

LE JARDIN BOUCHERIE - 81 WASHINGTON 230 1ST STREET

FINAL SUBMITTAL:

MARCH 27, 2023

FILE NO.:

PB23-0577

SCOPE OF WORK:

RENOVATION AND REHABILITATION
OF AN EXISTING HISTORIC
BUILDING. NEW PROPOSED
LANDSCAPE DESIGN.

LE JARDIN BOUCHERIE / OMAKASE

230 1ST STREET
MIAMI BEACH 33139

BEILINSON
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. S. 309-310

M I A M I F L 3 1 3 8 - 4 6 6 2

T 305.559.1250 F 305.551.1746

JOSE L. GOMEZ

A R 0 1 5 4 1 6

DWG. TITLE	COVER
SCALE	N.T.S.
PROJECT NO.	2022-18
DATE	03-06-23
SHEET NUMBER	A-000

A-000

△ DATE | REVISION

CONSULTANT

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ABBREVIATIONS

MATERIAL LEGEND

PROJECT TEAM

GENERAL NOTES

Table with multiple columns listing abbreviations for various construction materials and components, such as ACOUSTICAL, AREA DRAIN, ADJUSTABLE, etc.

Table with multiple columns listing abbreviations for various construction materials and components, such as GAUGE GALVANIZED, GRAB BAR, GENERAL CONTRACTOR, etc.

Table with multiple columns listing abbreviations for various construction materials and components, such as RISER RADIUS, ROOF DRAIN, REFERENCE, etc.

Table with multiple columns listing abbreviations for various construction materials and components, such as INSULATION BLANKET, CONCRETE PRE CAST, GRAVEL OR CRUSHED STONE, etc.

OWNER: 81 WASHINGTON LLC 108 SEVENTH AVE S 2FL NEW YORK, NY 10014
DESIGN/PROJECT ARCHITECT: BEILINSON GOMEZ ARCHITECTS P.A. JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664

1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT

Table with multiple columns listing abbreviations for various construction materials and components, such as CABINET, CARPET, CATCH BASIN, CEMENT, CERAMIC, etc.

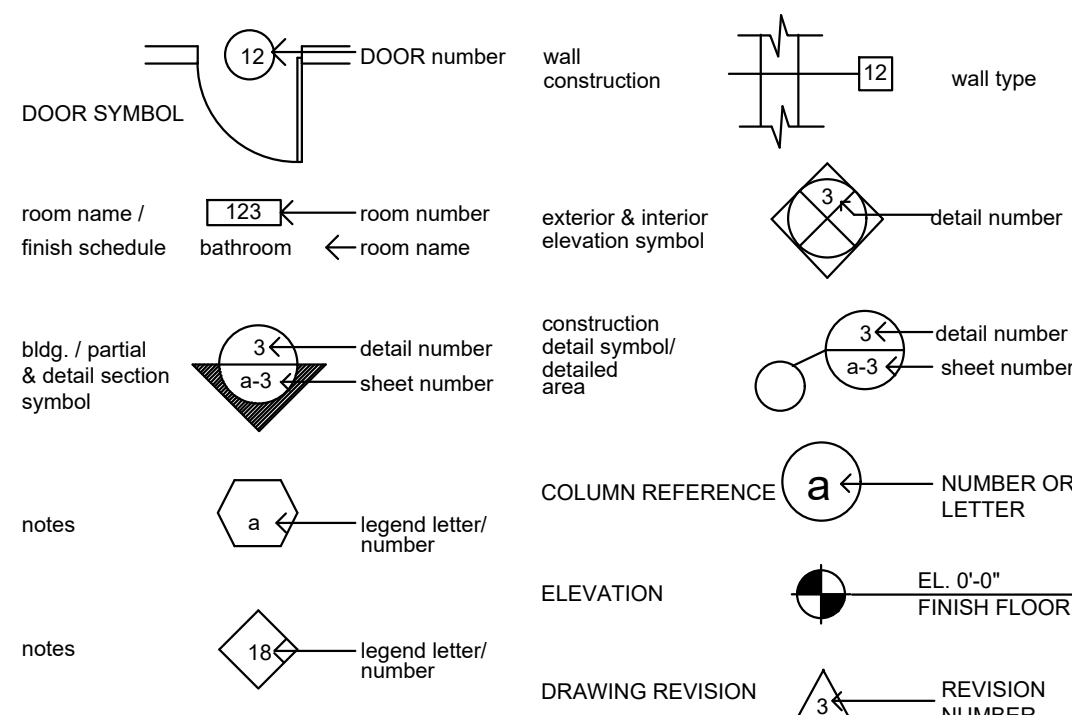
Table with multiple columns listing abbreviations for various construction materials and components, such as H.O.S.E. BIB, HOLLOW CORE, HARD WOOD, HARDWARE, etc.

Table with multiple columns listing abbreviations for various construction materials and components, such as ISOLATION RIGID, INSULATION, MARBLE, STEEL SMALL SCALE, etc.

Table with multiple columns listing abbreviations for various construction materials and components, such as WOOD BLOCKING CONTINUOUS, WOOD BLOCKING INTERMITTENT, BRICK LARGE SCALE, WOOD FINISHED, etc.

3. ALL MATERIALS SHALL CONFORM WITH ALL PREVAILING CODES. MANUFACTURERS SHALL PROVIDE DADE COUNTY APPROVAL CODES FOR ALL REQUIRED ASSEMBLIES.
4. CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS OTHERWISE NOTED.

SYMBOL LEGEND



APPLICABLE CODES

Table listing applicable codes: GOVERNING ZONING CODE: MIAMI BEACH, FLORIDA CODE OF ORDINANCE; BUILDING CODE: FLORIDA BUILDING CODE 2020, 7TH EDITION.

DRAWING INDEX

Table listing drawing index items: A-000 COVER PROJECT INFORMATION & INDEX; A-001 CONSTRUCTION SURVEY; A-002 CONTEXT PHOTOGRAPHS.

PROJECT INFORMATION

SCOPE OF WORK: RENOVATION AND REHABILITATION OF AN EXISTING HISTORIC BUILDING. NEW PROPOSED LANDSCAPE DESIGN.
LEGAL DESCRIPTION: LOTS 20 AND 21, BLOCK 10, OF OCEAN BEACH FLOOR, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, AT PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SEATING CAPACITY PROPOSED

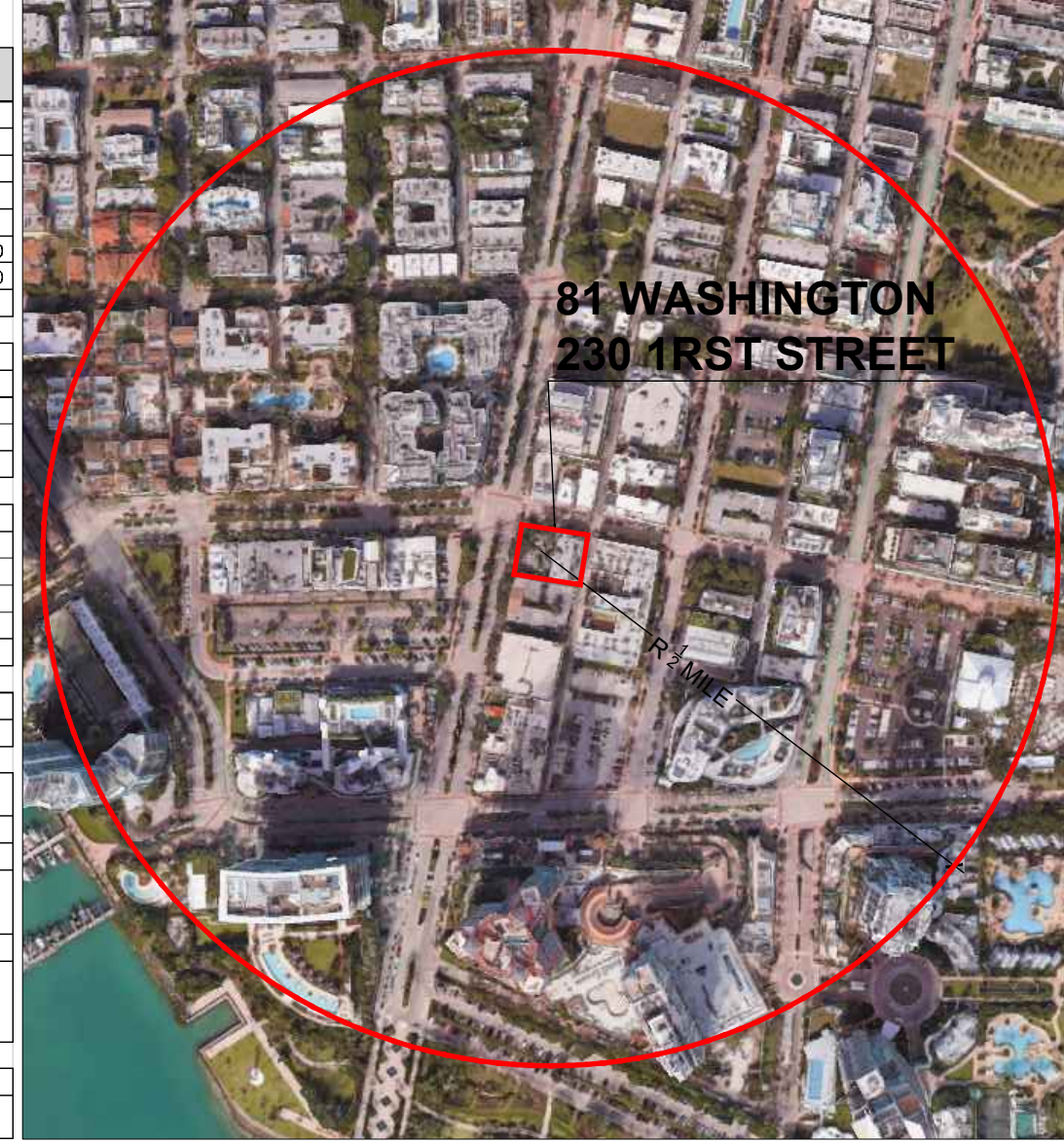
Table showing seating capacity: GROUND FLOOR PLAN (Interior: 100, Bar: 25, Exterior: 158, Total: 283); 2ND FLOOR PLAN (161, 6, 0, 167); 3RD FLOOR PLAN (N/A, N/A, N/A, N/A); TOTAL SEATING: 261, 31, 158, 450.

TOTAL OCCUPANCY LOAD

Table showing occupancy load: GROUND FLOOR PLAN (113); 2ND FLOOR PLAN (210); 3RD FLOOR PLAN (N/A); TOTAL LOAD OCCUPANCY: 623.

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Table with columns for Item #, Zoning Information, Required, Existing, Proposed, and Deficiencies. Includes zoning details and setbacks.



LOCATION MAP SCALE: N.T.S.

LE JARDIN BOUCHERIE / OMAKASE
230 1ST STREET
MIAMI BEACH 33139

BEILINSON GOMEZ ARCHITECTS P.A.
108 SEVENTH AVE S 2FL NEW YORK, NY 10014

FINAL SUBMITTAL:

MARCH 27, 2023

Table for drawing title and project information, including DWG TITLE, PROJECT INFORMATION & INDEX, SCALE, PROJECT NO., DATE, SHEET NUMBER, and revision dates.

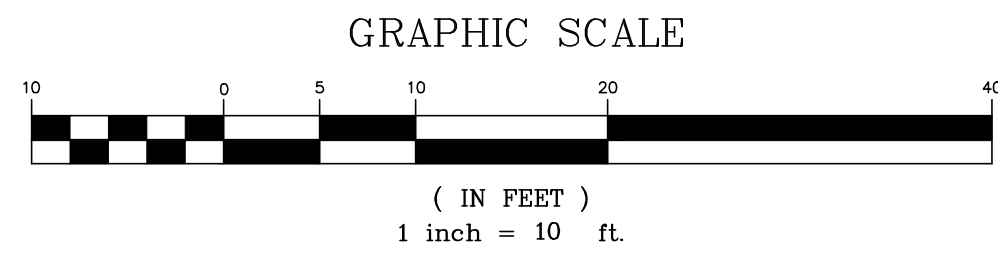
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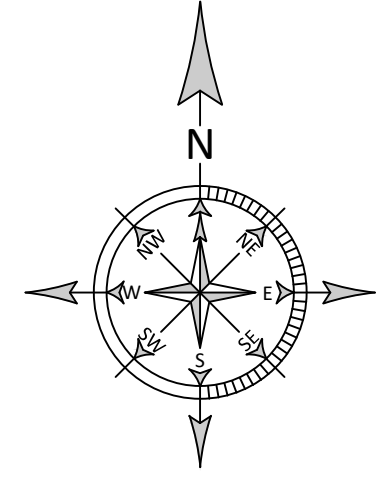
ARCHITECTS P.A. BEILINSON GOMEZ ARCHITECTS P.A. JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664

A-001

LOCATION MAP
N.T.S



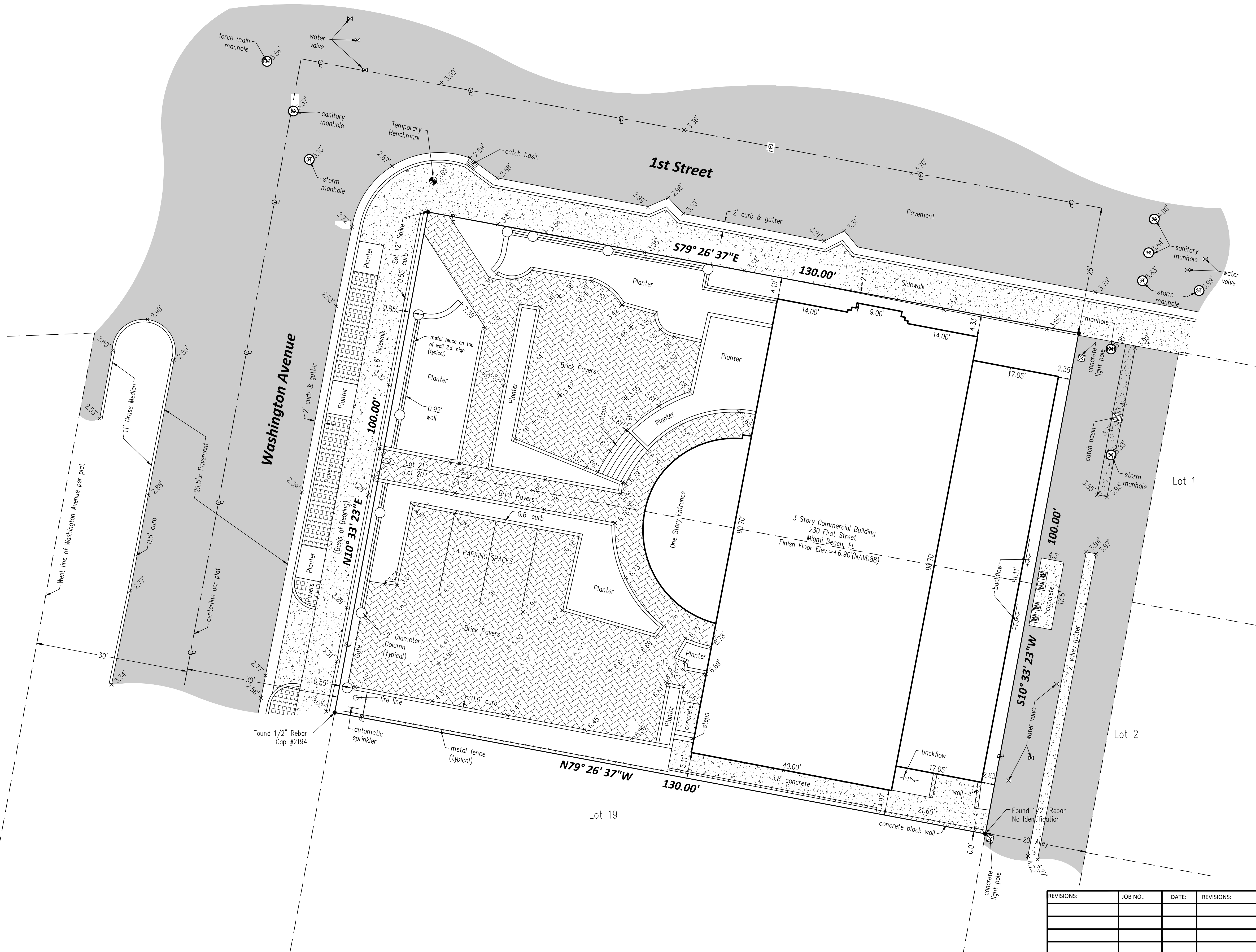
BOUNDARY SURVEY



LEGAL DESCRIPTION:
Lots 20 and 21, BLOCK 10, of OCEAN BEACH FLORIDA, according to the Plat thereof as recorded in Plat Book 2, at Page 38, of the Public Records of Miami-Dade County, Florida.

OWNER:
81 WASHINGTON LLC

- SURVEYOR'S NOTES:**
- There may be additional restrictions that are not shown on this survey that may be found in the public records of this county.
 - Examination of abstract of title will have to be made to determine recorded instruments, if any, affecting property.
 - This certification is only for the lands as described, it is not a certification of title, zoning, easements, or freedom of encumbrances. Abstract not reviewed.
 - Location and identification of utilities, if any, are shown in accordance with recorded plat.
 - Ownership is subject to opinion of title.
 - Type of Survey: BOUNDARY SURVEY
 - The herein captioned property was surveyed and described based on the shown legal description: provided by client.
 - Survey map and report or the copies thereof are not valid and for reference only, unless signed and sealed with the original raised seal of a Florida licensed surveyor and mapper.
 - This plan of survey has been prepared for the exclusive use of the entities named hereon. The certificate does not extend to any unnamed parties.
 - Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
 - The surveyor of record does not determine ownership of fences, measurements shown hereon depict physical location of fence.
 - Accuracy: The expected use of land as classified in the Minimum Technical Standards (5J-17 FAC), is "commercial". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - No attempt has been made to locate any foundation beneath the surface of the ground.
 - Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
 - Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
 - Bearings shown are assumed and are based on the Easterly right-of-way line of **Washington Avenue**, being **N 10°33'23" E**.



LEGEND

WATER METER
CATCH BASIN
FIRE HYDRANT
CLEAN OUT
SANITARY MANHOLE
STORM MANHOLE
FORCE MAIN MANHOLE
MANHOLE
INLET
WATER VALVE
GAS VALVE
UTILITY POLE
CONCRETE UTILITY POLE
TRAFFIC BOX
TREE
P.B. PLAT BOOK
PG. PAGE
SQ.FT. SQUARE FEET
± MORE OR LESS
ELEV. ELEVATION
INV. INVERT
C CENTERLINE
M CITY OF MIAMI MONUMENT LINE
P PROPERTY LINE
ENCR. ENCROACHMENT
(M) MEASURED
(P) PLAT
(A) ATLAS SHEET
OVERHEAD POWER LINES
WATER MAIN
SEWER MAIN
TELEPHONE LINE
GAS LINE
CHAIN LINK FENCE
BACKFLOW PREVENTER
HANDICAP PARKING
ELECTRIC BOX
COLUMN
TBM TEMPORARY BENCH MARK
S STREET LIGHT POLE
B.O.B. BASIS OF BEARING

ELEVATION NOTE: (IF REQUESTED AND SHOWN)
1. +1000' indicates existing Elevations
2. Elevations are referred to the North American Vertical Datum of 1988

BENCHMARK INFORMATION:
NAME: D-145
DESCRIPTION: PK NAIL AND BRASS WASHER IN CONC CURB OF HANDICAPP RAMP AT THE CORNER
LOCATION: OCEAN DR. 58' EAST OF C/L, S POINTE DR. 37' NORTH OF C/L
ELEVATION: +6.60' (NGVD29) OR +5.05' (NAVD88)

THIS ITEM HAS BEEN ELECTRONICALLY EMBOSSED SEAL PRESENT THAT THE SURVEYOR'S ORIGINAL SIGNATURE AND BASED ON THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE NOT BEEN ADVISED OF ANY CHANGES TO THIS DOCUMENT. THIS DOCUMENT IS NOT BEING REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WALDO F. PAEZ, L.S. 3284, ON MAY 18, 2022.

DELTA MAPPING & SURVEYING, INC.
LAND SURVEYORS - LAND PLANNERS
12085 C0319 L AE
Miami, Florida 33198
L.S. No. 7560
PHONE: (786) 423-1224 FAX: (786) 593-1152
DATE: FOR THE FIRM: WALDO F. PAEZ, L.S. 3284
STATE OF FLORIDA

ADDRESS: 230 1 STREET, MIAMI BEACH, FL 33139
FOLD NO.: 02-4203-003-1410

SCALE: 1" = 10'
DRAWN BY: M.G.
CHECKED BY: Waldo F. Paez

FLOOD ZONE INFORMATION:
COMMUNITY NAME & NUMBER: 120651
CITY OF MIAMI BEACH
MAP/PANEL NUMBER: 12085C0319 L
FIRM PANEL: AE
EFFECTIVE/ISSUED DATE: 05/18/2022
BASE FLOOD ELEVATION (DENSED TO 1/4 INCHES):

REVISIONS: JOB NO.: DATE: REVISIONS: JOB NO.: DATE:

1
OF 1 SHEET(S)
SURVEY DATE: 05-09-2022
JOB NO.:
22-0138



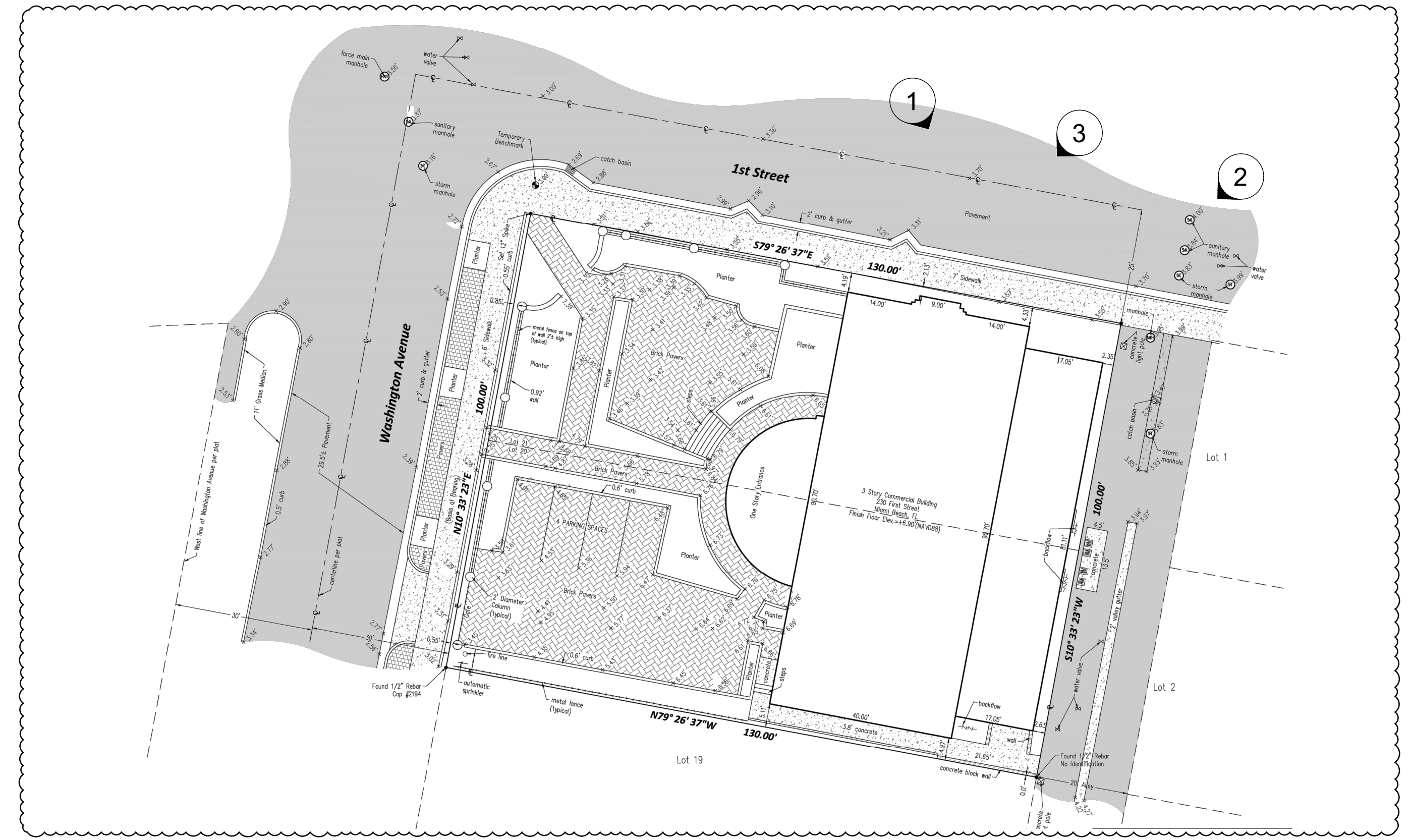
1



2



3



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⊕

LE JARDIN BOUCHERIE / OMAKASE
 230 1ST STREET
 MIAMI BEACH 33139



BEILINSON GOMEZ ARCHITECTS P.A.
 8101 BISCAYNE BLVD. # 309-310
 MIAMI, FL 33148
 T 305.559.1250 F 305.551.1746

DWG. TITLE	CONTEXT PHOTOGRAPHS
SCALE	N.T.S.
PROJECT NO.	2022-18
DATE	03-06-23
SHEET NUMBER	A-002
1 03-27-23	RESPONSE TO COMMENTS
△ DATE	REVISION

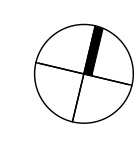
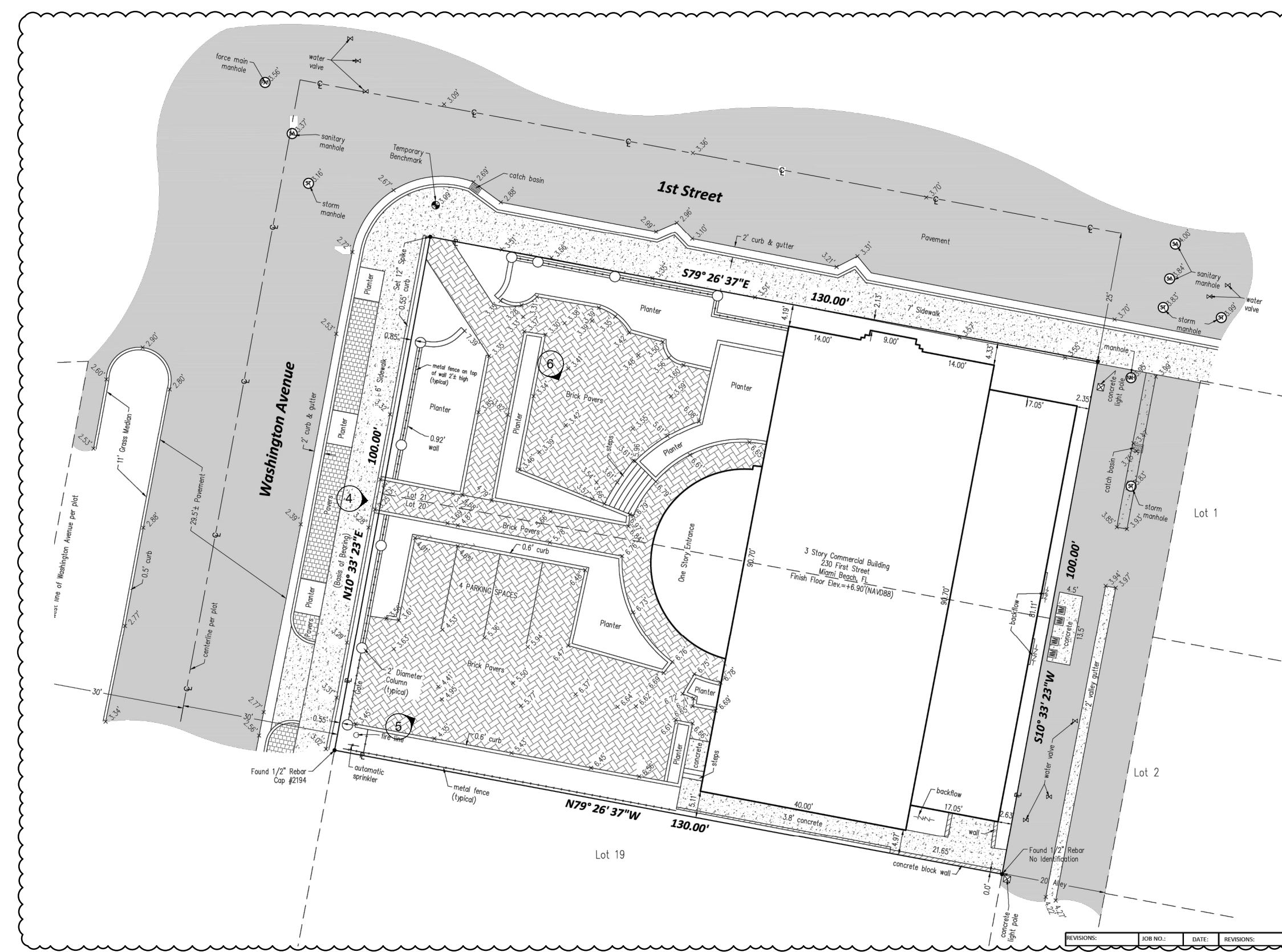
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4



5



6

LE JARDIN BOUCHERIE / OMAKASE
 230 1ST STREET
 MIAMI BEACH 33139

BELLINSON
 GOMEZ

ARCHITECTS
 AAC001062

ROSE + GOMEZ

DWG. TITLE	PROJECT SITE & EXISTING STRUCTURE
SCALE	N.T.S.
PROJECT NO.	2022-18
DATE	03-06-23
SHEET NUMBER	A-003
1 03-27-23	RESPONSE TO COMMENTS
△ DATE	REVISION

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1



2



3



4

LE JARDIN BOUCHERIE / OMAKASE
 230 1ST STREET
 MIAMI BEACH 33139

BEILLINSON
 GOMEZ,

ARCHITECTS
 P.A.

8101 BISCAYNE BLVD. # 309-310 MIAMI, FL 33138-4604
 T 305.559.1250 F 305.551.1746

ROSE J. GOMEZ

DWG. TITLE	INTERIOR SPACE
SCALE	N.T.S.
PROJECT NO.	2022-18
DATE	03-06-23
SHEET NUMBER	A-004

DATE	REVISION

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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	230 1st STREET		
2	Board and file numbers:			
3	Folio number(s):	02-4203-003-1410		
4	Year constructed:	1938	Zoning District:	C-PS1
5	Base Flood Elevation:	8.00'	Grade value in NGVD:	4.81'
6	Adjusted grade (Flood+Grade/2):	6.41'	Lot Area (SF):	13,000.00
7	Lot width (FT):	100.00	Lot Depth (FT):	130.00
8	Existing use:	Restaurant	Proposed use:	Restaurant

	Maximum	Existing	Proposed	Deficiencies
9	Height:	40'-0"	43'-5"	43'-5"
10	Number of Stories:		3.00	3.00
11	FAR:	1.00	1.13	1.13
12	Gross square footage:	13,000.00	14,652.00	14,652.00

Setbacks		Required	Existing	Proposed	Deficiencies
Pedestal:					
13	Front Setback:	0'-0"	52'-6"	52'-6"	
14	Side Setback:	0'-0"	5'-0"	5'-0"	
15	Side Setback facing street:	0'-0"	2'-1"	2'-1"	
16	Rear Setback:	5'-0"	2'-4"	2'-4"	

Parking		Required	Existing	Proposed	Deficiencies
17	Total # of parking spaces:	N/A Historic Distric	5	0	

Restaurants, Cafes, Bars, Lounges, Nightclubs		Required	Existing	Proposed	Deficiencies
18	Type of use:		Restaurant	Restaurant	
19	Total # of seats:		246	450	
20	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			See Seating Capacity Table	
21	Total occupant load:			623	
22	Occupant load per venue (Provide a separate chart for a breakdown calculation)			See Total Occupancy Load Table	

23	Is this a contributing building?	Yes
24	Located within a Local Historic District?	Ocean Beach Historic Distric

LE JARDIN BOUCHERIE / OMAKASE

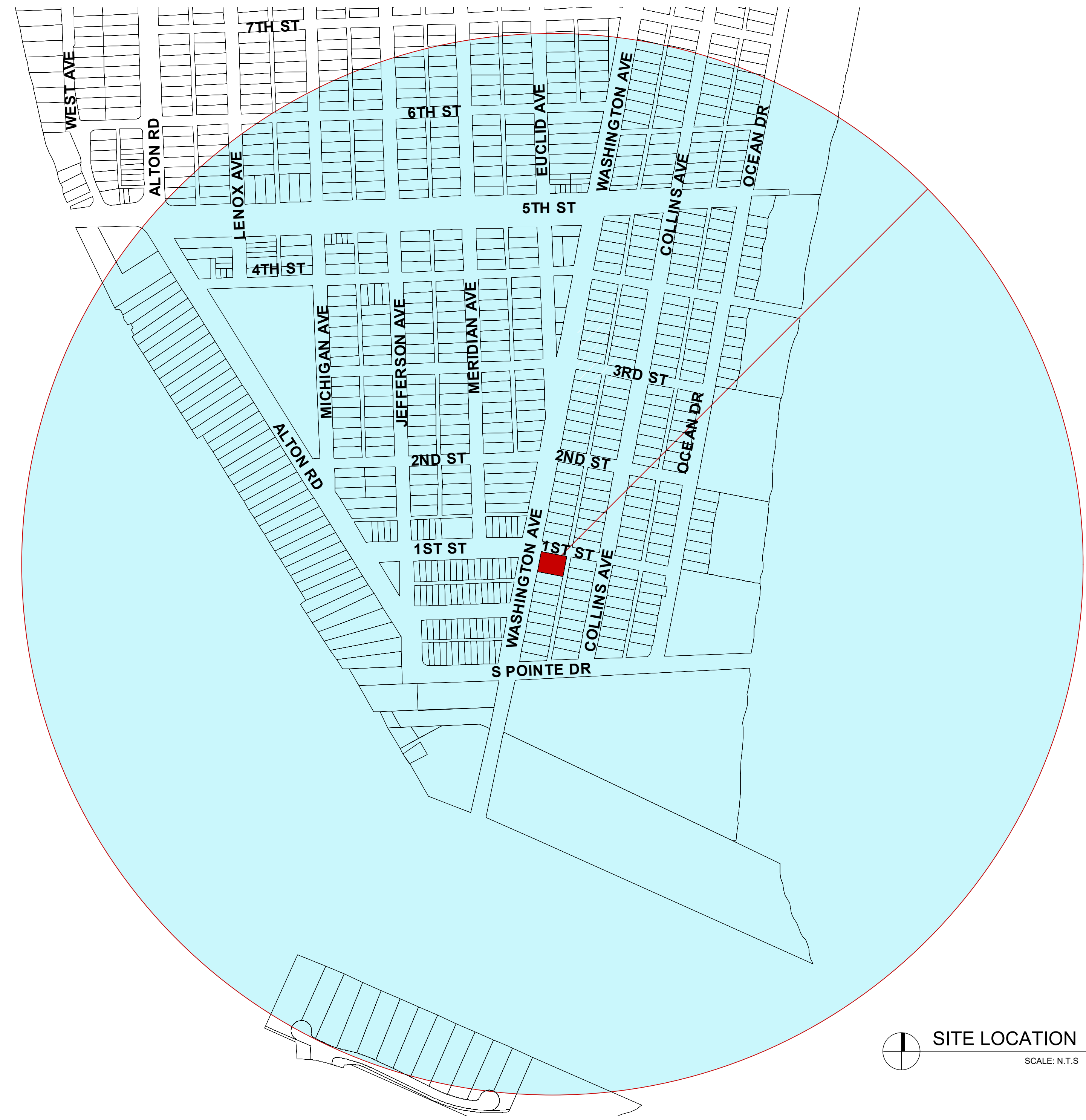
230 1ST STREET
MIAMI BEACH 33139

SEATING CAPACITY PROPOSED

	INTERIOR	BAR	EXTERIOR	TOTAL
GROUND FLOOR PLAN	100	25	158	283
2ND FLOOR PLAN	161	6	0	167
3RD FLOOR PLAN	N/A	N/A	N/A	N/A
TOTAL SEATING:	261	31	158	450

TOTAL OCCUPANCY LOAD

	TOTAL
GROUND FLOOR PLAN	413
2ND FLOOR PLAN	210
3RD FLOOR PLAN	N/A
TOTAL LOAD OCCUPANCY:	623



SITE LOCATION
SCALE: N.T.S.

BEILINSON
GOMEZ

ARCHITECTS

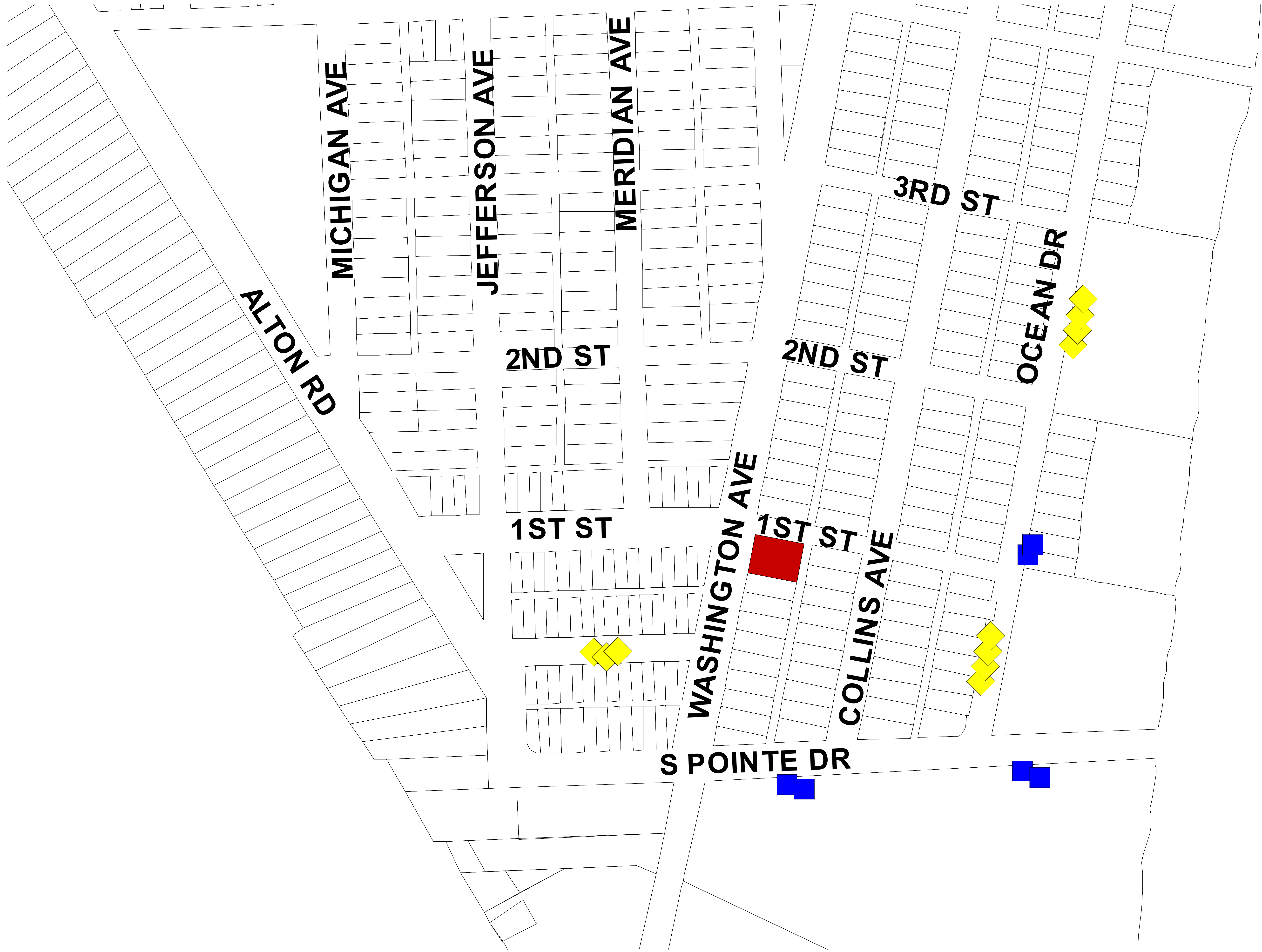
8101 BISCAYNE BLVD. # 309-310
MIAMI, FL 33141
TEL: 305.559.1250 FAX: 305.551.1742

DWG. TITLE
ENLARGED ZONING DATA
SCALE
PROJECT NO.
DATE
SHEET NUMBER

2022-18
03-27-23
A-005

1 03-27-23 RESPONSE TO COMMENTS
DATE REVISION

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- LEGENDS:**
- PROPERTY
 - ◆ FREIGHT LOADING ZONE
 - COMMERCIAL LOADING ZONE

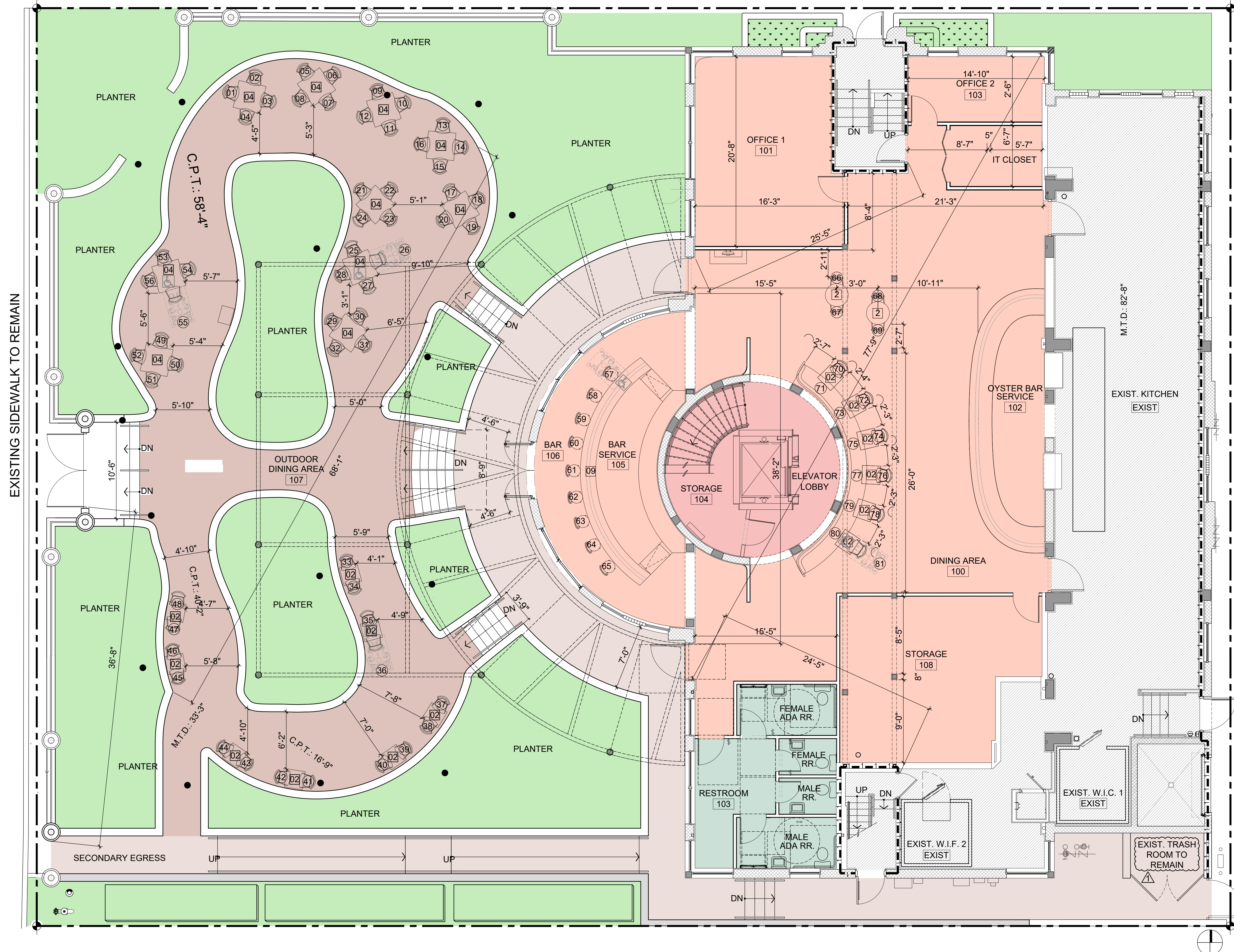
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 230 1ST STREET
 MIAMI BEACH 33139

**BEILINSON
 GOMEZ
 ARCHITECTS P.A.**
 8101 BISCAYNE BLVD. S. 309-310
 MIAMI, FL 33148
 T 305.559.1250 F 305.551.1740

DWG. TITLE		COMMERCIAL & FREIGHT LOADING ZONE PLAN
SCALE		3/4" = 1'-0"
PROJECT NO.		2022-18
DATE		03-27-23
SHEET NUMBER		A-006
1	03-27-23	RESPONSE TO COMMENTS
△	DATE	REVISION

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CONSULTANT



EXISTING SIDEWALK TO REMAIN

CANOPY AREA

CANOPY AREA = 1648.38 SQ. FT.

SEATING CALCULATION

LABEL	ROOM NAME	NUMBER OF SEATS
100	DINING AREA	16
101	BAR	0
106	BAR	9
107	OUTDOOR DINING AREA	56
TOTAL # OF SEATS		81

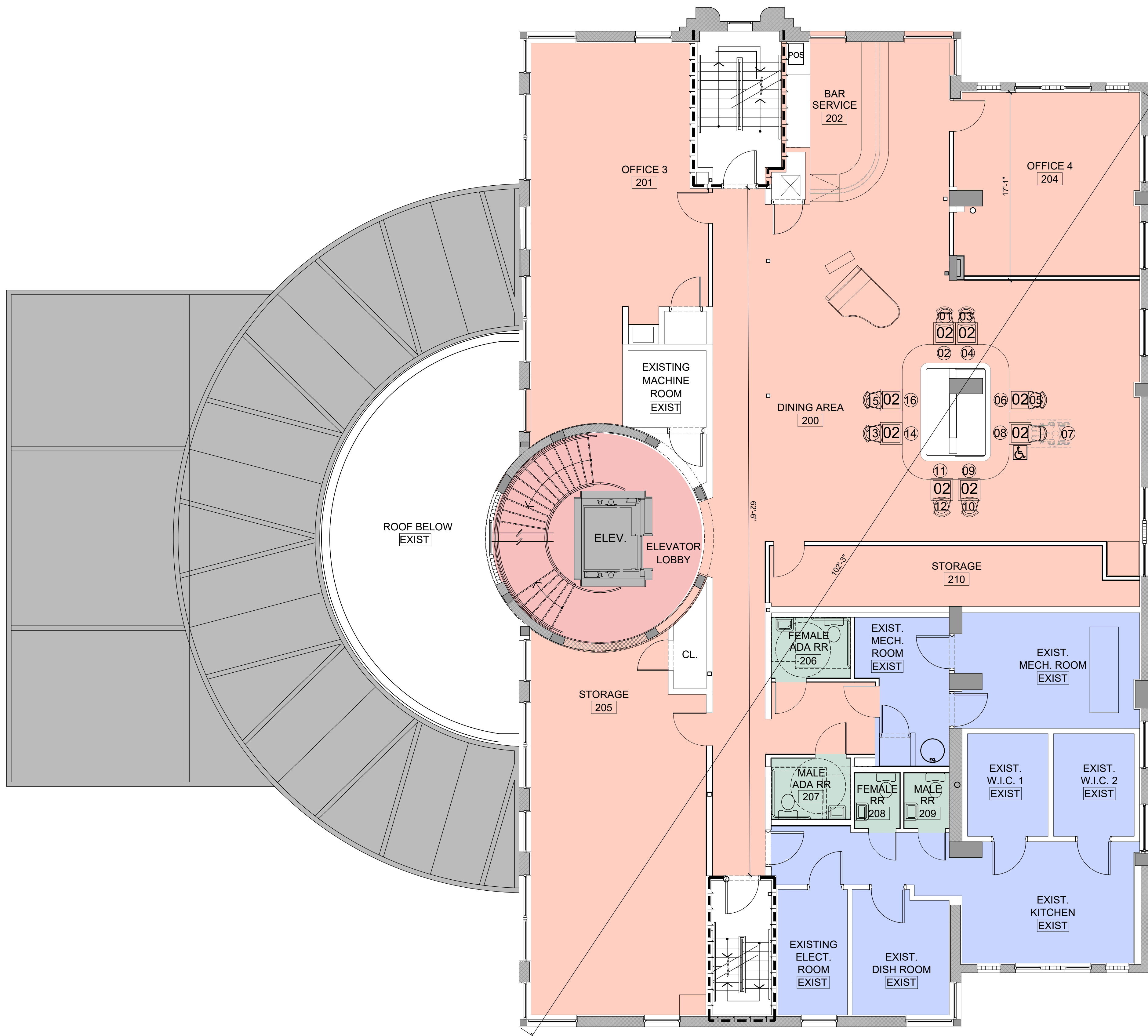
LE JARDIN BOUCHERIE / OMAKASE
 230 1ST STREET
 MIAMI BEACH 33139

**BEILINSON
 GOMEZ
 ARCHITECTS P.A.**

FOR REFERENCE ONLY.

DWG. TITLE	EXISTING GROUND FLOOR PLAN
SCALE	3/16" = 1'-0"
PROJECT NO.	2022-18
DATE	03-06-23
SHEET NUMBER	EXIST-101
DATE	REVISION

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 8101 BISCAYNE BLVD. # 309-310 MIAMI, FL 33138-4664 T 305.559.1250 F 305.551.1746



SEATING CALCULATION

LABEL	ROOM NAME	NUMBER OF SEATS
200	DINING AREA	16
201	NORTH DINING AREA	0
203	BAR	0
204	LOUNGE	0
205	SOUTH DINING AREA	0
TOTAL # OF SEATS		16

CANOPY AREA

CANOPY AREA BELOW = 1648.38 SQ. FT.

NOTE: ASSEMBLY (A2)
 BASED ON NFPA 101 2020 F.F.P.C. TBL. 7.3.1.2 AND 2020F.B.C. TABLE 1004.1.2
 HIGHEST OCCUPANCY FACTOR WAS USED TO DETERMINED HIGHEST OCCUPANCY LOAD

LABEL	ROOM NAME	FUNCTION OF SPACE as per table 1004.1.1 F.B.C.	AREA / LENGTH	FBC 2020			F.F.P.C.N.F.P.A 101		
				FLOOR AREA IN S.F. PER OCCUP.	# OF OCCUP.	TOTAL # OF OCCUP.	FLOOR AREA IN S.F. PER OCCUP.	# OF OCCUP.	TOTAL # OF OCCUP.
100	DINING AREA	ASSEMBLY (UNCONCENTRATED)	910 SQ. FT.	15 NET	60.6	61	15 NET	60.6	61
101	OFFICE 1	BUSINESS	366 SQ. FT.	150 GROSS	2.44	3	150 GROSS	2.44	3
102	OYSTER BAR SERVICE	KITCHEN	191 SQ. FT.	200 GROSS	0.96	1	100 GROSS	1.91	2
103	OFFICE 2	BUSINESS	132 SQ. FT.	150 GROSS	0.88	1	150 GROSS	0.88	1
104	STORAGE	STORAGE	123 SQ. FT.	300 GROSS	0.41	1	500 GROSS	0.24	1
105	BAR SERVICE	KITCHEN	163 SQ. FT.	200 GROSS	0.82	1	100 GROSS	1.63	2
106	BAR	ASSEMBLY (CONCENTRATED)	29.16 FT. LX 4	LX 4	16.66	17	LX 4	16.66	17
107	OUTDOOR DINING	ASSEMBLY (UNCONCENTRATED)	1,585 SQ. FT.	15 NET	105.66	106	15 NET	105.66	106
108	STORAGE	STORAGE	366 SQ. FT.	300 GROSS	1.22	2	500 GROSS	0.73	1
EXIST	EXISTING KITCHEN	KITCHEN	1,453 SQ. FT.	200 GROSS	7.27	8	100 GROSS	14.53	15
EXIST	EXISTING W.I.C. 1	STORAGE	91 SQ. FT.	300 GROSS	0.30	1	500 GROSS	0.18	1
EXIST	EXISTING W.I.F. 2	STORAGE	66 SQ. FT.	300 GROSS	0.22	1	500 GROSS	0.13	1
TOTAL # OCCUPANTS 1ST FLOOR						203		211	

200	DINING AREA	ASSEMBLY (UNCONCENTRATED)	766 SQ. FT.	15 NET	51.06	52	15 NET	51.06	52
201	OFFICE 3	BUSINESS	531 SQ. FT.	150 GROSS	3.54	4	150 GROSS	3.54	4
202	BAR SERVICE	KITCHEN	114 SQ. FT.	200 GROSS	0.57	1	100 GROSS	1.14	2
204	OFFICE 4	BUSINESS	321 SQ. FT.	150 GROSS	2.14	3	150 GROSS	2.14	3
205	STORAGE	STORAGE	601 SQ. FT.	300 GROSS	2.00	2	500 GROSS	1.20	2
210	STORAGE	STORAGE	212 SQ. FT.	300 GROSS	0.70	1	500 GROSS	0.42	1
EXIST	EXIST. MECH. ROOM	STORAGE	332 SQ. FT.	300 GROSS	1.11	2	500 GROSS	0.66	1
EXIST	EXIST. W.I.C. 1	STORAGE	83 SQ. FT.	300 GROSS	0.27	1	500 GROSS	0.16	1
EXIST	EXIST. W.I.C. 2	STORAGE	88 SQ. FT.	300 GROSS	0.29	1	500 GROSS	0.17	1
EXIST	EXIST. KITCHEN	KITCHEN	318 SQ. FT.	200 GROSS	1.59	2	100 GROSS	3.18	4
EXIST	EXIST. ELECT. ROOM	STORAGE	87 SQ. FT.	300 GROSS	0.29	1	500 GROSS	0.17	1
EXIST	EXIST. DISH ROOM	KITCHEN	121 SQ. FT.	200 GROSS	0.61	1	100 GROSS	1.21	2
TOTAL # OCCUPANTS 2ND FLOOR						71		74	

TOTAL # OCCUPANTS 1ST & 2ND FLOOR						274		285	
TOTAL S.F. AT 1ST FLOOR = 7,363 S.F.									
TOTAL S.F. AT 2ND FLOOR = 3,919 S.F.									
TOTAL S.F. AT 1ST & 2ND FLOOR = 11,282 S.F.									

LE JARDIN BOUCHERIE / OMAKASE

230 1ST STREET
 MIAMI BEACH 33139

BEILINSON
 GOMEZ

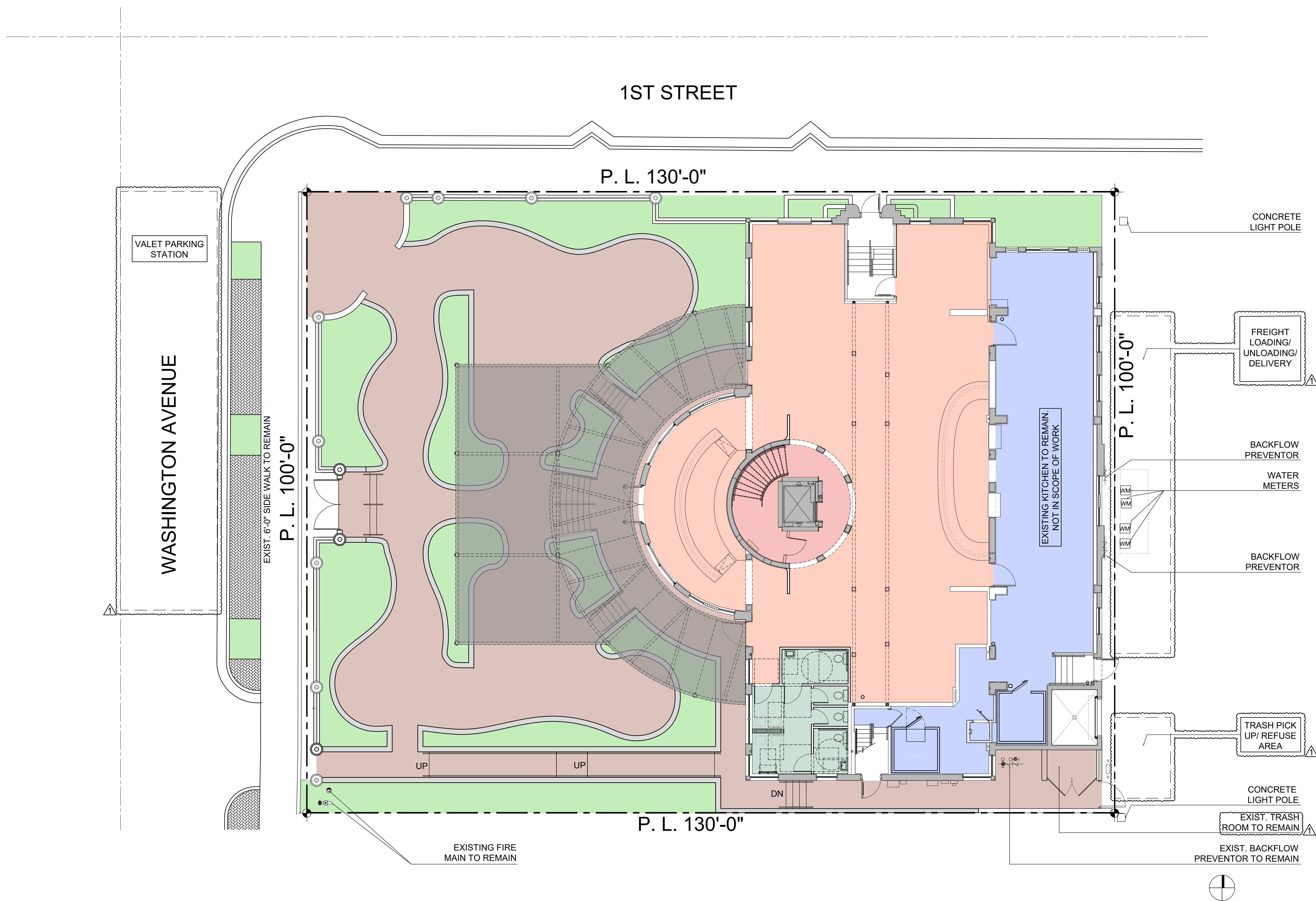
ARCHITECTS P.A.
 ARCHITECTURE
 A A C 0 0 1 0 6 2

FOR REFERENCE ONLY.

DATE	REVISION
03-27-2023	RESPONSE TO COMMENTS

DWG. TITLE
 EXISTING SECOND FLOOR PLAN
 SCALE
 3/16" = 1'-0"
 PROJECT NO.
 2022-18
 DATE
 03-06-23
 SHEET NUMBER
EXIST-102

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VALET PARKING STATION

WASHINGTON AVENUE

1ST STREET

P. L. 130'-0"

P. L. 100'-0"

P. L. 100'-0"

P. L. 130'-0"

CONCRETE LIGHT POLE

FREIGHT LOADING/ UNLOADING/ DELIVERY

BACKFLOW PREVENTOR

WATER METERS

BACKFLOW PREVENTOR

TRASH PICK UP/ REFUSE AREA

CONCRETE LIGHT POLE

EXIST. TRASH ROOM TO REMAIN

EXIST. BACKFLOW PREVENTOR TO REMAIN

EXISTING KITCHEN TO REMAIN NOT IN SCOPE OF WORK

EXISTING FIRE MAIN TO REMAIN

UP

UP

DN

LE JARDIN BOUCHERIE / OMAKASE

230 FIRST STREET
MIAMI BEACH, FL 33139

BEILINSON
GOMEZ

ARCHITECTS
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8101 BISCAYNE BLVD. S 330, 310
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ROSE + GOMEZ

DWG. TITLE
PROPOSED SITE PLAN

SCALE
1/8"=1'-0"

PROJECT NO.
2022-18

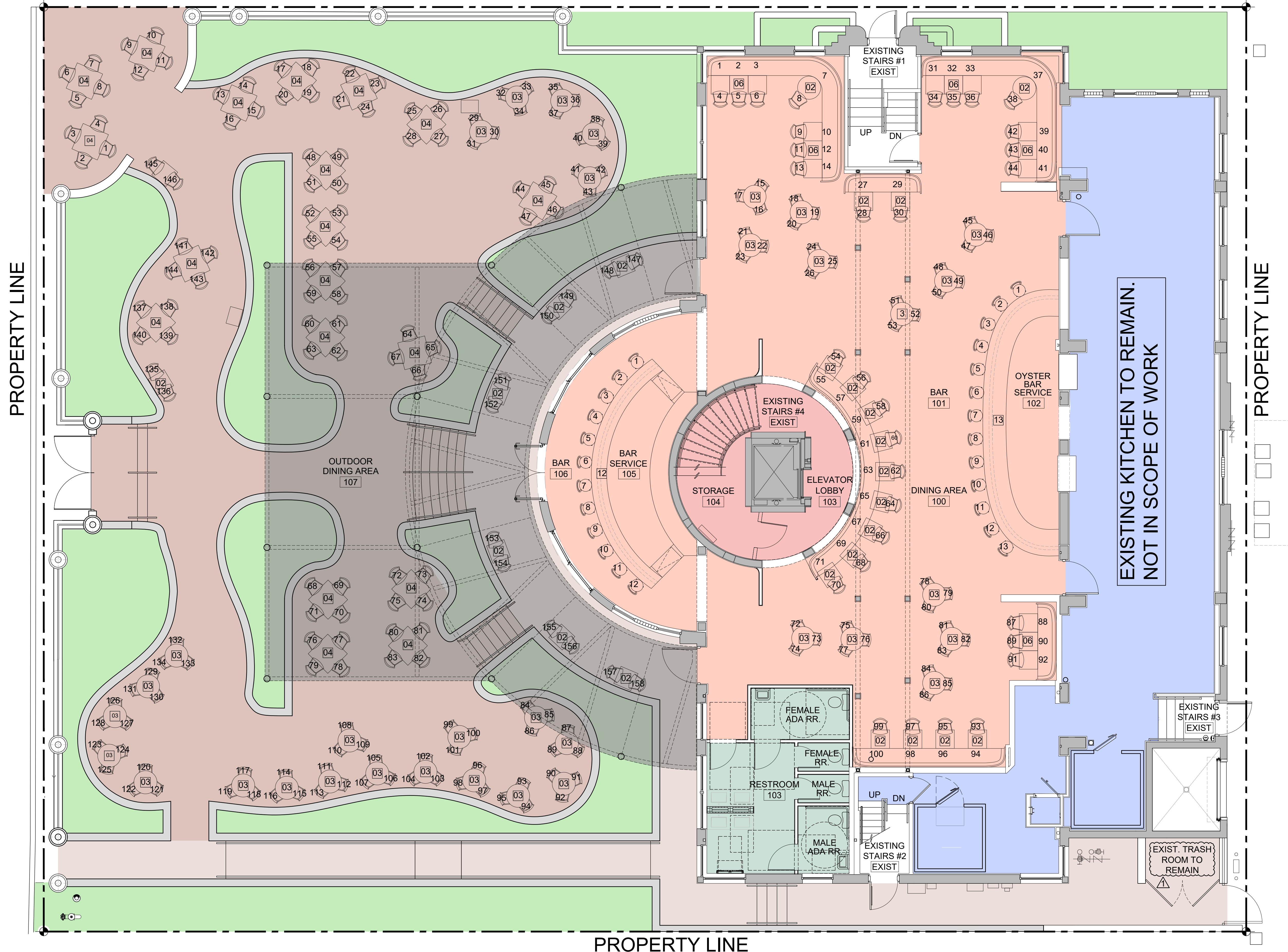
DATE
03-06-23

SHEET NUMBER
SP-101

NO.	DATE	REVISION
1	03-27-23	RESPONSE TO COMMENTS

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PROPERTY LINE



PROPERTY LINE

CANOPY AREA

CANOPY AREA = 1648.38 SQ. FT.

SEATING CALCULATION

LABEL	ROOM NAME	NUMBER OF SEATS
100	DINING AREA	100
101	BAR	13
106	BAR	12
107	OUTDOOR DINING AREA	158
TOTAL # OF SEATS		283

LE JARDIN BOUCHERIE / OMAKASE

230 FIRST STREET
MIAMI BEACH, FL 33139

BEILINSON
GOMEZ

ARCHITECTS

8101 BISCAYNE BLVD. # 309, 310
M I A M I, F L 3 3 1 3 8 - 4 6 6 9
T 3 0 5 . 5 5 9 . 1 2 5 0 F 3 0 5 . 5 5 1 . 1 7 4 0

DATE	REVISION
03-27-23	RESPONSE TO COMMENTS

DWG. TITLE
PROPOSED GROUND
FLOOR PLAN

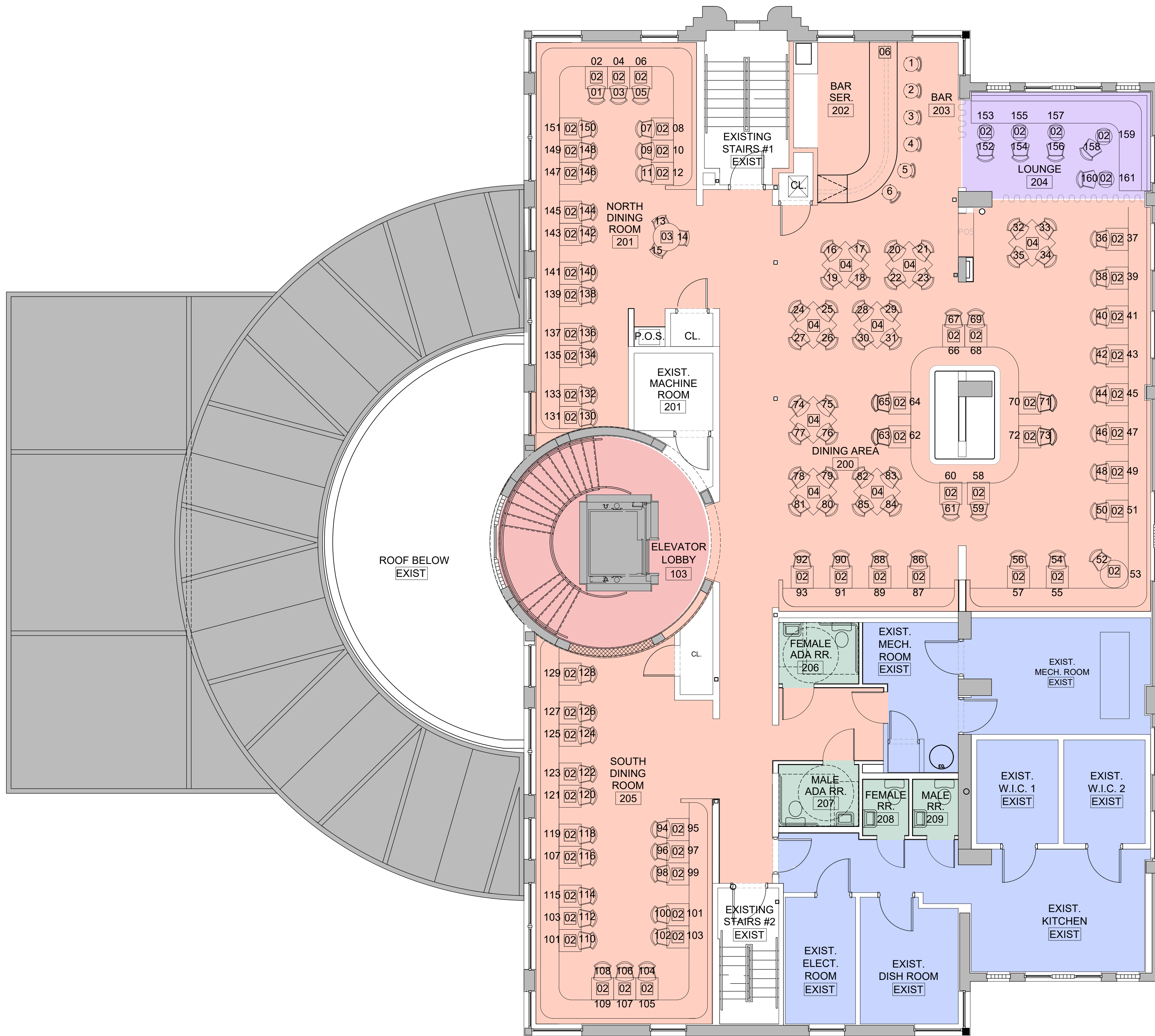
SCALE
3/16"=1'-0"

PROJECT NO.
2022-18

DATE
2022-18

SHEET NUMBER
03-06-23

A-101



SEATING CALCULATION

LABEL	ROOM NAME	NUMBER OF SEATS
200	DINING AREA	78
201	NORTH DINING AREA	37
203	BAR	6
204	LOUNGE	10
205	SOUTH DINING AREA	36
TOTAL # OF SEATS		167

CANOPY AREA

CANOPY AREA BELOW = 1648.38 SQ. FT.

OCCUPANT LOAD CALCULATION

NOTE:
 ASSEMBLY (A2)
 BASED ON NFPA 101 2020 F.F.P.C. TBL. 7.3.1.2 AND 2020F.B.C. TABLE 1004.1.2
 HIGHEST OCCUPANCY FACTOR WAS USED TO DETERMINED HIGHEST OCCUPANCY LOAD

LABEL	ROOM NAME	FUNCTION OF SPACE as per table 1004.1.1 F.B.C.	AREA / LENGTH	FBC 2020		F.F.P.C N.F.P.A 101			
				FLOOR AREA IN S.F. PER OCCUP.	# OF OCCUP.	FLOOR AREA IN S.F. PER OCCUP.	# OF OCCUP.		
100	DINING AREA	ASSEMBLY (UNCONCENTRATED)	1,953 SQ. FT.	15 NET	130.2	130	15 NET	130.2	130
101	BAR	ASSEMBLY (CONCENTRATED)	38.25 FT.	L X 4	21.85	22	L X 4	21.85	22
102	OYSTER BAR SERVICE	KITCHEN	191 SQ. FT.	200 GROSS	0.96	1	100 GROSS	1.91	2
103	ELEVATOR LOBBY	ASSEMBLY (UNCONCENTRATED)	69 SQ. FT.	15 NET	4.6	5	15 NET	4.6	5
104	STORAGE	STORAGE	123 SQ. FT.	300 GROSS	0.41	1	500 GROSS	0.24	1
105	BAR SERVICE	KITCHEN	163 SQ. FT.	200 GROSS	0.82	1	100 GROSS	1.63	2
106	BAR	ASSEMBLY (CONCENTRATED)	29.16 FT.	L X 4	16.66	17	L X 4	16.66	17
107	OUTDOOR DINING	ASSEMBLY (UNCONCENTRATED)	3,254 SQ. FT.	15 NET	216.93	217	15 NET	216.93	217
EXIST	EXISTING KITCHEN	KITCHEN	1,453 SQ. FT.	200 GROSS	7.27	8	100 GROSS	14.53	15
EXIST	EXISTING W.I.C.	STORAGE	91 SQ. FT.	300 GROSS	0.30	1	500 GROSS	0.18	1
EXIST	EXISTING W.I.F.	STORAGE	66 SQ. FT.	300 GROSS	0.22	1	500 GROSS	0.13	1
TOTAL # OCCUPANTS 1ST FLOOR						404			413

200	DINING AREA	ASSEMBLY (UNCONCENTRATED)	1,395 SQ. FT.	15 NET	93	93	15 NET	93	93
201	NORTH DINING AREA	ASSEMBLY (UNCONCENTRATED)	541 SQ. FT.	15 NET	36.06	37	15 NET	36.06	37
202	BAR SERVICE	KITCHEN	114 SQ. FT.	200 GROSS	0.57	1	100 GROSS	1.14	2
203	BAR	ASSEMBLY (CONCENTRATED)	17'-2" FT.	L X 4	9.8	10	L X 4	9.8	10
204	LOUNGE	ASSEMBLY (UNCONCENTRATED)	148 SQ. FT.	15 NET	9.86	10	15 NET	9.86	10
205	SOUTH DINING AREA	ASSEMBLY (UNCONCENTRATED)	642 SQ. FT.	15 NET	42.8	43	15 NET	42.8	43
209	ELEVATOR LOBBY	ASSEMBLY (UNCONCENTRATED)	75 SQ. FT.	15 NET	5	5	15 NET	5	5
EXIST	EXIST. MECH. ROOM	STORAGE	313 SQ. FT.	300 GROSS	1.04	2	500 GROSS	0.62	1
EXIST	EXIST. W.I.C. 1	STORAGE	84 SQ. FT.	300 GROSS	0.28	1	500 GROSS	0.16	1
EXIST	EXIST. W.I.C. 2	STORAGE	89 SQ. FT.	300 GROSS	0.29	1	500 GROSS	0.17	1
EXIST	EXIST. KITCHEN	KITCHEN	310 SQ. FT.	200 GROSS	1.55	2	100 GROSS	3.10	4
EXIST	EXIST. ELECT. ROOM	STORAGE	87 SQ. FT.	300 GROSS	0.29	1	500 GROSS	0.17	1
EXIST	EXIST. DISH ROOM	KITCHEN	121 SQ. FT.	200 GROSS	0.61	1	100 GROSS	1.21	2
TOTAL # OCCUPANTS 2ND FLOOR						207			210

TOTAL # OCCUPANTS 1ST & 2ND FLOOR						611			623
TOTAL S.F. AT 1ST FLOOR = 7,363 S.F.									
TOTAL S.F. AT 2ND FLOOR = 3,919 S.F.									
TOTAL S.F. AT 1ST & 2ND FLOOR = 11,282 S.F.									

LE JARDIN BOUCHERIE / OMAKASE

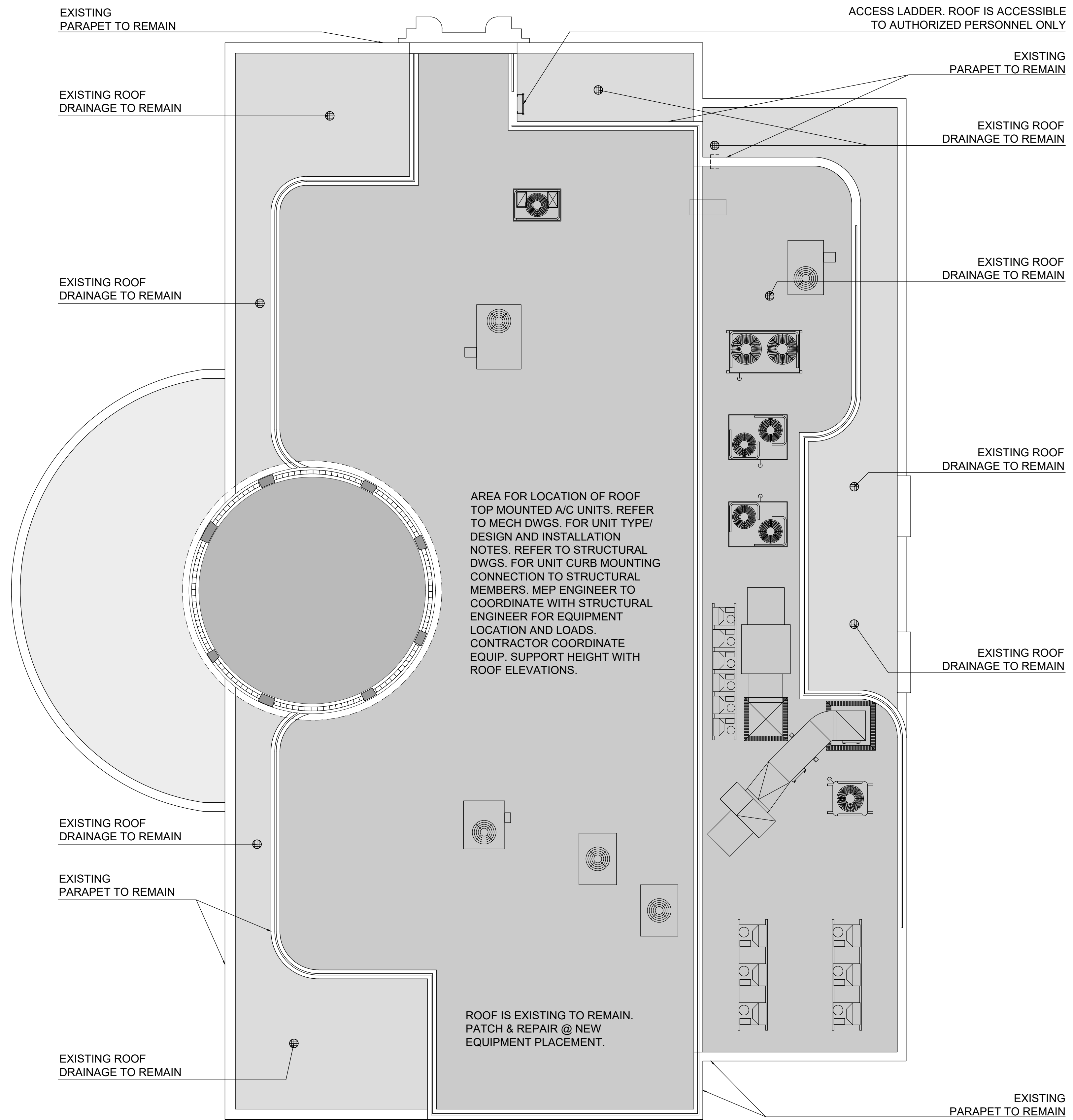
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 MIAMI BEACH, FL 33139

BEILINSON
 GOMEZ

ARCHITECTS P.A.
 8101 BISCAYNE BLVD. S 309 310
 MIAMI, FL 33141 F 313 844 6942
 F 305 551 1250 F 305 551 1746

DWG. TITLE
 PROPOSED SECOND
 FLOOR PLAN
 SCALE
 3/16"=1'-0"
 PROJECT NO.
 2022-18
 DATE
 03-06-23
 SHEET NUMBER

A-102



LE JARDIN BOUCHERIE / OMAKASE

230 1ST STREET
MIAMI BEACH 33139



8101 BISCAYNE BLVD. S. 309-310
MIAMI, FL 33133
T 305.559.1250 F 305.551.1746

DWG. TITLE	PROPOSED ROOF PLAN
SCALE	3/16" = 1'-0"
PROJECT NO.	2022-18
DATE	03-06-23
SHEET NUMBER	A-103

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