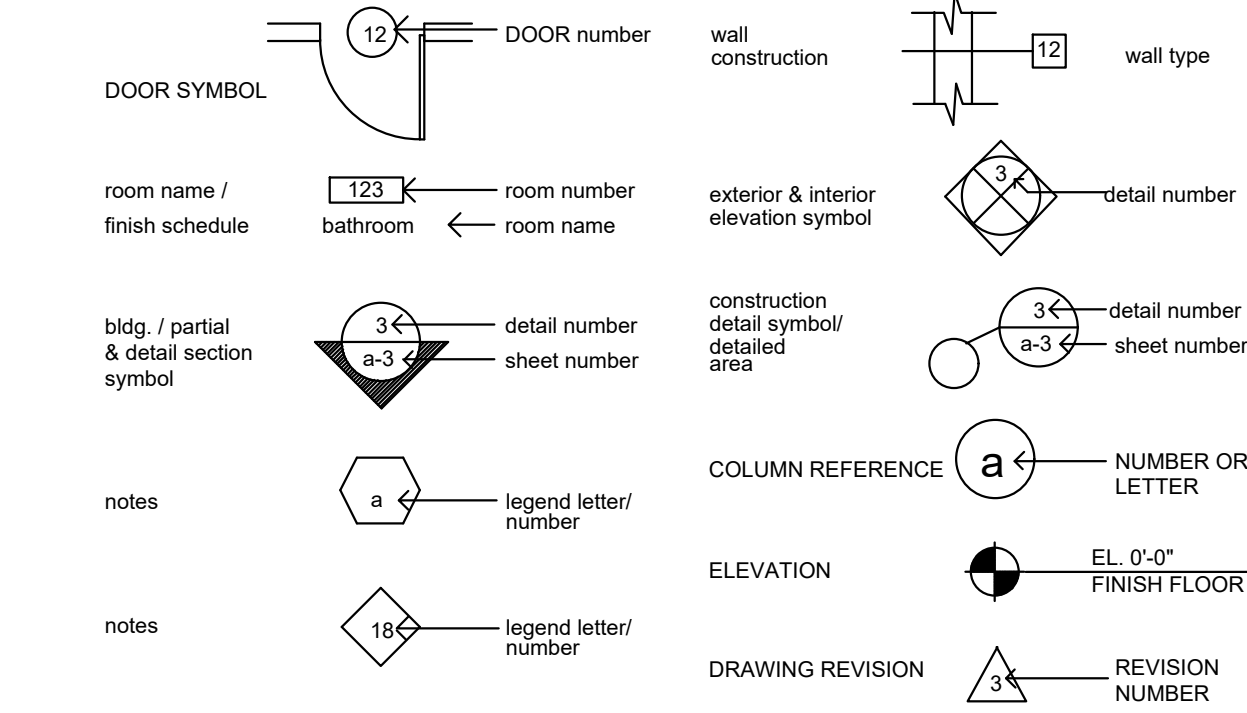


OWNER:
ALYAMYN LLC
12381 NW 97 PL
HALEAH, FL 33018

ARCHITECT:
BEILINSON GOMEZ ARCHITECTS PA
JOSE L. GOMEZ AR 0015416
8101 BISCAYNE BLVD., SUITE 309-310
MIAMI, FL 33138-4664
TEL. (305) 559-1250 FAX. (305) 551-1740

PROJECT TEAM

SYMBOL LEGEND



APPLICABLE CODES

GOVERNING ZONING CODE:	MIAMI 21 CODE, AMENDED JANUARY 2019
BUILDING CODE:	FLORIDA BUILDING CODE 2020, 7th ED
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2020, 7th ED
PLUMBING:	FLORIDA BUILDING CODE 2020, 7th ED - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2020, 7th ED - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE 2020, 7th ED
ACCESSIBILITY:	FLORIDA BUILDING CODE 2020, 7th ED - ACCESSIBILITY
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE 2020, 7th ED

DRAWING INDEX

A-000	COVER
A-001	PROJECT INFORMATION & INDEX
A-002	CONTEXT PHOTOGRAPHS
A-003	PROJECT SITE & EXISTING STRUCTURE
EXIST-101	EXISTING FLOOR PLAN
A-101	PROPOSED FLOOR PLAN

ARCHITECTURAL

PROJECT INFORMATION

SCOPE OF WORK

- RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR.
- WORK AREA APPROXIMATELY 1,730 SQ. FT.

LEGAL DESCRIPTION

OCEAN SIDE SECTION OF NORMANDY
PB 25-60
LOT 4 BLK 5
LOT SIZE 25.000 X 124
OR 11121-684 0681 1

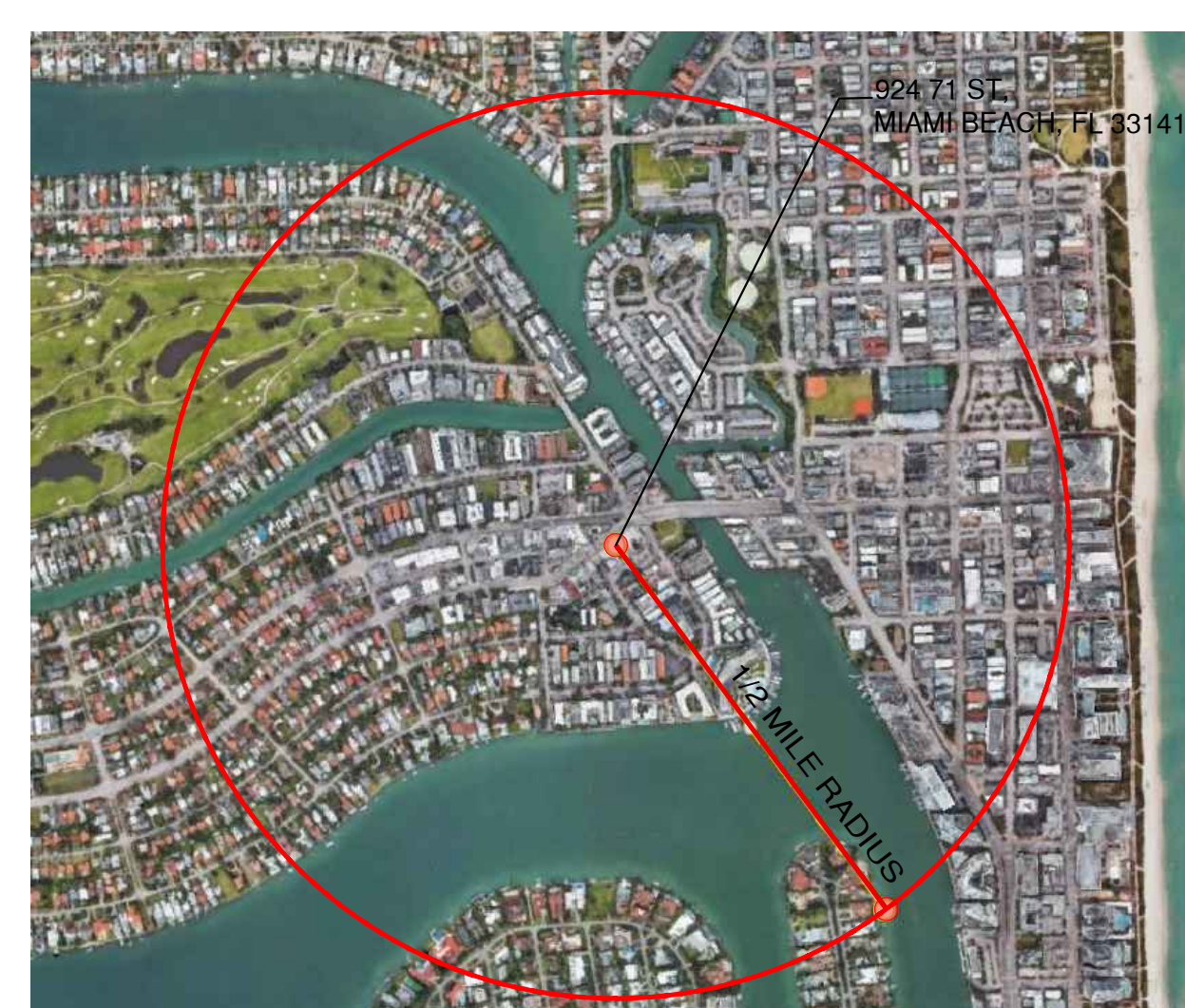
ZONING SUMMARY

PROPOSED OCCUPANCY:	924 71 ST, MIAMI BEACH, FL 33141 CD-2
EXISTING BUILDING NON-SPRINKLERED	MERCANTILE ASSEMBLY A-2

ALTERATION CLASSIFICATION

ALTERATION CLASSIFICATION LEVEL 2

LOCATION MAP



GENERAL NOTES

- ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
- ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF MIAMI BUILDING DEPARTMENT
- ALL MATERIALS SHALL CONFORM WITH ALL PREVAILING CODES. MANUFACTURERS SHALL PROVIDE DADE COUNTY APPROVAL CODES FOR ALL REQUIRED ASSEMBLIES.
- CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL AT HIS OWN COST REPAIR OR REPLACE ALL DAMAGED DURING REPAIR FOR THE PERIOD OF THE GUARANTEE.
- COORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DWGS. FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL PROJECT REQUIREMENTS.
- SUBMIT MIN. 5 SETS SHOP DWGS. FOR ARCHITECTS REVIEW OF ALL ITEM REQUIRING FABRICATION. DO NOT FABRICATE UNTIL REVIEWED.
- ALL MATERIALS AND FIXTURES MUST BE BRAND NEW.
- INFORMATION SHOWN ON THE DWGS. AS TO THE LOCATION OF THE EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE A/E. HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS OR MODIFICATIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF ANY DAMAGE TO UTILITIES DURING CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED AND THE PROJECT REPRESENTATIVE NOTIFIED OF ANY CONFLICT OR DISCREPANCIES WHICH MAY OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH CONDITIONS WILL NEED SHORING DURING EXCAVATION AND SHALL PROVIDE SUCH SHORING AND SUPPORT AS REQUIRED.
- NOT USED.
- ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- EXISTING PAVEMENT, SIDEWALKS, SOD, CURB OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED DURING CONSTRUCTION PERFORMED UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.
- NOT USED.
- NOT USED.
- ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- THIRD PARTY BENEFICIARIES: NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE A CONTRACTUAL RELATIONSHIP WITH OR A CAUSE OF ACTION IN FAVOR OF A THIRD PARTY AGAINST EITHER THE CLIENT OR THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL'S SERVICES UNDER WHICH THESE DRAWINGS WERE PREPARED, ARE BEING PERFORMED SOLELY FOR THE CLIENT'S BENEFIT, AND NO OTHER ENTITY SHALL HAVE ANY CLAIM AGAINST THE DESIGN PROFESSIONAL BECAUSE OF THESE DRAWINGS OR THE PERFORMANCE OR NONPERFORMANCE OF SERVICES HEREUNDER.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWING SCALE.
- CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF ALL CONSTRUCTION DOCUMENTS AND THE RELEVANCE TO THE WORK FAILURE TO BE ACQUAINTED WITH THIS KNOWLEDGE DOES NOT RELIEVE RESPONSIBILITY FOR PERFORMING ALL WORK PROPERLY. ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED DUE TO THE FAILURE TO BECOME FAMILIAR WITH THE ENTIRE CONSTRUCTION DOCUMENT PACKAGE.
- NOT USED.
- CONTRACTOR SHALL INSPECT ALL EXISTING FIRE PROOFING OF STRUCTURAL ELEMENTS, DEMISING WALLS, AND FLOOR CEILING ASSEMBLIES WHICH ARE REQUIRED TO BE FIRE PROTECTED BY GOVERNING CODES. CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED FIREPROOFING. CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE RATINGS OF ALL ELEMENTS AND SHALL PATCH AND REPAIR ANY DAMAGED OR REMOVED ELEMENTS AS REQUIRED TO MAINTAIN ALL FIRE RATINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL TRADE PERMITS AND OTHER PERMITS AS MAY BE REQUIRED BY THE JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING ANY REVISIONS TO THE APPROVED PERMIT DOCUMENTS AND PROCESSING THE APPROVAL OF THE REVISED DOCUMENTS WITH THE JURISDICTIONS HAVING AUTHORITY.
- NOT USED.

ZONING DATA SHEET

ITEM #	Zoning Information	Maximum	Existing	Proposed	Deficiencies
1	Address:		924 71 ST		
2	Board and file numbers:		02-3210-013-0490		
3	Year constructed:	1939			
4	Base Flood Elevation:		Grade value in NGVD:		
5	Adjusted grade (Flood/Grade/2):		Lot Area (SF):		3,100.00
6	Lot width (FT):		Lot Depth (FT):		
7	Existing use:	Mercantile	Proposed use:	Assembly A-2	
9	Height:	40'-0"	43'-5"	43'-5"	
10	Number of Stories:	5.00	1.00	1.00	
11	FAR:	1.50	4.73	4.73	
12	Gross square footage:	4,650.00	14,652.00	14,652.00	
Setbacks					
		Required	Existing	Proposed	Deficiencies
13	Front Setback:	5'-0"			
14	Side Setback:	5'-0"			
15	Side Setback facing street:	5'-0"			
16	Rear Setback:	5'-0"			
Parking					
		Required	Existing	Proposed	Deficiencies
17	Total # of parking spaces:	N/A	2	2	
Restaurants, Cafes, Bars, Lounges, Nightclubs					
		Required	Existing	Proposed	Deficiencies
18	Type of use:		Mercantile	Assembly A-2	
19	Total # of seats:			45	
20	Total # of seats per venue (Provide a separate chart for a breakdown calculation):			See Total Seating Capacity Table	
21	Total occupant load:			83	
22	Occupant load per venue (Provide a separate chart for a breakdown calculation):			See Total Occupancy Load Table	
23	Is this a contributing building?			No	
24	Located within a Local Historic District?			No	

BLACK CAT CIGAR LOUNGE

924 71 ST
MIAMI BEACH, FL, 33141

BEILINSON
GOMEZ

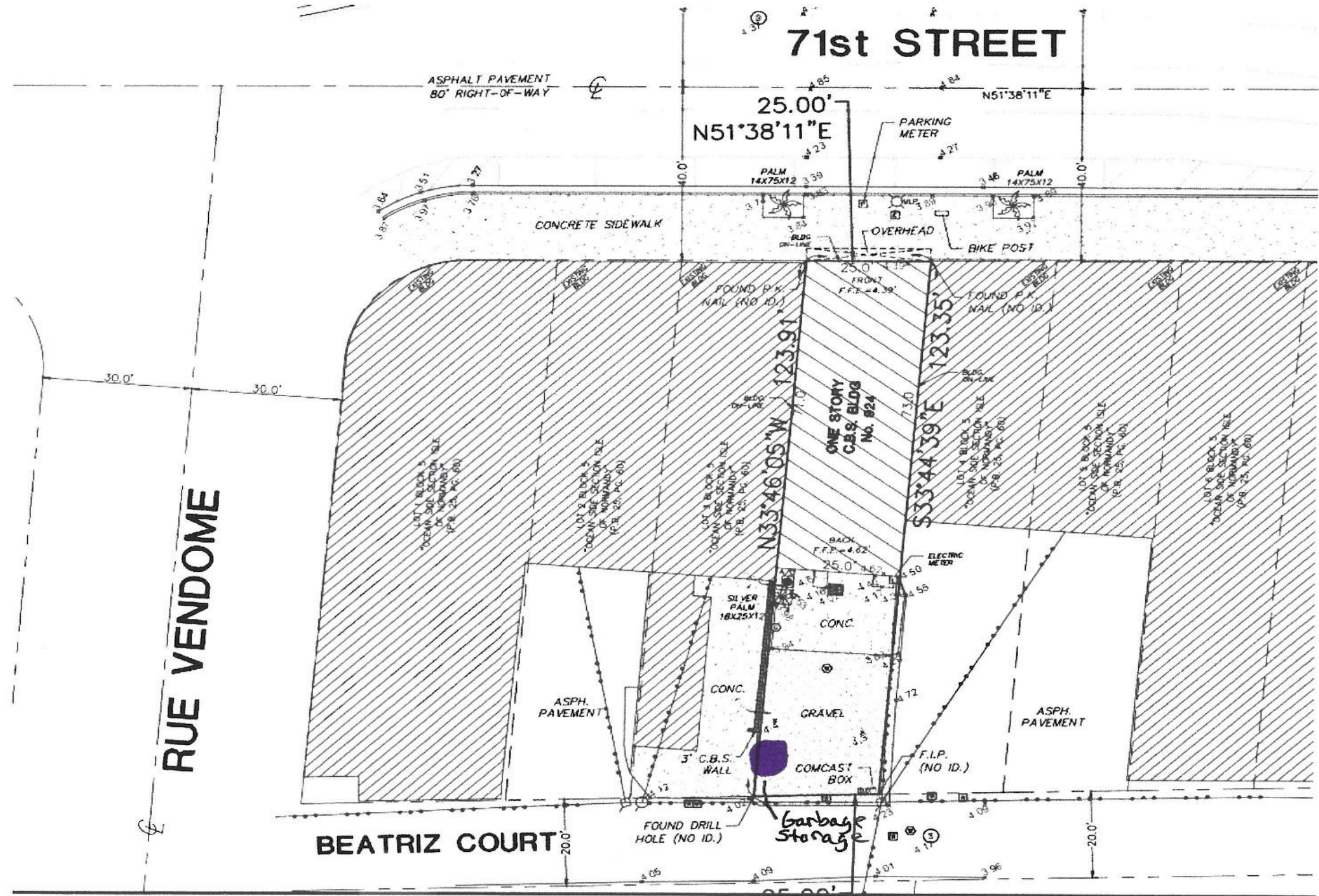
ARCHITECTS
P.A.
A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. # 309-310
MIAMI, FL 33138-4664
T 305.559.1250 F 305.551.1740

JOSE L. GOMEZ
ARCHITECT
A A C 0 0 1 0 6 2

DWG. TITLE
PROJECT INFORMATION & INDEX
SCALE
PROJECT NO.
DATE
SHEET NUMBER

A-001





1



2

BLACK CAT CIGAR LOUNGE

924 71 ST
MIAMI BEACH, FL, 33141

BEILINSON
GOMEZ
ARCHITECTS P.A.
AAC001062

8101 BISCAYNE BLVD. S 309-310 MIAMI, FL 33138-4684
T 305.559.1250 F 305.551.1746

ROSE J GOMEZ

DWG. TITLE	PROJECT SITE & EXISTING STRUCTURE
SCALE	N.T.S.
PROJECT NO.	2023-09
DATE	02-22-23
SHEET NUMBER	A-003
DATE	REVISION

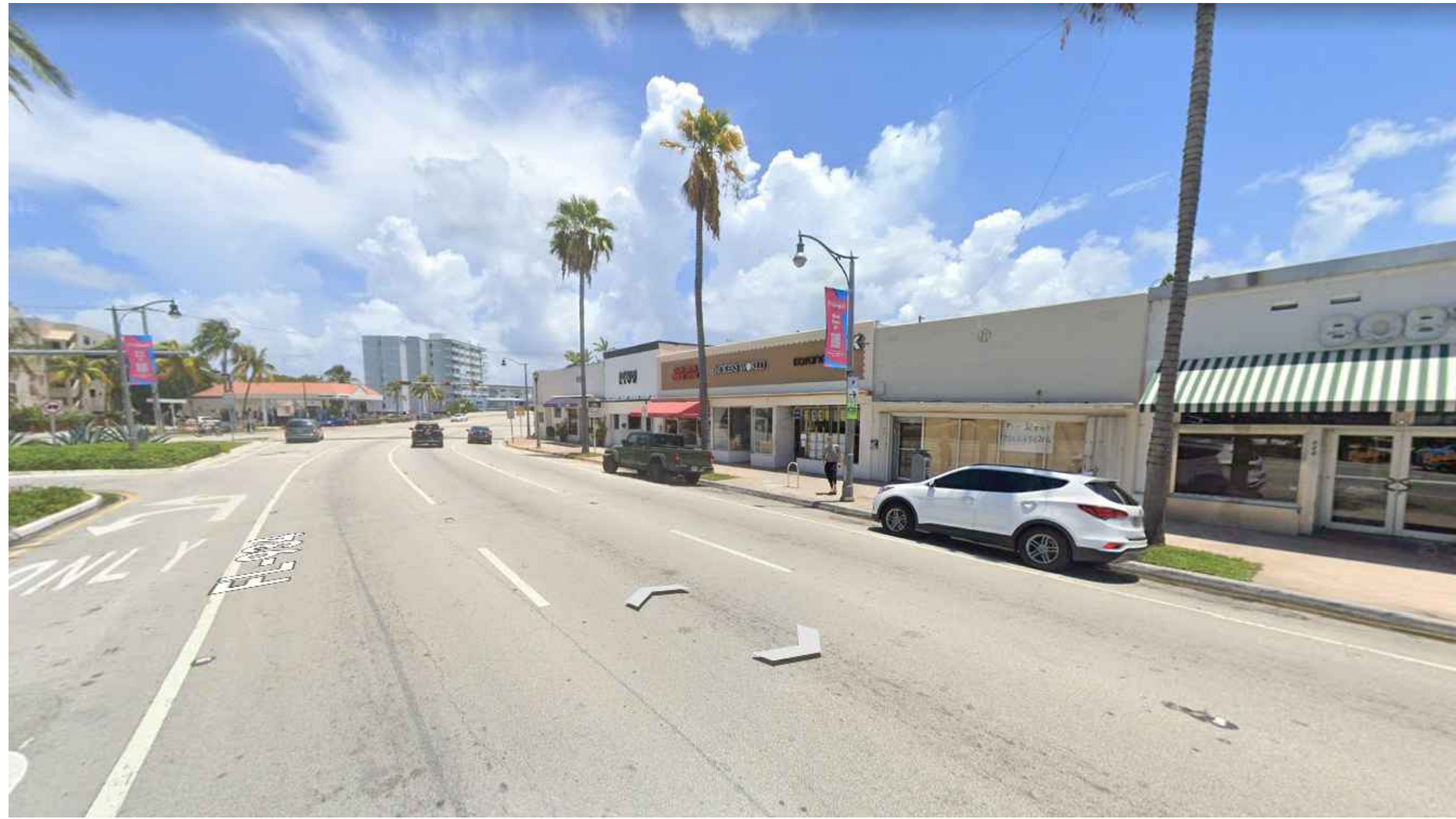
COPYRIGHT 2019. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BEILINSON GOMEZ ARCHITECTS P.A. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO BEILINSON GOMEZ ARCHITECTS P.A. REPRODUCTIONS OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF BEILINSON GOMEZ ARCHITECTS P.A. IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



PHOTOS TAKEN: APRIL 1, 2023



PHOTOS TAKEN: APRIL 1, 2023



1



2



3



4

BLACK CAT CIGAR LOUNGE
 924 71 ST
 MIAMI BEACH, FL, 33141

BEILINSON
 GOMEZ

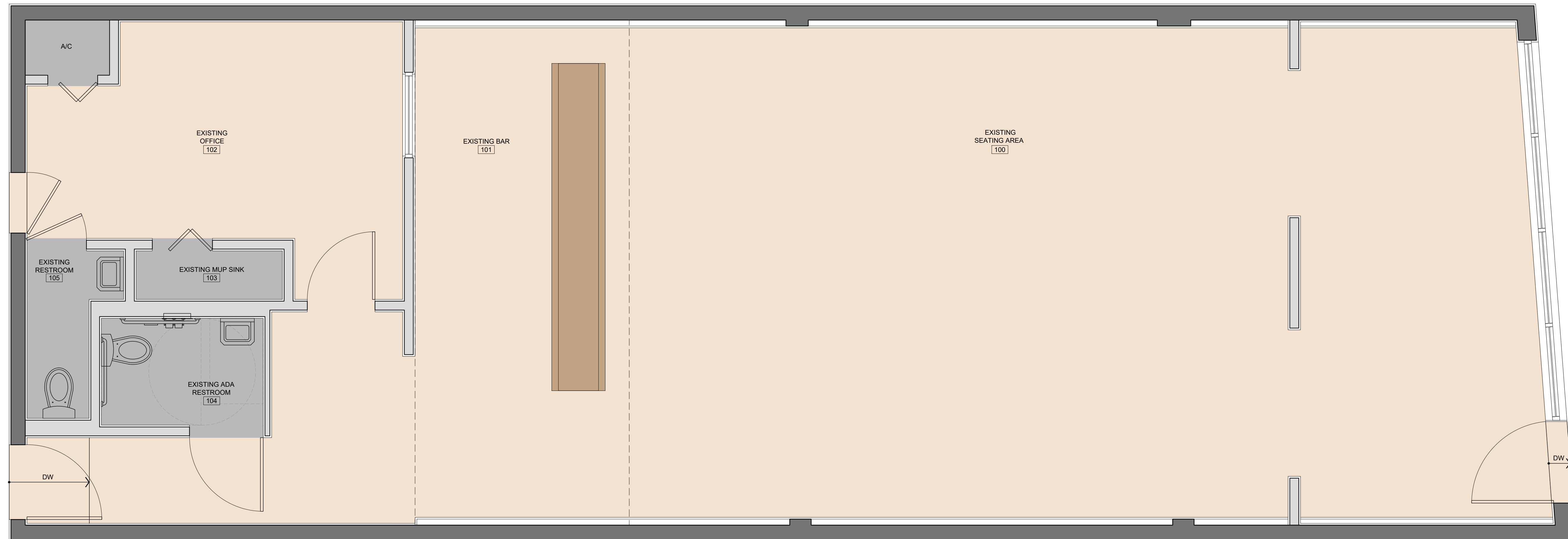
ARCHITECTS
 P.A.

8101 BISCAYNE BLVD. # 309-310 MIAMI, FL 33138
 T 305.559.1250 F 305.551.1746

ROSE + GOMEZ

DATE	REVISION	DWG. TITLE	CONTEXT PHOTOGRAPHS
			N.T.S.
			2023-09
			02-22-23
			A-002

COPYRIGHT 2019 ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BEILINSON GOMEZ ARCHITECTS P.A. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO BEILINSON GOMEZ ARCHITECTS P.A. REPRODUCTIONS OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF BEILINSON GOMEZ ARCHITECTS P.A. IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



BLACK CAT CIGAR LOUNGE

924 71 ST
MIAMI BEACH, FL, 33141

BEILINSON
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

AAC001062

8101 BISCAYNE BLVD, S 309-310

MIAMI, FL 33138-4664

T 305.559.1250 F 305.551.1746

ROSE L GOMEZ

ARCHITECT

AR 01 9 4 16

DWG. TITLE	EXISTING FLOOR PLAN
SCALE	3/8" = 1'-0"
PROJECT NO.	
DATE	2023-09
SHEET NUMBER	02-22-23
DATE	
REVISION	

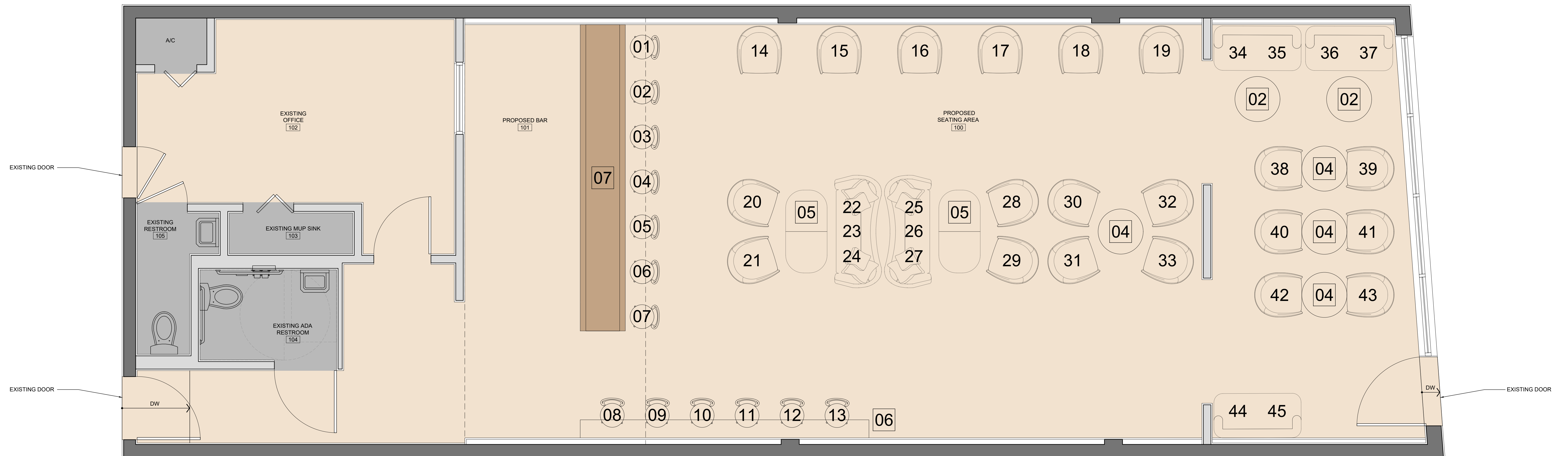
EXIST-101

COPYRIGHT 2019. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF BEILINSON GOMEZ ARCHITECTS P.A. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO BEILINSON GOMEZ ARCHITECTS P.A. REPRODUCTIONS OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF BEILINSON GOMEZ ARCHITECTS P.A. IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

CONSULTANT

OCCUPANT LOAD CALCULATION									
NOTE: BASED ON NFPA 101 2018, F.F.P.C. 2020 7th ED TBL. 7.3.1.2 AND 2020 F.B.C. TABLE 1004.1.2 HIGHEST OCCUPANCY FACTOR WAS USED TO DETERMINED HIGHEST OCCUPANCY LOAD									
GROUND FLOOR									
LABEL	ROOM NAME	FUNCTION OF SPACE as per table 1004.1.1 F.B.C.	AREA (LENGTH IN BENCHES)	FBC 2020			FFPC 2020 7th ED		
				FLOOR AREA IN S.F. PER OCCUPANT	# OF OCCUPANTS	TOTAL # OF OCCUPANTS	FLOOR AREA IN S.F. PER OCCUPANT	# OF OCCUPANTS	TOTAL # OF OCCUPANTS
100	PROP. SEATING AREA	ASSEMBLY (CONCENTRATED)	16 LF	L X 4 / 7	9.14	10	L X 4 / 7	9.14	10
100	PROP. SEATING AREA	ASSEMBLY (UNCONCENTRATED)	857 SF	15 NET	57.13	58	15 NET	57.13	58
101	PROP. BAR	ASSEMBLY (CONCENTRATED)	17 LF	L X 4 / 7	9.71	10	L X 4 / 7	9.71	10
101	PROP. BAR	ASSEMBLY (UNCONCENTRATED)	109 SF	200 GROSS	0.54	1	100 GROSS	1.09	2
102	EXTG. OFFICE	BUSINESS	211 SF	100 GROSS	2.11	3	100 GROSS	2.11	3
TOTAL # OCCUPANTS						82			83
TOTAL S.F. AT GROUND FLOOR=						1,730 SQ. FT.			

SEATING CALCULATION		
LABEL	ROOM NAME	NUMBER OF SEATS
100	PROPOSED SEATING AREA (CONCENTRATED)	6
100	PROPOSED SEATING AREA (UNCONCENTRATED)	32
101	PROPOSED BAR	7
TOTAL # OF SEATS		45



BLACK CAT CIGAR LOUNGE

924 71 ST
MIAMI BEACH, FL, 33141

BEILINSON
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. S. 309-310

MIAMI, FL 33138-4666

T 305.559.1250 F 305.551.1746

ROSE L GOMEZ

A R 0 1 5 4 F 6

DWG. TITLE
PROPOSED FLOOR
PLAN

SCALE
3/8" = 1'-0"

PROJECT NO.
2023-09

DATE
02-22-23

SHEET NUMBER
A-101

DATE REVISION