



Plotted By: Iquiaro, Andy Sheet Set: 1920 ALTON ROAD Layout: L-110 DISPOSITION CALCULATIONS March 07, 2023 07:52:25am \\wimley-horn.com\l-110\1920\_alton\_road\landscapes\CADD\PlanSheets\L-100\_TREE\_DISPOSITION\_PLAN.dwg

### MITIGATION CALCULATIONS

PALM REMOVED:	9	TREES @ 12' HT. / 2" DBH PER SEC. 46-61(1)(C)
PALM MITIGATION REQ'D:	9	
DBH OF TREES REMOVED:	24"	
TREE MITIGATION REQ'D	8	TREES @ 16' HT. / 4" DBH PER SEC. 46-61(1) OR
TREE MITIGATION REQ'D	4	TREES @ 12' HT. / 2" DBH PER SEC. 46-61(1)

### MITIGATION CALCULATIONS

DBH OF TREE TO BE REMOVED	OPTION A # OF REPLACEMENT TREES @ 2" DBH X 6' SPREAD X 12' HT.	OR	OPTION B # OF REPLACEMENT TREES @ 4" DBH X 8' SPREAD X 16' HT.	CONTRIBUTION TO TREE TRUST FUND	CATEGORY MULTIPLIER	TOTAL # OF REPLACEMENT TREES FOR OPTION A	OR	TOTAL # OF REPLACEMENT TREES FOR OPTION B	TREE FUND TOTAL CONTRIBUTIONS
2"-3"	1		0	\$1,000	0	0		0	\$0
4"-6"	2		1	\$2,000	0	0		0	\$0
7"-12"	4		2	\$4,000	0	0		0	\$0
13"-18"	6		3	\$6,000	0	0		0	\$0
19"-24"	8		4	\$8,000	1	8		4	\$8,000
25"-30"	10		5	\$10,000	0	0		0	\$0
31"-36"	12		6	\$12,000	0	0		0	\$0
37"-42"	14		7	\$14,000	0	0		0	\$0
43"-48"	16		8	\$16,000	0	0		0	\$0
49"-60"	20		10	\$20,000	0	0		0	\$0

**TOTAL: 8 OR 4 \$8,000**

### PROPOSED MITIGATION

PALM MITIGATION REQ'D:	9	
MITIGATION PROVIDED:	9	8 PALMS @ 10' CT PER SEC. 46-61
		1 TREE @ 12' HT. / 2" DBH PER SEC. 46-61
TREE MITIGATION REQ'D:	8	
TREE MITIGATION PROVIDED:	25	25 TREES @ 12' HT. / 2" DBH PER SEC. 46-61

### TREE DISPOSITION LIST

TREE #	SCIENTIFIC NAME	COMMON NAME	DBH (IN.)	SPREAD (FT.)	HEIGHT (FT)	TPZ (FT.)	CONDITION	DISPOSITION
1	<i>Veitchia arecina</i>	Triple Montgomery Palm	3 ea.	8' ea.	18'-22' ea.	4' ea.	Moderate	Remove
2	<i>Veitchia arecina</i>	Triple Montgomery Palm	3 ea.	8' ea.	22' ea.	4' ea.	Fair	Remove
3	<i>Veitchia arecina</i>	Triple Montgomery Palm	3 ea.	8' ea.	22' ea.	4' ea.	Fair	Remove
4	<i>Veitchia arecina</i>	Triple Montgomery Palm	2 ea.	8' ea.	20' ea.	4' ea.	Moderate	Remove
5	<i>Conopogon erectus</i>	Green Buttonwood Tree	6	15'	20'	6' Min.	Moderate	Remove
6	<i>Conopogon erectus</i>	Green Buttonwood Tree	6	15'	22'	6' Min.	Fair	Remove
7	<i>Conopogon erectus</i>	Green Buttonwood Tree	5	18'	24'	5' Min.	Fair	Remove
8	<i>Conopogon erectus</i>	Green Buttonwood Tree	2	12'	16'	4' Min.	Fair	Remove
9	<i>Conopogon erectus</i>	Green Buttonwood Tree	2	10'	14'	4' Min.	Fair	Remove
10	<i>Phoenix dactylifera</i>	Medjool Palm	16	18'	32'	6' Min.	Good	Remove
11	<i>Phoenix dactylifera</i>	Medjool Palm	15	18'	32'	6' Min.	Good	Remove
12	<i>Phoenix dactylifera</i>	Medjool Palm	15	16'	30'	6' Min.	Good	Remove
13	<i>Phoenix dactylifera</i>	Medjool Palm	16	18'	32'	6' Min.	Good	Remove
14	<i>Phoenix dactylifera</i>	Medjool Palm	16	18'	34'	6' Min.	Good	Remove
15	<i>Caesalpinia granadillo</i>	Bridalveil Tree	3	18'	20'	6' Min.	Fair	Remove

TOTAL TREES DBH TO BE REMOVED (IN) = 24  
 TOTAL 9 PALMS IN DBH TO BE REMOVED (IN) = 18

#### TREE DISPOSITION GRAPHIC KEY

TEXT	Requires mitigation
TEXT	Does not require mitigation / not regulated due to size or species
TEXT	Palm

### TREE DISPOSITION GRAPHIC LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	TREE TO BE REMOVED		PALM TO BE REMOVED
	APPROXIMATE LIMITS OF CRITICAL ROOT ZONE PER ARBORIST REPORT.		EXISTING TREE NOT IN SURVEY TO BE REMOVED.

### SHEET NOTES

- NOTES:
- Information utilized in preparation of Tree Survey and Tree Disposition plans ascertained from and reliant upon Survey prepared by Schwabe-Shickin & Associates, Inc. dated 07/05/2022 and Arborist Report prepared by Patrick Hanna dated 07/02/2022, 2022.
  - Triple Montgomery Palm canopy size determined by the sum of the spread (FT.), provided in arborist report.

1920 Alton Rd. Miami Beach, FL 33139

## Gensler

MAIN OFFICE Tel 415.433.3700  
 45 Fremont Street, Suite 1500 Fax 415.836.4599  
 San Francisco, CA 94105  
 United States

SATELLITE OFFICE Tel 305.350.7070  
 545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
 Miami, FL 33127  
 United States

BILZIN SUMBERG  
 Land Use  
 1450 Brickell Avenue, 23rd Floor  
 Miami, FL 33131  
 Tel 305.350.2355

KIMLEY HORN  
 Civil, Landscape, Traffic  
 8201 Peters Road, Suite 2200  
 Plantation, FL 33324  
 Tel 954.535.5144

THORNTON THOMSETTI  
 Structure  
 80 SW 8th Street, Suite 2160  
 Miami, FL 33130  
 Tel 954.990.0556

CES ENGINEERING  
 MEPFP  
 2937 W. Cypress Creek Rd, Suite 102  
 Fort Lauderdale, FL 33309  
 Tel 954.990.0556

### GENERAL NOTES

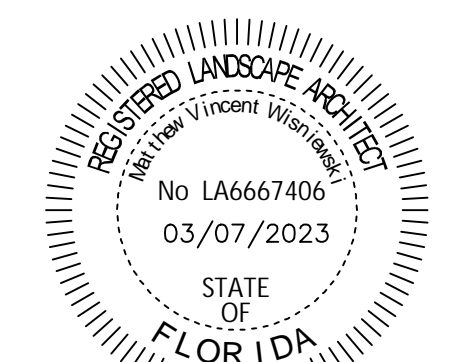
## 1920 ALTON ROAD PREPARED FOR ALTON OFFICE HOLDINGS II, LLC.

CITY OF MIAMI BEACH  
 FLORIDA

Date Description

- 02/07/2023 DRB REVISION
- 04/04/2023 DRB REVISION

Seal / Signature



Project Name

1920 Alton Road

Project Number

143589001

Description

## DISPOSITION CALCULATIONS

Scale

As indicated

L-110

©2022 Gensler

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

# TREE REMOVAL AND TREE TO REMAIN PRUNING SPECIFICATIONS

## PART 1 - EXPLANATION OF NATURAL RESOURCE PRESERVATION PROCEDURES

- The sequence of operation is critical to the protection of the trees.
- Tree canopy pruning is to compensate for root loss and damage.
  - Fertilization is to stimulate root systems to heal quickly and grow back in root-pruned areas. It also produces faster availability of food to a root system that is less efficient due to the damage incurred.
  - Root pruning is to remove the roots with a trenching procedure that is less damaging to the roots than regular construction.

## PART 2 - DEFINITIONS

- Natural Resource - Existing trees or palms.
- Critical Root Zone - The mass of roots surrounding a tree that is required by the tree to live. The critical root zone is often much larger than the canopy. The critical root zone for each tree or palm within the project limits to be determined by the Contractor's Certified Arborist.
- DBH - Diameter Breast High - Indicates the location on the trunk, approximately 4.5' above ground, to measure the diameter of a tree.
- Grade - The grade of a tree refers to the overall health and appearance of the tree. The grades range from "A" being excellent to "D" being hazardous.
- Preserved Trees - Trees that are to be saved/remain in place.
- Owner's Representative - A representative, hired and paid for by the owner, that supervises the construction of the procedures shown on the tree disposition plans.
- Protection Zones/Areas - Any area enclosed partially or completely by a tree protector barrier/fence
- Contractor's Certified Arborist - an independent ISA Certified Arborist, hired and paid for by the contractor, that supervises the construction of the procedures shown on the tree disposition plans.

## PART 3 - PRODUCTS FOR TREE TREATMENT

Every effort shall be made to utilize chemicals of an organic or biodegradable nature in order to offer the least impact to the natural environment. Contractor is responsible for mixing, applying, and disposal of all chemicals in accordance with strict adherence to manufacturer's directions, unless otherwise directed in these drawings. Refer to "Part 4B" below.

- Chemical Treatments.
  - Recommended Fertilizer:
    - "XL Injecto Feed", product of Doggett Corp., Lebanon, New Jersey (908) 236-6335. Apply a 12/24/24 ratio with a dilution rate 1/3 more water than specified on bag.
  - Recommended Wetting Agent:
    - "AFSA-80", product of Amway Corp. (800) 253-7088.
  - Mycorrhizal Treatment:
    - Plant Health Care, Inc. (800) 421-9051. Products of the same type from other sources shall not be excluded, provided they possess like physical and functional characteristics and are approved by the Project Landscape Architect.
- Insecticide Treatments.
  - "Astro", a product of FMC Corporation. (800) 321-1362.

## PART 4 - EXECUTION

- Tree Canopy/Root Pruning Operation
  - Trees to be pruned shall include only trees affected by construction or as designated on the tree disposition list. This item is to be coordinated by the Contractor's Certified Arborist with the Owner's Representative.
  - All pruning shall be done in accordance with ANSI A300 (Part 1) Pruning.
  - The Contractor's Certified Arborist must be present during all pruning operations.
  - Pruning shall consist of the following methods:
    - Cleaning
    - Interfering branch removal.
    - Raising
    - Root pruning.

## PART 5 - PENALTIES

### A. Repair of Damaged Trees To Remain

- If any damage to trees to remain or other natural resources should occur by accident or negligence during the construction period, the Owner's Representative shall appraise the damage and make recommendations to the Owner for repair by the Contractor, at the Contractor's expense.
- If any tree that is designated to remain is deemed substantially damaged or dead due to construction damage, at the sole discretion of the Owner's Representative, the following penalties will apply:
  - Trees 1" - 12" of trunk diameter, measured at 1' from the ground will be valued at \$300.00 per diameter inch.
  - Trees 13" and above of trunk diameter measured at 4.5' from the ground will be valued at \$400.00 per diameter inch.
  - If any tree designated to remain is removed from the site without permission of the owner's Representative, the penalty will be \$600.00 per inch.

### B. Repair of Damaged Tree Protector Barrier

- If any damage to the Tree Protector Barrier should occur by accident or negligence, the Contractor will be responsible for immediate repairs of the initial damage. Fines will be imposed as follows:
  - First time offense, a fine of \$200.00 will be imposed.
  - In the event the fence is not repaired within 24 hours to the Owner's Representative's satisfaction, an additional fine of \$100.00 per day will be imposed, until the fence is satisfactorily repaired.
  - In the event a natural resource is damaged due to a Tree Protector Barrier being down, a fine of \$200.00 plus the cost of repair or replacement of the natural resource as appraised by the Owner's Representative will be imposed.

## PART 6 - NATURAL RESOURCE PROTECTION SEQUENCE

### A. The sequence of tree treatment and preservation measures shall be:

- Contractor shall submit a staging/access plan provided to Contractor's Certified Arborist for written approval prior to commencement.
- Tree Protector Barriers
- Root Pruning and Root Barriers
- Cleaning and Grading
- Tree Pruning
- Fertilization
- Insecticide

### B. Contractor's Surveyor shall stake all site improvements in order to facilitate accurate location of trenching and fencing operations.

### C. Contractor's Certified Arborist to determine the location of the Tree Protector Barrier around each tree to remain based on his/her analysis of each existing tree to remain that is adjacent to construction improvements such as utility installation, pavement addition and/or restoration, etc.

### D. Contractor shall maintain and repair the Tree Protector Barrier during site construction operations.

### E. Contractor's access to the fenced tree protection areas will be permitted only with approval of Owner's Representative and Contractor's Certified Arborist's written directive.

### F. Contractor shall perform any excavation or grading required within the fenced root zone areas by hand. This operation is to be done under the direct supervision of the Contractor's Certified Arborist and the Owner's Representative.

### G. Contractor to limit required grading within the fenced tree protection areas to a maximum of 3" cut or fill of the tree critical root zone areas. All grading to be supervised by the Contractor's Certified Arborist and the Owner's Representative.

### H. Contractor shall clear by hand trees designated to be removed within critical root zone areas of the trees to remain.

### I. Contractor shall not install conduit, sprinklers, or any utility line in any critical root zone areas without the approval of the Contractor's Certified Arborist and Owner's Representative.

## PART 7 - IRRIGATION

Contractor shall water the trees that have been pruned (canopy and/or root) as shown below.

Water all pruned trees immediately after pruning. Contractor shall water by hand. If a potable water source is not available on-site or if it is not in working condition, then the Contractor will be responsible for providing the water and water source at his/her own expense.

### A. Hand Watering Schedule

Use the following watering schedule:

- Contractor shall water all newly (canopy and root) pruned trees:
  - (3) three times a week for the first three months
  - (2) two times a week for months four and five
  - (1) one time a week for month six

2. Contractor shall consult his/her Certified Arborist for watering requirements for the trees that have been canopy and/or root pruned.

### B. Per direction of 1 and 2, Contractor shall proceed with the more stringent watering schedule.

## SEQUENCE

### 1. CONTRACTOR SHALL SUBMIT A STAGING/ACCESS PLAN PROVIDED TO CONTRACTOR'S CERTIFIED ARBORIST FOR WRITTEN APPROVAL PRIOR TO COMMENCEMENT.

### 2. INSTALL PROTECTION FENCING.

### 3. PERFORM ANY ROOT PRUNING.

### 4. CONTRACTOR'S LICENSED ISA CERTIFIED ARBORIST SHALL BE PRESENT DURING COMPLETE OPERATION.

### 5. CAREFULLY HAND EXCAVATE PAVING TO SUBGRADE.

### 6. INVESTIGATE TO DETERMINE LOCATION AND SIZE OF ROOT SYSTEM.

### 7. LOSSEN SOIL IF NO LARGE ROOTS ARE PRESENT.

### 7. HAND EXCAVATE WITHIN CRITICAL ROOT ZONE.

## BACKHOE, TRACKHOE, SIMILAR EQUIPMENT, OR HAND EXCAVATED PER CONTRACTOR'S CERTIFIED ARBORIST DIRECTIVE

### ALL DEMOLITION PROCEDURES WITHIN THE TREE PROTECTOR BARRIER SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE CONTRACTOR'S LICENSED ISA CERTIFIED ARBORIST.

## TREE / PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES/PALMS THAT ARE TO REMAIN, BE PROTECTED OR BE RELOCATED

### NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.

### IN NO CASE SHALL THE FENCE BE INSTALLED LESS THAN TEN FEET FROM THE TRUNK

### TREE + PALM PROTECTION BARRIERS TO EXTEND BEYOND THE 'DRILLINE' OR TO THE 'CRITICAL ROOT ZONE AREA' OF ALL TREES/PALMS TO BE PROTECTED - EXTEND WHERE NECESSARY TO PROTECT TREE CANOPY ROOTS

### BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH, AND SHALL BE CONSTRUCTED OF CONTINUOUS CHAIN LINK FENCE WITH METAL POSTS AT EIGHT-FOOT SPACING OR 2"X4" POSTS WITH THREE EQUALLY SPACED 2"X4" RAILS. POSTS MAY BE SHIFTED TO AVOID ROOTS.

## PROTECTION DETAIL NOTE: CONTRACTOR TO INSTALL 'TREE/PALM PROTECTION FENCE BARRIERS' AROUND ALL EXISTING TREES OR PALMS AT THE START OF THE PROJECT. BARRIERS TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT AND SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION FROM THE CITY OF MIAMI BEACH URBAN FORESTER + PLANNING + ZONING DEPARTMENT

## C.M.B. TREE / PALM PROTEC. DETAIL

## TREE PROTECTION DETAIL

### Barrier Detail

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

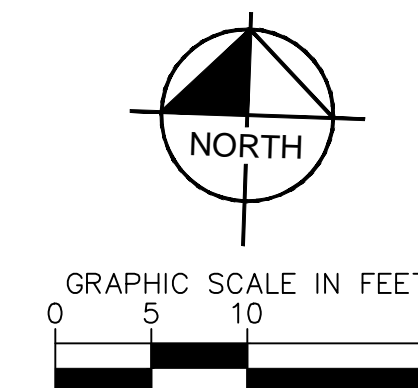
### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB

### DEMOLITION PROCEDURE - PAVEMENT

## DEMOLITION PROCEDURE - CURB</

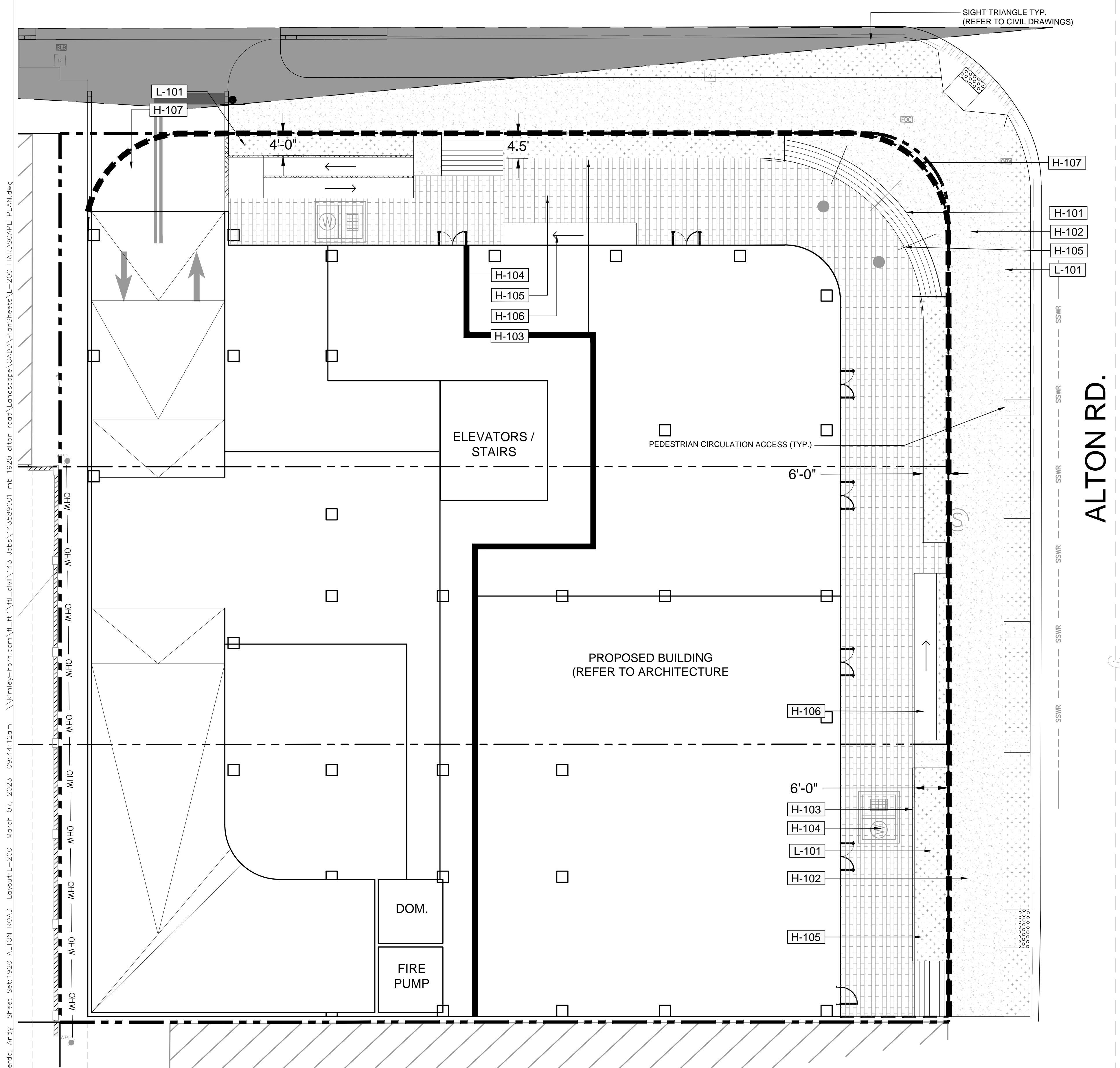
20TH STREET



LEGEND	
	PROPERTY LINE
	PROPOSED CONCRETE PAVEMENT
	EXISTING CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING

REFERENCE NOTES SCHEDULE

CODE	HARDSCAPE DESCRIPTION	DETAIL
H-101	PRECAST CONCRETE STAIRS	
H-102	STANDARD CONCRETE SIDEWALK - BROOM FINISH	
H-103	JACOB WEBNET MESH RAILING (TYP.)	
H-104	PRECAST CONCRETE PAVERS	
H-105	STAINLESS STEEL HANDRAILS (TYP.)	
H-106	ADA ACCESS RAMP (REFER TO ARCHITECTURE DRAWINGS)	
H-107	ARCHITECTURE OVERHANG ABOVE (REFER TO ARCHITECTURE DRAWINGS)	
CODE	LANDSCAPE DESCRIPTION	
L-101	PLANTING AREA (REFER TO LANDSCAPE PLAN)	



ALTON RD.

SHEET NOTES

1920 Alton Rd. Miami Beach, FL 33139

Gensler

MAIN OFFICE  
45 Fremont Street, Suite 1500  
San Francisco, CA 94105  
United States  
Tel 415.433.3700  
Fax 415.836.4599

SATELLITE OFFICE  
545 N.W. 26th Street, Suite 250  
Miami, FL 33127  
United States  
Tel 305.350.7070  
Fax 305.350.7071

BILZIN SUMBERG  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

KIMLEY HORN  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMASETTI  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

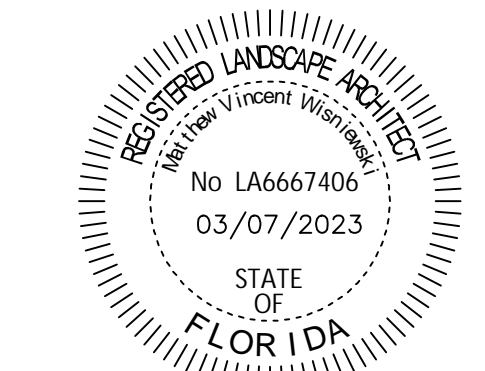
CES ENGINEERING  
MEFPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

GENERAL NOTES

1920 ALTON ROAD  
PREPARED FOR  
ALTON OFFICE  
HOLDINGS II, LLC.  
CITY OF MIAMI BEACH  
FLORIDA

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name  
1920 Alton Road

Project Number  
143589001

Description

HARDSCAPE PLAN

Scale  
As indicated

L-200

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

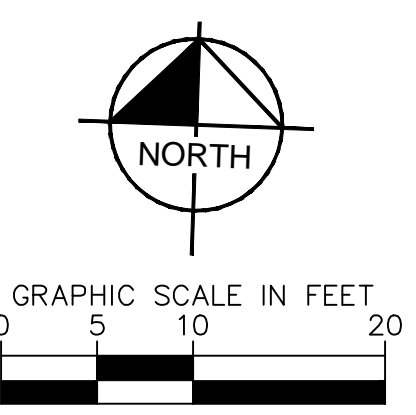
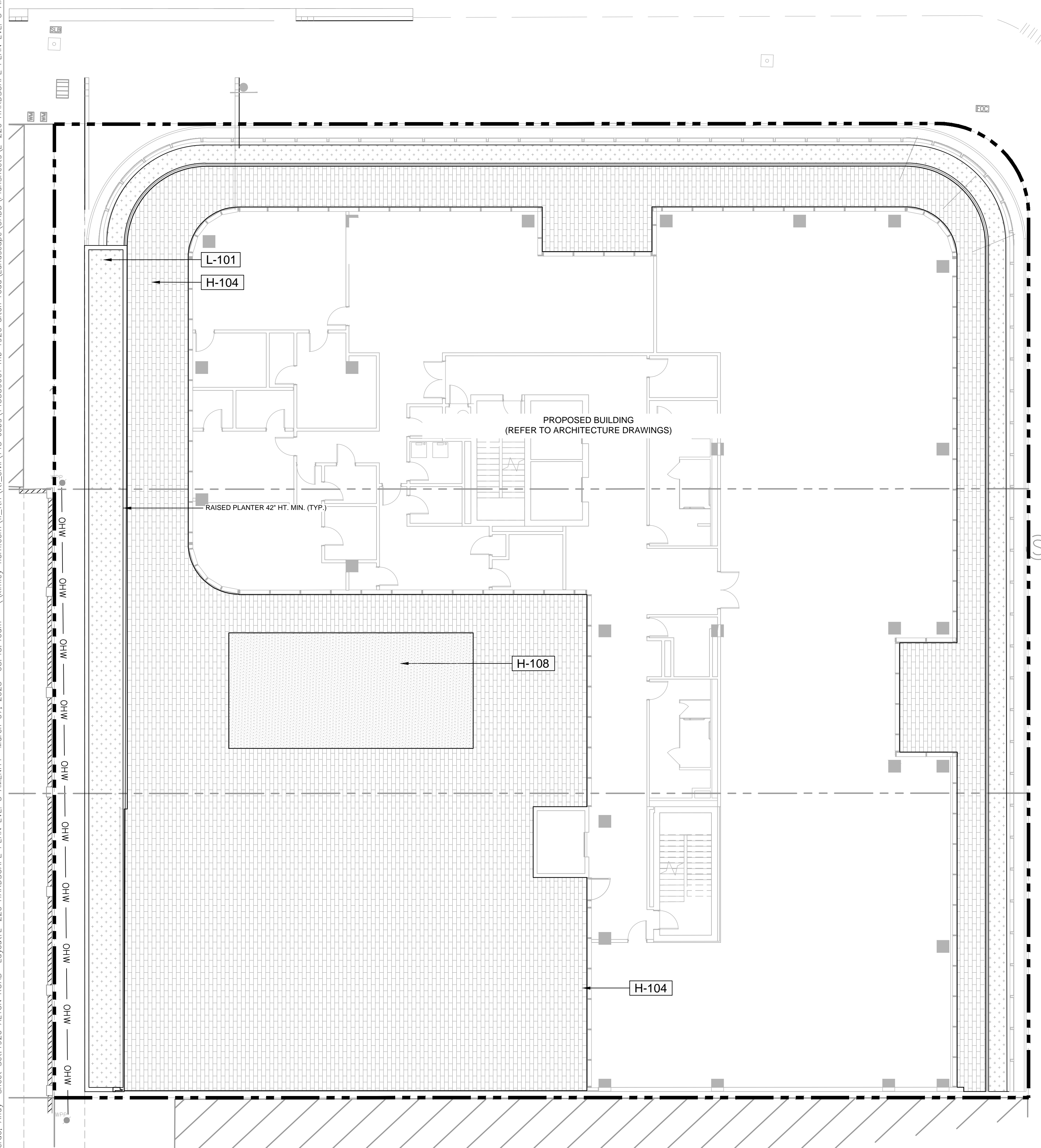
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

Plotted By: Equierdo, Andy Sheet Set: 1920 ALTON ROAD Layout: L-200 March 07, 2023 09:44:12am \\kimley-horn.com\... \1920\_alton\_road\landscape\CAAD\PlanSheets\L-200\_HARDSCAPE\_PLAN.dwg

Plotted By: Equierdo, Andy Sheet Set: 1920 ALTON ROAD Layout: L-220 HARDSCAPE PLAN LVL. 3 AMENITY March 07, 2023 08:48:40am \\kimsley-horn.com\l-fil\l-civil\143\_jobs\143589001.mbx\1920\_alton\_road\landscape\CADD\PlanSheets\L-220\_HARDSCAPE\_PLAN\_LVL\_3\_AMENITY.dwg

# 20TH STREET

# ALTON RD.



LEGEND	
	PROPERTY LINE
	PROPOSED CONCRETE PAVEMENT
	EXISTING CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING

### REFERENCE NOTES SCHEDULE

CODE	HARDSCAPE DESCRIPTION	DETAIL
H-104	PRECAST CONCRETE PAVERS	
H-108	SYNTHETIC TURF	
CODE	LANDSCAPE DESCRIPTION	DETAIL
L-101	PLANTING AREA (REFER TO LANDSCAPE PLAN)	

### SHEET NOTES

1920 Alton Rd. Miami Beach, FL 33139

## Gensler

**MAIN OFFICE**  
45 Fremont Street, Suite 1500  
San Francisco, CA 94105  
United States  
Tel 415.433.3700  
Fax 415.836.4599

**SATELLITE OFFICE**  
545 N.W. 26th Street, Suite 250  
Miami, FL 33127  
United States  
Tel 305.350.7070  
Fax 305.350.7071

**BILZIN SUMBERG**  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

**KIMLEY HORN**  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

**THORNTON THOMASETTI**  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

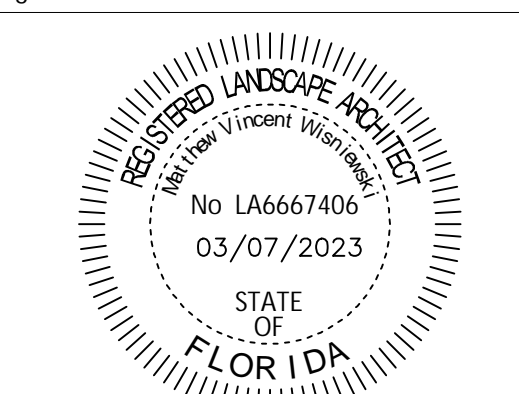
**CES ENGINEERING**  
MEFPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

### GENERAL NOTES

**1920 ALTON ROAD  
PREPARED FOR  
ALTON OFFICE  
HOLDINGS II, LLC.**  
CITY OF MIAMI BEACH  
FLORIDA

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name  
**1920 Alton Road**

Project Number  
143589001

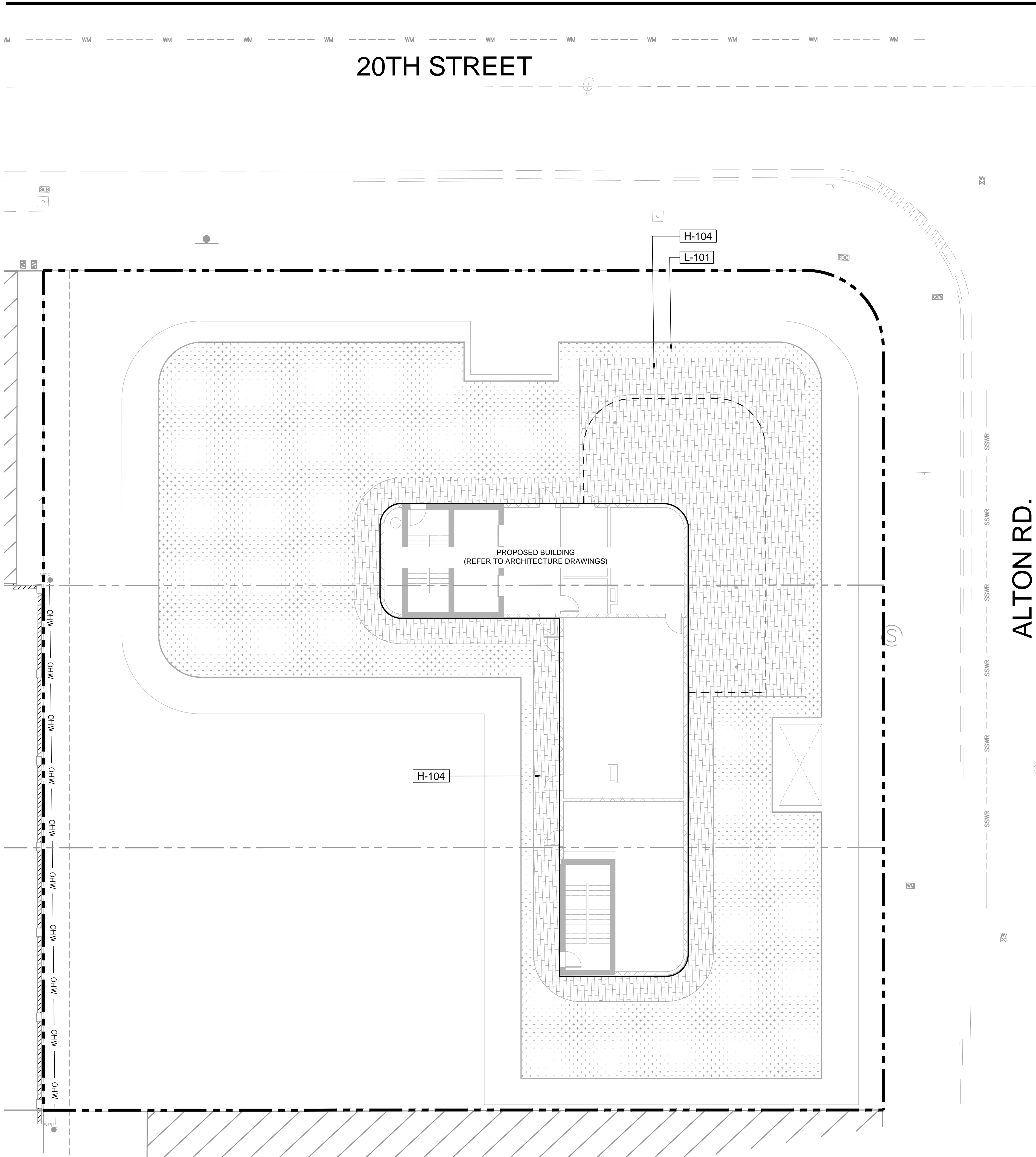
Description  
**HARDSCAPE PLAN  
LVL. 3 AMENITY**

Scale  
As indicated

**L-220**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

Plotted By: Equierdo, Andy Sheet Set: 1920 ALTON ROAD Layout: L-240 Hardscape Plan LVL. 6 AMENITY March 07, 2023 11:26:58am \\kimley-horn.com\l\rtl\civil\43\_Jobs\143589001.mb 1920\_alton\_road\landscape\CADD\PlanSheets\L-240\_HARDSCAPE\_PLAN\_LVL\_6\_AMENITY.dwg



LEGEND	
	PROPERTY LINE
	PROPOSED CONCRETE PAVEMENT
	EXISTING CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING

**REFERENCE NOTES SCHEDULE**

CODE	HARDSCAPE DESCRIPTION	DETAIL
H-104	PRECAST CONCRETE PAVERS	
CODE	LANDSCAPE DESCRIPTION	DETAIL
L-101	PLANTING AREA (REFER TO LANDSCAPE PLAN)	

**SHEET NOTES**

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
 45 Fremont Street, Suite 1500 Fax 415.836.4599  
 San Francisco, CA 94105  
 United States

SATELLITE OFFICE Tel 305.350.7070  
 545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
 Miami, FL 33127  
 United States

BILZIN SUMBERG  
 Land Use  
 1450 Brickell Avenue, 23rd Floor  
 Miami, FL 33131  
 Tel 305.350.2355

KIMLEY HORN  
 Civil, Landscape, Traffic  
 8201 Peters Road, Suite 2200  
 Plantation, FL 33324  
 Tel 954.535.5144

THORNTON THOMESETTI  
 Structure  
 80 SW 8th Street, Suite 2160  
 Miami, FL 33130  
 Tel 954.990.0556

CES ENGINEERING  
 MEPFP  
 2937 W. Cypress Creek Rd, Suite 102  
 Fort Lauderdale, FL 33309  
 Tel 954.990.0556

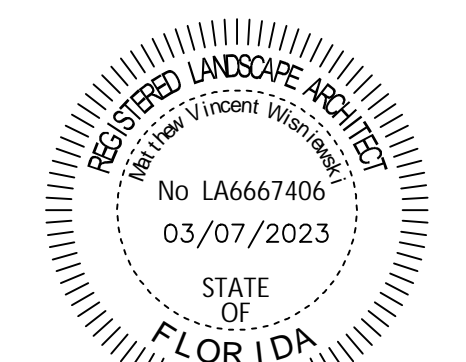
**GENERAL NOTES**

**1920 ALTON ROAD  
 PREPARED FOR  
 ALTON OFFICE  
 HOLDINGS II, LLC.**

CITY OF MIAMI BEACH  
 FLORIDA

△ Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name  
 1920 Alton Road

Project Number  
 143589001

Description

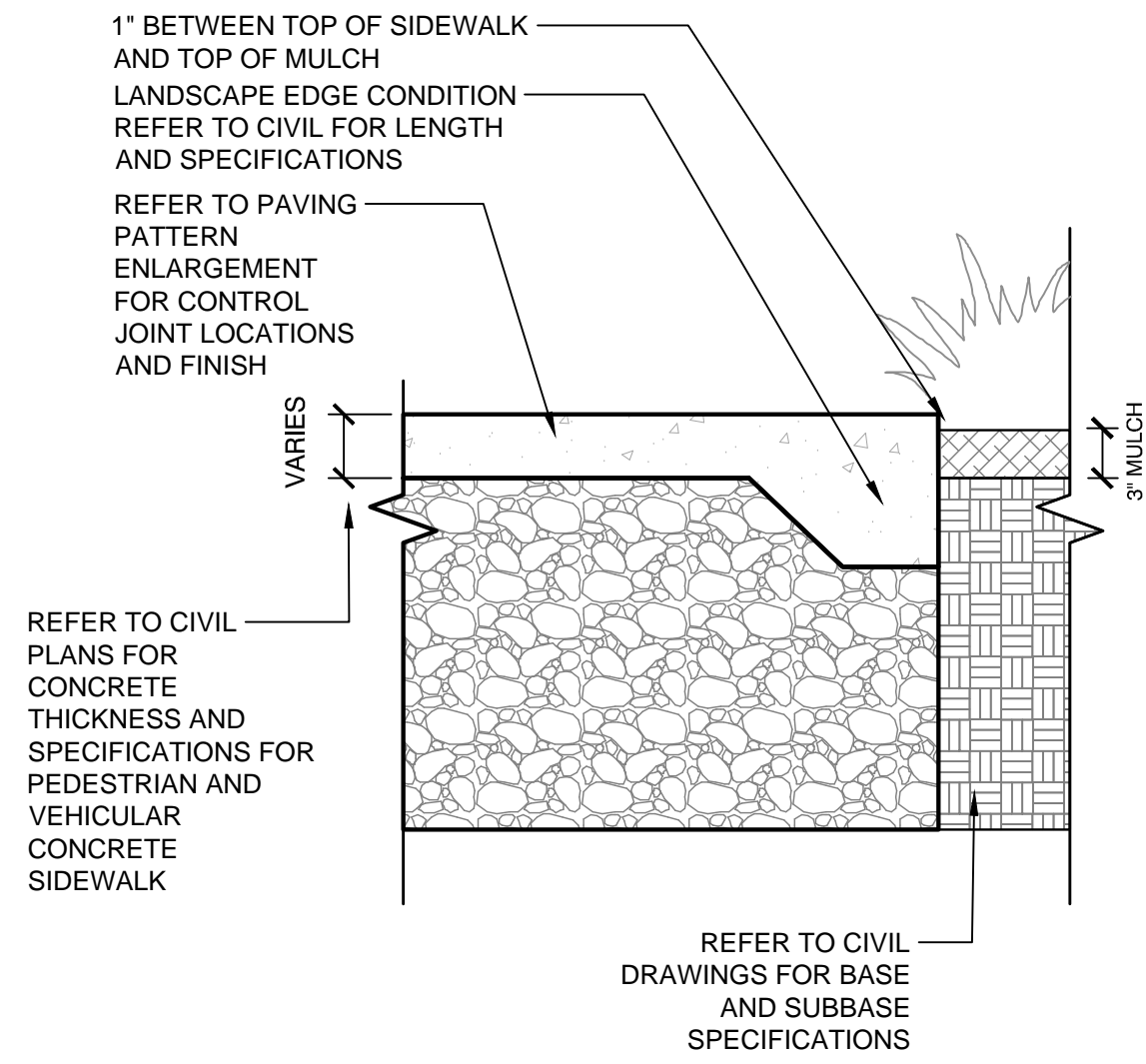
**HARDSCAPE PLAN  
 LVL. 6 AMENITY**

Scale  
 As indicated

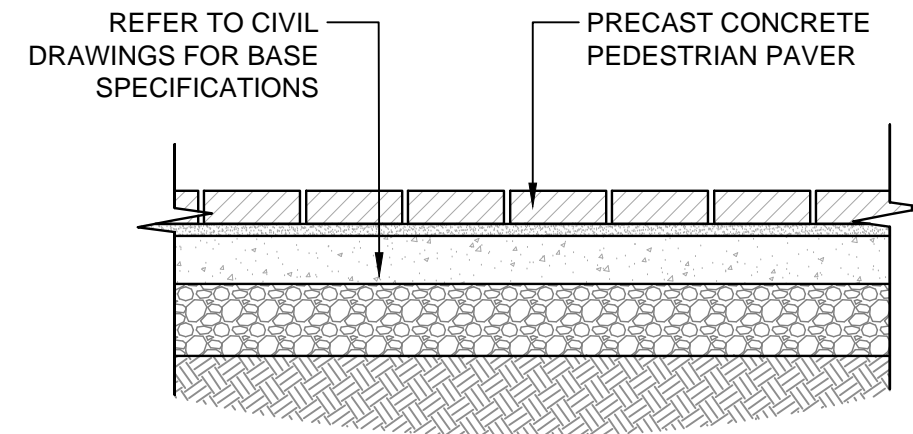
**L-240**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

Plotted By: Iquintero, Andy Sheet Set: 1920 ALTON ROAD Layout: L-250 HARDSCAPE DETAILS March 07, 2023 07:54:19am \\kmlcy-horn.com\fl-11\11-civil\43\_Jobs\143589001\_mb\_1920\_alton\_road\landscape\CADD\PlanSheets\L-250\_HARDSCAPE\_DETAILS\_AND\_NOTES.dwg



**1 CONCRETE SIDEWALK**  
1" = 1'-0" 043-000-HSCP-CONC-03

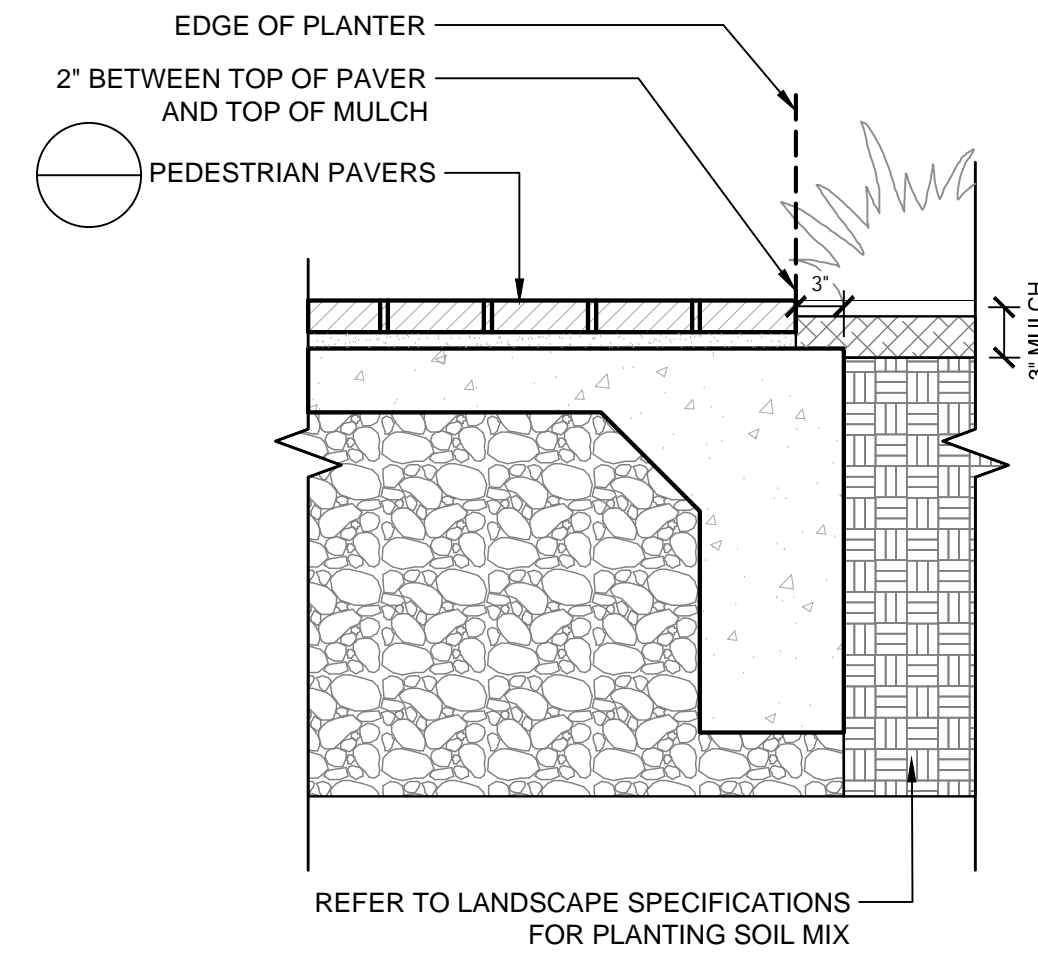


MANUFACTURER: WAUSAU TILE  
TROY DAHLKE - FLORIDA REP.  
TROYD.WT@GMAIL.COM  
TEL: 813-334-0016  
TYPE: HEXAGON

FINISH: ANTI-SLIP. ALL HARDSCAPE SHALL BE SLIP RESISTANT IN COMPLIANCE WITH FBC SECTION 454.1.3.1

PATTERN AND COLORS: CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES, PRODUCT DATA, AND COLOR CHARTS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.

**2 PEDESTRIAN PAVERS**  
3/4" = 1'-0" 043-000-HSCP-CONC-58



**3 LANDSCAPE BED**  
1" = 1'-0" 043-000-HSCP-CONC-04

**GENERAL NOTES:**

- CONTRACTOR SHALL SUBMIT DETAILED ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
- A 10" X 10" MOCK-UP SHALL BE PROVIDED BY THE CONTRACTOR, TO BE APPROVED BY LANDSCAPE ARCHITECT, SHOWING SMOOTH SPONGE, SANDBLAST/TOP CAST FINISHES, EXPANSION AND CONTROL JOINTS.
- PRECAUTIONS SHALL BE TAKEN IN HOT WEATHER TO PREVENT PLASTIC CRACKING RESULTING FROM EXCESSIVELY RAPID DRYING AT SURFACES DESCRIBED IN CIP 5 "PLASTIC SHRINKAGE CRACKING" PUBLISHED BY THE NATIONAL READY MIXED CONCRETE ASSOCIATION.
- CONTRACTOR SHALL PROVIDE MOCK-UP FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. MOCK-UP SHALL BE ITERATIVE AND RE-WORKED UP TO (2) TWO TIMES BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER UNTIL APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES, PRODUCT DATA, AND COLOR CHARTS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
- ALL HORIZONTAL SURFACES FINISHES SHALL BE SLIP RESISTANT WITH A COEFFICIENT OF FRICTION THAT MEETS ALL FEDERAL, STATE AND LOCAL CODE CRITERIA. (SLIP COEFFICIENT: 0.6 FOR SLOPES LESS THAN 5%, 0.8 FOR SLOPES EQUAL OR GREATER THAN 5%, AS MINIMUM OR AS REQUIRED TO MEET CODE CRITERIA, WHICHEVER IS GREATER.)
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS, BACKER ROD, AND COLOR SEALANT AS SELECTED BY LANDSCAPE ARCHITECT AT A MINIMUM OF 10' MAX. O. C. OR EVERY 100 SF OF CONCRETE MINIMUM. CONTRACTOR SHALL PROVIDE A DETAILED SHOP DRAWING FOR APPROVAL, SHOWING ALL EXPANSION AND CONTROL JOINTS FOR APPROVAL.

**SHEET NOTES**

**GENERAL NOTES**

**1920 ALTON ROAD  
PREPARED FOR  
ALTON OFFICE  
HOLDINGS II, LLC.**

CITY OF MIAMI BEACH  
FLORIDA

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
45 Fremont Street, Suite 1500 Fax 415.836.4599  
San Francisco, CA 94105 United States

SATELLITE OFFICE Tel 305.350.7070  
545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
Miami, FL 33127 United States

BILZIN SUMBERG  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

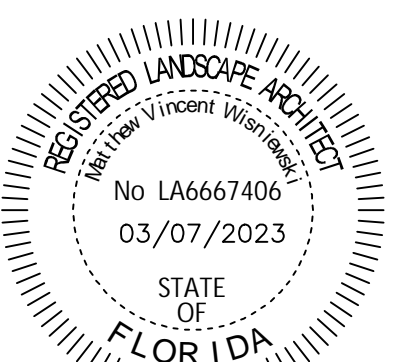
KIMLEY HORN  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMASETTI  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

CES ENGINEERING  
MEPPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name  
**1920 Alton Road**

Project Number  
143589001

Description

**HARDSCAPE  
DETAILS**

Scale  
As indicated

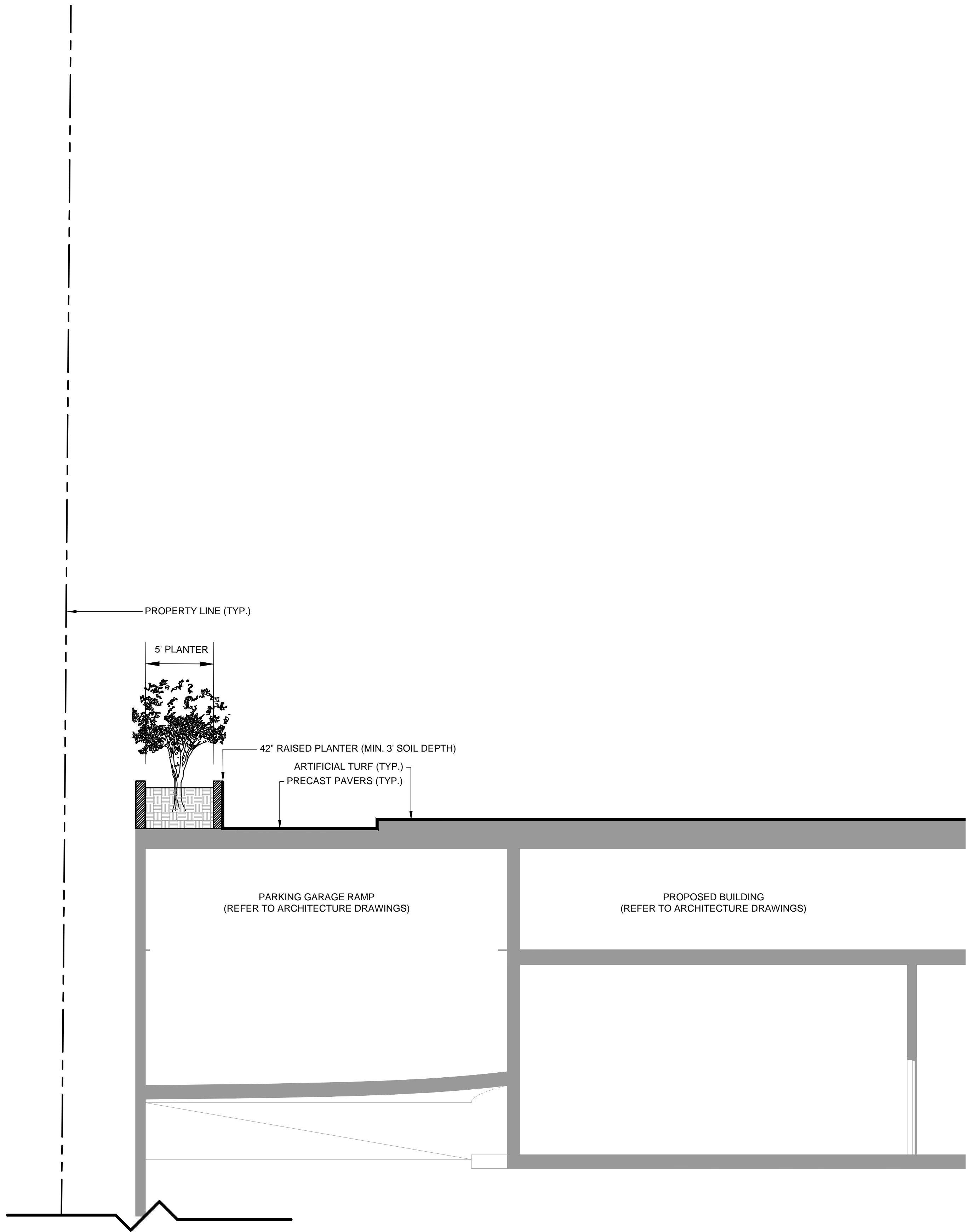
**L-250**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

Plotted By: Iquintero, Andy Sheet Set: 1920 ALTON ROAD Layout: L-251 SECTIONS March 07, 2023 10:28:55am \\kimsley-horn.com\111\111\_civil\143\_jobs\143589001\_mb\_1920\_alton\_road\landscape\CADD\PlanSheets\L-250\_HARDSCAPE\_DETAILS\_AND\_NOTES.dwg



**LEVEL 3 AMENITY SECTION**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
 THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

**SHEET NOTES**

**GENERAL NOTES**

**1920 ALTON ROAD  
 PREPARED FOR  
 ALTON OFFICE  
 HOLDINGS II, LLC.**  
 CITY OF MIAMI BEACH  
 FLORIDA

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
 45 Fremont Street, Suite 1500 Fax 415.836.4599  
 San Francisco, CA 94105  
 United States

SATELLITE OFFICE Tel 305.350.7070  
 545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
 Miami, FL 33127  
 United States

BILZIN SUMBERG  
 Land Use  
 1450 Brickell Avenue, 23rd Floor  
 Miami, FL 33131  
 Tel 305.350.2355

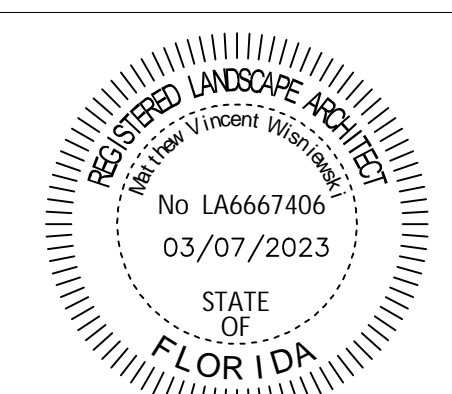
KIMLEY HORN  
 Civil, Landscape, Traffic  
 8201 Peters Road, Suite 2200  
 Plantation, FL 33324  
 Tel 954.535.5144

THORNTON THOMESETTI  
 Structure  
 80 SW 8th Street, Suite 2160  
 Miami, FL 33130  
 Tel 954.990.0556

CES ENGINEERING  
 MEPFP  
 2937 W. Cypress Creek Rd, Suite 102  
 Fort Lauderdale, FL 33309  
 Tel 954.990.0556

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name

1920 Alton Road

Project Number

143589001

Description

**LANDSCAPE  
 SECTIONS**

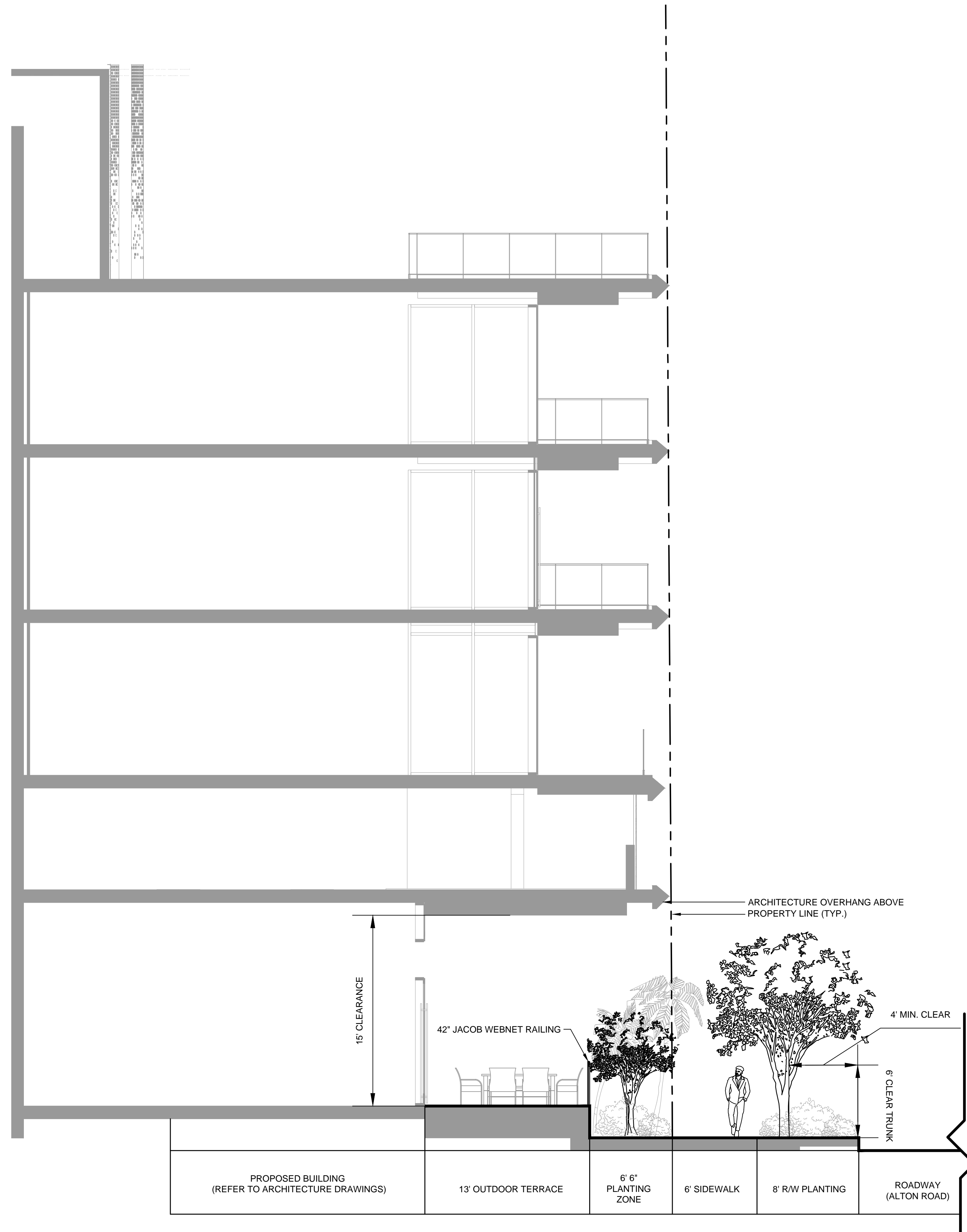
Scale

As indicated

L-251



Plotted By: Iquintero, Andy Sheet Set: 1920 ALTON ROAD Layout: L-252 SECTIONS March 07, 2023 07:54:27am \\kmlby-horn.com\fl-hill\civil\143\_Jobs\14389001\_mb\_1920\_alton\_road\landscape\CADD\PlanSheets\L-252\_HARDSCAPE\_DETAILS\_AND\_NOTES.dwg



**STREETSCAPE SECTION**

**SHEET NOTES**

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
 45 Fremont Street, Suite 1500 Fax 415.836.4599  
 San Francisco, CA 94105  
 United States

SATELLITE OFFICE Tel 305.350.7070  
 545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
 Miami, FL 33127  
 United States

BILZIN SUMBERG  
 Land Use  
 1450 Brickell Avenue, 23rd Floor  
 Miami, FL 33131  
 Tel 305.350.2355

KIMLEY HORN  
 Civil, Landscape, Traffic  
 8201 Pelters Road, Suite 2200  
 Plantation, FL 33324  
 Tel 954.535.5144

THORNTON THOMASETTI  
 Structure  
 80 SW 8th Street, Suite 2160  
 Miami, FL 33130  
 Tel 954.990.0556

CES ENGINEERING  
 MEPFP  
 2937 W. Cypress Creek Rd, Suite 102  
 Fort Lauderdale, FL 33309  
 Tel 954.990.0556

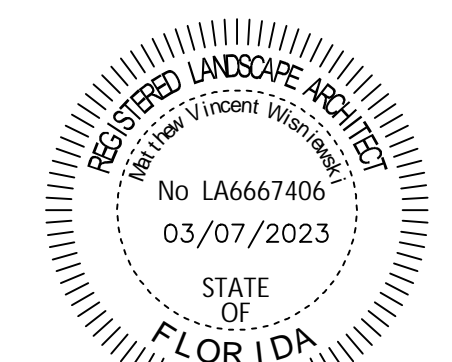
**GENERAL NOTES**

**1920 ALTON ROAD  
 PREPARED FOR  
 ALTON OFFICE  
 HOLDINGS II, LLC.**

CITY OF MIAMI BEACH  
 FLORIDA

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name  
 1920 Alton Road

Project Number  
 143589001

Description

**LANDSCAPE  
 SECTIONS**

Scale  
 As indicated

**L-252**


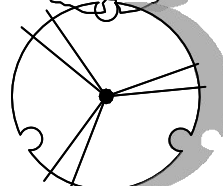
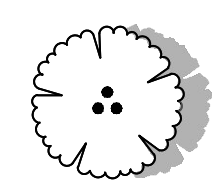
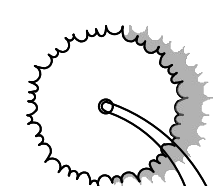
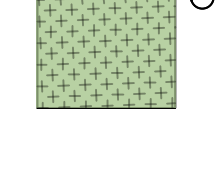
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.



## TREE AND UNDERSTORY PLANT SCHEDULE

	<b>LARGE STREET TREES</b> 14' HT. MIN. / 3" CAL. / 8' CT. CONOCARPUS ERECTUS / GREEN BUTTWOOD	10
	<b>CANOPY STREET TREES</b> 12' HT. MIN. / 3" CAL. / 4' CT. PIMENTA DIOICA / ALLSPICE TREE PIMENTA RACEMOSA / BAYRUM TREE	7
	<b>UNDERSTORY TREES</b> 10' HT. MIN. / MULTI-TRUNK 2" MIN. EA. CONOCARPUS ERECTUS SERICEUS / SILVER BUTTWOOD MYRCIANTHES FRAGRANS / SIMPSON'S STOPPER	9
	<b>PALMS</b> 10' CT. / CURVED TRUNK SABAL PALMETTO / CABBAGE PALMETTO	8
	<b>R/W GROUNDCOVERS</b> 12"-18" HT. MAX. / 18" OC. ARACHIS GLABRATA / PERENNIAL PEANUT ERNODEA LITTORALIS / GOLDEN CREEPER MICROSORUM SCOLOPENDRIA / WART FERN	1,072 SF

## SHRUBS SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE	NATIVE
	CA2	28	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY	CONT.	30" O.C.	24" HT MIN	YES
	CN2	12	CLUSIA ROSEA 'NANA' DWARF PITCH APPLE	CONT.	24" O.C.	18" HT MIN	NO
	HC	28	HAMELIA PATENS 'COMPACTA' DWARF FIREBUSH	CONT.	24" O.C.	24" X 24"	YES
	PN	38	PSYCHOTRIA NERVOSA WILD COFFEE	CONT.	30" O.C.	24" HT. MIN.	YES
	SC	12	SERENOA REPENS 'CINEREA' SILVER SAW PALMETTO	CONT.	30" O.C.	24" HT. MIN.	YES
	TC	84	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' CONFEDERATE JASMINE	CONT.	24" O.C.	30" HT MIN	NO
	ZP2	52	ZAMIA PUMILA COONTIE CYCAD	CONT.	24" O.C.	18" HT MIN	YES
<b>LARGE SHRUBS</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL / COMMON NAME</b>	<b>CONT</b>	<b>SPACING</b>	<b>SIZE</b>	<b>NATIVE</b>
	CC	10	CAPPARIS CYNOPHALLOPHORA JAMAICA CAPER	CONT.	AS SHOWN	6" HT MIN.	YES

## SHRUB SCHEDULE LEVEL 3

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	NATIVE
	CN2	44	CLUSIA ROSEA 'NANA'	DWARF PITCH APPLE	CONT.	24" O.C.	18" HT MIN	NO
	ZP2	37	ZAMIA PUMILA	COONTIE CYCAD	CONT.	24" O.C.	18" HT MIN	YES
<b>LARGE SHRUBS</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>SPACING</b>	<b>SIZE</b>	<b>NATIVE</b>
	CC	26	CAPPARIS CYNOPHALLOPHORA	JAMAICA CAPER	CONT.	AS SHOWN	6" HT MIN.	YES
<b>GROUND COVERS</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>SPACING</b>	<b>SIZE</b>	<b>NATIVE</b>
	EL	412	ERNODEA LITTORALIS	GOLDEN CREEPER	CONT.	18" O.C.	12" HT MIN	YES

## MIAMI BEACH LANDSCAPE LEGEND

Zoning District	<b>CD-2</b>	Net Lot Area:	<b>0.586</b> Acres	or	<b>25,526</b> SF
<b>OPEN SPACE</b>					
A. Square feet of open space required by Chp. 126, as indicated on site plan:			<b>REQUIRED</b>		<b>PROVIDED</b>
Net Lot area =	<b>25,526</b>	x	<b>25%</b>	<b>6,382 SF</b>	<b>6,382 SF</b>
<b>LAWN AREA CALCULATION</b>					
A. Total square feet of landscape open space required by Chp. 126 =			<b>6,382 SF</b>		
B. Maximum lawn area permitted =	<b>20%</b>	x required landscape open space =	<b>1,276 SF</b>	<b>n/a</b>	<b>SF</b>
<b>TREES</b>					
A. The number of site trees required per net lot area =		<b>22</b> site trees per net lot area			
less the existing number of trees that meet minimum requirements		<b>0</b> existing trees			
required trees x net lot acreage =		<b>13</b> trees		<b>13</b> trees	
B. 30% palm trees allowed (two palms = one tree) =		<b>4</b> "trees"		<b>3</b> "trees"	
C. Percentage of native trees required = the number of trees provided x 30% =		<b>4</b> trees		<b>10</b> trees	
Percentage of low maintenance and drought tolerant trees = provided trees x 50% =		<b>7</b> trees		<b>10</b> trees	
D. Street trees along 20th street (max. average spacing of 20' O.C.)		<b>147</b> linear feet along street / 20 =		<b>8</b> trees	<b>8</b> trees
E. Street trees along Alton Road (max. average spacing of 20' O.C.):		<b>180</b> linear feet along street / 20 =		<b>9</b> trees	<b>9</b> trees
F. Total number of trees provided: required site trees + street trees =			<b>30</b> trees	<b>30</b> trees	
<b>SHRUBS</b>					
A. The total number of trees required x 12 = the number of shrubs required			<b>360</b> shrubs	<b>371</b> shrubs*	
B. The number of shrubs required x 50% = the number of native shrubs required			<b>180</b> shrubs	<b>195</b> shrubs	
C. The total number of shrubs required x 10% = the number of large shrubs required			<b>36</b> shrubs	<b>36</b> shrubs	
<b>IRRIGATION PLAN</b>					
Required by Chp. 126:					
Auto Irrigation	<b>x</b>				
Hose Bibs					

ADDITIONAL 81 SHRUBS AND 26 LARGE SHRUBS ARE BEING PROVIDED ON LEVEL 3 REFER TO SHEET L-320. OR PER SECTION 126-6J APPLICANT MAY ENTER AN AGREEMENT WITH THE CITY, AS APPROVED BY THE PLANNING DEPARTMENT, TO PLANT EXCESS NUMBER OF REQUIRED TREES, LARGE SHRUBS, AND SHRUBS ON PUBLIC PROPERTY. \*

## SHEET NOTES

- NOTES:
- REFER TO SHEET L-100 FOR THE TREE DISPOSITION PLAN, TREE DISPOSITION LIST AND MITIGATION CALCULATIONS.
  - REFER TO SHEET L-300 FOR LANDSCAPE PLAN.
  - REFER TO SHEET L-320 FOR LEVEL 3 LANDSCAPE PLAN AND PLANTING SCHEDULE.
  - ALL PLANTING SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
  - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
  - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
  - SOD SHALL BE INSTALLED IN ALL AREAS NOT OTHERWISE COVERED BY BUILDING, PAVING, SIDEWALK, OR OTHER LANDSCAPING.

1920 Alton Rd. Miami Beach, FL 33139

## Gensler

MAIN OFFICE  
45 Fremont Street, Suite 1500  
San Francisco, CA 94105  
United States  
Tel 415.433.3700  
Fax 415.836.4599

SATELLITE OFFICE  
545 N.W. 26th Street, Suite 250  
Miami, FL 33127  
United States  
Tel 305.350.7070  
Fax 305.350.7071

BILZIN SUMBERG  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

KIMLEY HORN  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMSETTI  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

CES ENGINEERING  
MEPPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

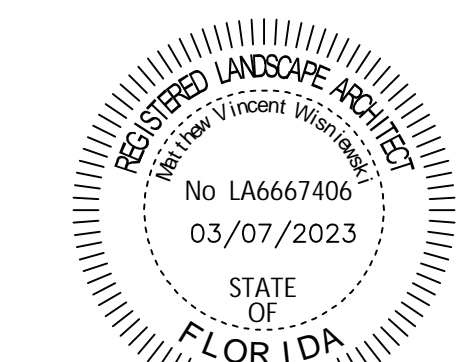
## GENERAL NOTES

### 1920 ALTON ROAD PREPARED FOR ALTON OFFICE HOLDINGS II, LLC.

CITY OF MIAMI BEACH  
FLORIDA

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name

1920 Alton Road

Project Number

143589001

Description

## LANDSCAPE SCHEDULE

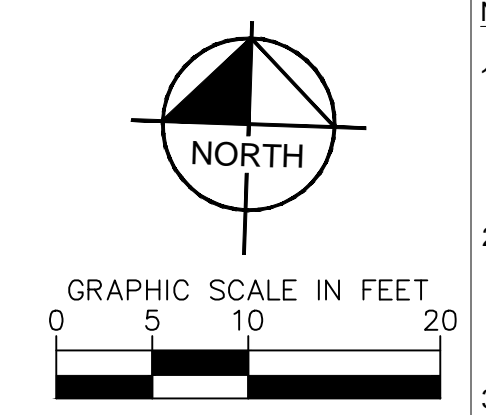
Scale

As indicated

L-301

©2022 Gensler

20TH STREET



PLANT SCHEDULE LEVEL 3

	AMENITY TREES 10' HT. MIN. / MULTI-TRUNK 2" MIN. EA. COCOLOBA UVIFERA / SEA GRAPE CONOCARPUS ERECTUS SERICEUS / SILVER BUTTWOOD	5
--	--	---

SHRUB KEY LEVEL 3

SHRUBS	CODE	COMMON / BOTANICAL NAME
	CN2	DWARF PITCH APPLE CLUSIA ROSEA 'NANA'
	ZP2	COONTIE CYCAD ZAMIA PUMILA
LARGE SHRUBS	CODE	COMMON / BOTANICAL NAME
	CC	JAMAICA CAPER CAPPARIS CYNOPHALLOPHORA
GROUND COVERS	CODE	COMMON / BOTANICAL NAME
	EL	GOLDEN CREEPER ERNODEA LITTORALIS

PROPOSED BUILDING  
(REFER TO ARCHITECTURE)

ALTON RD.

SHEET NOTES

- NOTES:
- REFER TO SHEET L-100 AND L-110 FOR THE TREE DISPOSITION PLAN, TREE DISPOSITION LIST AND MITIGATION CALCULATIONS.
  - REFER TO SHEETS L-300 AND L-301 FOR GROUND FLOOR LANDSCAPE PLAN, PLANTING SCHEDULES AND MITIGATION CALCULATIONS.
  - REFER TO SHEET L-321 FOR COMPLETE PLANTING SCHEDULE
  - ALL PLANTING SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
  - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
  - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
  - SOD SHALL BE INSTALLED IN ALL AREAS NOT OTHERWISE COVERED BY BUILDING, PAVING, SIDEWALK, OR OTHER LANDSCAPING.

GENERAL NOTES

1920 ALTON ROAD  
PREPARED FOR  
ALTON OFFICE  
HOLDINGS II, LLC.  
CITY OF MIAMI BEACH  
FLORIDA

1920 Alton Rd. Miami Beach, FL 33139

Gensler

MAIN OFFICE  
45 Fremont Street, Suite 1500  
San Francisco, CA 94105  
United States  
Tel 415.433.3700  
Fax 415.836.4599

SATELLITE OFFICE  
545 N.W. 26th Street, Suite 250  
Miami, FL 33127  
United States  
Tel 305.350.7070  
Fax 305.350.7071

BILZIN SUMBERG  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

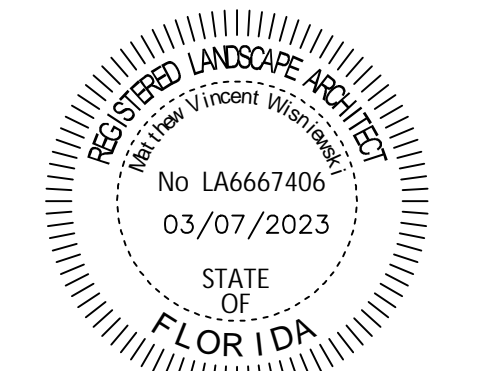
KIMLEY HORN  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMASETTI  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

CES ENGINEERING  
MEFPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name  
1920 Alton Road

Project Number  
143589001

Description

LANDSCAPE PLAN  
LVL. 3 AMENITY

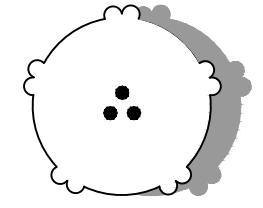
Scale  
As indicated

L-320

Plotted By: Iquintero, Andy Sheet Set: 1920 ALTON ROAD Layout: L-320 March 07, 2023 10:45:42am \\kimley-horn.com\... 1920\_alton\_road\_landscape\CADD\PlanSheets\L-320\_LANDSCAPE\_PLAN\_LVL\_3\_AMENITY.dwg

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

**PLANT SCHEDULE LEVEL 3**



AMENITY TREES  
 10' HT. MIN. / MULTI-TRUNK 2" MIN. EA.  
 COCCOLOBA UVIFERA / SEA GRAPE  
 CONOCARPUS ERECTUS SERICEUS / SILVER BUTTWOOD

5

**SHRUB SCHEDULE LEVEL 3**

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE	NATIVE
	CN2	44	CLUSIA ROSEA 'NANA'	DWARF PITCH APPLE	CONT.	24" O.C.	18" HT MIN	NO
	ZP2	37	ZAMIA PUMILA	COONTIE CYCAD	CONT.	24" O.C.	18" HT MIN	YES
LARGE SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE	NATIVE
	CC	26	CAPPARIS CYNOPHALLOPHORA	JAMAICA CAPER	CONT.	AS SHOWN	6' HT MIN.	YES
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE	NATIVE
	EL	412	ERNODEA LITTORALIS	GOLDEN CREEPER	CONT.	18" O.C.	12" HT MIN	YES

**SHEET NOTES**

NOTES:

- REFER TO SHEET L-100 FOR THE TREE DISPOSITION PLAN, TREE DISPOSITION LIST AND MITIGATION CALCULATIONS.
- REFER TO SHEETS L-300 AND L-301 FOR GROUND FLOOR LANDSCAPE PLAN, PLANTING SCHEDULES AND MITIGATION CALCULATIONS.
- ALL PLANTING SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
- ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
- SOD SHALL BE INSTALLED IN ALL AREAS NOT OTHERWISE COVERED BY BUILDING, PAVING, SIDEWALK, OR OTHER LANDSCAPING.

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
 45 Fremont Street, Suite 1500 Fax 415.836.4599  
 San Francisco, CA 94105  
 United States

SATELLITE OFFICE Tel 305.350.7070  
 545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
 Miami, FL 33127  
 United States

BILZIN SUMBERG  
 Land Use  
 1450 Brickell Avenue, 23rd Floor  
 Miami, FL 33131  
 Tel 305.350.2355

KIMLEY HORN  
 Civil, Landscape, Traffic  
 8201 Peters Road, Suite 2200  
 Plantation, FL 33324  
 Tel 954.535.5144

THORNTON THOMESETTI  
 Structure  
 80 SW 8th Street, Suite 2160  
 Miami, FL 33130  
 Tel 954.990.0556

CES ENGINEERING  
 MEPFP  
 2937 W. Cypress Creek Rd, Suite 102  
 Fort Lauderdale, FL 33309  
 Tel 954.990.0556

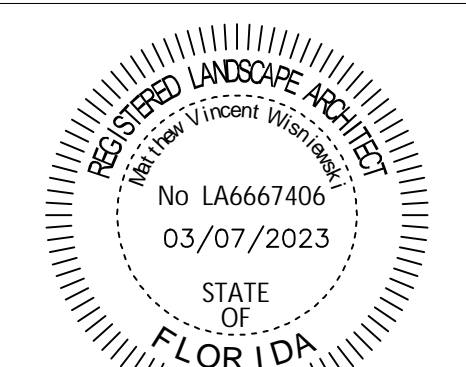
**GENERAL NOTES**

**1920 ALTON ROAD  
 PREPARED FOR  
 ALTON OFFICE  
 HOLDINGS II, LLC.**

CITY OF MIAMI BEACH  
 FLORIDA

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name

1920 Alton Road

Project Number

143589001

Description

**LANDSCAPE PLAN  
 LVL. 3 AMENITY**

Scale

As indicated

**L-321**

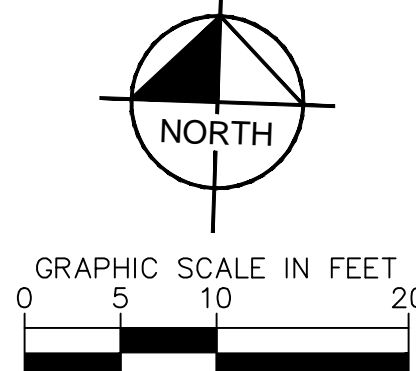
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

Plotted By: Equierdo, Andy Sheet Set: 1920 ALTON ROAD Layout: L-340 LANDSCAPE PLAN LVL. 6 AMENITY March 07, 2023 11:39:12am \\kimsley-horn.com\j... \143\_Jobs\143589001.mb 1920 alton road\Landscapes\CADD\PlanSheets\L-340 LANDSCAPE PLAN LVL. 6 AMENITY.dwg

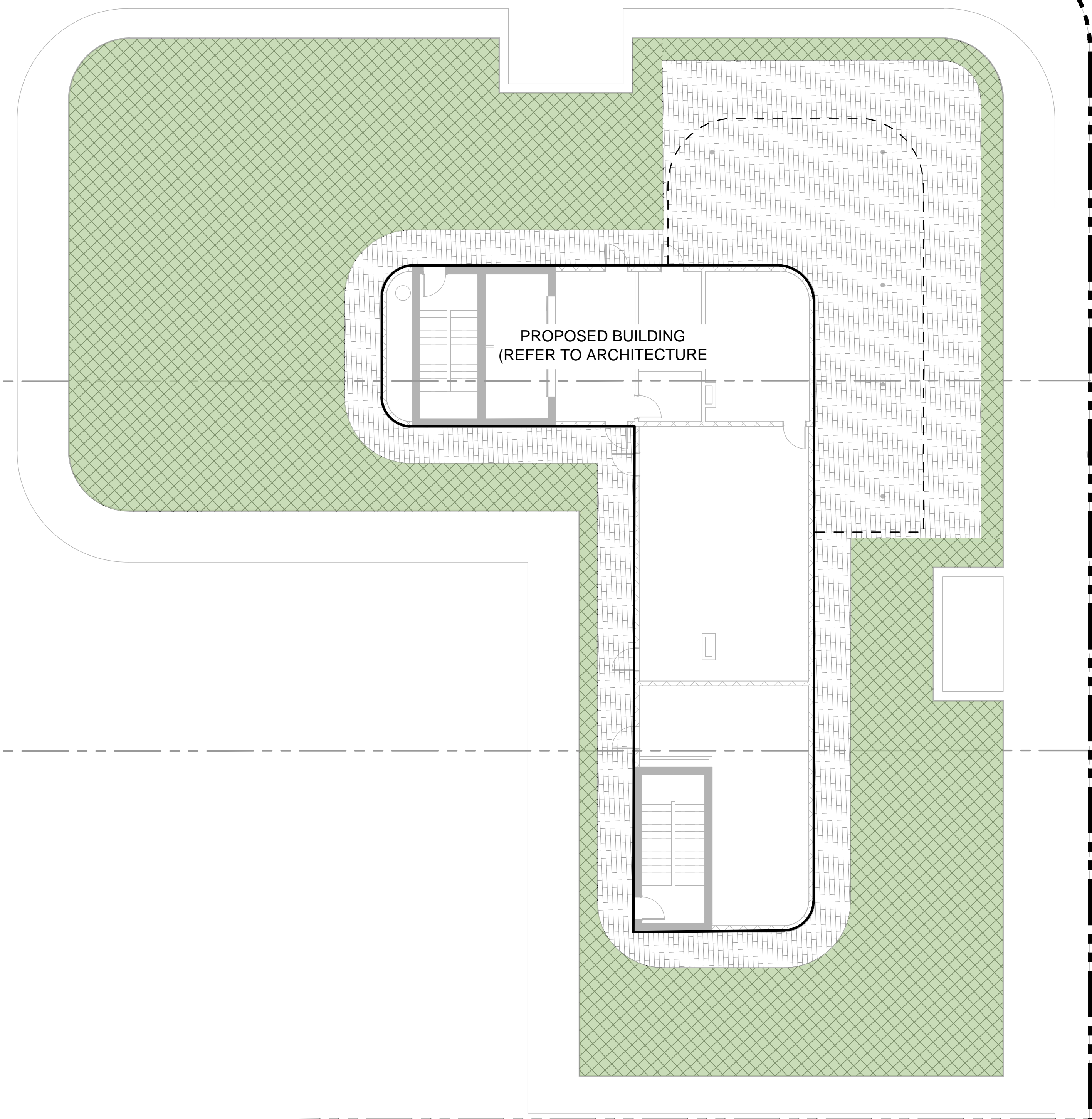
# 20TH STREET



## CONCEPT PLANT SCHEDULE

- LOW SHRUBS**  
@ 12" - 18" HT. MIN.  
ARACHIS GLABRATA / PERENNIAL PEANUT  
ERNODEA LITTORALIS / GOLDEN CREEPER  
FICUS MICROCARPA 'GREEN ISLAND' / GREEN ISLAND INDIAN LAUREL FIG  
TRIPSACUM DACTYLOIDES NANA / DWARF FAKAHATCHEE GRASS

# ALTON RD.



PROPOSED BUILDING  
(REFER TO ARCHITECTURE)

## SHEET NOTES

- NOTES:
1. REFER TO SHEET L-100 AND L110 FOR THE TREE DISPOSITION PLAN, TREE DISPOSITION LIST AND MITIGATION CALCULATIONS.
  2. ALL PLANTING SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
  3. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
  4. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
  5. SOD SHALL BE INSTALLED IN ALL AREAS NOT OTHERWISE COVERED BY BUILDING, PAVING, SIDEWALK, OR OTHER LANDSCAPING.

## GENERAL NOTES

**1920 ALTON ROAD  
PREPARED FOR  
ALTON OFFICE  
HOLDINGS II, LLC.**  
CITY OF MIAMI BEACH  
FLORIDA

1920 Alton Rd. Miami Beach, FL 33139

## Gensler

**MAIN OFFICE** Tel 415.433.3700  
45 Fremont Street, Suite 1500 Fax 415.836.4599  
San Francisco, CA 94105  
United States

**SATELLITE OFFICE** Tel 305.350.7070  
545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
Miami, FL 33127  
United States

**BILZIN SUMBERG**  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

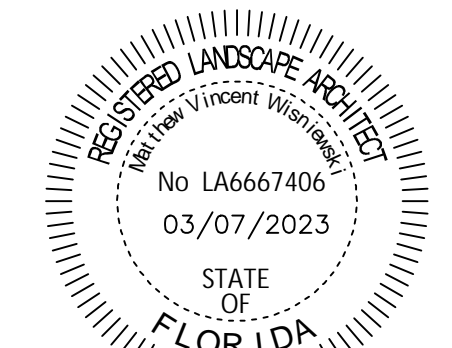
**KIMLEY HORN**  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

**THORNTON THOMASETTI**  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

**CES ENGINEERING**  
MEFPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

△	Date	Description
1	02/07/2023	DRB REVISION
2	04/04/2023	DRB REVISION

Seal / Signature



Project Name  
**1920 Alton Road**

Project Number  
143589001

Description

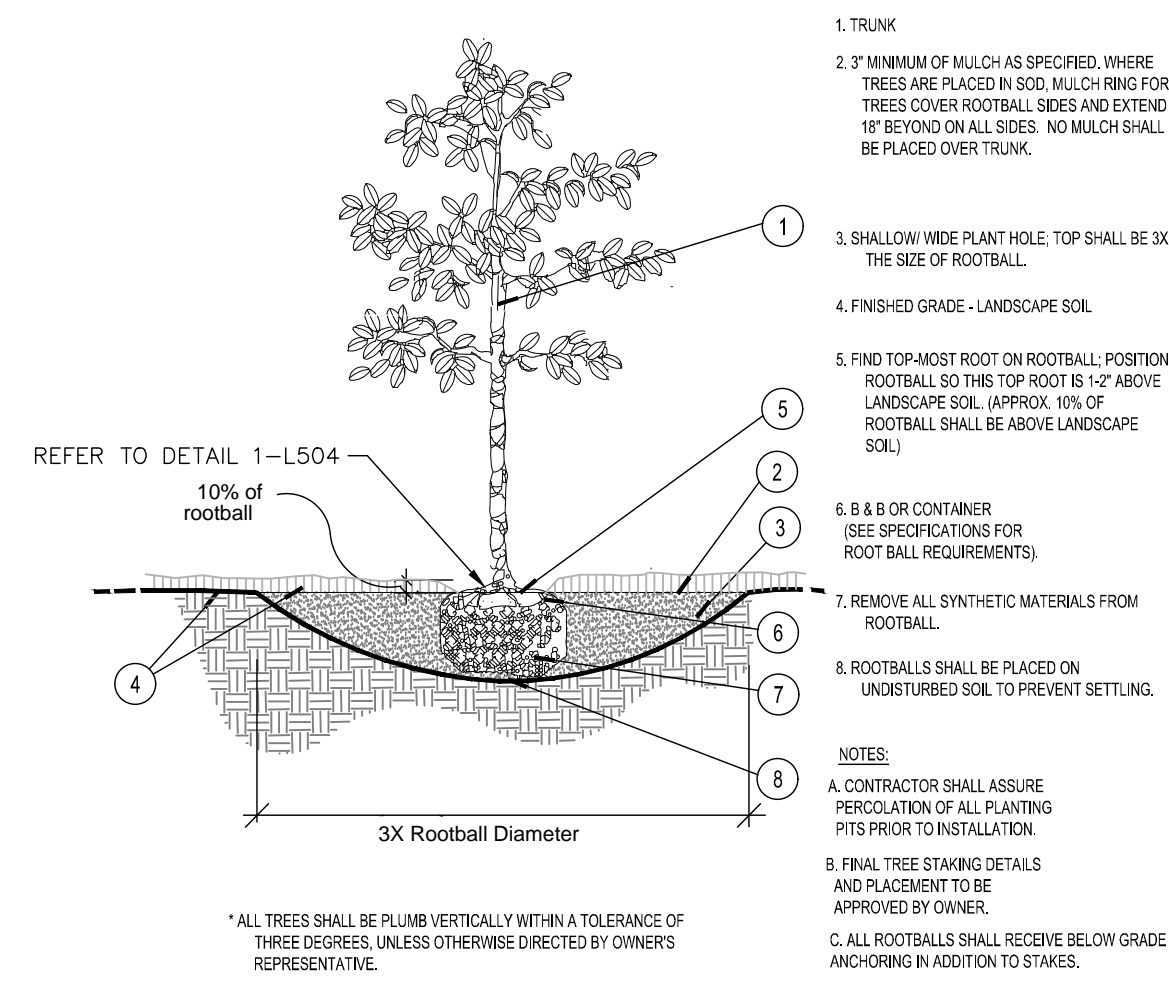
## LANDSCAPE PLAN LVL. 6 AMENITY

Scale  
As indicated

L-340

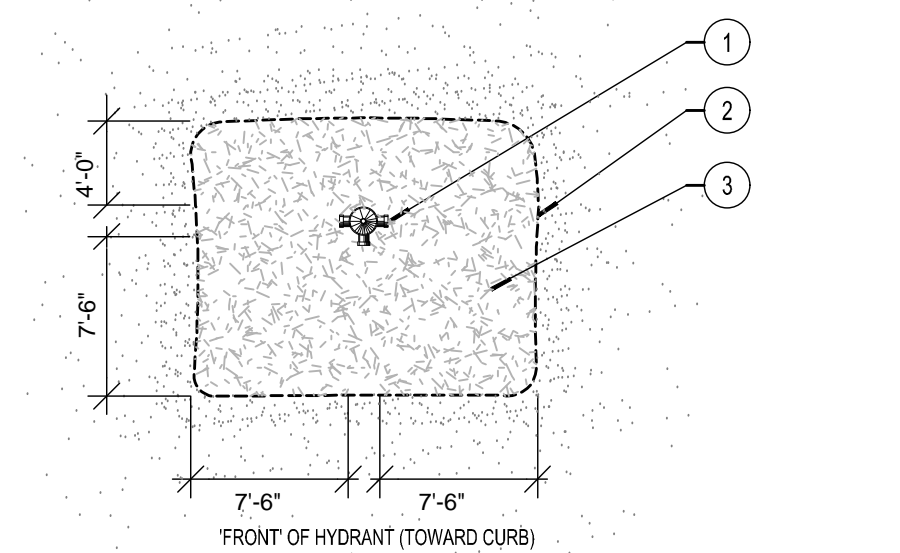
©2022 Gensler

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.



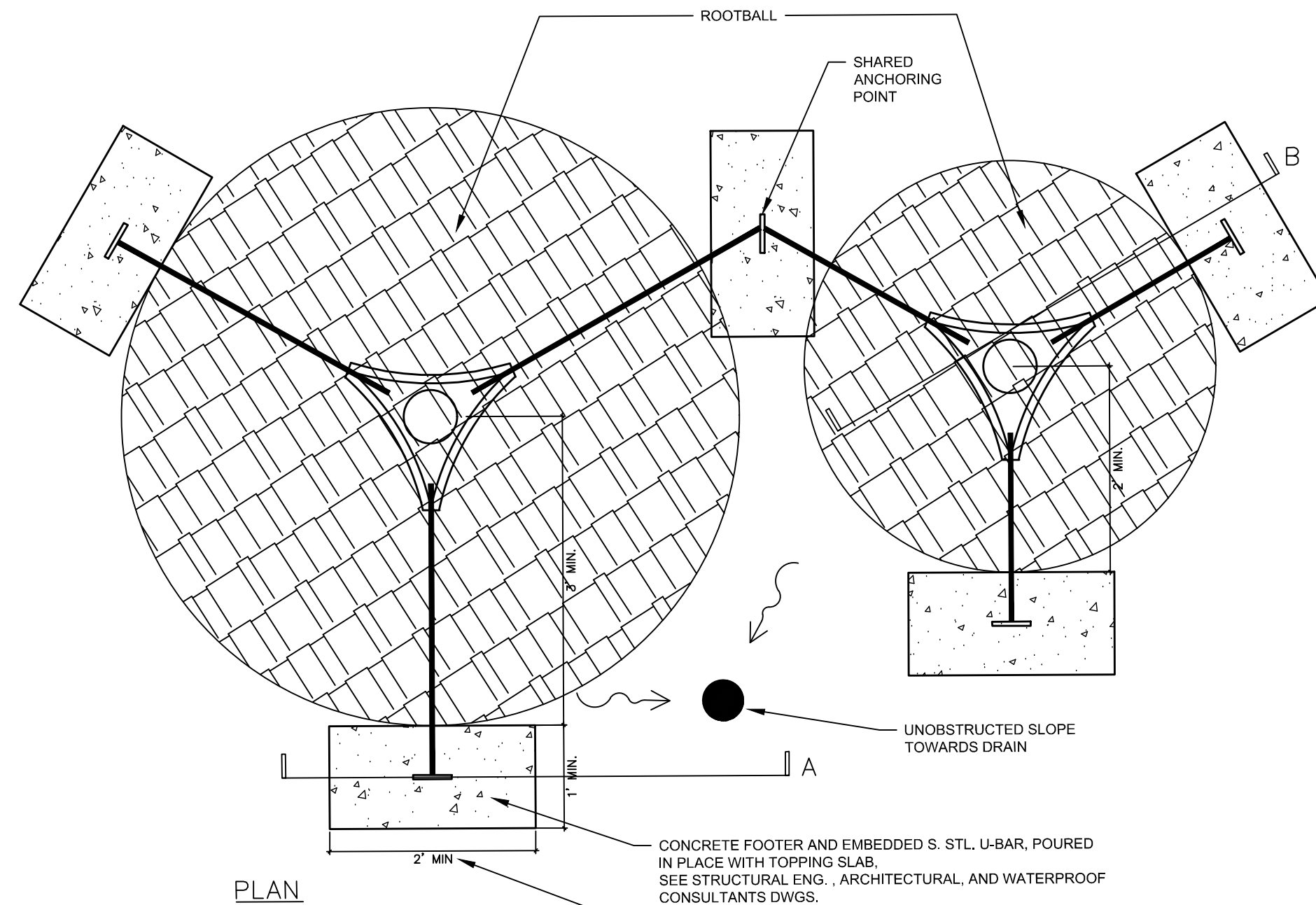
**A Tree Planting**

SECTION NTS



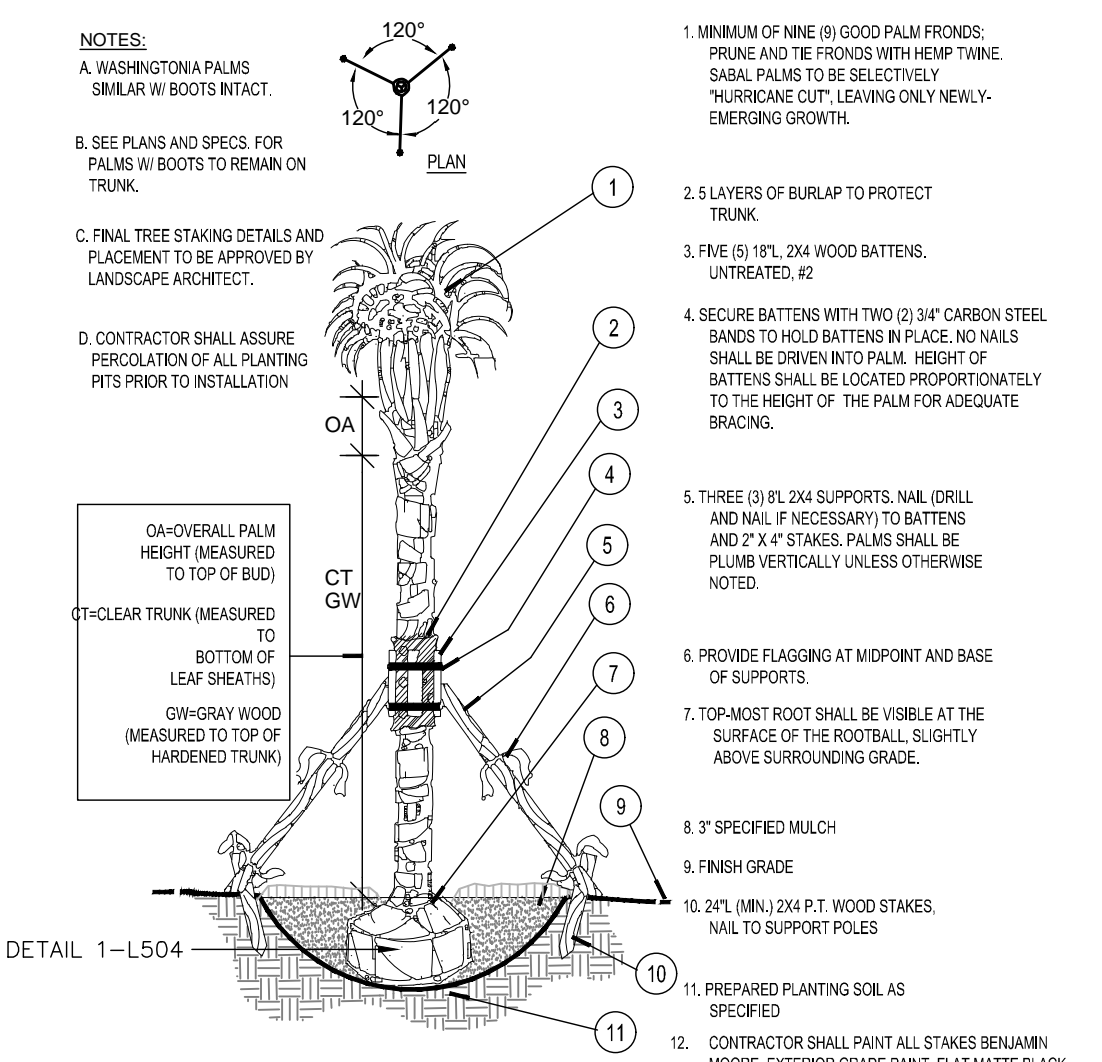
**D Fire Hydrant Clear Zone**

PLAN NTS



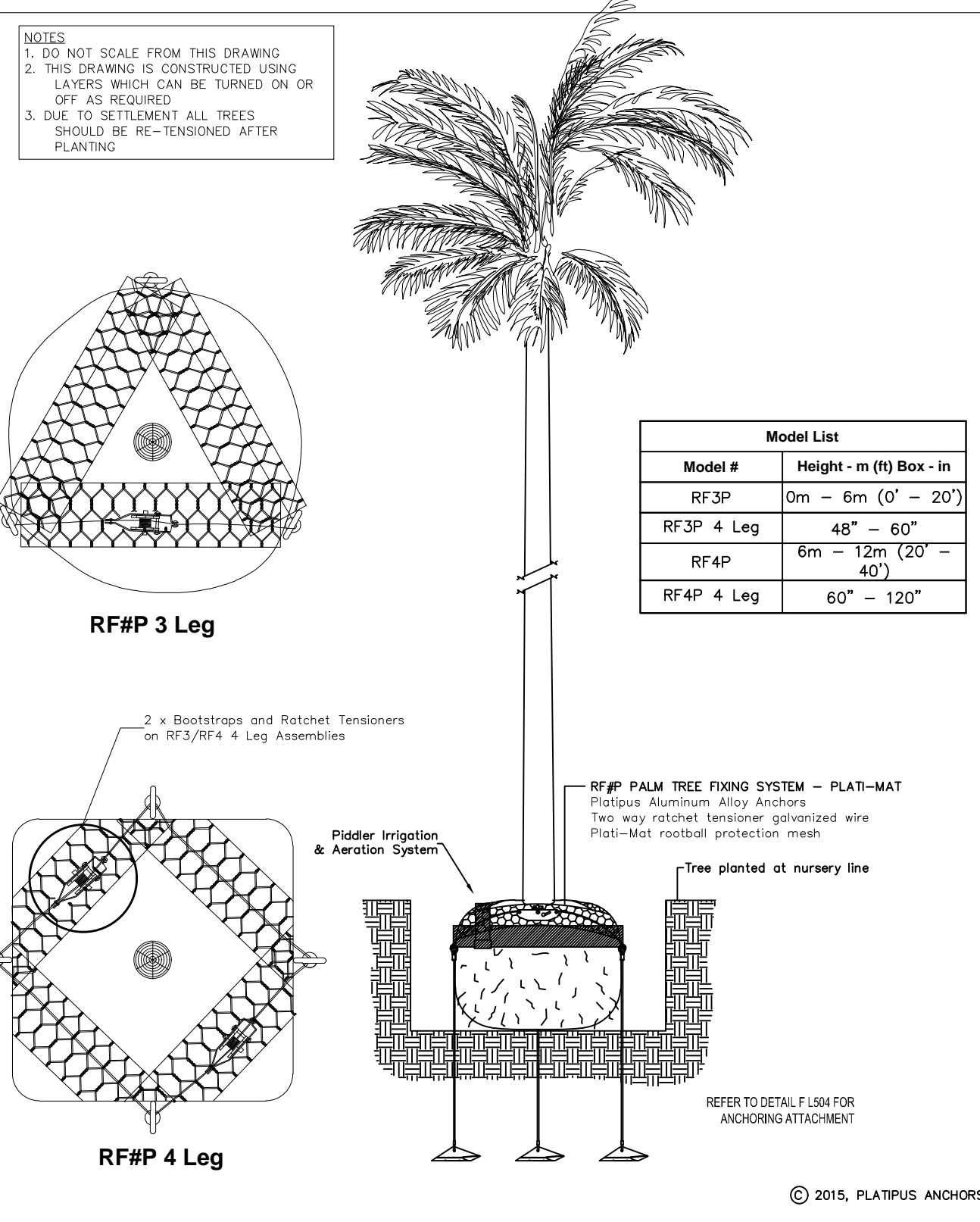
**F BELOW GRADE ROOTBALL ANCHORING DETAIL**

PLAN SECTION NTS



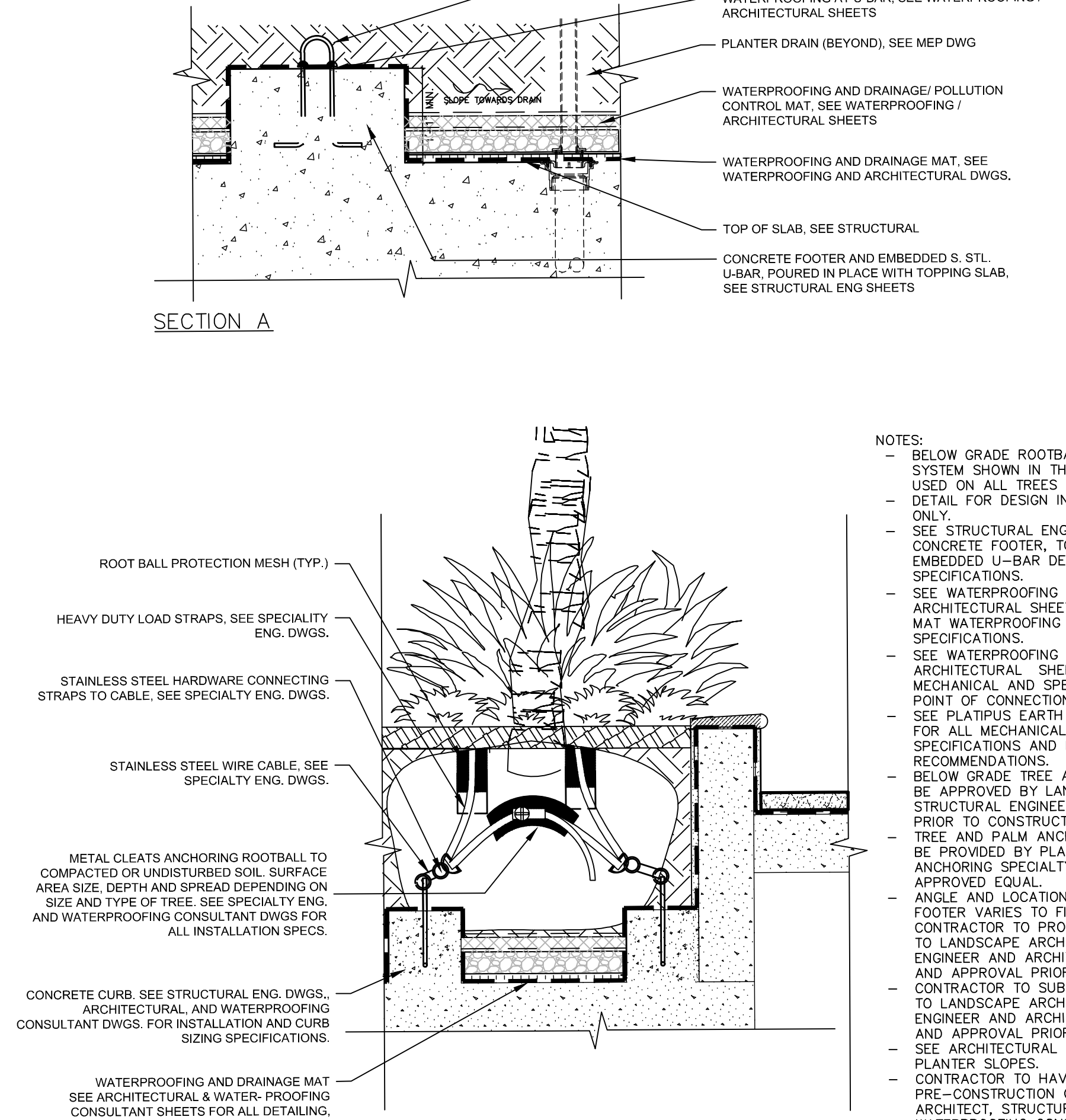
**B Palm Planting and Staking**

SECTION NTS



**E PALM ROOTBALL FIXING SYSTEM**

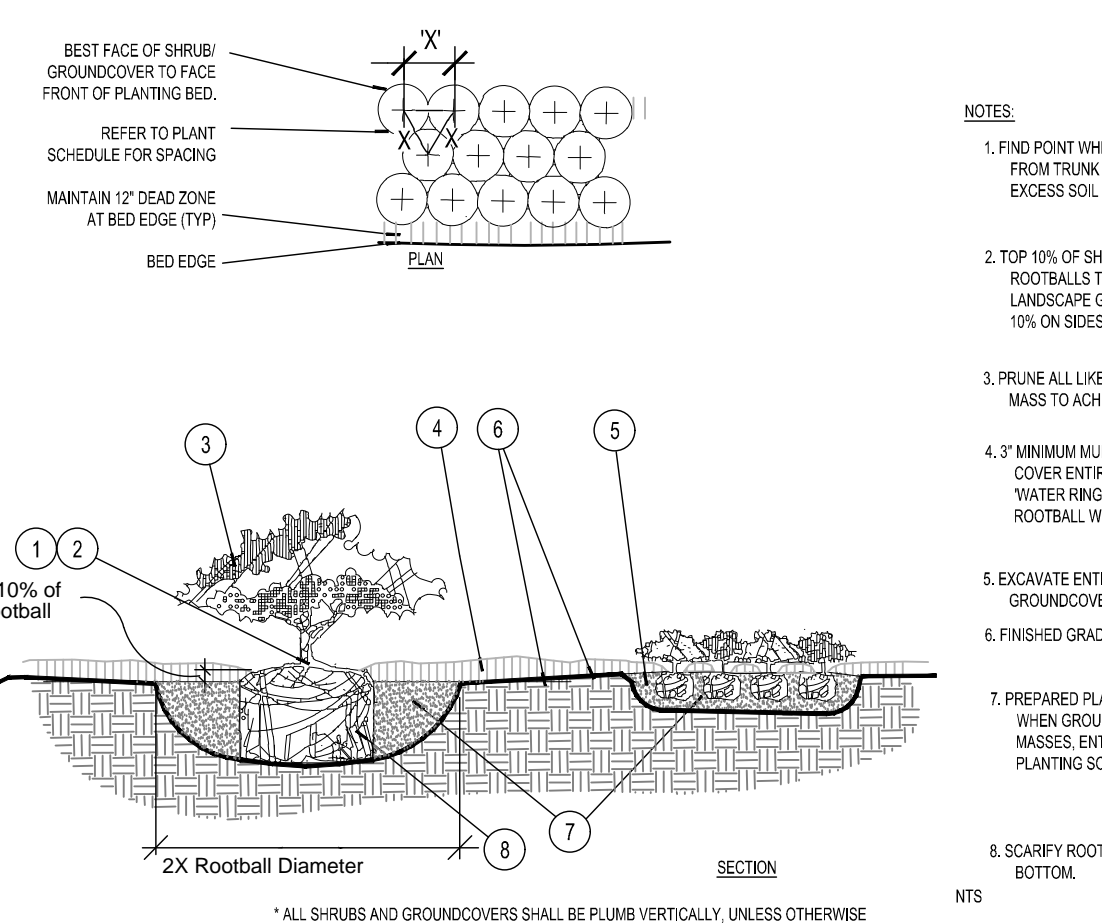
PLAN SECTION NTS



**SECTION B - CURB ANCHORING**

**F BELOW GRADE ROOTBALL ANCHORING DETAIL**

PLAN SECTION NTS



**C Shrub / Groundcover Planting**

PLAN SECTION NTS

**SHEET NOTES**

**GENERAL NOTES**

**1920 ALTON ROAD PREPARED FOR ALTON OFFICE HOLDINGS II, LLC.**  
CITY OF MIAMI BEACH FLORIDA

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
45 Fremont Street, Suite 1500 Fax 415.836.4599  
San Francisco, CA 94105 United States  
SATELLITE OFFICE Tel 305.350.7070  
545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
Miami, FL 33127 United States

BILZIN SUMBERG Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

KIMLEY HORN Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMSETTI Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

CES ENGINEERING MEPPF  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

Date	Description
1 02/07/2023	DRB REVISION
2 04/04/2023	DRB REVISION

Seal / Signature

Project Name

1920 Alton Road

Project Number

143589001

Description

**LANDSCAPE DETAILS**

Scale

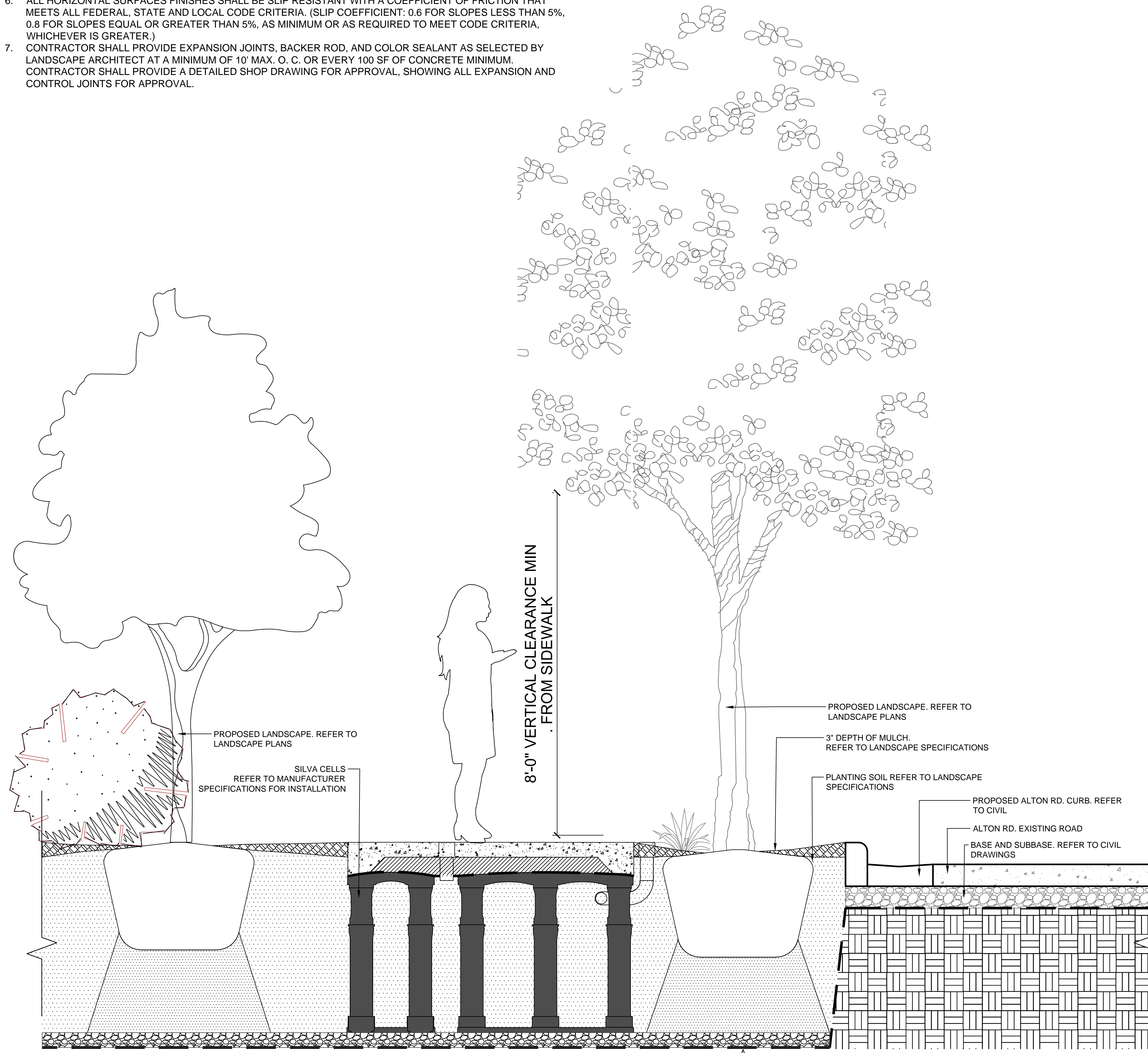
As indicated

L-350

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL.

GENERAL NOTES:

1. CONTRACTOR SHALL SUBMIT DETAILED ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
2. A 10' X10' MOCKUP SHALL BE PROVIDED BY THE CONTRACTOR, TO BE APPROVED BY LANDSCAPE ARCHITECT, SHOWING SMOOTH SPONGE, SANDBLAST/TOP CAST FINISHES, EXPANSION AND CONTROL JOINTS.
3. PRECAUTIONS SHALL BE TAKEN IN HOT WEATHER TO PREVENT PLASTIC CRACKING RESULTING FROM EXCESSIVELY RAPID DRYING AT SURFACES DESCRIBED IN CIP 5 "PLASTIC SHRINKAGE CRACKING" PUBLISHED BY THE NATIONAL READY MIXED CONCRETE ASSOCIATION.
4. CONTRACTOR SHALL PROVIDE MOCK-UP FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. MOCK-UP SHALL BE ITERATIVE AND RE-WORKED UP TO (2) TWO TIMES BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER UNTIL APPROVED BY LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES, PRODUCT DATA, AND COLOR CHARTS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
6. ALL HORIZONTAL SURFACES FINISHES SHALL BE SLIP RESISTANT WITH A COEFFICIENT OF FRICTION THAT MEETS ALL FEDERAL, STATE AND LOCAL CODE CRITERIA. (SLIP COEFFICIENT: 0.6 FOR SLOPES LESS THAN 5%, 0.8 FOR SLOPES EQUAL OR GREATER THAN 5%, AS MINIMUM OR AS REQUIRED TO MEET CODE CRITERIA, WHICHEVER IS GREATER.)
7. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS, BACKER ROD, AND COLOR SEALANT AS SELECTED BY LANDSCAPE ARCHITECT AT A MINIMUM OF 10' MAX. O. C. OR EVERY 100 SF OF CONCRETE MINIMUM. CONTRACTOR SHALL PROVIDE A DETAILED SHOP DRAWING FOR APPROVAL, SHOWING ALL EXPANSION AND CONTROL JOINTS FOR APPROVAL.



1 GROUND LEVEL- PLANTER PROFILES  
3/4" = 1'-0"

SHEET NOTES

1920 Alton Rd. Miami Beach, FL 33139

**Gensler**

MAIN OFFICE Tel 415.433.3700  
45 Fremont Street, Suite 1500 Fax 415.836.4599  
San Francisco, CA 94105  
United States

SATELLITE OFFICE Tel 305.350.7070  
545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
Miami, FL 33127  
United States

BILZIN SUMBERG  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

KIMLEY HORN  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMASETTI  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

CES ENGINEERING  
MEPFP  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

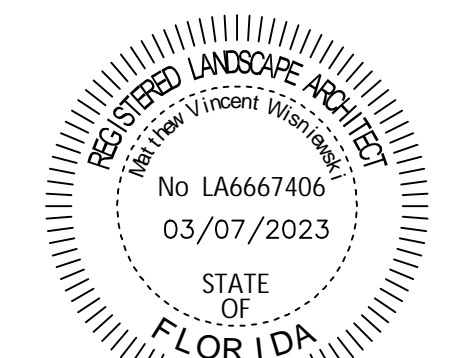
GENERAL NOTES

1920 ALTON ROAD  
PREPARED FOR  
ALTON OFFICE  
HOLDINGS II, LLC.

CITY OF MIAMI BEACH  
FLORIDA

Date	Description
02/07/2023	DRB REVISION
04/04/2023	DRB REVISION

Seal / Signature



Project Name

1920 Alton Road

Project Number

143589001

Description

**LANDSCAPE  
DETAILS**

Scale

As indicated

L-351



Plotted By: Iquintero, Andy Sheet Set: 1920 ALTON ROAD LoyaltL-352 LANDSCAPE SPECS March 07, 2023 07:56:50am \\kimley-horn.com\Ft-101\1-143 Jobs\143589001.mt 1920\_alton\_road\landscape\CADD\PlanSheets\L-351 LANDSCAPE SPECIFICATIONS.dwg

## GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK**
1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
  2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURIED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER INCH ON AN ESCALATING SCALE AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- D. MATERIALS**
1. GENERAL
- MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.
- | MATERIAL    | SUBMITTAL   |
|-------------|---|
| MULCH       | PRODUCT DATA  |
| TOPSOIL MIX | AMENDMENT MIX PRODUCT DATA/ TEST RESULTS  |
| PLANTS      | PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC. CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS. |
| FERTILIZER  | PRODUCT DATA  |
| INOCULANT   | PRODUCT DATA  |
| HERBICIDE   | PRODUCT DATA  |
2. PLANT MATERIALS
- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)**
1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 70% COARSE SAND AND 30% FLORIDA PEAT, AS DESCRIBED BELOW.
  2. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL HAVE A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
  3. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TEST FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
  4. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
  5. CONTRACTOR SHALL PROVIDE PH TEST RESULT FOR ALL MIX COMPONENTS.
  6. CONTRACTOR SHALL PROVIDE PENETROMETER ON-SITE AT ALL TIMES FOR COMPACTION INSPECTION AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
  7. PENETROMETER CRITERIA / SPECIFICATION SHALL RANGE FROM APPROX. 75 PSI TO LESS THAN 300 PSI OR AS DETERMINE BY LANDSCAPE ARCHITECT.
  8. SOIL SHALL BE SUPPLIED BY ATLAS PEAT & SOIL INC. 9621 STATE RD, BOYNTON BEACH, FLORIDA 33472. PHONE: 561-734-7300.
  9. FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE THAN 110 POUNDER PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARDS PROCTOR.
- F. WATER**

## G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS MULCH

## I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTFRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

## J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

## K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

## L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

## M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

## N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

## O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "SETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMING).

11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6" REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E, THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

## P. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

## 6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRAIDING IF NECESSARY).

B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

## Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

## R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

## S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

## T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

## U. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.

2. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

## SHEET NOTES

1920 Alton Rd. Miami Beach, FL 33139

# Genster

MAIN OFFICE Tel 415.433.7700  
45 Fremont Street, Suite 1500 Fax 415.836.4599  
San Francisco, CA 94105  
United States

SATELLITE OFFICE Tel 305.350.7070  
545 N.W. 26th Street, Suite 250 Fax 305.350.7071  
Miami, FL 33127  
United States

BILZIN SUMBERG  
Land Use  
1450 Brickell Avenue, 23rd Floor  
Miami, FL 33131  
Tel 305.350.2355

KIMLEY HORN  
Civil, Landscape, Traffic  
8201 Peters Road, Suite 2200  
Plantation, FL 33324  
Tel 954.535.5144

THORNTON THOMASETTI  
Structure  
80 SW 8th Street, Suite 2160  
Miami, FL 33130  
Tel 954.990.0556

CES ENGINEERING  
MEPPP  
2937 W. Cypress Creek Rd, Suite 102  
Fort Lauderdale, FL 33309  
Tel 954.990.0556

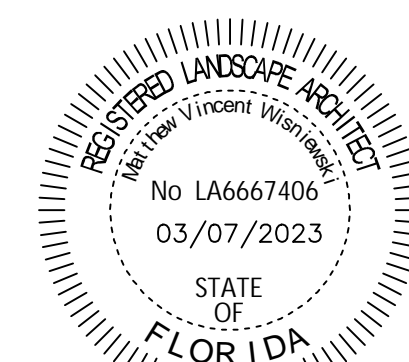
## GENERAL NOTES

# 1920 ALTON ROAD PREPARED FOR ALTON OFFICE HOLDINGS II, LLC.

CITY OF MIAMI BEACH  
FLORIDA

Date	Description
1 02/07/2023	DRB REVISION
2 04/04/2023	DRB REVISION

Seal / Signature



Project Name

1920 Alton Road

Project Number

143589001

Description

# LANDSCAPE SPECIFICATIONS

Scale

As indicated

L-352

©2022 Genster

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON DATE ADJACENT TO SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MATTHEW VINCENT WISNIEWSKI LA6667406 ON THE DATE ADJACENT TO THE SEAL. COPIES.