

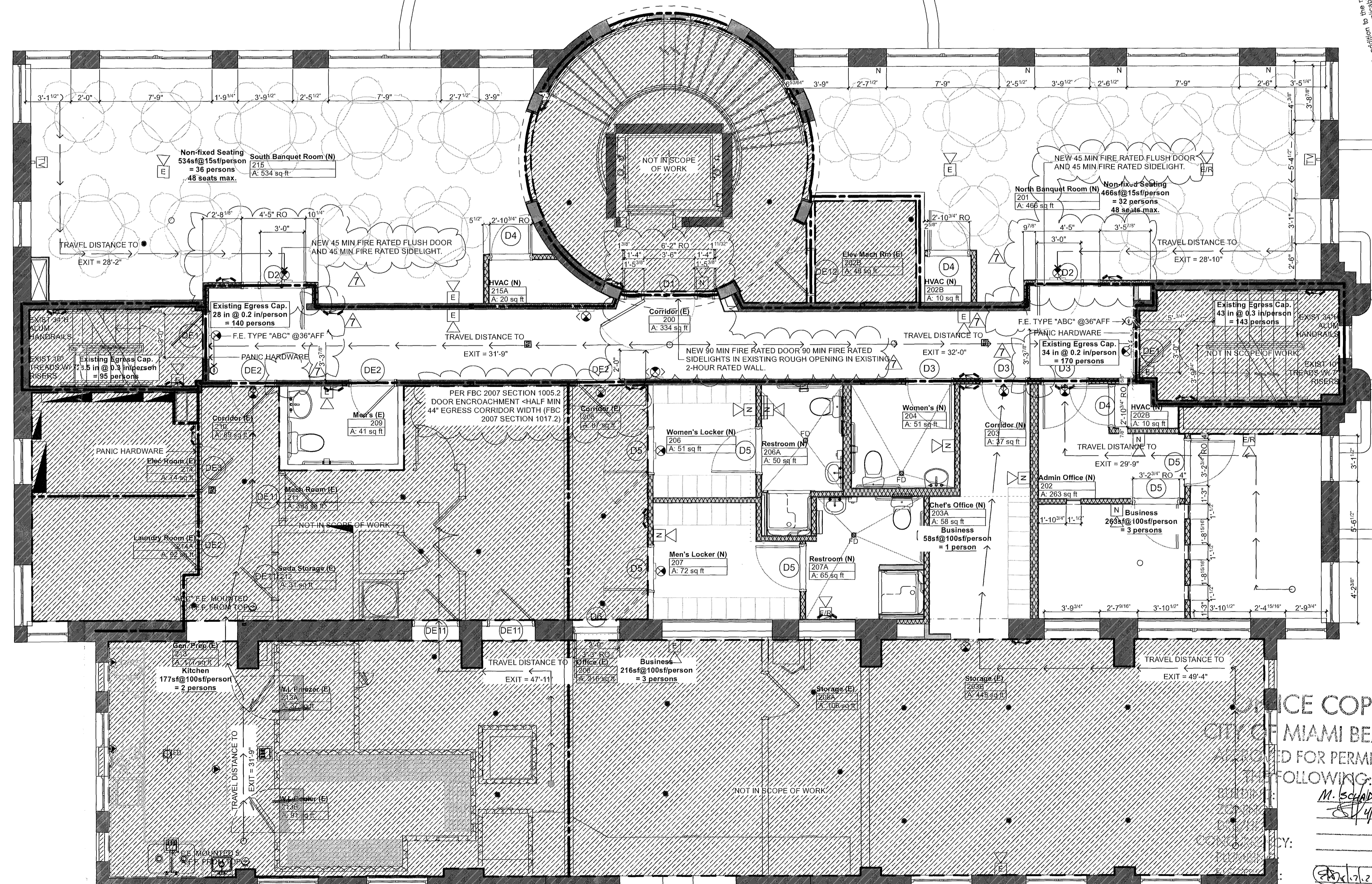
FBC Section 1004, NFPA 101 Section 7.3.1: Occupant Load

Occupancy	Location	Load Factor	Units	Area	Calculated Min. Occupancy	Maximum Occupancy	Min. Stair Width (in.)	Other Egress Components (in.)
Level 1								
Vestibule - waiting (assembly)	100 entry	5	sf/occup., net	309	62	62		
North Dining - unconcentrated, not fixed seats	101 1st floor dining	15	sf/occup., net	915	61	61		
South Dining - unconcentrated, not fixed seats	104 1st floor dining	15	sf/occup., net	638	43	46		
Bar Seating - unconcentrated, not fixed seats	103B bar	7	sf/occup. @ 4 occ/ft	29.7	27	27		
Deli Sales - mercantile	103C deli/seafood counter	30	sf/occup., gross	198	7	7		
Bar Service - kitchen	103A bar service	100	sf/occup., gross	176	2	2		
Deli/Seafood - kitchen	103D deli/seafood service	100	sf/occup., gross	147	2	2		
Kitchen, commercial	102 kitchen	100	sf/occup., gross	1188	12	12		
Storage - storage, stock, shipping (mercantile)	108,109,110 storage/coolers	300	sf/occup., gross	266	1	1		
Sub-total - Level 1						219	65.7	43.8
Level 2								
North Banquet Room - unconc., not fixed seats	201 2nd floor dining	15	sf/occup., net	466	32	48		
South Banquet Room - unconc., not fixed seats	215 2nd floor dining	15	sf/occup., net	534	36	48		
Admin. Office - business	202 2nd floor offices	100	sf/occup., gross	263	3	3		
Office - business	208 2nd floor offices	100	sf/occup., gross	216	3	3		
Chef's Office - business	203A 2nd floor offices	100	sf/occup., gross	65	1	1		
General Prep - Kitchen, commercial	213 2nd floor kitchen	100	sf/occup., gross	177	2	2		
Storage - storage, stock, shipping (mercantile)	212,213A,213B,203B,208A	300	sf/occup., gross	710	3	3		
Women's Locker	206 2nd floor lockers	50	sf/occup., gross	51	2	2		
Men's Locker	207 2nd floor lockers	50	sf/occup., gross	72	2	2		
Laundry Room	214A 2nd floor	300	sf/occup., gross	92	1	1		
Mechanical Equipment	211, 214 2nd floor	300	sf/occup., gross	553	2	2		
Sub-total - Level 2						115	34.5	23.0
Total						335		

*Note: Maximum occupancy listed includes actual seats shown on plans for each seating area, if greater than calculated occupancy load.

Floor Plan Legend

- existing non-rated interior wall
- existing exterior wall or fire-rated interior wall
- existing glass block wall
- new single-sided stud wall
- new single-sided stud wall w/ acoustic insulation
- new stud wall
- new stud wall w/ acoustic insulation
- existing interior door
- new interior door
- new wood shelves
- new sheet metal countertop only
- new millwork deli counter with sheet metal countertop
- not in scope of work
- wall type tag
- wall finish tag
- 1-hr rated wall
- 2-hr rated wall
- existing concrete column
- existing steel column
- area ID tag (E) Existing or (N) New
- accessible table seat
- fire extinguisher
- existing smoke detector
- exit sign (chevron indicates direction)
- existing emergency light w/ battery backup
- existing recessed emergency light
- horn/strobe combo device (E) existing, (E/R) existing relocated, (N) new



NOTE: TENANT SHALL MAINTAIN MINIMUM 44" CLEAR WIDTH ALONG ALL EGRESS PATHS AT ALL TIMES. EGRESS PATHS IN BANQUET ROOMS SERVING <50 PERSONS SHALL BE MIN 36" CLEAR PER NFPA 101 SECTION 13.2.5.8.2.

NOTE: ALL INTERIOR FINISHES SHALL COMPLY WITH FPCC 101 07 ED CHAPTER 10 AND TABLE A.10.2.2.

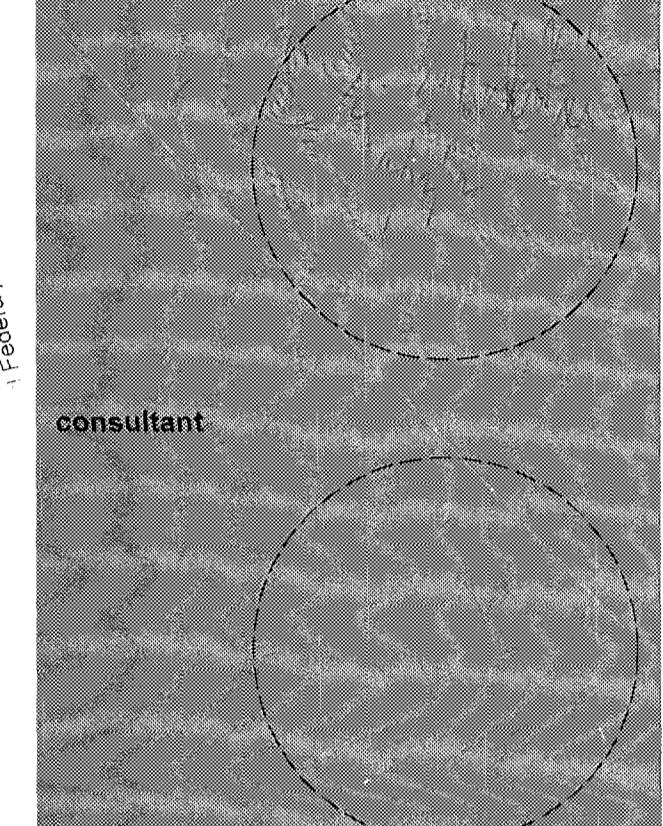
NOTE: In addition to the requirements of this permit these shall be required in all applications for this permit that may be subject to the jurisdiction of the City of Miami Beach. The applicant shall be responsible for obtaining all necessary permits from the City of Miami Beach and the State of Florida. The applicant shall be responsible for obtaining all necessary permits from the City of Miami Beach and the State of Florida.



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date
Thursday, April 12, 2012
issue date
August 23, 2011

drawing
architecture

L2 life safety plan

A 10

1 L2 overall plan
SCALE: 1/4" = 1'-0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ELEVATOR:

interior remodel: permit set

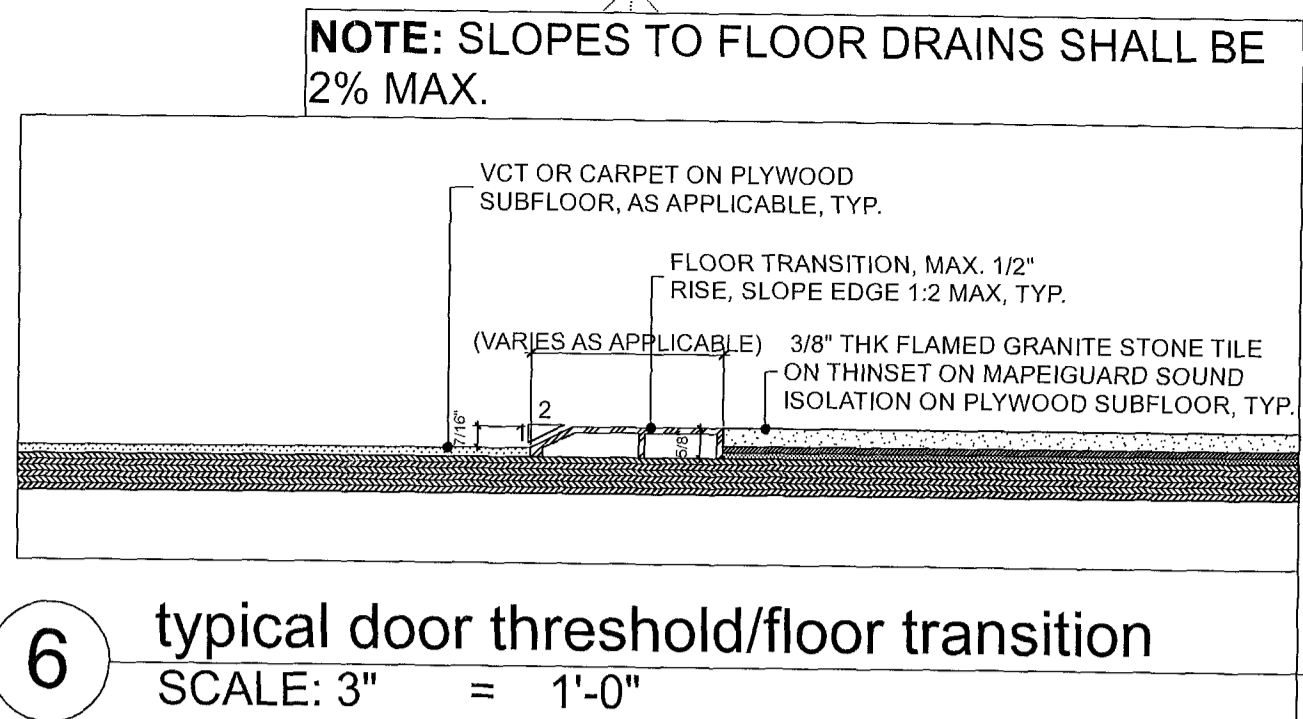
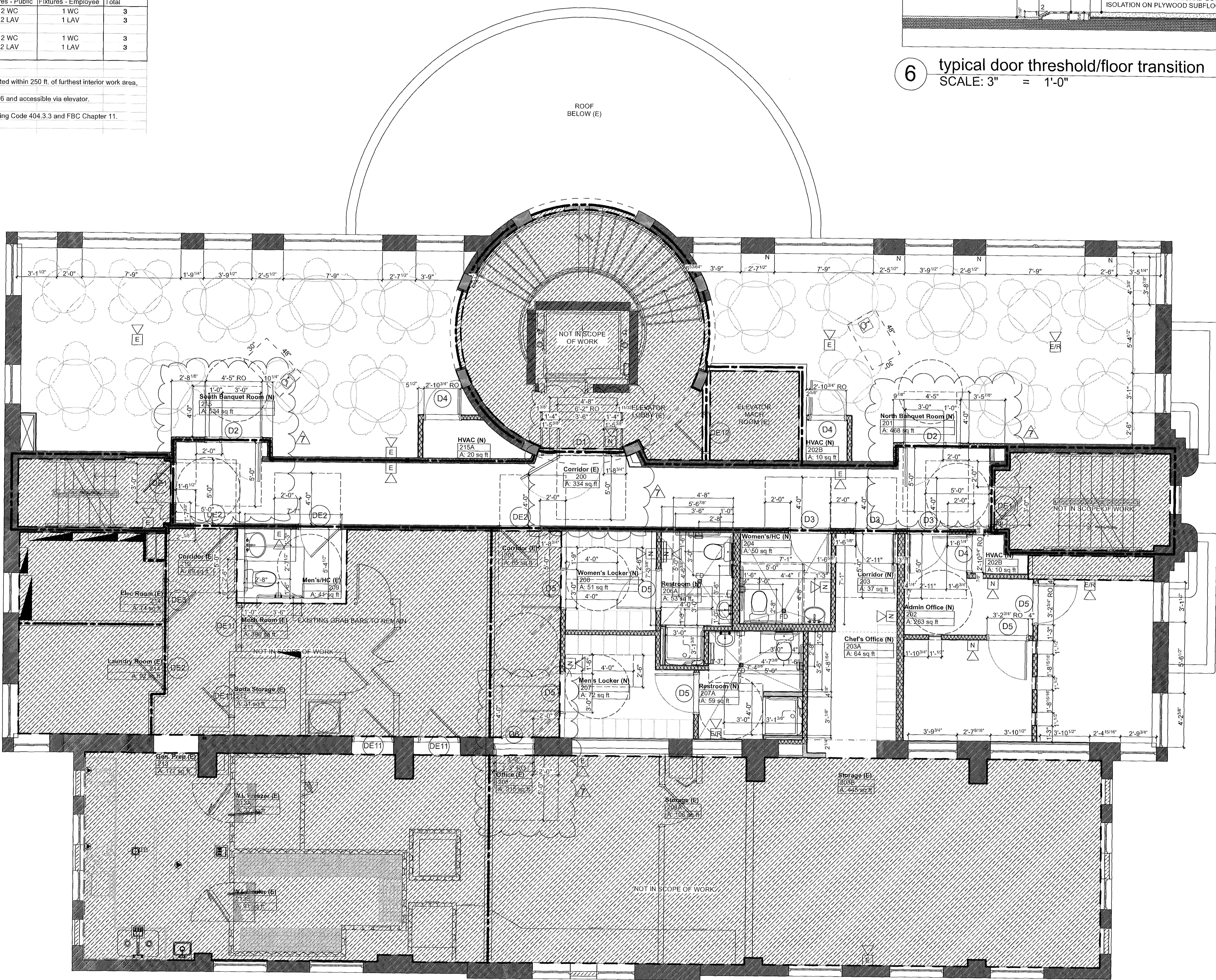
FBC Section 403: Minimum Plumbing Facilities

Classification	Assembly A-2 - Restaurant							
Occupant Load (per Section 1004)=	334	interior						
	34	exterior						
Total	368							
Male Occupants = 1/2 total occupants	184							
Female Occupants = 1/2 total occupants	184							
	Required	Existing	Total	Proposed	Fixtures - Public	Fixtures - Employee	Total	
Male	Water Closets+Urinals	1 per 75	3	2 WC + 1 U	3	2 WC	1 WC	3
	Lavatories	1 per 200	1	2 LAV	2	2 LAV	1 LAV	3
Female	Water Closets	1 per 75	3	1 WC	1	2 WC	1 WC	3
	Lavatories	1 per 200	1	1 LAV	1	2 LAV	1 LAV	3

Notes:
 1. New separate employee toilet facilities provided on second floor per Section 403.2. Employee facilities located within 250 ft. of furthest interior work area, per Section 403.5.
 2. Public toilet facilities and ADA accessible employee facilities are provided on second floor, per Section 403.6 and accessible via elevator.
 3. Pursuant to FBC Plumbing Code 403.1.3, total occupant load includes interior and exterior seating.
 4. Refer to diagrams provided on sheet A29 and A29.1 for typical required fixture compliance with FBC Plumbing Code 404.3.3 and FBC Chapter 11.

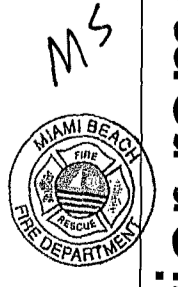
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- new interior door
- new wood shelves
- new sheet metal countertop only
- new millwork doll counter with sheet metal countertop
- not in scope of work
- wall type tag
- wall finish tag
- 1-hr rated wall
- 2-hr rated wall
- existing concrete column
- existing steel column
- Room Name (E)
XXXX
A: 24 sq ft
- accessible table seat
- fire extinguisher
- existing smoke detector
- exit sign (chevron indicates direction)
- existing emergency light w/ battery backup
- existing recessed emergency light
- horn/strobe combo device
E (existing), E/R (existing relocated), N (new)



1 L2 overall plan
SCALE: 1/4" = 1'-0"

City of Miami Beach
Fire Prevention Division
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interior remodel: permit set

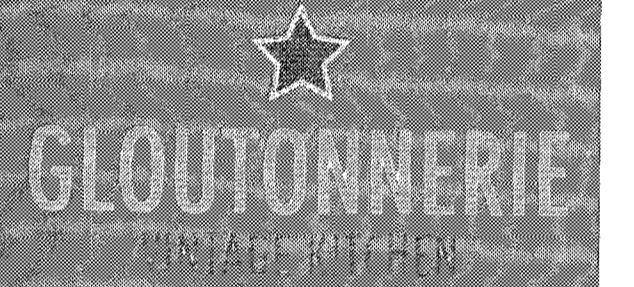


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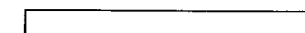

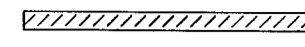




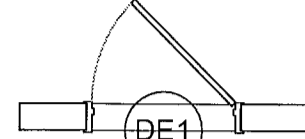
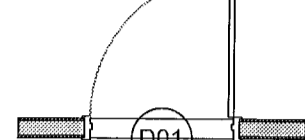

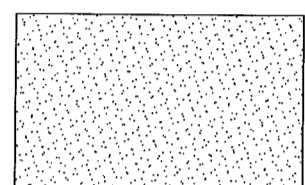
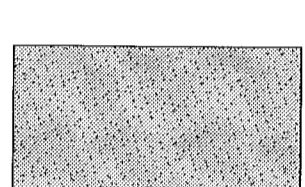



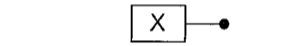



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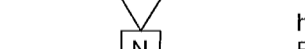
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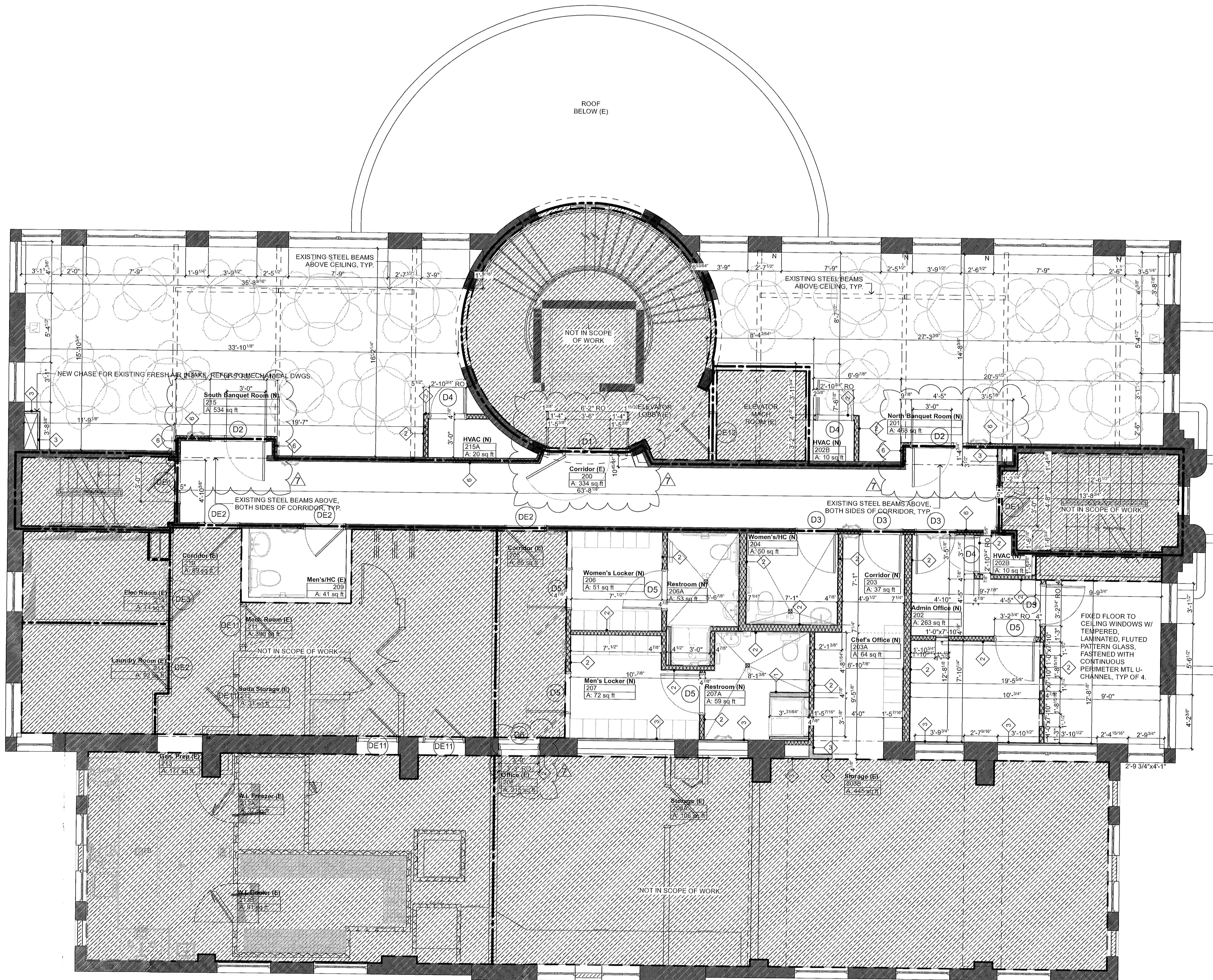
L2 accessibility
 plan

A 12

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-  existing glass block wall
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-  new single-sided stud wall w/ acoustic insulation
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-  new stud wall w/ acoustic insulation
-  existing interior door
-  new interior door
-  new wood shelves
-  new sheet metal countertop only
-  new millwork deli counter with sheet metal countertop
-  not in scope of work
-  wall type tag
-  wall finish tag
-  1-hr rated wall
-  2-hr rated wall
-  existing concrete column
-  existing steel column
- | Room Name (E) |
|---------------|
| XXX |
| A: 24 sq ft |

Room Name (E)
(E) Existing or (N) New
-  accessible table seat
-  fire extinguisher
-  existing smoke detector
-  exit sign (chevron indicates direction)
-  existing emergency light w/ battery backup
-  existing recessed emergency light
-  horn/strobe combo device
- | |
|---|
| E (existing), E/R (existing relocated), N (new) |
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1 L2 overall plan
SCALE: 1/4" = 1'-0"

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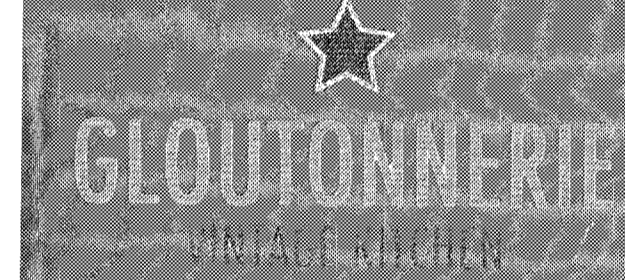
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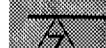






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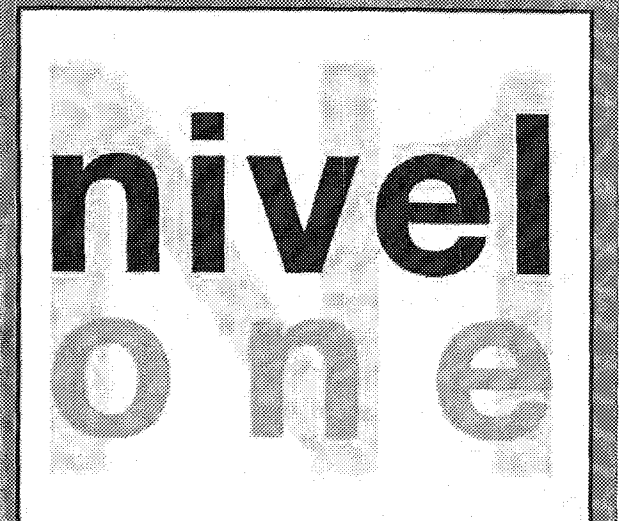
L2 renovation plan

A 14

MS

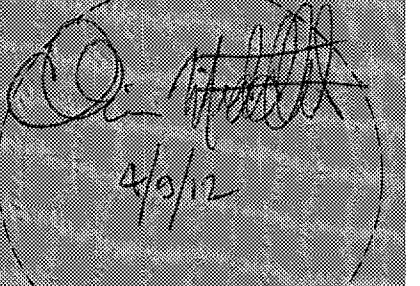
Existing Door Legend												
ID	DE1	DE2	DE3	DE4	DE5	DE6	DE7	DE8	DE9	DE10	DE11	DE12
Quantity	4	4	1	2	1	2	2	1	2	1	6	1
W x H Size	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"	6'-0"x7'-0"	3'-0"x6'-8"	3'-5 1/2"x6'-8"	3'-0"x6'-8"	2'-6"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"
2D Symbol												
Front View												
Back View												
Egress Dim	2'-11"x6'-7 1/2"	2'-11"x6'-7 1/2"	2'-11"x6'-7 1/2"	2'-11"x6'-7 1/2"	2'-11"x6'-7 1/2"	5'-11"x6'-11 1/2"	3'-0"x6'-8"	3'-4 1/2"x6'-7 1/2"	2'-11"x6'-7 1/2"	2'-5"x6'-7 1/2"	2'-11"x6'-7 1/2"	2'-11"x6'-7 1/2"
Fire Rating	90 MIN	45 MIN	45 MIN	NON-RATED	NON-RATED	NON-RATED	NON-RATED	NON-RATED	NON-RATED	90 MIN	NON-RATED	NON-RATED
Frame	90 MIN	45 MIN	45 MIN	NON-RATED	NON-RATED	NON-RATED	NON-RATED	NON-RATED	NON-RATED	90 MIN	NON-RATED	NON-RATED
Panel	FLUSH, HM	FLUSH, HM	FLUSH, HM	FLUSH W/VISIONALUM, IMPACT GLAZ	ALUM, IMPACT GLAZ	ALUM, IMPACT GLAZ	FLUSH, W/VISIONALUM, IMPACT GLAZ	FLUSH, HM	FLUSH, HM	FLUSH, HM	FLUSH, HM	FLUSH, HM
Finish	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT	LAMINATE	PAINT	PAINT	PAINT	PAINT	PAINT
Closer	YES, AUTO	YES, AUTO	YES, AUTO	YES, AUTO	YES, AUTO	YES, AUTO	YES, DBLACTING	YES, AUTO	YES	YES, AUTO	NO	NO
Panic Hardware	YES	NO	YES	YES	YES	YES	NO	YES	NO	NO	NO	NO
Hardware Type	PASSAGE	PASSAGE	PASSAGE	LOCK OUTSIDE	LOCK OUTSIDE	LOCK OUTSIDE	N/A	LOCK OUTSIDE	PASSAGE	PASSAGE	PRIVACY	LOCK OUTSIDE
Handle Type	LEVER	LEVER	LEVER	LEVER	PULL	PULL	SS PLATES	PULL	LEVER, DECOR	LEVER	LEVER	LEVER

Door Legend						
ID	D1	D2	D3	D4	D5	D6
Quantity	2	2	3	3	6	1
W x H Size	6'-2"x6'-9 3/8"	4'-5"x6'-9 3/8"	3'-0"x6'-8"	2'-8"x6'-8"	3'-0"x6'-8"	3'-0"x6'-8"
2D Symbol						
Front View						
Back View						
Egress Dim	3'-4 1/2"x6'-7 1/4"	2'-10 1/2"x6'-7 1/4"	2'-11"x6'-7 1/2"	2'-7"x6'-7 1/2"	2'-11"x6'-7 1/2"	2'-11"x6'-7 1/2"
Fire Rating	90 MIN	45 MIN	45 MIN	NON-RATED	NON-RATED	NON-RATED
Frame	90 MIN	45 MIN	45 MIN	NON-RATED	NON-RATED	NON-RATED
Panel	FLUSH HM W/ FULL SIDELIGHTS	FLUSH W/ SIDELIGHT	FLUSH, HM FILLED	FLUSH, HM FILLED	FLUSH, HM FILLED	SOLID CORE WD
Finish	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
Closer	YES, AUTO	YES, AUTO	YES, AUTO	NO	NO	NO
Panic Hardware	NO	NO	NO	NO	NO	NO
Hardware Type	PASSAGE, LOCK OUTSIDE	PRIVACY	PRIVACY	PRIVACY	PASSAGE	PASSAGE, KEYPAD
Handle Type	LEVER, DECOR	LEVER, DECOR	LEVER, DECOR	LEVER	LEVER	LEVER

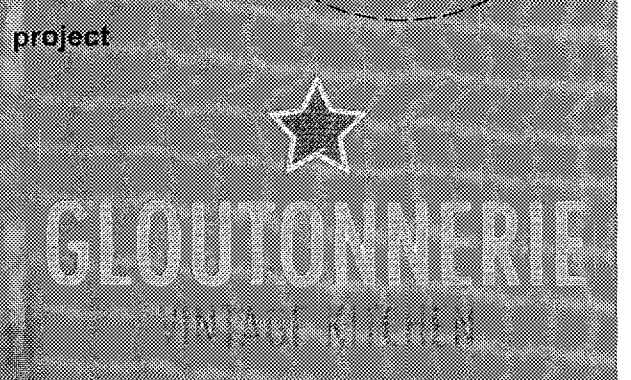


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drawing
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door legends

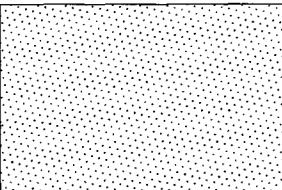
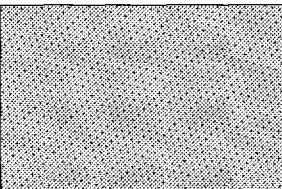
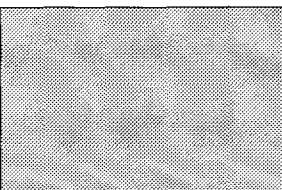
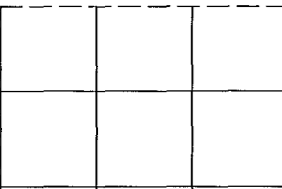
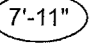
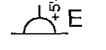
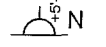


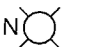

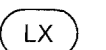
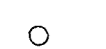

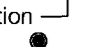







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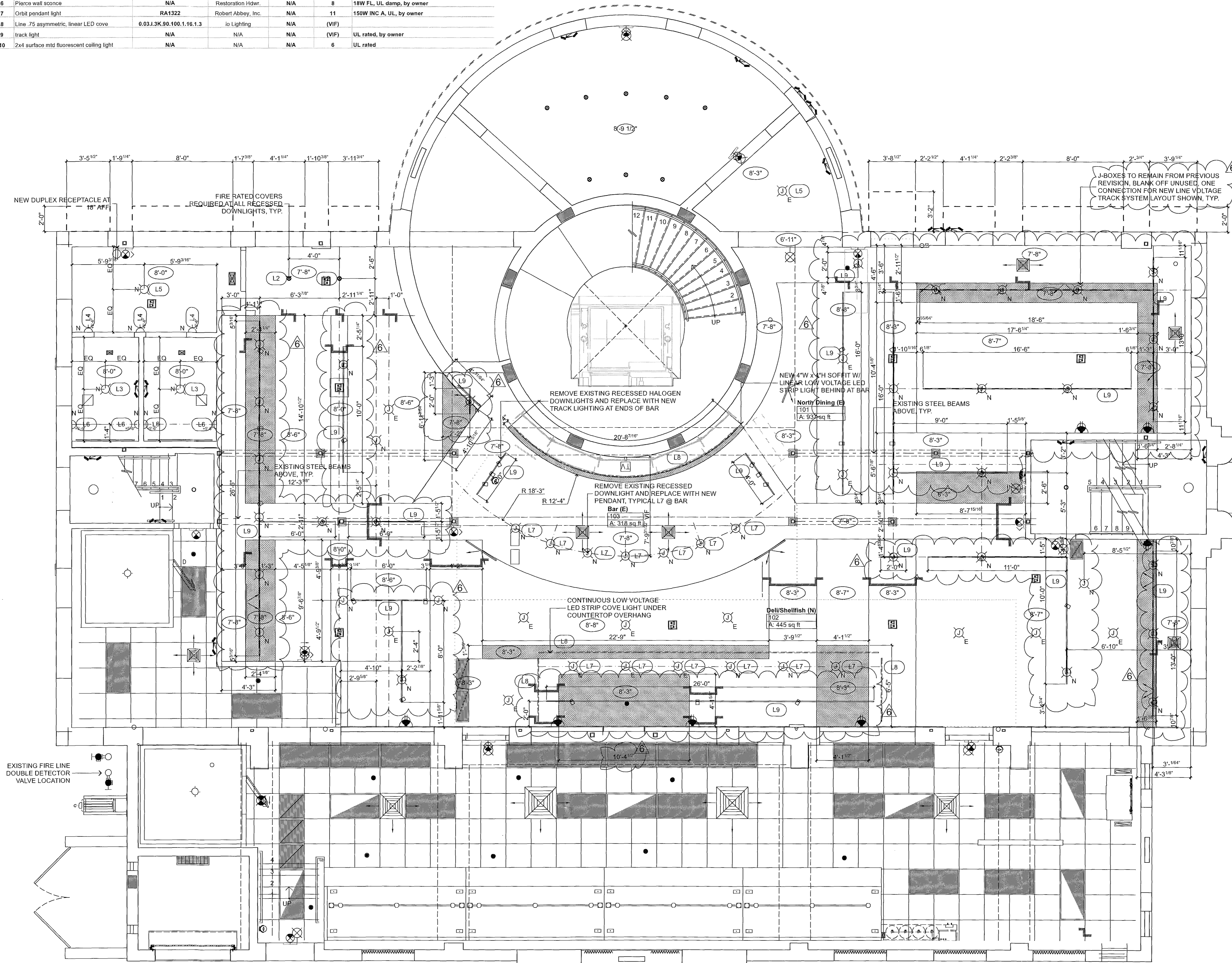
interior remodel: permit set

Ceiling Plan Legend

-  existing fire-rated gypsum bd ceiling (UL L514) to remain
-  new fire-rated gypsum bd ceiling (UL L514)
-  new non-rated gypsum board ceiling
-  existing ACT ceiling to remain
-  7'-11" ceiling height tag
-  existing wall sconce to remain
-  new wall sconce
-  existing j-box to remain
-  new j-box
-  new surface mounted light fixture
-  existing recessed light fixture to remain
-  light fixture ID tag
-  existing smoke detector
-  exit sign (chevron indicates direction)
-  existing sprinkler head
-  existing emergency light w/ battery backup
-  existing recessed emergency light
-  new TV jack + receptacle
-  existing 2x4 fluorescent light fixture to remain
-  existing 2x4 fluorescent light w/ battery backup to remain
-  new surface mounted 2x4 fluorescent light fixture
-  new surface mounted track light fixture

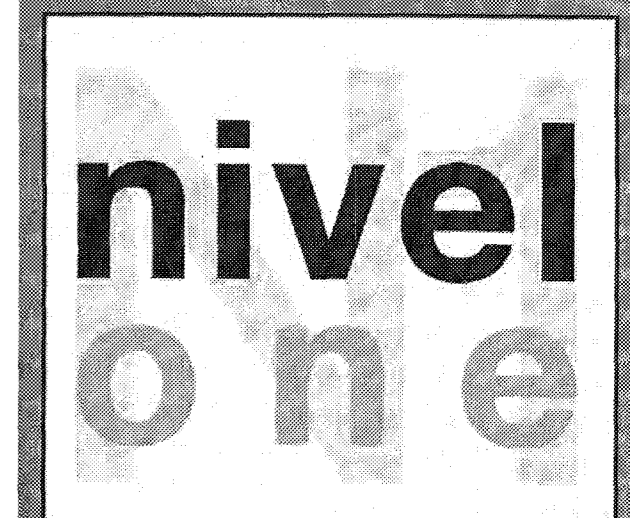
Light Fixture Schedule

Number	Item	Model Number	Manufacturer	Color	Quantity	Comments
L1	Custom pendant light	N/A	N/A	N/A	31	60W INC A, UL rated, by owner
L2	1-hr Fire-rated CFL recessed downlight	N/A	N/A	N/A	(VIF)	dimmable GE 15W R30 2700K CFL
L3	Ted Flush Mount ceiling light	TOB4003HAB	Visual Comfort & Co.	Antique Brass	12	2-60W INC A, UL, by owner
L4	Milton Road wall sconce	TOB2198HAB-WG	Visual Comfort & Co.	Antique Brass	24	2-40W INC B, UL, by owner
L5	Square Flush Mount ceiling light	CHC4215AB	Visual Comfort & Co.	Antique Brass	4	2-40W INC A, UL, by owner
L6	Pierce wall sconce	N/A	Restoration Hwyr.	N/A	8	18W FL, UL damp, by owner
L7	Orbit pendant light	RA1322	Robert Abbey, Inc.	N/A	11	150W INC A, UL, by owner
L8	Line .75 asymmetric, linear LED cove	0.031.3K.90.100.1.16.1.3	lo Lighting	N/A	(VIF)	
L9	track light	N/A	N/A	N/A	(VIF)	UL rated, by owner
L10	2x4 surface mtd fluorescent ceiling light	N/A	N/A	N/A	6	UL rated



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

1 L1 ceiling plan
SCALE: 1/4" = 1'-0"



architecture + interior design
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p 786 853 0098
p 786 246 0316
nive lone@att.net

seal
Christopher Adams
ar #0364517
Chris Middleton
ar #016880

consultant

project



existing restaurant
interior renovation
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miami beach, florida
33139

owner
11 11 Gluttony Box Co., L.L.C.
81 Washington Avenue
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p: 305 343 9991
gluttonnerie1@me.com
revisions

- 6 owner revisions - feb 29, 2012
- 5 construction coordination - feb 6, 2012
- 4 bldg dept comments - dec 9, 2011
- 3 bldg dept comments - nov 15, 2011
- 2 owner revisions - oct 11, 2011
- 1 bldg dept comments - sept 20, 2011

date
Thursday, March 1, 2012
issue date
August 23, 2011

drawing
architecture

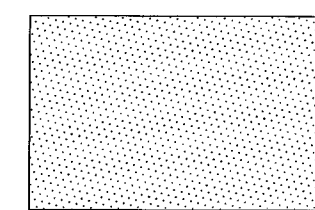
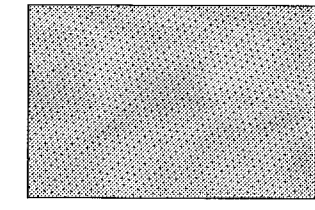
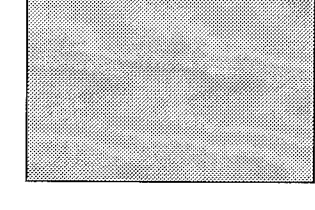
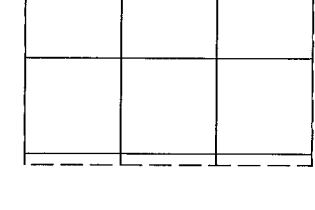
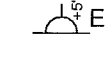
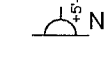
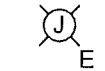

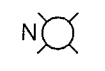








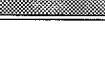

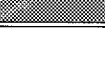
L1 reflected ceiling
plan

A 19

interior remodel: permit set

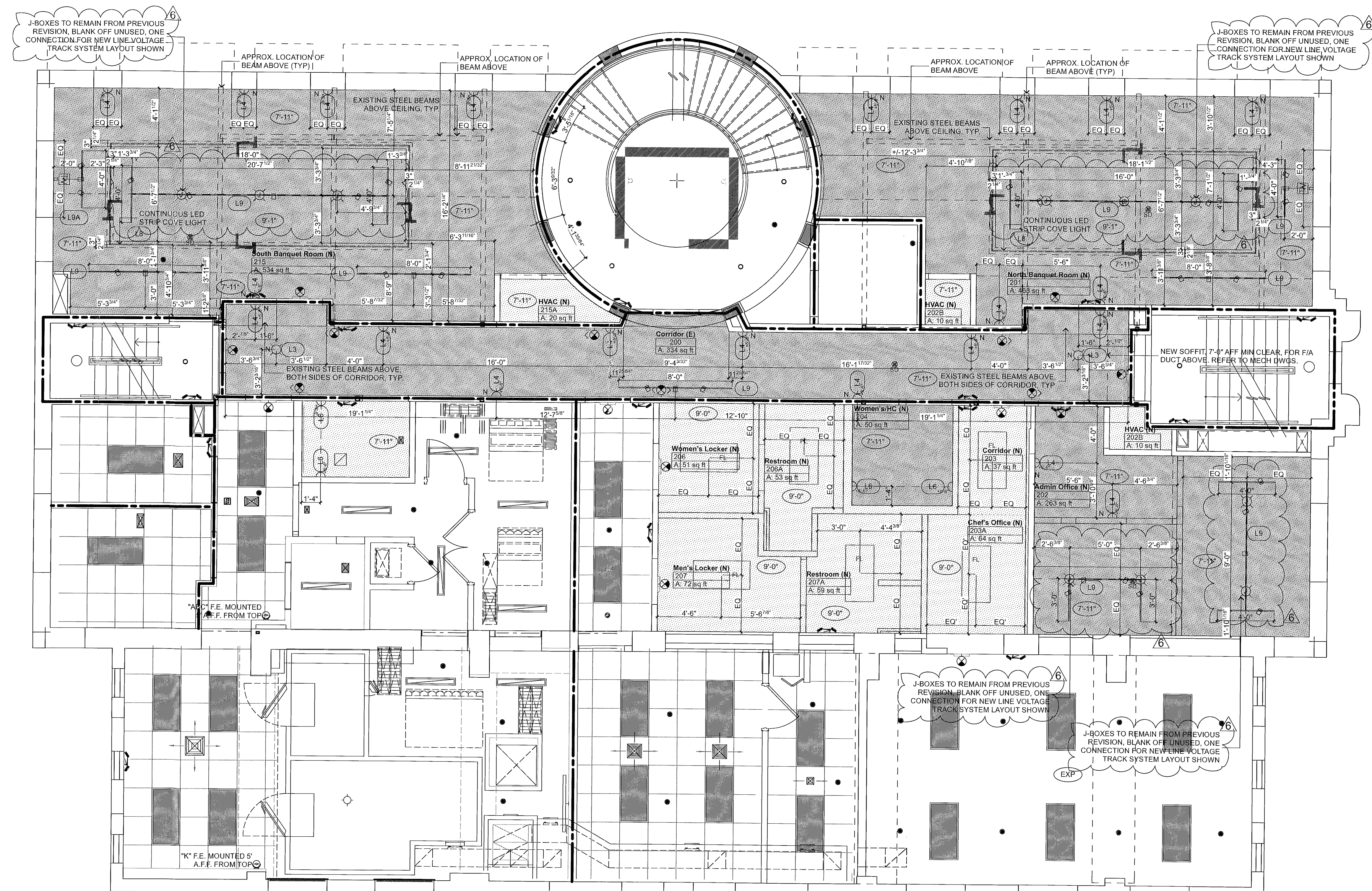
M5

Ceiling Plan Legend

-  existing fire-rated gypsum bd ceiling (UL L514) to remain
-  new fire-rated gypsum bd ceiling (UL L514)
-  new non-rated gypsum board ceiling
-  existing ACT ceiling to remain
-  7'-11" ceiling height tag
-  existing wall sconce to remain
-  new wall sconce
-  existing j-box to remain
-  new j-box
-  new surface mounted light fixture
-  existing recessed light fixture to remain
-  LX light fixture ID tag
-  existing smoke detector
-  exit sign (chevron indicates direction)
-  existing sprinkler head
-  existing emergency light w/ battery backup
-  existing recessed emergency light
-  new TV jack + receptacle
-  existing 2x4 fluorescent light fixture to remain
-  existing 2x4 fluorescent light w/ battery backup to remain
-  FL new surface mounted 2x4 fluorescent light fixture
-  new surface mounted track light fixture

Light Fixture Schedule

Number	Item	Model Number	Manufacturer	Color	Quantity	Comments
L1	Custom pendant light	N/A	N/A	N/A	31	60W INC A, UL rated, by owner
L2	1-hr Fire-rated CFL recessed downlight	N/A	N/A	N/A	(VIF)	dimmiabie GE 15W R30 2700K CFL
L3	Ted Flush Mount ceiling light	TOB4003HAB	Visual Comfort & Co.	Antique Brass	12	2-60W INC A, UL, by owner
L4	Milton Road wall sconce	TOB2198HAB-WG	Visual Comfort & Co.	Antique Brass	24	2-40W INC B, UL, by owner
L5	Square Flush Mount ceiling light	CHC4215AB	Visual Comfort & Co.	Antique Brass	4	2-60W INC A, UL, by owner
L6	Pierce wall sconce	N/A	Restoration Hdwr.	N/A	8	18W FL, UL damp, by owner
L7	Orbit pendant light	RA1322	Robert Abbey, Inc.	N/A	11	150W INC A, UL, by owner
L8	Line .75 asymmetric, linear LED cove	0.03.1.3K.90.100.1.16.1.3	io Lighting	N/A	(VIF)	
L9	track light	N/A	N/A	N/A	(VIF)	UL rated, by owner
L10	2x4 surface mtd fluorescent ceiling light	N/A	N/A	N/A	6	UL rated



1 L2 ceiling plan
SCALE: 1/4" = 1'-0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



interior remodel: permit set

L2 reflected ceiling plan

A 20



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ar #016580

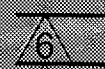
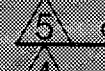
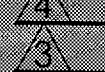
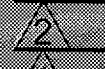
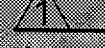
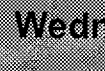
consultant

project



existing restaurant
interior renovation
230 1st Street
Miami Beach, Florida
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owner
11 11 Gluttony Box Co., L.L.C.
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revisions

-  owner revisions - feb 29, 2012
-  construction coordination - feb 6, 2012
-  bldg dept comments - dec 9, 2011
-  bldg dept comments - nov 15, 2011
-  owner revisions - oct 11, 2011
-  bldg dept comments - sept 20, 2011

date
Wednesday, February 29, 2012
issue date
August 23, 2011

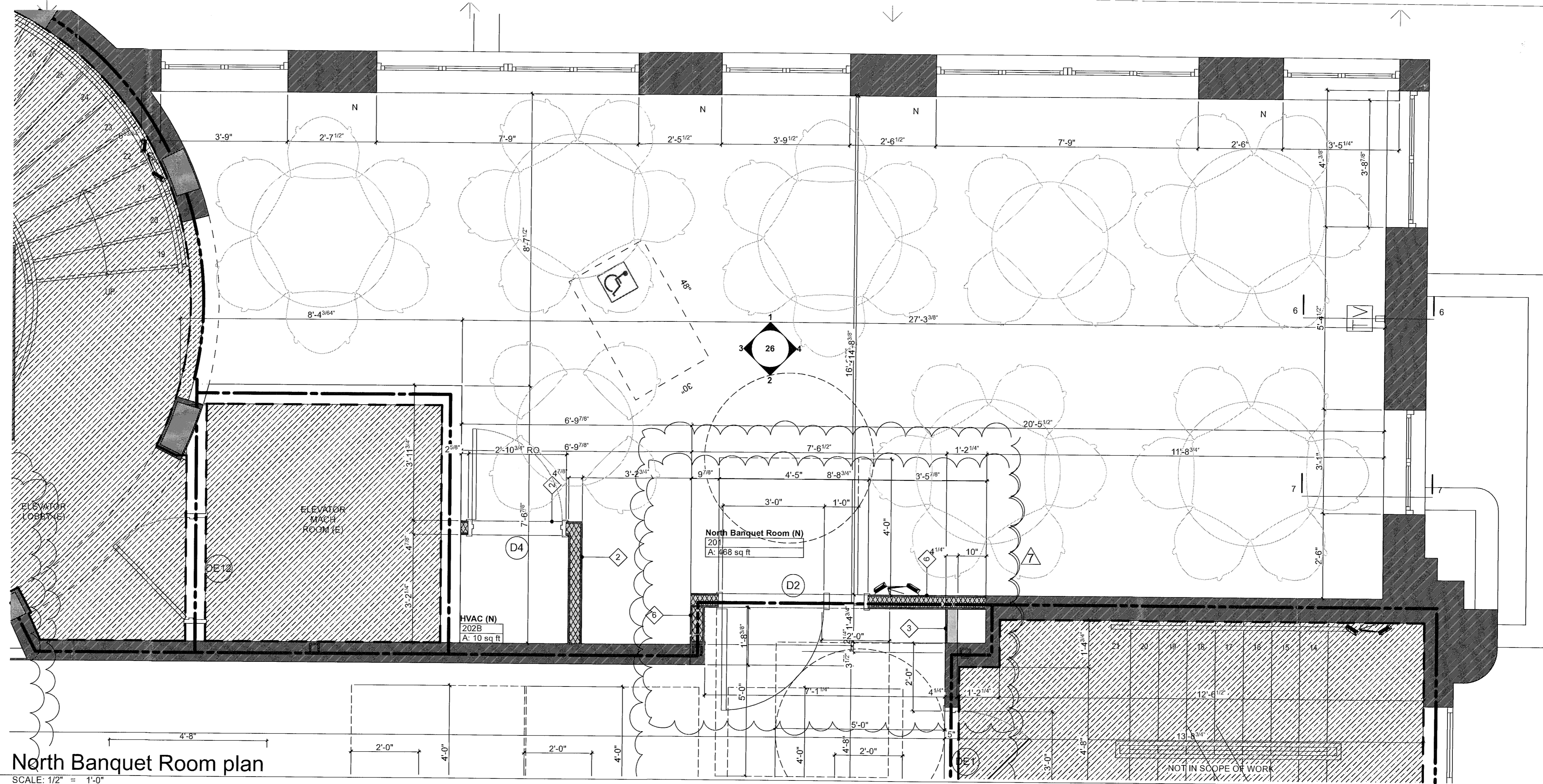
drawing
architecture

22 of 57

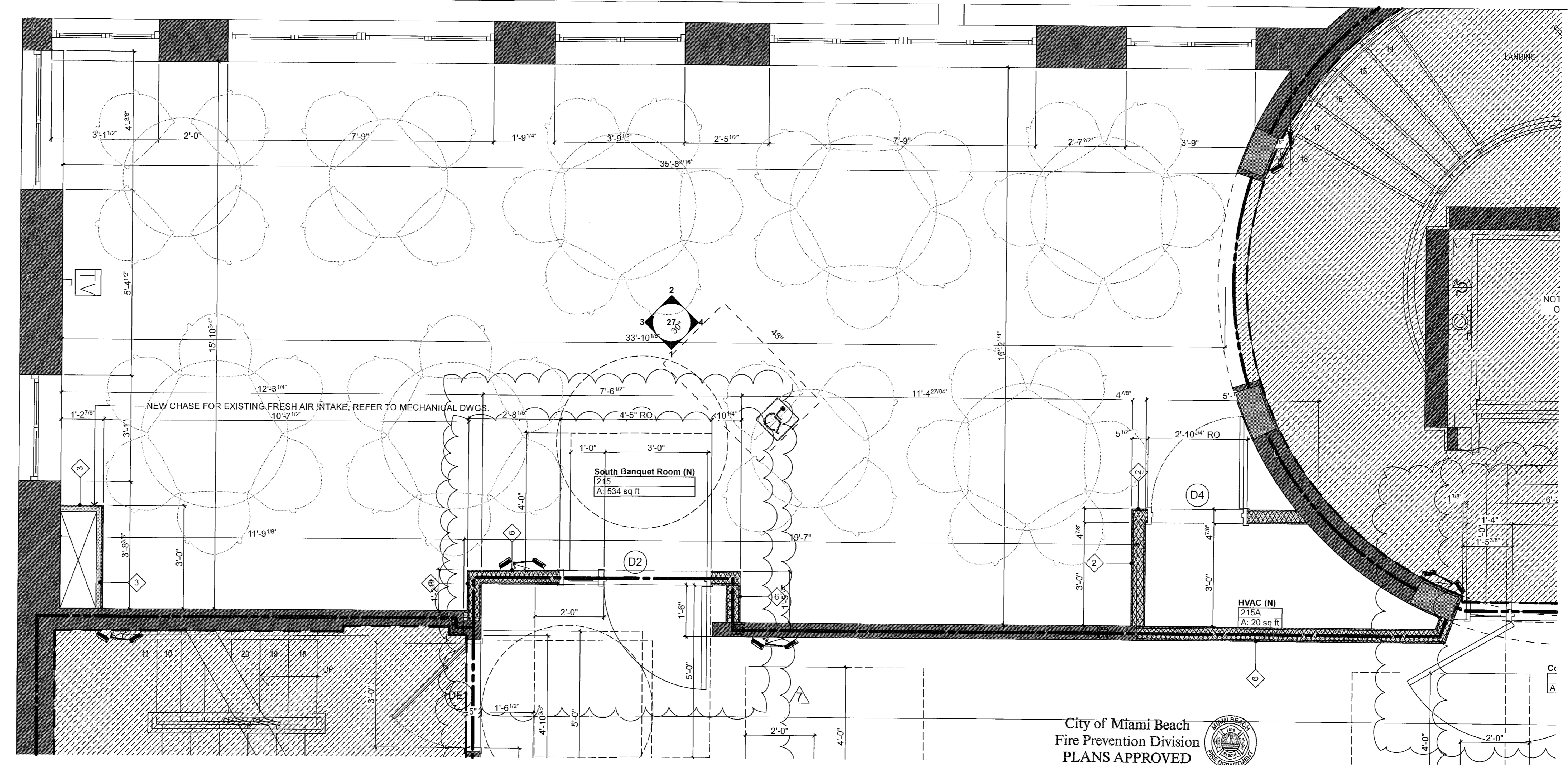
ms

Floor Plan Legend

- existing non-rated interior wall
- existing exterior wall or fire-rated interior wall
- existing glass block wall
- new single-sided stud wall
- new single-sided stud wall w/ acoustic insulation
- new stud wall
- new stud wall w/ acoustic insulation
- existing interior door
- new interior door
- new wood shelves
- new sheet metal countertop only
- new millwork dell counter with sheet metal countertop
- not in scope of work
- wall type tag
- wall finish tag
- 1-hr rated wall
- 2-hr rated wall
- existing concrete column
- existing steel column
- Room Name (E)**
XXX
A: 24 sq ft
 area ID tag
(E) Existing or (N) New
- accessible table seat
- fire extinguisher
- existing smoke detector
- exit sign (chevron indicates direction)
- existing emergency light w/ battery backup
- existing recessed emergency light
- horn/strobe combo device
E (existing), E/R (existing relocated), N (new)



2 North Banquet Room plan
SCALE: 1/2" = 1'-0"



1 South Banquet Room plan
SCALE: 1/2" = 1'-0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



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Chris Middleton
sr#0018860

consultant

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gluttonnerie1@me.com

- revisions
- owner revisions - apr 3, 2012
 - owner revisions - feb 29, 2012
 - construction coordination - feb 6, 2012
 - bldg dept comments - dec 9, 2011
 - bldg dept comments - nov 15, 2011
 - owner revisions - oct 11, 2011
 - bldg dept comments - sept 20, 2011

date
Thursday, April 12, 2012
issue date
August 23, 2011

drawing
architecture

L2 enlarged plans

A 24

interior remodel: permit set

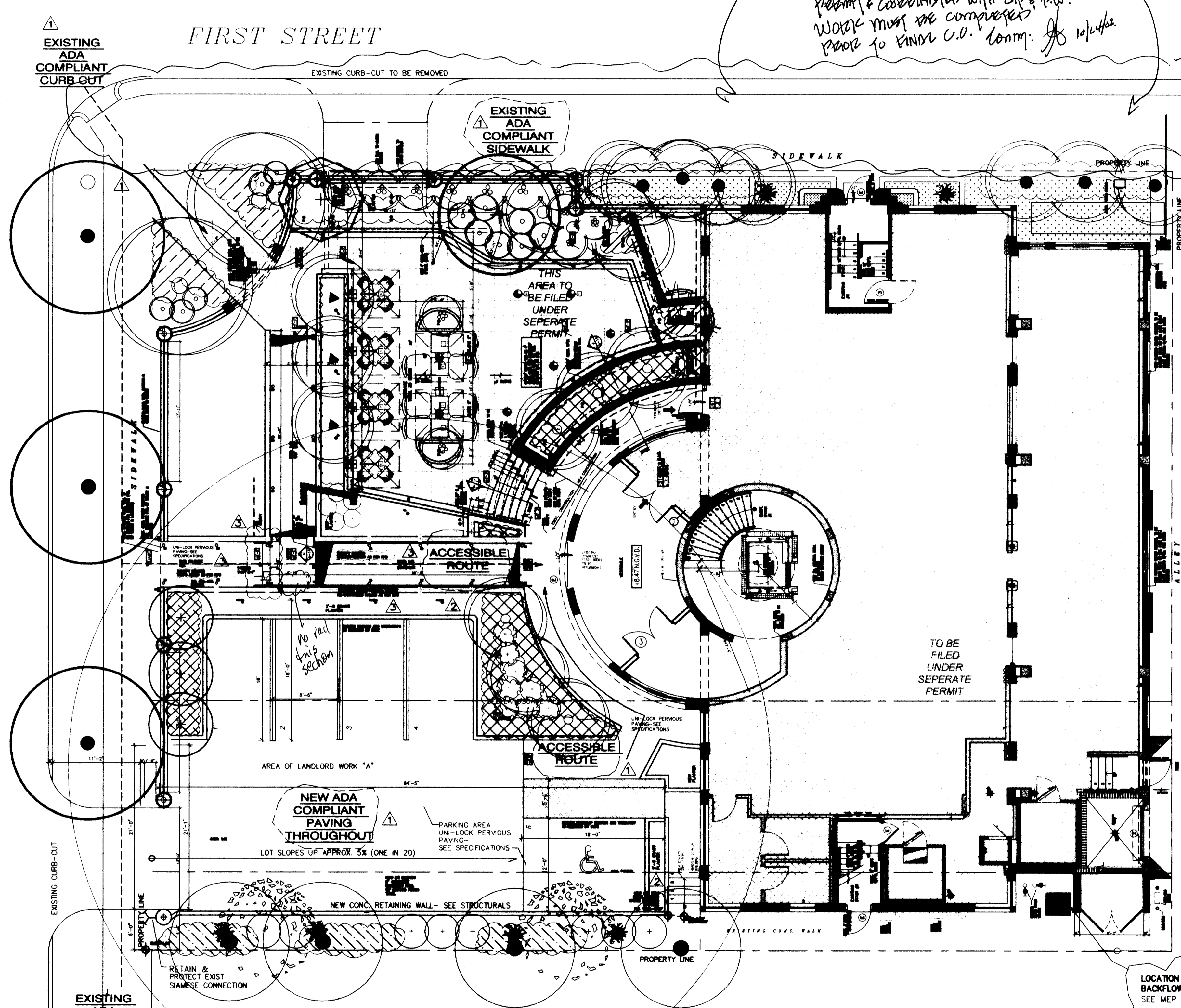
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Brev 120819
230 1ST ST.

1104979
120819
230 1ST ST.

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING: M. Schap / 4-17-12
ZONING: 4/17/12
DREDGE: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: (S) [Signature]
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: [Signature] 02/17/17
PUBLIC WORKS: _____
STRUCTURAL: _____
ELEVATOR: _____

DO NOT WORK IN PUBLIC R.O.W. TO THE CURB CUTS & SIDEWALKS PERMIT & COORDINATE WITH CIP & PAV. WORK MUST BE COMPLETED PRIOR TO FINAL C.O. COMM. 10/12/08



LOCATION OF PROPOSED BACKFLOW PREVENTER - SEE MEP DRAWINGS

- ▲ REVISED SUBMITTAL 10/1/08
- ▲ REVISED AS PER 3RD CITY OF MIAMI BEACH REVIEW
- ▲ REVISED SUBMITTAL 9/1/08
- ▲ REVISED AS PER 2ND CITY OF MIAMI BEACH REVIEW
- ▲ REVISED SUBMITTAL 5/21/08
- ▲ REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
 580 BROADWAY NYC 10012 (212)925-2202
 WALTER@WFCATHAM.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 5.21.08 SCALE: AS NOTED	A0

SEE DETAILS- SHEET AX
PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"
 230 FIRST STREET A.K.A.
 81 WASHINGTON AVENUE

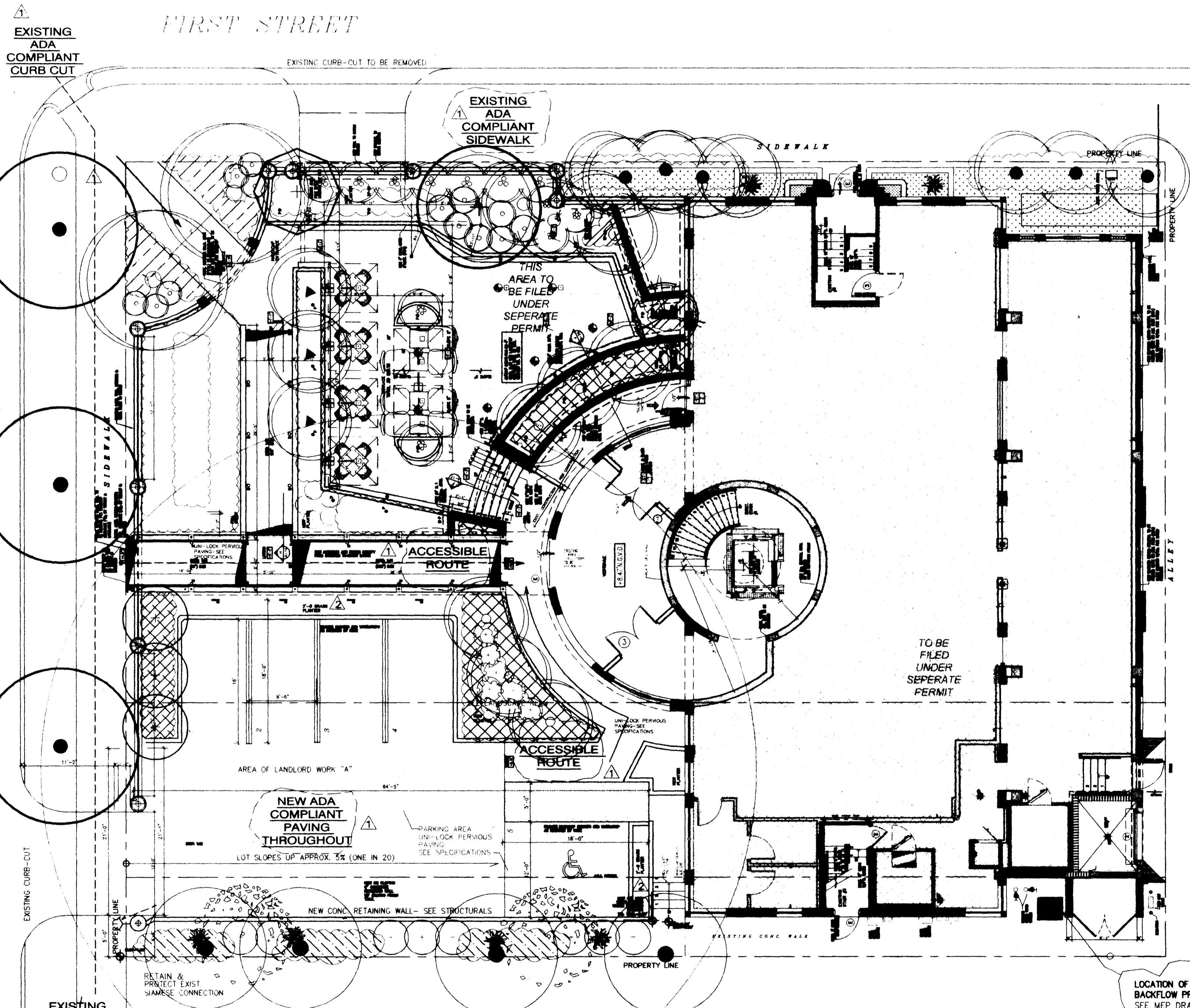
Comm: JF 10/21/08 *WFC*

TYPICAL METERED PARKING

FIRST STREET

1ST STREET

FIRST STREET



EXISTING ADA COMPLIANT CURB CUT

EXISTING ADA COMPLIANT SIDEWALK

THIS AREA TO BE FILED UNDER SEPERATE PERMIT

ACCESSIBLE ROUTE

ACCESSIBLE ROUTE

AREA OF LANDLORD WORK "A"

NEW ADA COMPLIANT PAVING THROUGHOUT

PARKING AREA UN-LOCK PERVIOUS PAVING SEE SPECIFICATIONS

NEW CONC. RETAINING WALL- SEE STRUCTURALS

RETAIN & PROTECT EXIST. SHAMISE CONNECTION

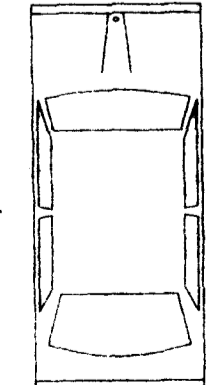
ADJACENT BUILDING

TO BE FILED UNDER SEPERATE PERMIT

LOCATION OF PROPOSED BACKFLOW PREVENTER- SEE MEP DRAWINGS

EXISTING ADA COMPLIANT SIDEWALK

TYPICAL METERED PARKING



SEE DETAILS- SHEET AX

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

230 FIRST STREET A.K.A.
81 WASHINGTON AVENUE

▲ REVISED SUBMITTAL 5/21/08
 ▲ REVISED AS PER CITY OF MIAMI BEACH REVIEW
 ▲ REVISED SUBMITTAL 9/1/08
 ▲ REVISED AS PER 2ND CITY OF MIAMI BEACH REVIEW

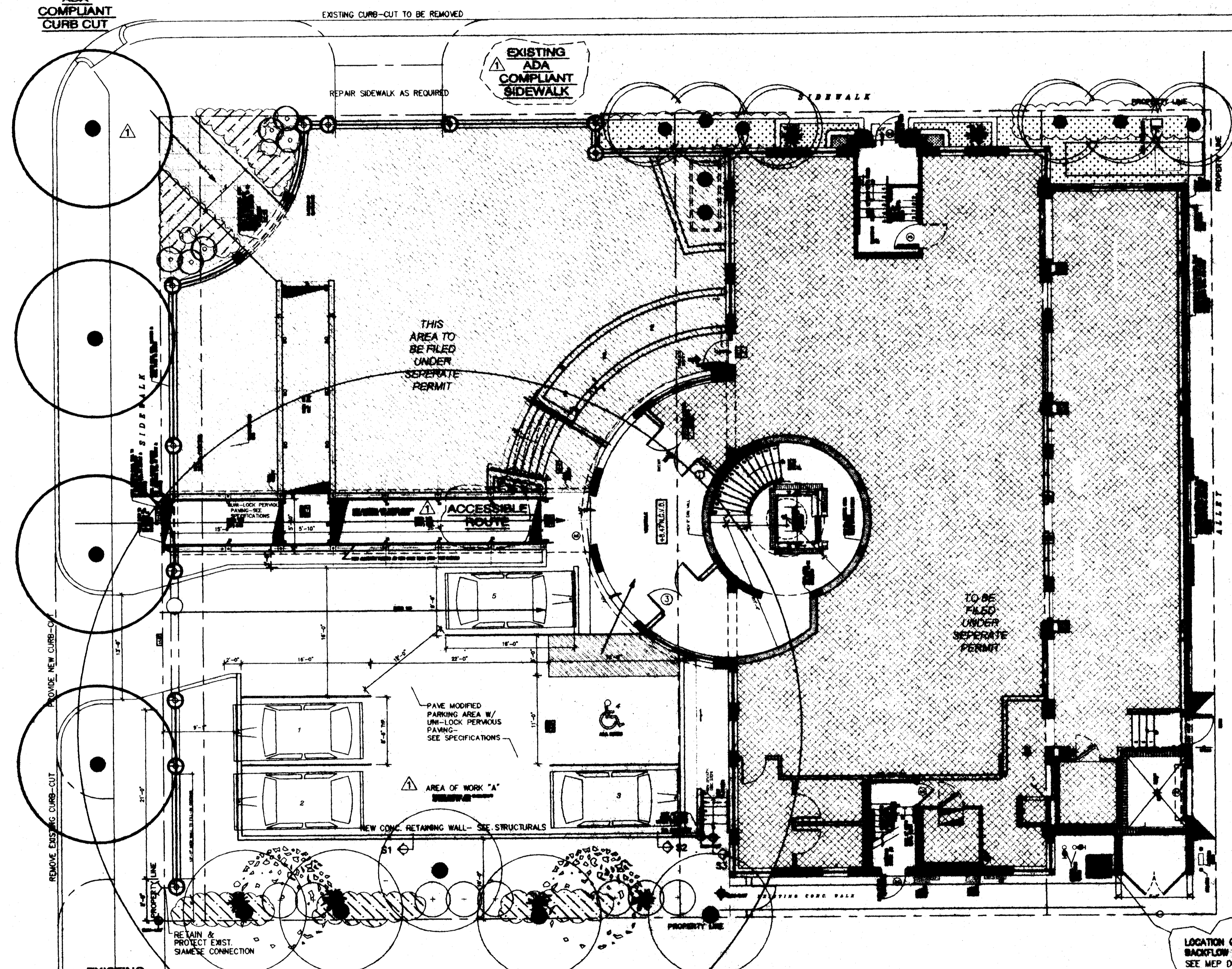
WALTER F. CHATHAM, ARCHITECT	
580 BROADWAY NYC 10012 (212)925-2202 WALTER@WFCATHAM.COM	
PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 5.21.08 SCALE: AS NOTED
A0	

1ST STREET

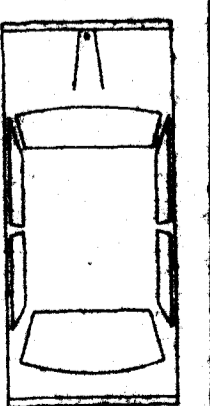
FIRST STREET

EXISTING ADA COMPLIANT CURB CUT

WASHINGTON AVENUE



TYPICAL METERED PARKING



ADJACENT BUILDING

SITE SCOPE OF WORK SUMMARY

1. PROVIDE NEW LANDSCAPING, CURBS, CURB CUT, GRADING, PAVING AND SITE WALLS AS INDICATED ON DRAWINGS. NORTH SIDE OF SITE UNDER SEPERATE PERMIT
2. PROVIDE NEW CORE-COMPLIANT HANDICAP ACCESS RAMP AND CURB CUT AS INDICATED ON DRAWINGS
3. PROVIDE ADDITIONAL LIGHTING AND OTHER MEP IMPROVEMENTS AS INDICATED ON MEP DRAWINGS
4. PROVIDE ADDITIONAL MODIFIED PLANTING AND OTHER LANDSCAPE IMPROVEMENTS AS INDICATED ON LANDSCAPE DRAWING.

SEE DETAILS- SHEET AX

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

230 FIRST STREET A.K.A.
81 WASHINGTON AVENUE

LOCATION OF PROPOSED BACKFLOW PREVENTER- SEE MEP DRAWINGS

REVISED SUBMITTAL 04/18/08
 REVISED AS PER CITY OF MIAMI BEACH
 REVISED SUBMITTAL 07/18/08
 REVISED AS PER 2ND CITY OF MIAMI BEACH

WALTER F. CHATFIELD, ARCHITECT
 580 BROADWAY NYC 10012 (212) 625-6200
 WALTER@WFCFARCH.COM

PROJECT:
 230 FIRST STREET
 MIAMI BEACH, FLORIDA

DATE:
 8.27.08

SCALE:
 1/8" = 1'-0"

NO. 00000

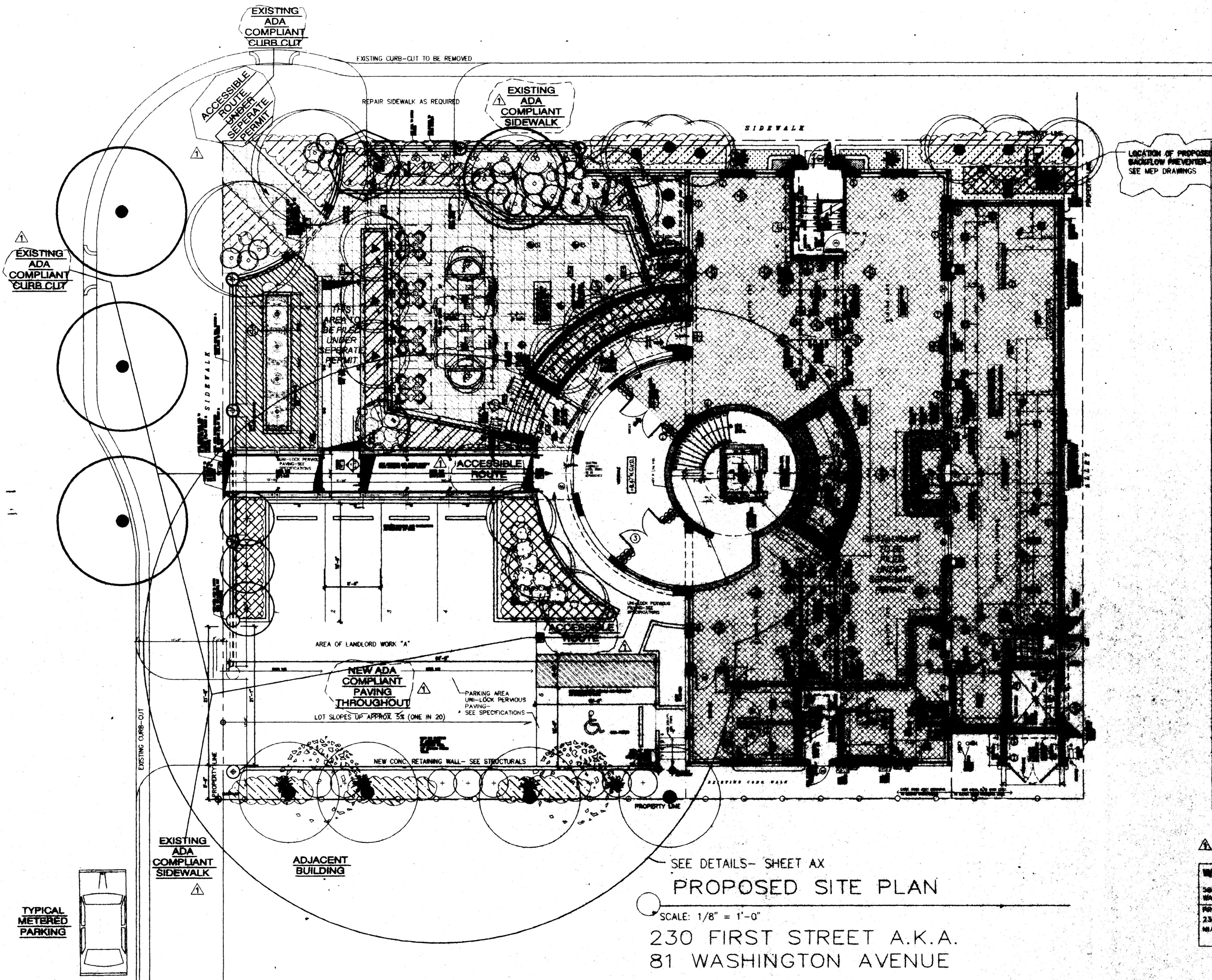
AD

WFCF

FIRST STREET

FIRST STREET

WASHINGTON AVENUE



SEE DETAILS- SHEET AX
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"
230 FIRST STREET A.K.A.
81 WASHINGTON AVENUE

REVISED SHEET 04/21/08
REVISED AS PER CITY OF MIAMI BEACH PERMITS

WALTER F. CHRISTENSEN ARCHITECTS
380 BRIDLEWAY, SUITE 10012 (24) 9225-2202
WALTER@CFCAARCH.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 8.21.08 SCALE: AS NOTED	A0

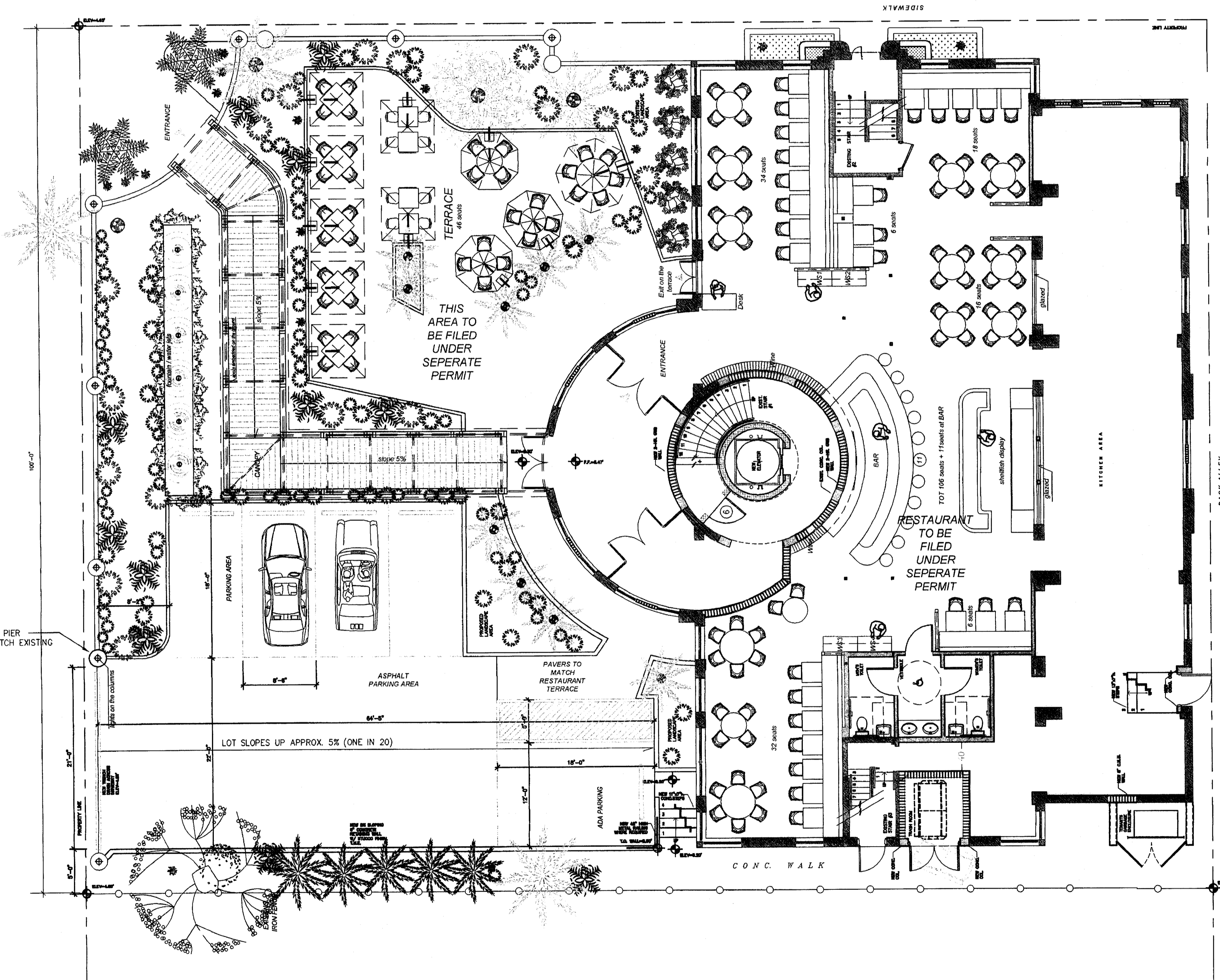
Walter F. Christensen

FIRST STREET

1st. STREET

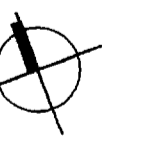
WASHINGTON AVENUE

WASHINGTON AVENUE



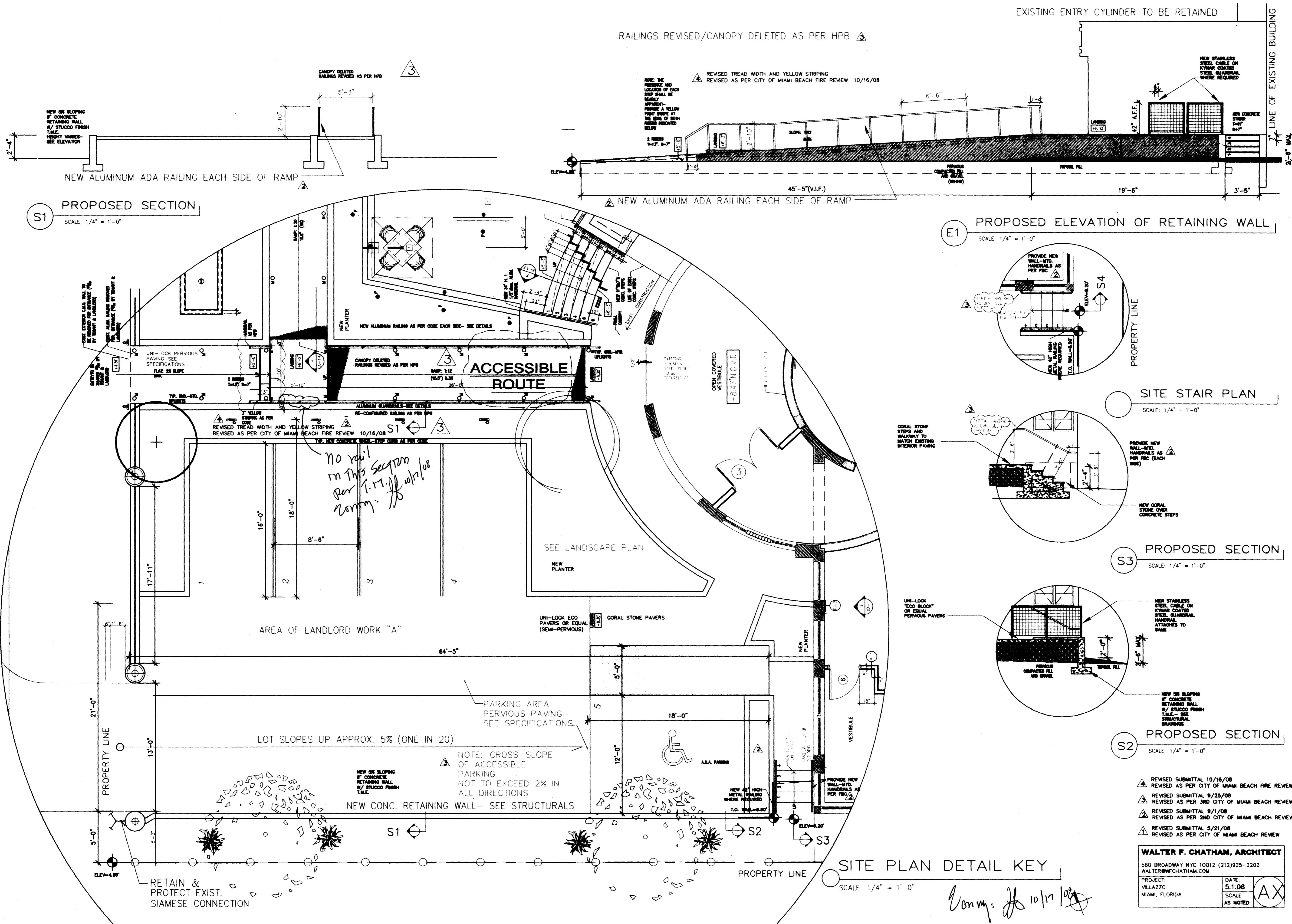
PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"
 81 WASHINGTON AVENUE

REVISED SUBMITTAL 1/21/08	
WALTER F. CHATHAM, ARCHITECT	
580 BROADWAY NYC 10012 (212)925-2202 WALTER@WFCHATHAM.COM	
PROJECT: VILLAZZO MIAMI, FLORIDA	DATE: 2.1.08 SCALE: AS NOTED



WFC

WASHINGTON AVENUE



S1 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

E1 PROPOSED ELEVATION OF RETAINING WALL
SCALE: 1/4" = 1'-0"

S4 SITE STAIR PLAN
SCALE: 1/4" = 1'-0"

S3 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

S2 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

SITE PLAN DETAIL KEY
SCALE: 1/4" = 1'-0"

- ▲ REVISED SUBMITTAL 10/16/08
- ▲ REVISED AS PER CITY OF MIAMI BEACH FIRE REVIEW
- ▲ REVISED SUBMITTAL 9/25/08
- ▲ REVISED AS PER 3RD CITY OF MIAMI BEACH REVIEW
- ▲ REVISED SUBMITTAL 9/1/08
- ▲ REVISED AS PER 2ND CITY OF MIAMI BEACH REVIEW
- ▲ REVISED SUBMITTAL 5/21/08
- ▲ REVISED AS PER CITY OF MIAMI BEACH REVIEW

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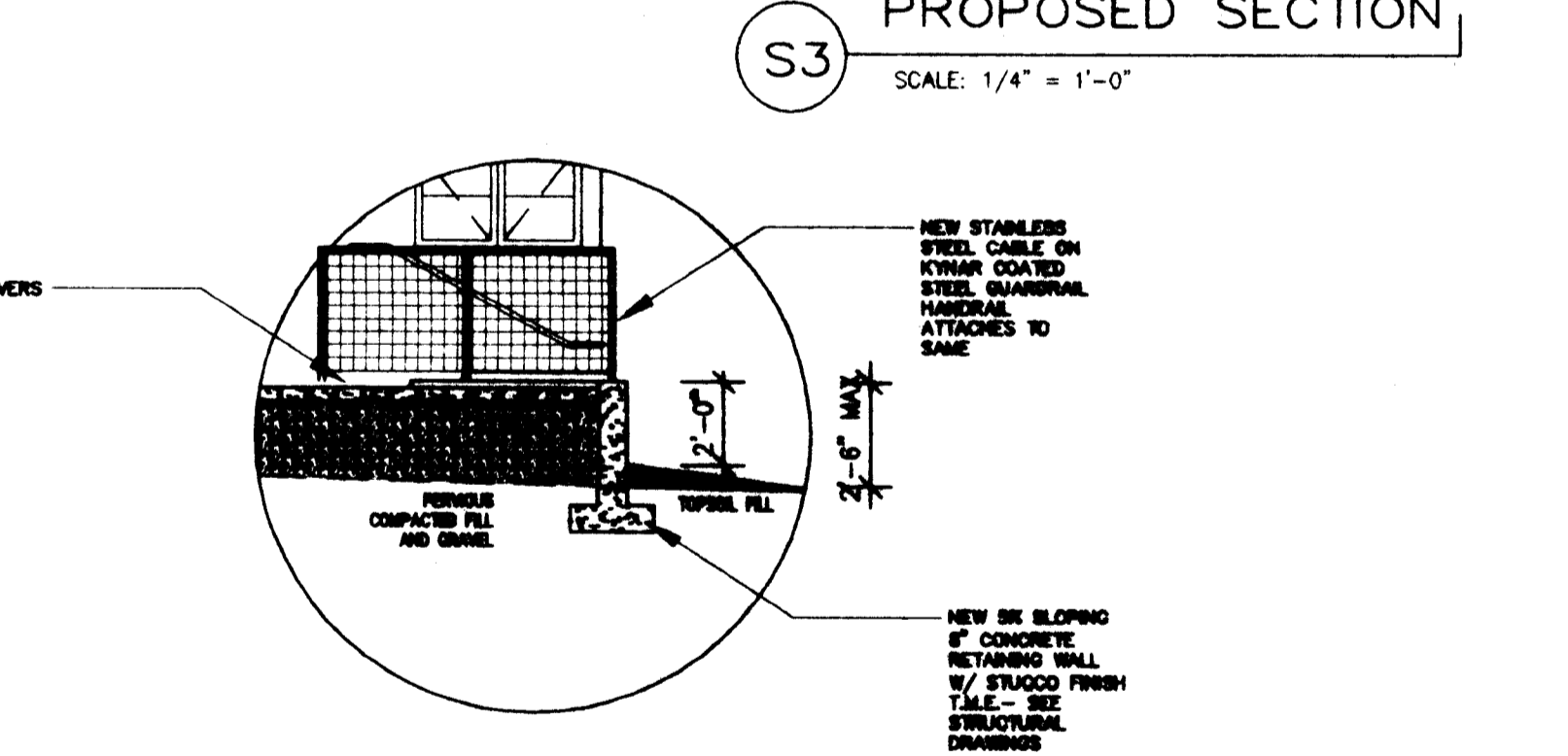
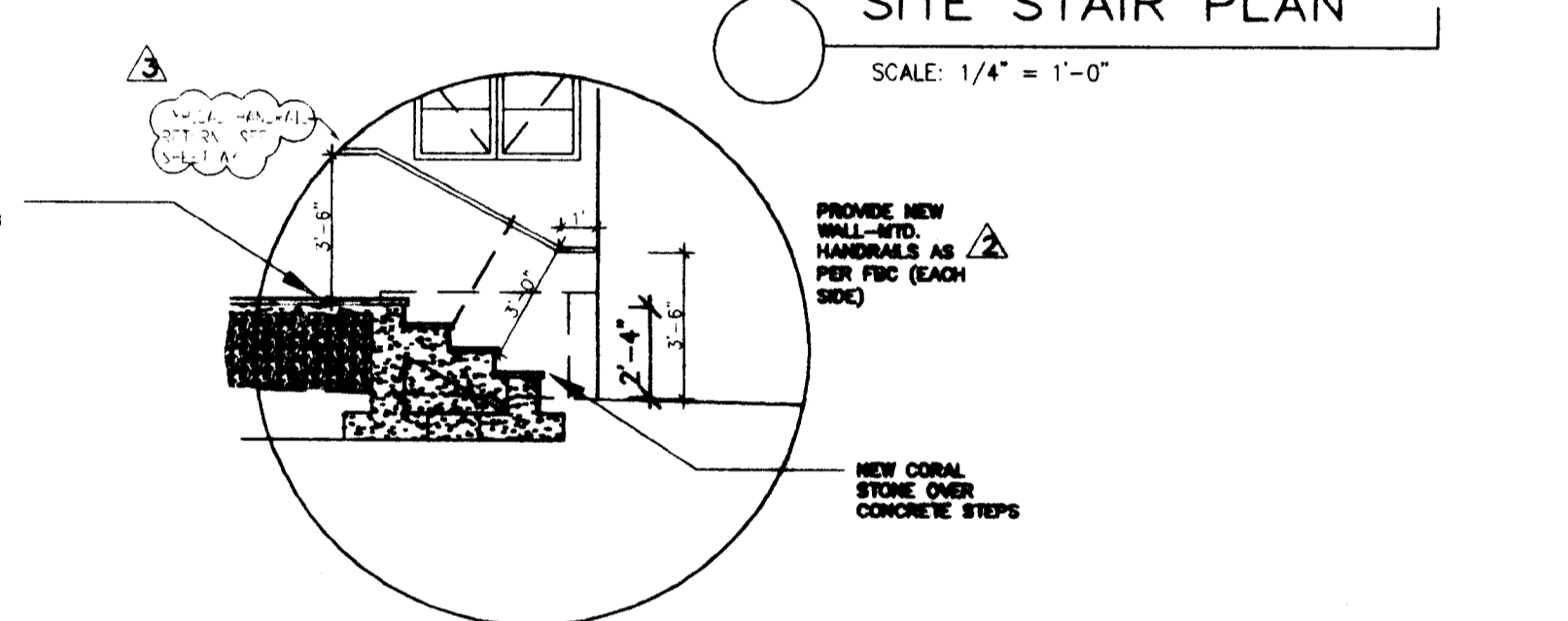
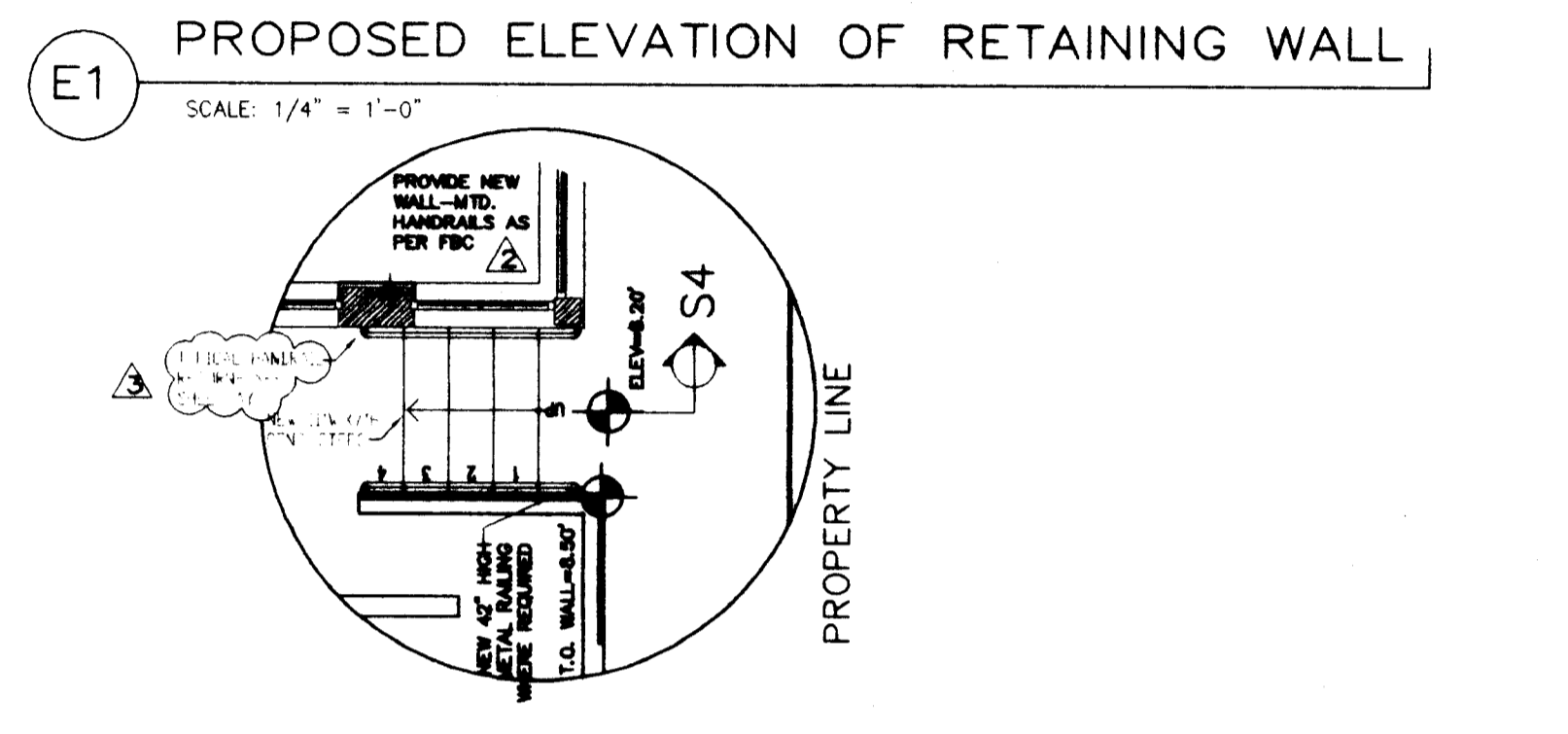
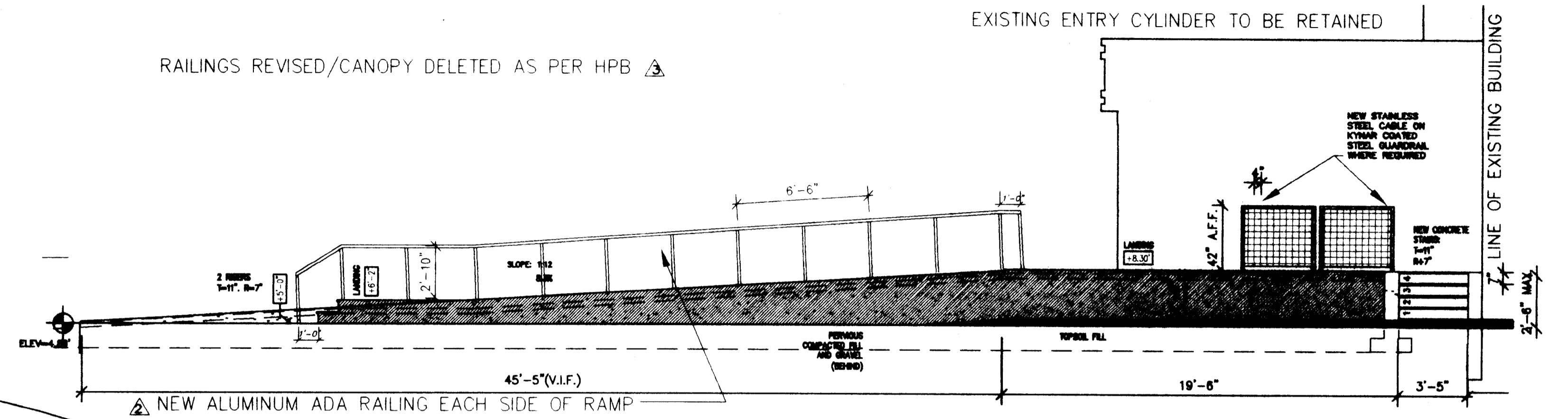
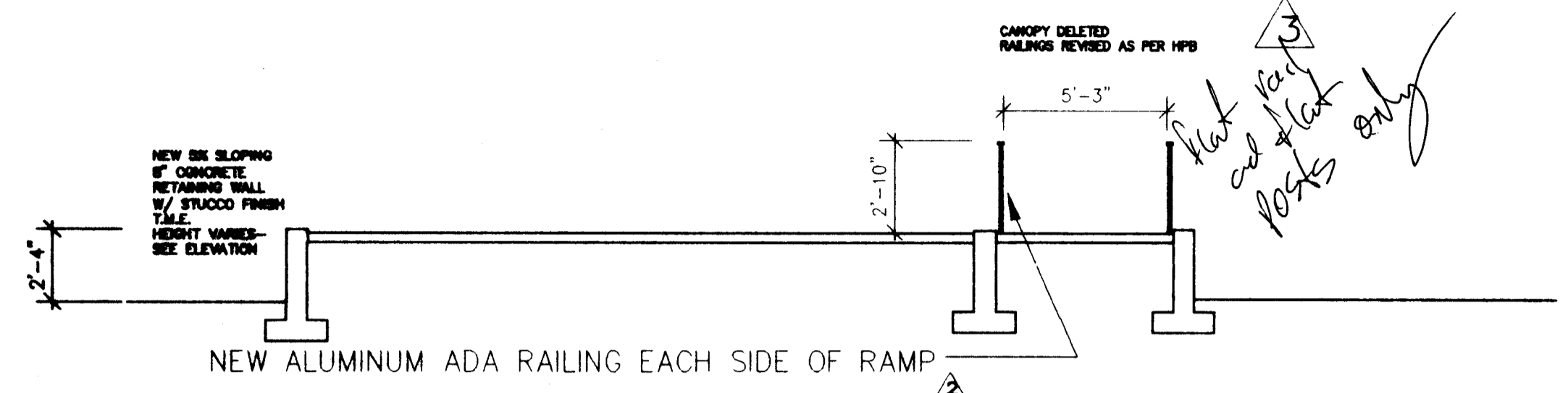
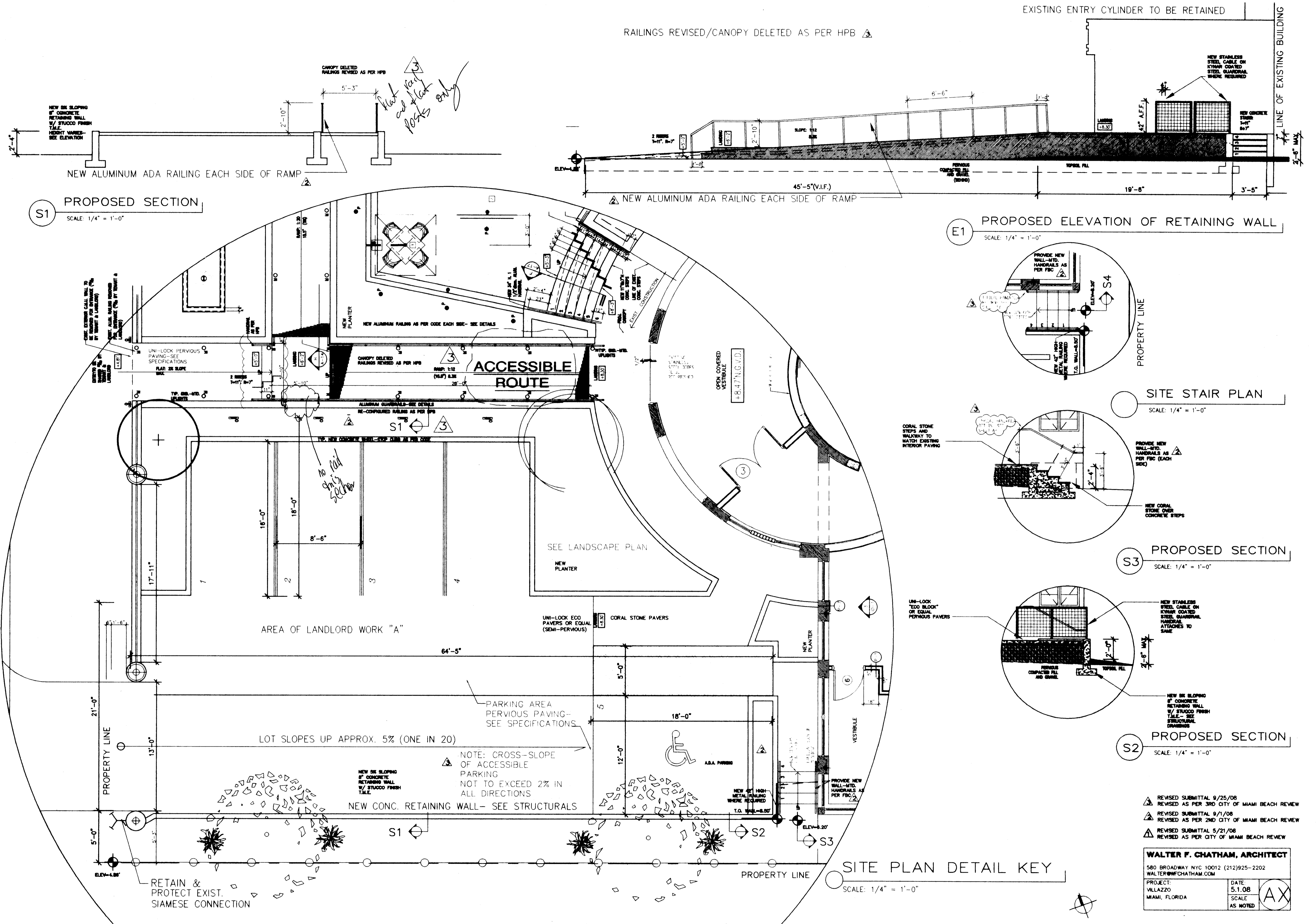
PROJECT:	VILLAZZO	DATE:	5.1.08
MIAMI, FLORIDA		SCALE:	AS NOTED

AX

Conny. 10/17/08

WFC

WASHINGTON AVENUE



REVISD SUBMITTAL 9/25/08
 REVISD AS PER 3RD CITY OF MIAMI BEACH REVIEW
 REVISD SUBMITTAL 9/1/08
 REVISD AS PER 2ND CITY OF MIAMI BEACH REVIEW
 REVISD SUBMITTAL 5/21/08
 REVISD AS PER CITY OF MIAMI BEACH REVIEW

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PROJECT: VILAZZO MIAMI, FLORIDA

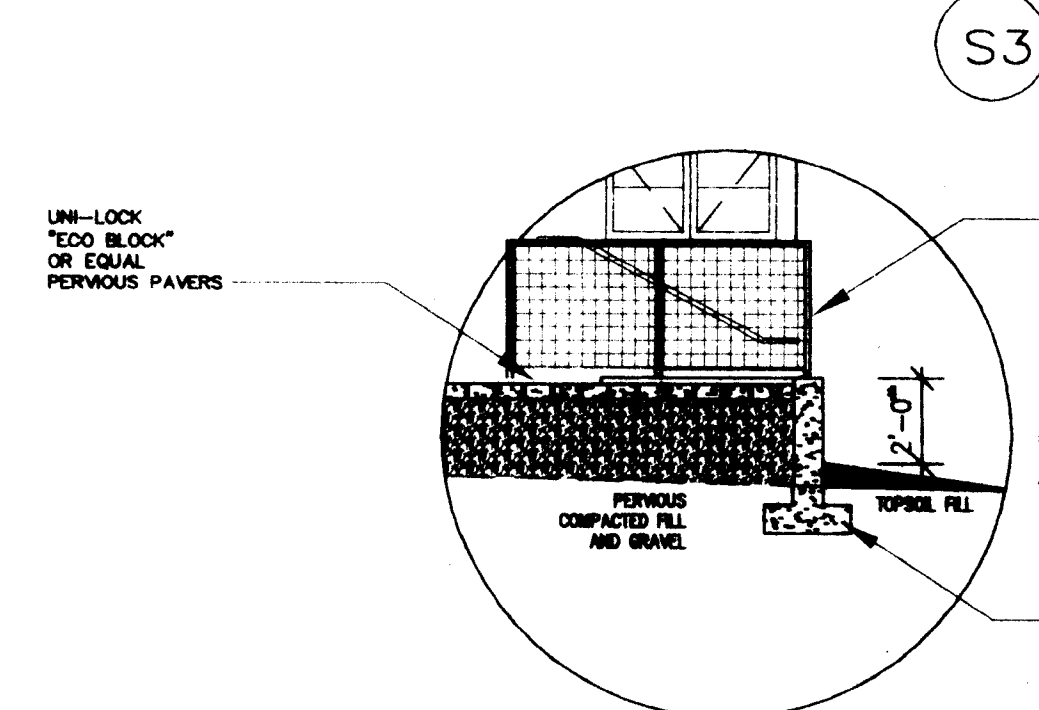
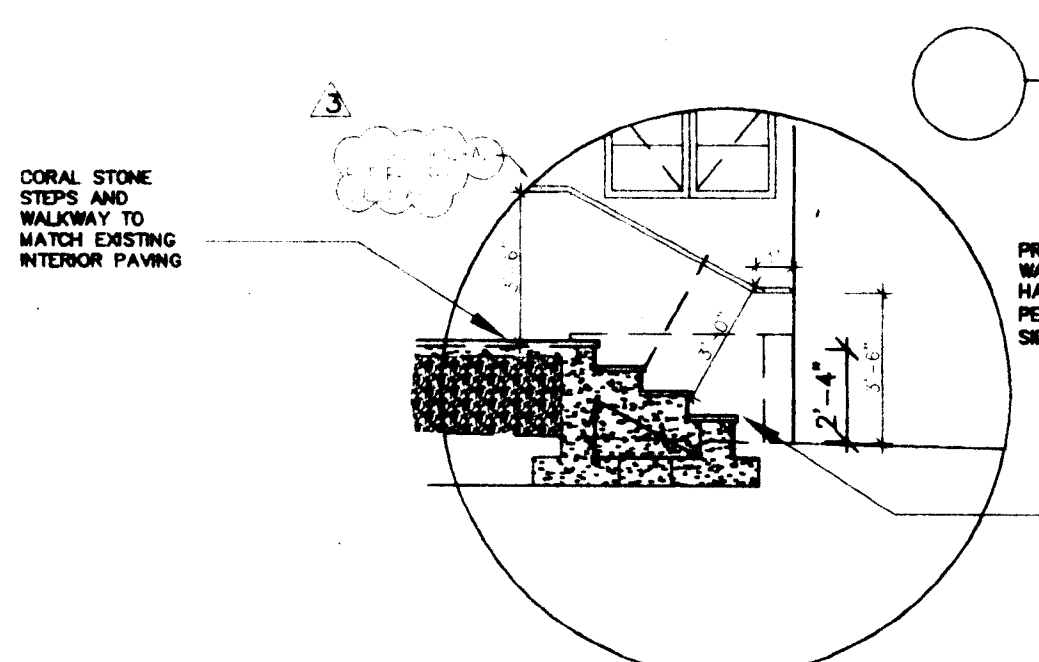
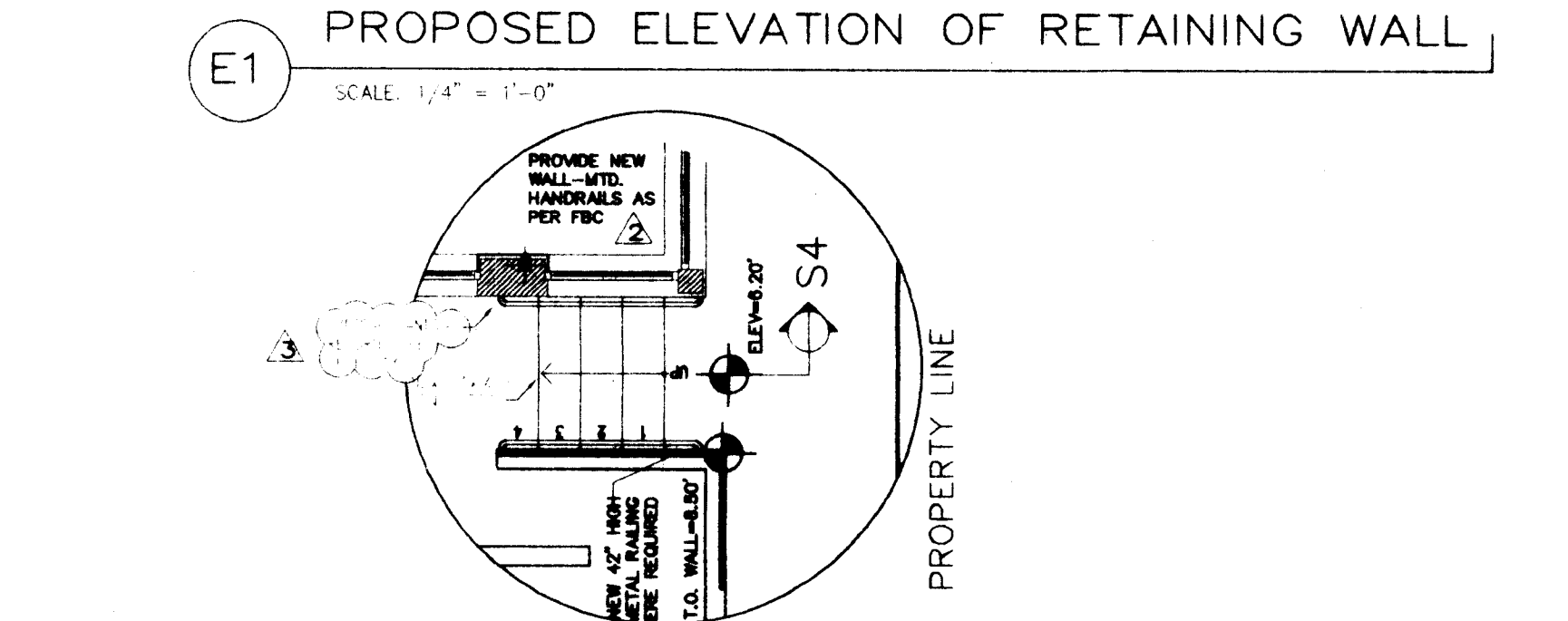
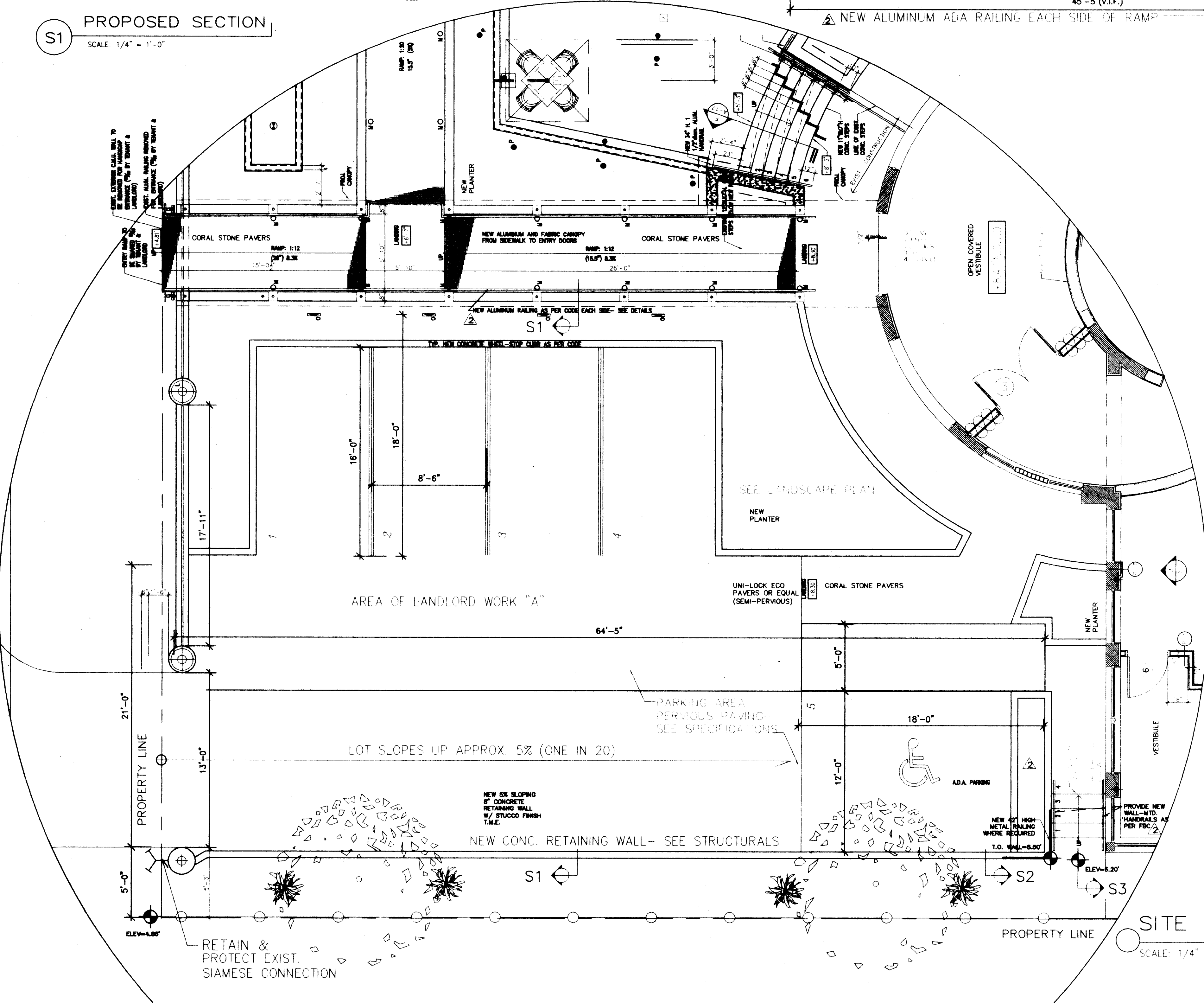
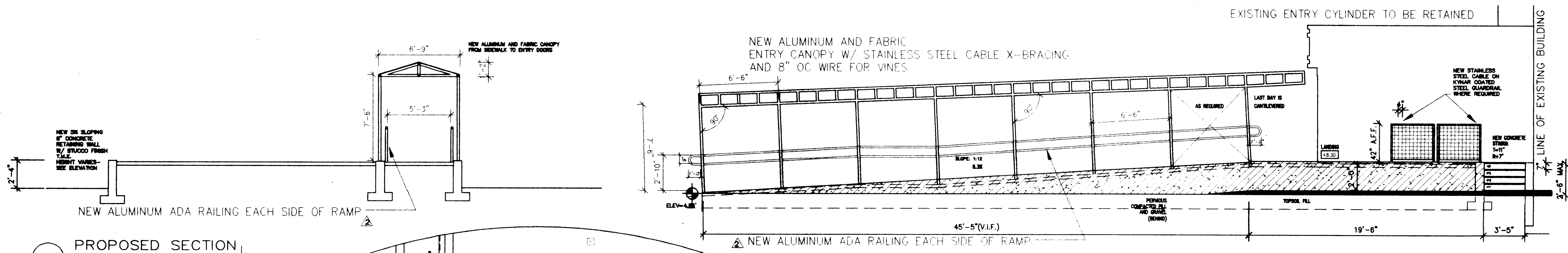
DATE: 5.1.08
 SCALE: AS NOTED

AX

Comm. 10/15/08

[Handwritten signature]

WASHINGTON AVENUE



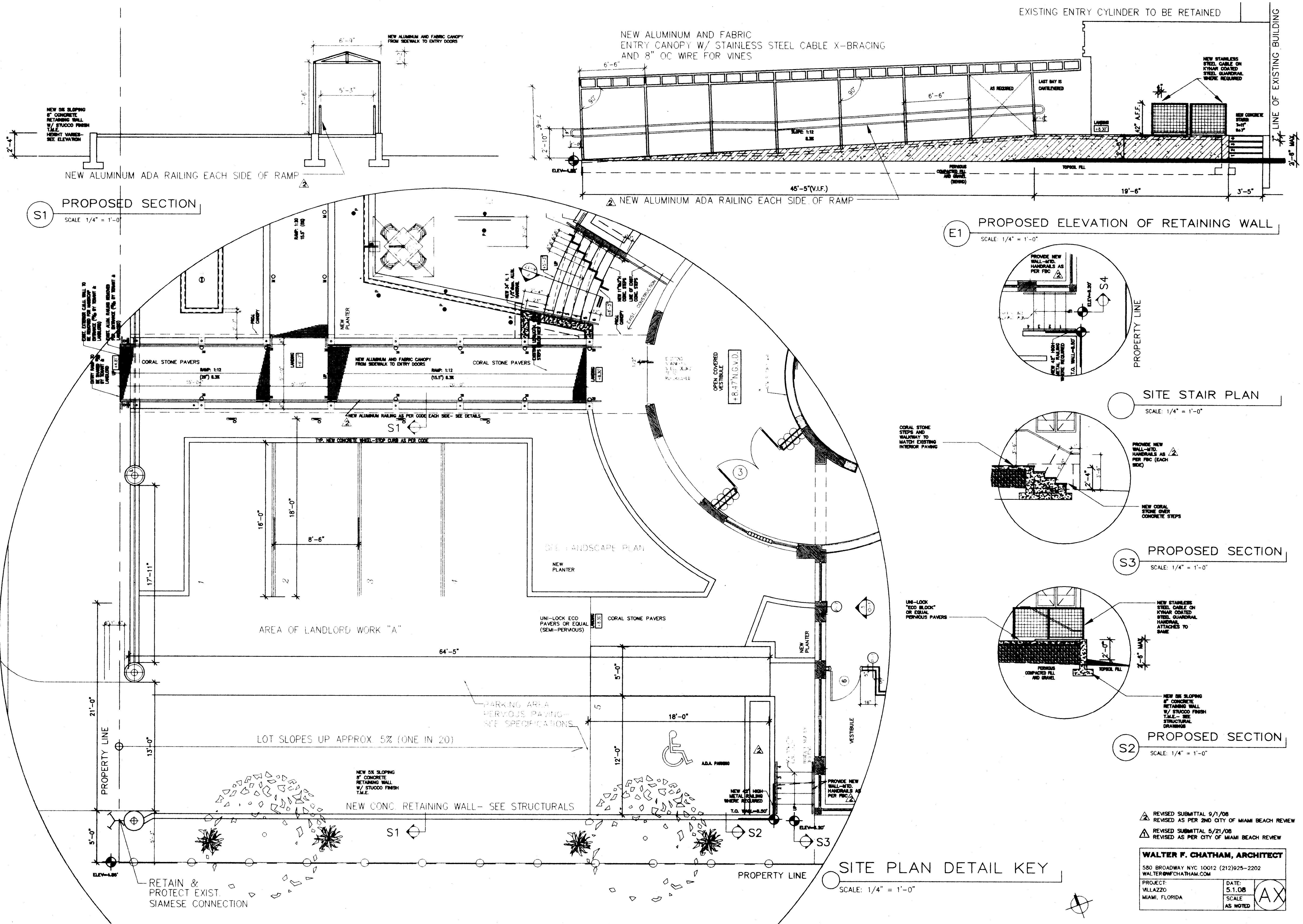
- REVISED SUBMITTAL 9/25/08
- REVISED AS PER 3RD CITY OF MIAMI BEACH REVIEW
- REVISED SUBMITTAL 9/1/08
- REVISED AS PER 2ND CITY OF MIAMI BEACH REVIEW
- REVISED SUBMITTAL 5/21/08
- REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212)925-2202
WALTER@WFCATHAM.COM

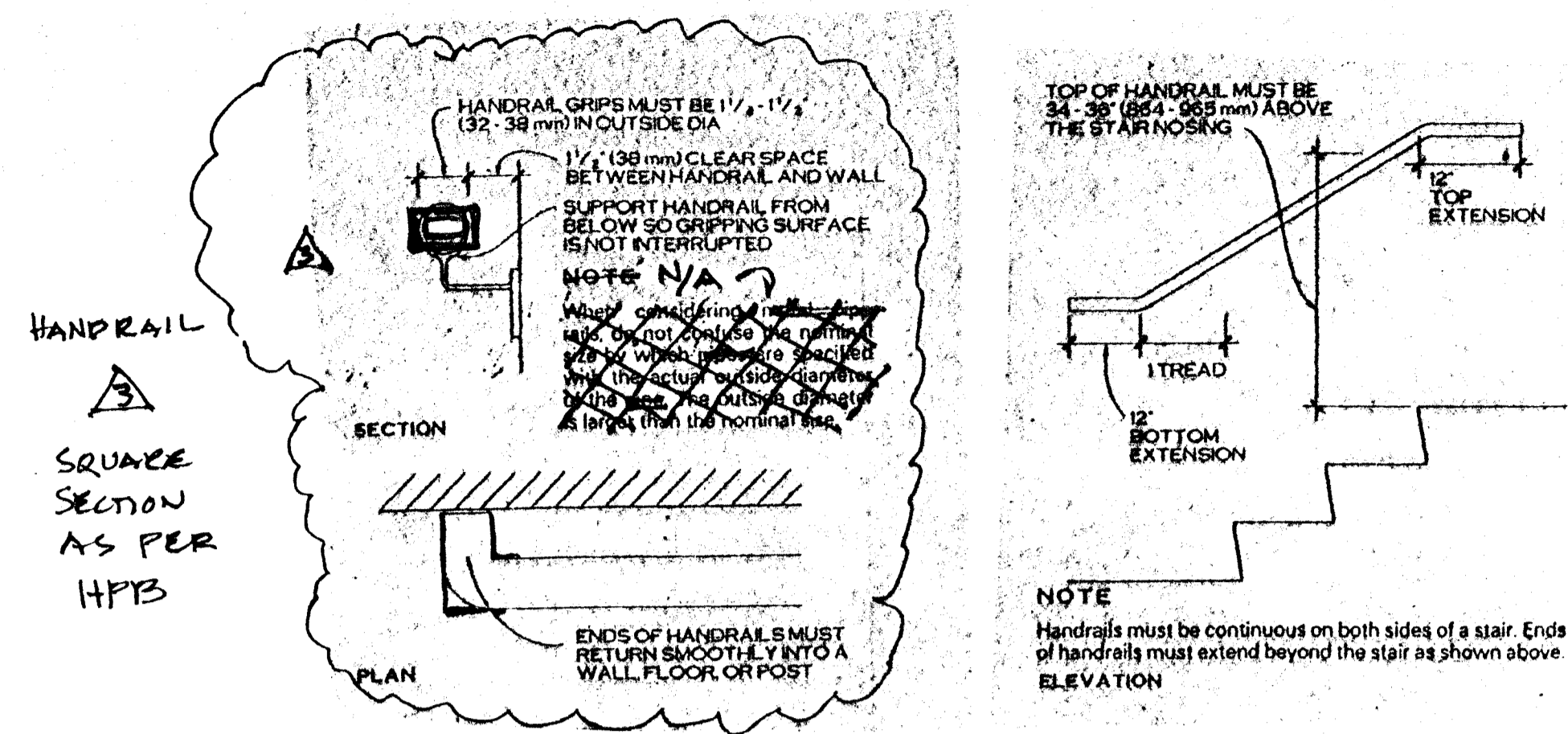
PROJECT	DATE	AX
VILLAZZO	5.1.08	
MIAMI, FLORIDA	SCALE AS NOTED	

WFC

WASHINGTON AVENUE

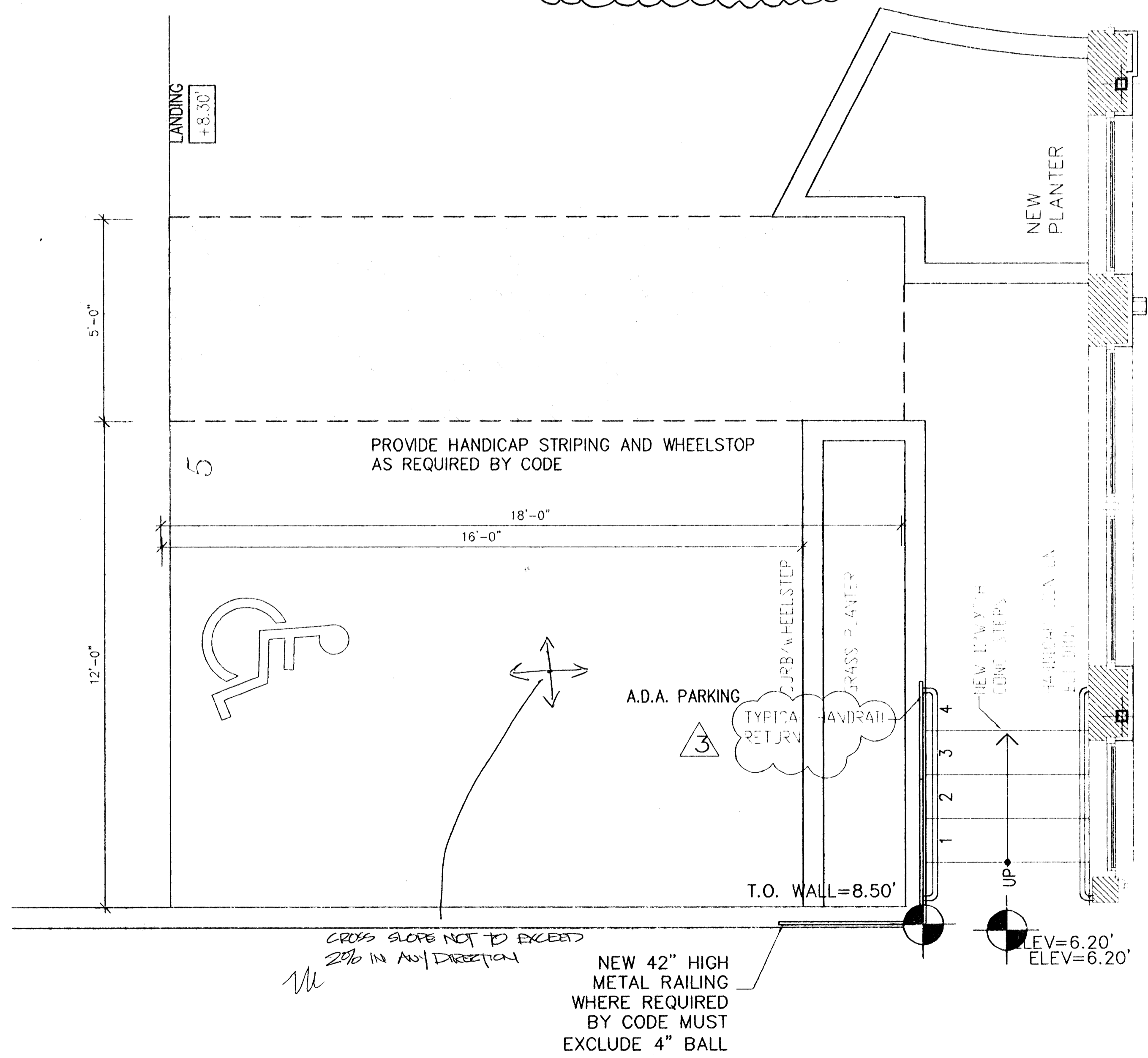


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WALL-MTD. HANDRAIL DETAILS

SEE T-2 FOR INTERIOR STAIR DETAILS & POST-SUPPORTED RAILINGS

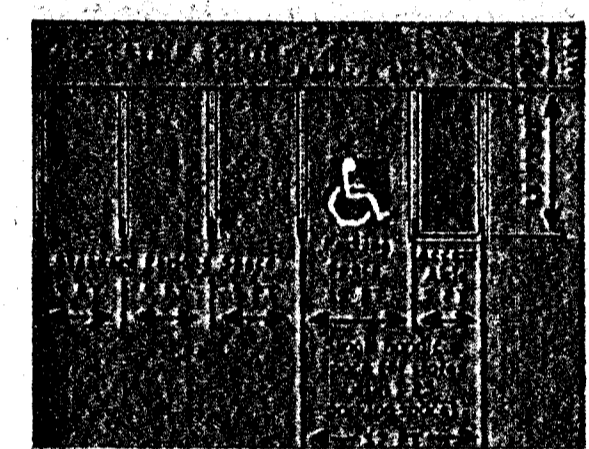


ADA PARKING DETAILS

SCALE: 1/4" = 1'-0"

Florida Standards
 STRIPING LAYOUT - HANDICAP PARKING (ONE SPACE)
 HANDICAP SIGN - MOUNTED ON BUILDING OR POST (See Below)

slope for parking space and access aisle = 1/4 ft.
 Paint all stripes 4" wide. Use template for logo - see handicap logo design below.



HANDICAP LOGO DESIGN:

- Logo to be painted on asphalt
- Background - Painted light blue
- Logo - Painted white



HANDICAP SIGN:

- Mount on building or on post below blue background with white logo and letters. Sign should also include the statement: "Van Accessible"
- Note: When handicap parking space is in front of a storefront glass area, the sign can be screened in the vertical aluminum members of the storefront glass, or directly shield to the exterior of the glass using a clear silicone adhesive.

POST:

- Use steel post to mount sign if paving surface can be dug easily. Otherwise, mount sign to building wall or glass.

TOTAL PARKING SPACES	MINIMUM NUMBER REQUIRED	HANDICAPPED ACCESSIBLE MINIMUM:
1 to 25	1	<ul style="list-style-type: none"> Regular handicapped access aisles must be at least 5' Van accessible space must be 8' 5' x 8' wide van space must have 8" wide access aisle (marked with cross hatching) Two adjacent parking stalls may share access aisles, if the aisle is between spaces.
26 to 50	2	
51 to 75	3	
76 to 100	4	
101 to 150	5	
151 to 200	6	
201 to 300	7	
301 to 400	8	
401 to 500	9	
501 to 1000	2% total spaces	ALTERNATIVE UNIVERSAL PARKING SPACE DESIGN: <ul style="list-style-type: none"> Parking space 12' wide, access aisle 5' All facilities are required to make 50% of their spaces handicapped-accessible. Proper placement of parking signs should be placed where the front end of a parked car does not disrupt the access to the building.
One patient medical and treatment facility Any facility serving the mobility impaired	20 plus 1 for each 100 over 1000 10% total spaces 20% total spaces	

- REVISD SUBMITTAL 9/25/08
REVISD AS PER 3RD CITY OF MIAMI BEACH REVIEW
- REVISD SUBMITTAL 9/1/08
REVISD AS PER 2ND CITY OF MIAMI BEACH REVIEW
- REVISD SUBMITTAL 5/21/08
REVISD AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
 580 BROADWAY NYC 10012 (212)925-2202
 WALTER@WFCHATHAM.COM

PROJECT: VILAZZO MIAMI, FLORIDA

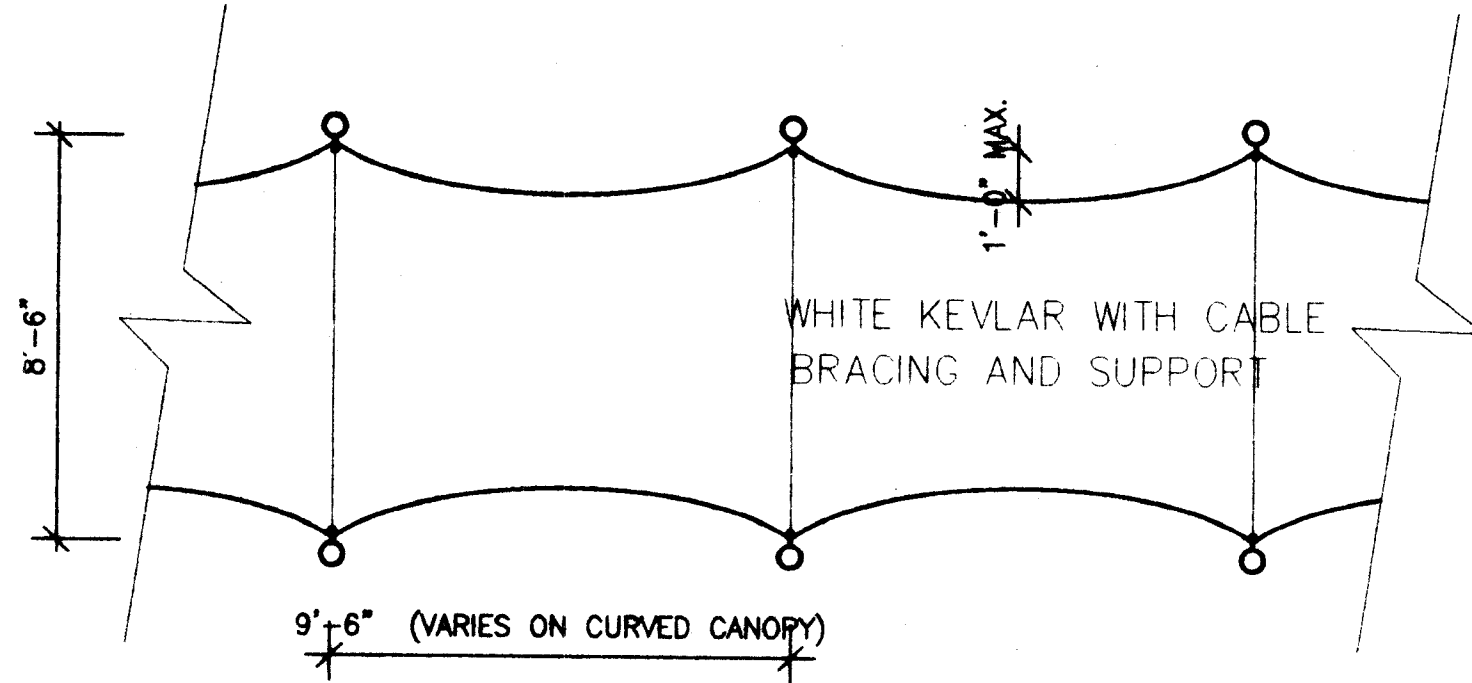
DATE: 5.1.08

SCALE: AS NOTED

AY

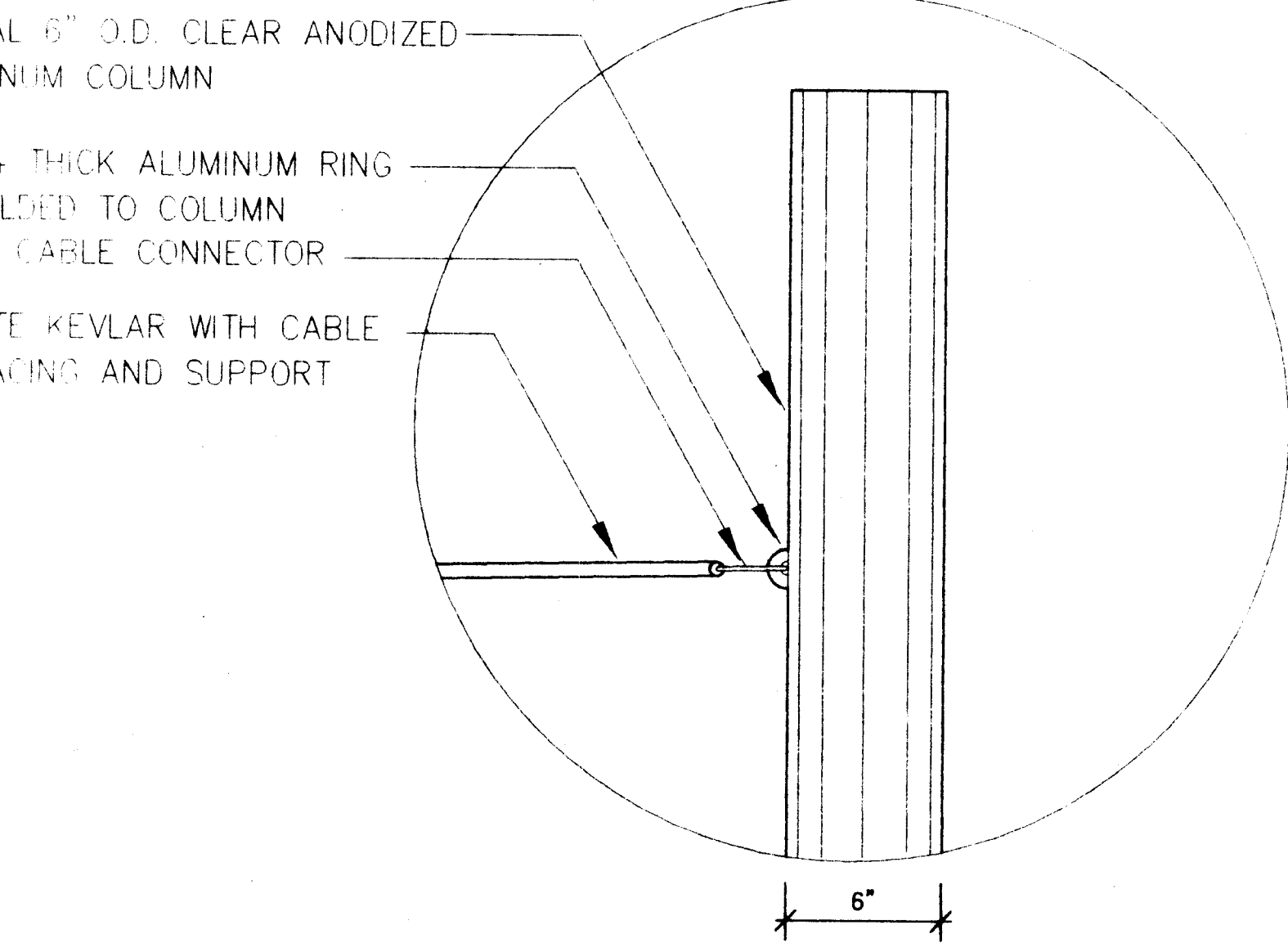
Walter F. Chatham 10/19/08

SUBMIT SHOP DRAWINGS TO HPB FOR SIGN-OFF BEFORE BEGINNING FABRICATION



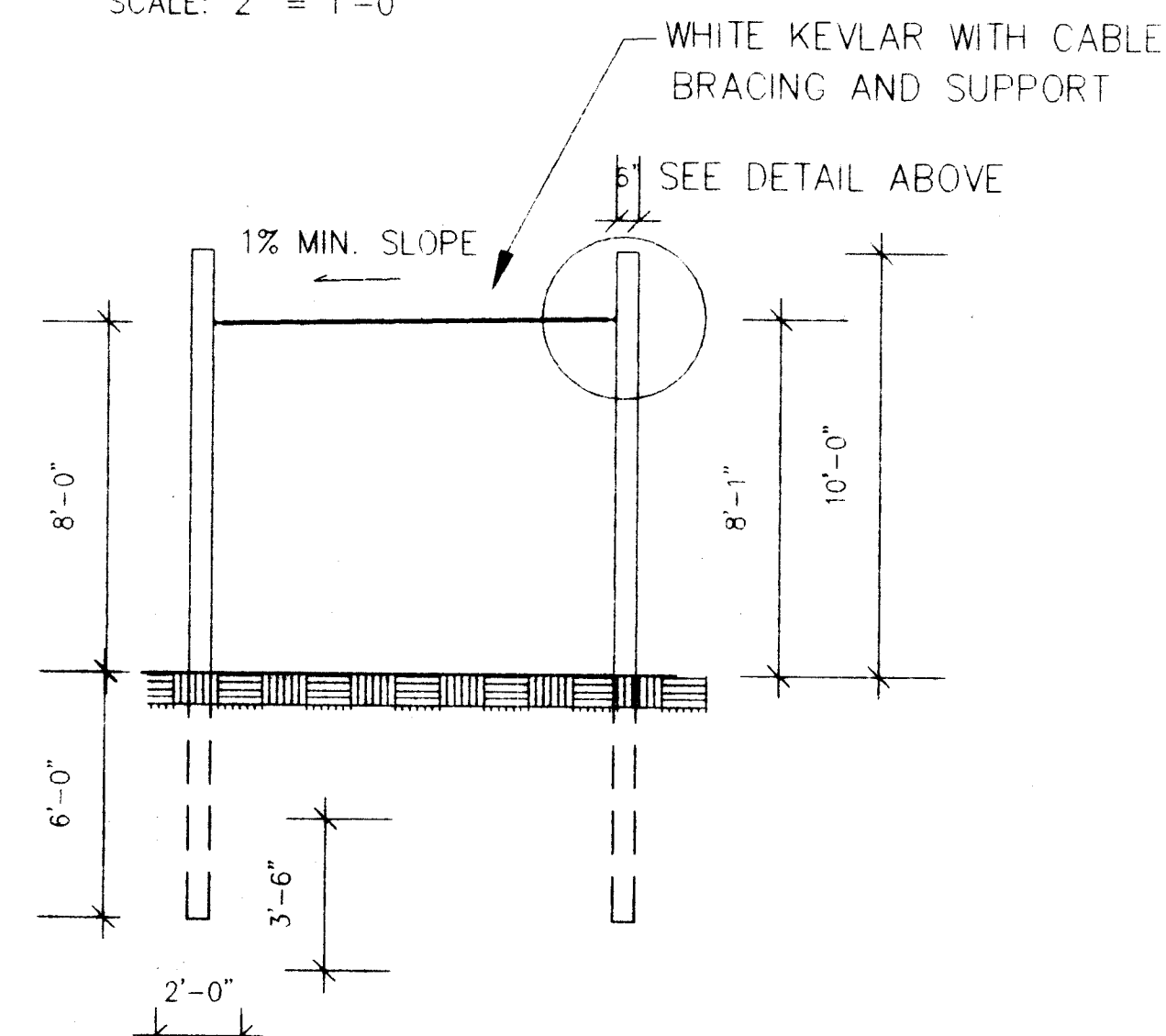
TYPICAL CANOPY PLAN

SCALE: 1/4" = 1'-0"



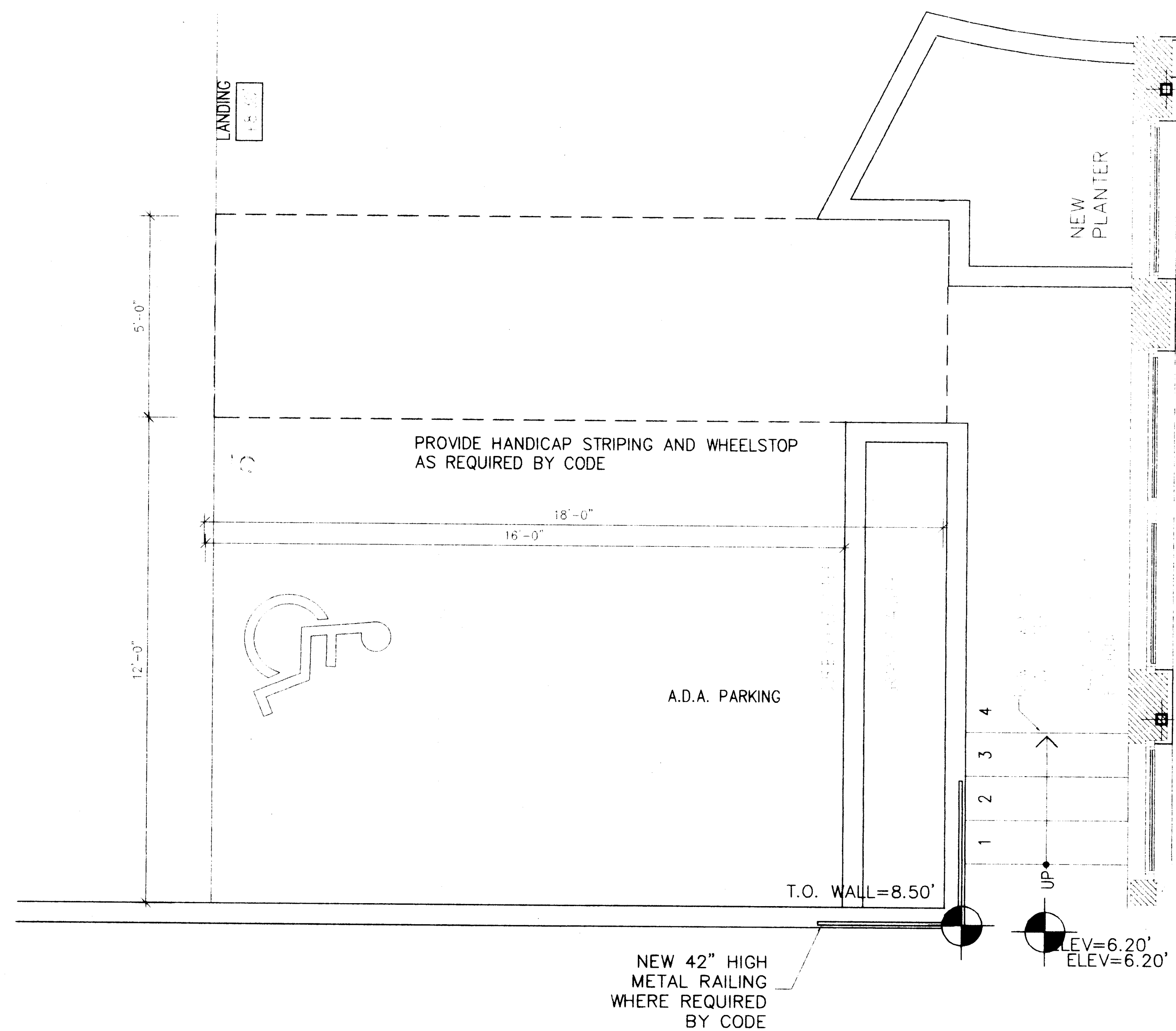
CANOPY DETAIL SECTION

SCALE: 2" = 1'-0"



TYPICAL CANOPY SECTION

SCALE: 1/4" = 1'-0"



ADA PARKING DETAILS

SCALE: 1/4" = 1'-0"

Florida Standards
STRIPING LAYOUT - HANDICAP PARKING (ONE SPACE)
HANDICAP SIGN - MOUNTED ON BUILDING OR POST (See Below)

Slope for parking space and access aisle = 1/4 ft.

Paint all stripes 4" wide. Use templates for logo - see handicap logo design below.

HANDICAP LOGO DESIGN:

- Logo to be painted on asphalt
- Background - Painted light blue
- 1/2" - 3/4" thick white

HANDICAP SIGN:

Mount on building or on post below that background with white logo and letters. Sign should also include the statement: "Non-Residential".
 Note: When handcap parking space is in front of a storefront glass door, the sign can be screened to the vertical aluminum extrusion of the storefront glass, or directly glued to the exterior of the glass using a clear silicone adhesive.

STRIPING:

Use steel post to mount sign if another surface can be used. Otherwise, mount sign to building wall or glass.

TOTAL PARKING SPACES	MINIMUM REQUIRED ACCESSIBLE SPACES (A.S.A.)	MINIMUM REQUIRED ACCESSIBLE SPACES (A.S.A.)
1 to 25	1	1
26 to 50	2	2
51 to 75	3	3
76 to 100	4	4
101 to 150	5	5
151 to 200	6	6
201 to 250	7	7
251 to 300	8	8
301 to 350	9	9
351 to 400	10	10
401 to 500	12	12
501 to 1000	20	20
More than 1000	20 plus 1 for each 100 over 1000	20 plus 1 for each 100 over 1000

UNDESIGNATED ACCESSIBLE MINIMUM:

- Regular handicapped access aisle must be at least 5'
- Van accessible space must be 8'
- Each 8' wide van space must have 8' wide access aisle (marked with cross hatching).
- The adjacent parking aisle may share access aisle, if the aisle is between spaces.

ALTERNATIVE UNIVERSAL PARKING SPACE DESIGN:

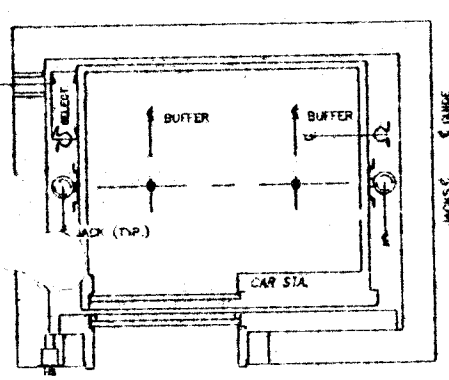
- Parking space 12' wide, access aisle 5'
- All facilities are required to make 50% of their remaining handicapped accessible.
- Proper placement of parking signs should be placed where the front end of a vehicle can stop and around the access to the building.

REVISOR: 9/1/08
 REVISOR: 5/21/08

WALTER F. CHATHAM, ARCHITECT
 580 BROADWAY NYC 10012 (212)925-2202
 WALTER@WFCATHAM.COM

PROJECT: VILLAZZO MIAMI, FLORIDA
 DATE: 5.1.08
 SCALE: AS NOTED

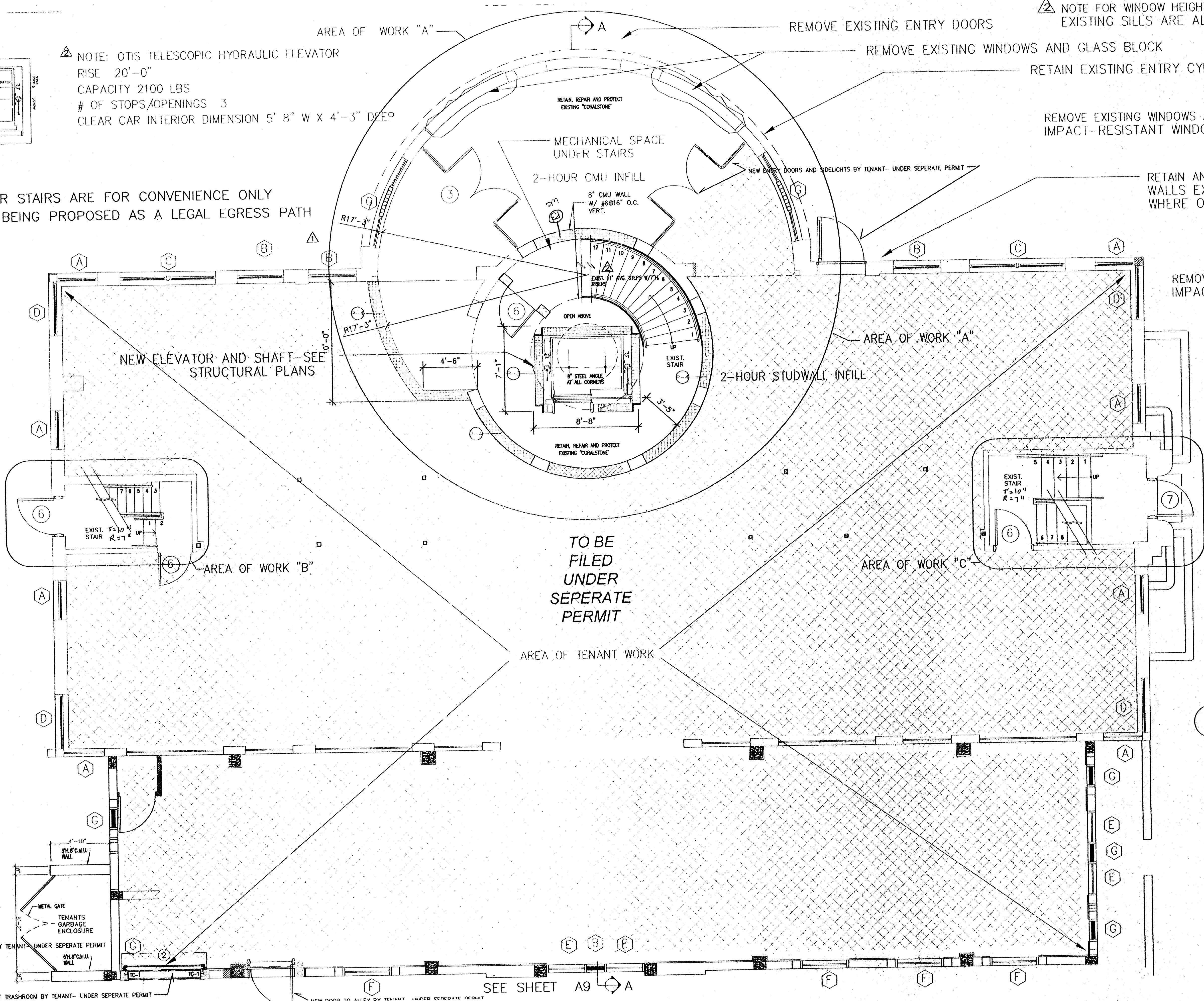
Indy by



NOTE: OTIS TELESCOPIC HYDRAULIC ELEVATOR
 RISE 20'-0"
 CAPACITY 2100 LBS
 # OF STOPS/OPENINGS 3
 CLEAR CAR INTERIOR DIMENSION 5' 8" W X 4'-3" DEEP

NOTE FOR WINDOW HEIGHTS:
 EXISTING SILLS ARE ALL 38" AFF UNLESS OTHERWISE NOTED.

NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY
 AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH



REMOVE EXISTING ENTRY DOORS
 REMOVE EXISTING WINDOWS AND GLASS BLOCK
 RETAIN EXISTING ENTRY CYLINDER- SEE ELEVATIONS
 REMOVE EXISTING WINDOWS AND PREPARE FOR NEW
 IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

RETAIN AND PROTECT ALL EXISTING EXTERIOR
 WALLS EXCEPT
 WHERE OTHERWISE NOTED

REMOVE EXISTING WINDOWS AND INSTALL NEW
 IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

EXTERIOR SCOPE OF WORK SUMMARY

1. RETAIN ALL TRIM, RAILINGS, DETAILS, GLASS BLOCK AND OTHER EXISTING IMPROVEMENTS DEEMED HISTORIC
2. PROVIDE NEW CODE-COMPLIANT EXTERIOR IMPACT HISTORICALLY ACCURATE WINDOWS AND DOORS AS INDICATED ON DRAWINGS. "FULL-OPENING" INSTALLATION REQUIRED FOR HISTORIC ACCURACY.
3. PROVIDE REPLACEMENT LIGHTING AND OTHER MEP IMPROVEMENTS AS INDICATED ON MEP DRAWINGS AND LIGHT FIXTURE SUBMITTALS.
4. RESTORE, RE-STUCCO AND REPAINT ENTIRE EXTERIOR AS PER COLOR SCHEME SUBMITTED TO AND APPROVED BY HPB.
5. PROVIDE NEW CODE-COMPLIANT BUILT-UP ROOFING WITH TAPERED INSULATION ON ALL ROOF AREAS- SEE ROOFING SUBMITTALS.

INTERIOR SCOPE OF WORK SUMMARY

1. GROUND AND SECOND FLOOR TENANT AREAS ARE UNDER SEPERATE PERMIT ALL REQUIRED MEP AND FIRE-PROTECTION SYSTEMS SHALL BE COORDINATED.
2. PROVIDE NEW CODE-COMPLIANT 3-STOP HYDRAULIC PASSENGER ELEVATOR IN CONVENIENCE CIRCULAR STAIRWELL & MECHANICAL ROOM ON THE SECOND FLOOR. SEE ELEVATOR SUBMITTALS.
3. PROVIDE NEW FIRE-PROOF SELF CLOSING 1-HOUR DOORS AT FIRESTAIRS AS INDICATED ON DRAWINGS AND DOOR SCHEDULE.
4. PROVIDE NEW ARCHITECTURAL, MEP AND FIXTURING IMPROVEMENTS FOR THIRD FLOOR AS INDICATED ON PLANS AND SPECIFICATIONS.

GROUND FLOOR
 5,034 SQ. FT. GROSS

GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISED SUBMITTAL 9/1/08
 REVISED AS PER CITY OF MIAMI BEACH REVIEW

LEGEND:

EXISTING WALL OR PARTITION

NEW WALL OR PARTITION

REVISED SUBMITTAL 5/21/08
 REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
 580 BROADWAY NYC 10012 (212)925-2202
 WALTER@WFCATHAM.COM

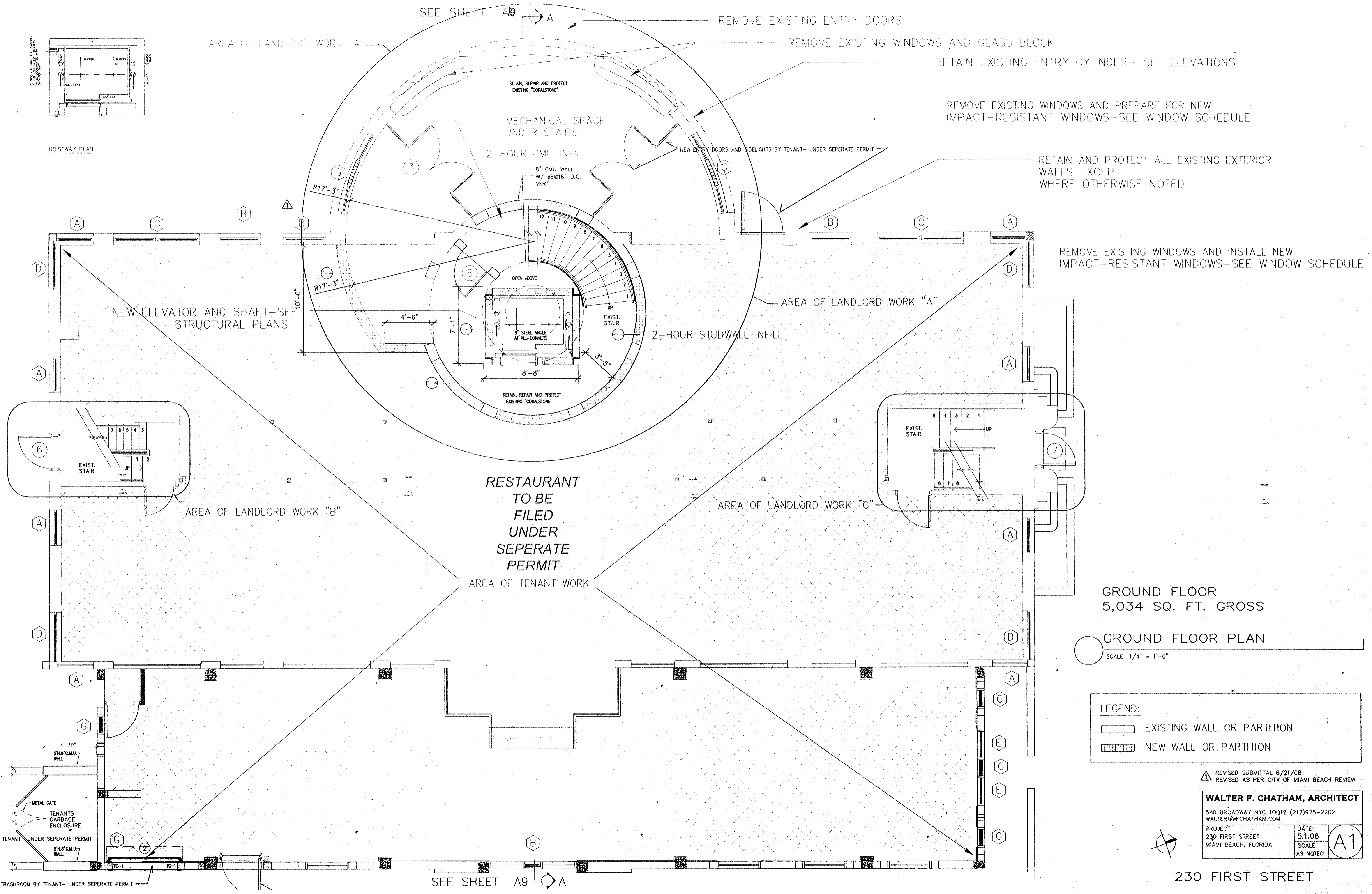
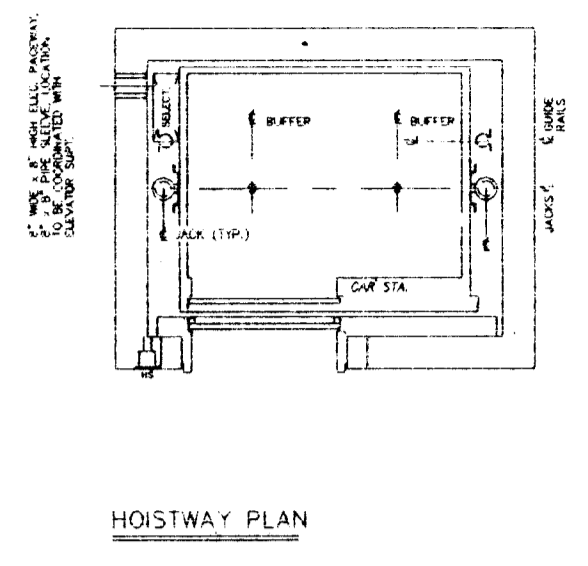
PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA
 DATE: 5.1.08
 SCALE: AS NOTED

230 FIRST STREET

Handwritten signatures and dates: *Donny*, *10/15/08*, *WFC*

ROLL-UP GATE AT TRASHROOM BY TENANT- UNDER SEPERATE PERMIT
 NEW FLOOR TO ALLOW BY TENANT- UNDER SEPERATE PERMIT

SEE SHEET A9



GROUND FLOOR
5,034 SQ. FT. GROSS

GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

REVISED SUBMITTAL 6/21/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212)925-2202
WALTER@FCHATHAM.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 5.1.08 SCALE: AS NOTED	A1
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230 FIRST STREET

WFC

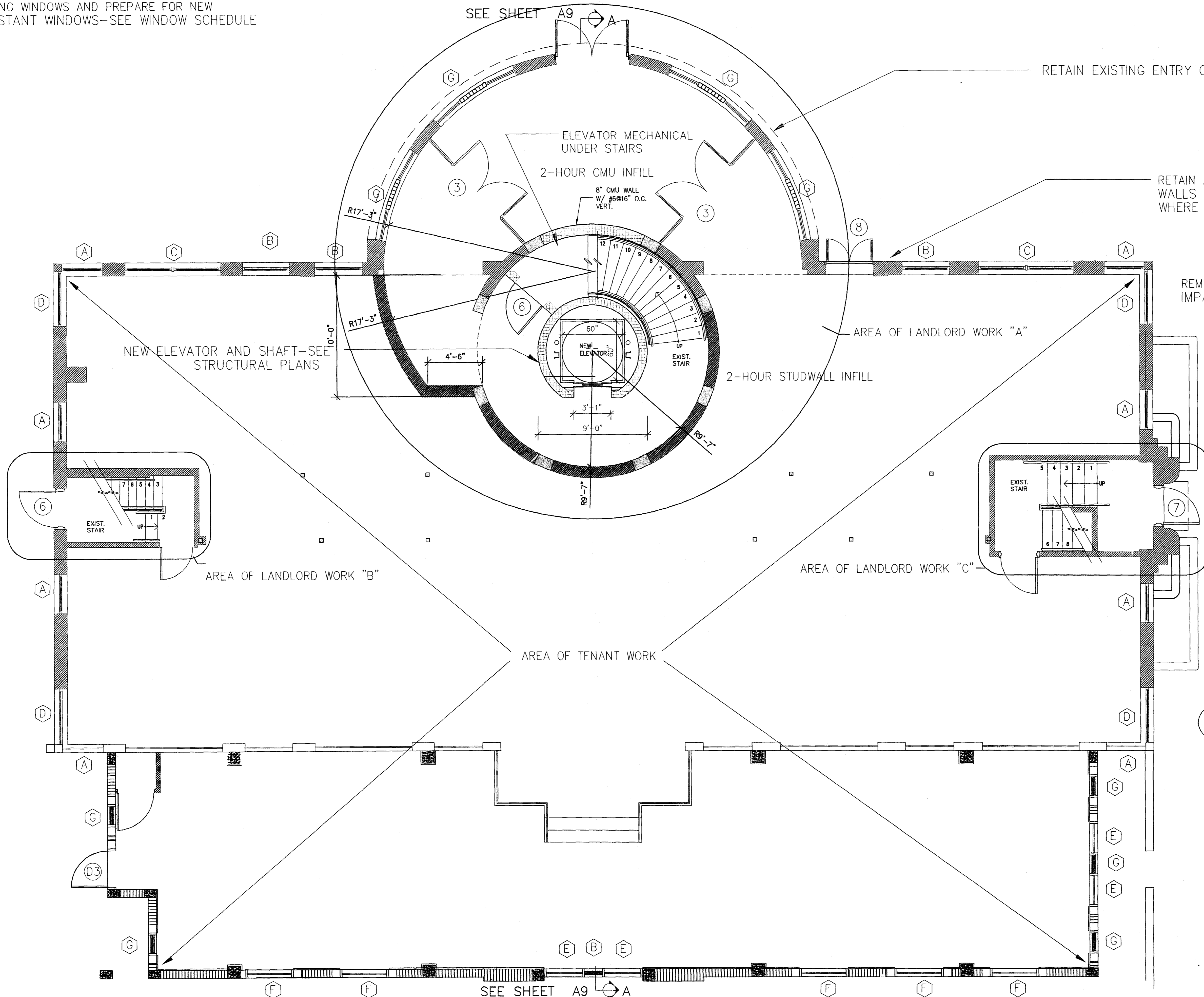
REMOVE EXISTING WINDOWS AND PREPARE FOR NEW
IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

SEE SHEET A9

RETAIN EXISTING ENTRY CYLINDER- SEE ELEVATIONS

RETAIN AND PROTECT ALL EXISTING EXTERIOR
WALLS EXCEPT
WHERE OTHERWISE NOTED

REMOVE EXISTING WINDOWS AND INSTALL NEW
IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

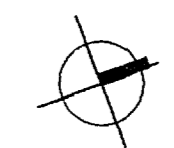


GROUND FLOOR
5,034 SQ. FT. GROSS

GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:
 [Solid line] EXISTING WALL OR PARTITION
 [Hatched line] NEW WALL OR PARTITION

WALTER F. CHATHAM, ARCHITECT
 580 BROADWAY NYC 10012 (212)925-2202
 WALTER@WFCHATHAM.COM
 PROJECT: 81 WASHINGTON MIAMI BEACH, FLORIDA
 DATE: 2.1.08
 SCALE: AS NOTED



81 WASHINGTON AVENUE

WFC

NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH

ROOF OR EXISTING ENTRY CYLINDER (SCHEDULED TO REMAIN)
PROVIDE NEW ROOFING AND "SILVERCAOT" AS PER SPECIFICATIONS

NOTE FOR WINDOW HEIGHTS: EXISTING SILLS ARE ALL 38" AFF UNLESS OTHERWISE NOTED.

SEE SHEET A9

ROOF

ADD To 8"x3"x4" SEE DTL 7/S201

INDICATES EXISTING GLASS BLOCK TO REMAIN

NEW ELEVATOR AND SHAFT-SEE STRUCTURAL PLANS

AREA OF WORK "A"

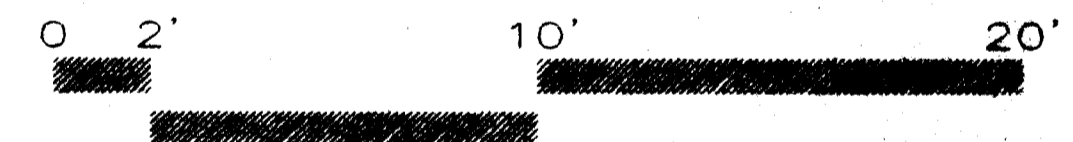
AREA OF WORK "C"

EXTERIOR SCOPE OF WORK SUMMARY

1. RETAIN ALL TRIM, RAILINGS, DETAILS, GLASS BLOCK AND OTHER EXISTING IMPROVEMENTS DEEMED HISTORIC
2. PROVIDE NEW CODE-COMPLIANT EXTERIOR IMPACT HISTORICALLY ACCURATE WINDOWS AND DOORS AS INDICATED ON DRAWINGS. "FULL-OPENING" INSTALLATION REQUIRED FOR HISTORIC ACCURACY.
3. PROVIDE REPLACEMENT LIGHTING AND OTHER MEP IMPROVEMENTS AS INDICATED ON MEP DRAWINGS AND LIGHT FIXTURE SUBMITTALS.
4. RESTORE, RE-STUCCO AND REPAINT ENTIRE EXTERIOR AS PER COLOR SCHEME SUBMITTED TO AND APPROVED BY HPS.
5. PROVIDE NEW CODE-COMPLIANT BUILT-UP ROOFING WITH TAPERED INSULATION ON ALL ROOF AREAS- SEE ROOFING SUBMITTALS.

INTERIOR SCOPE OF WORK SUMMARY

1. GROUND AND SECOND FLOOR TENANT AREAS ARE UNDER SEPARATE PERMIT. ALL REQUIRED MEP AND FIRE-PROTECTION SYSTEMS SHALL BE COORDINATED.
2. PROVIDE NEW CODE-COMPLIANT 3-STOP HYDRAULIC PASSENGER ELEVATOR IN CONFORMANCE CIRCULAR STAIRWELL & MECHANICAL ROOM ON THE SECOND FLOOR. SEE ELEVATOR SUBMITTALS.
3. PROVIDE NEW FIRE-PROOF SELF CLOSING 1-HOUR DOORS AT FIRESTAIRS AS INDICATED ON DRAWINGS AND DOOR SCHEDULE.
4. PROVIDE NEW ARCHITECTURAL, MEP AND FIXTURE IMPROVEMENTS FOR THIRD FLOOR AS INDICATED ON PLANS AND SPECIFICATIONS.



LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

REVISED SUBMITTAL 9/1/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

REVISED SUBMITTAL 5/21/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212)925-2202
WALTER@FCHATHAM.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA
DATE: 5.1.08
SCALE: AS NOTED

A2

230 FIRST STREET
REVISED SUBMITTAL 9/25/08
REVISED AS PER 3RD CITY OF MIAMI BEACH REVIEW

Handwritten signatures and dates: 10/15/08

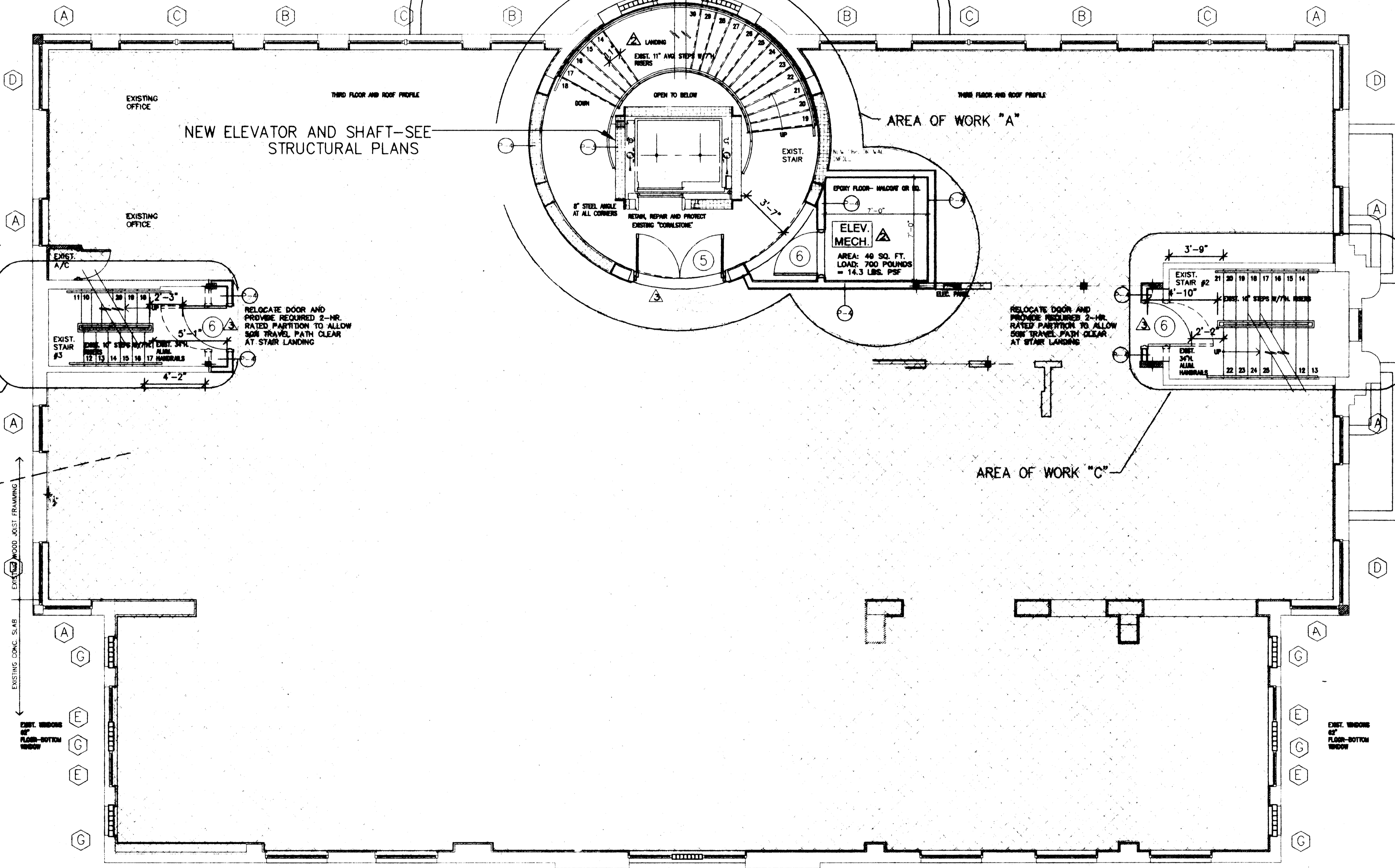
BACK ALLEY
SEE SHEET A9

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR
5,158 SQ. FT. GROSS

REMOVE EXISTING WINDOWS AND INSTALL NEW IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

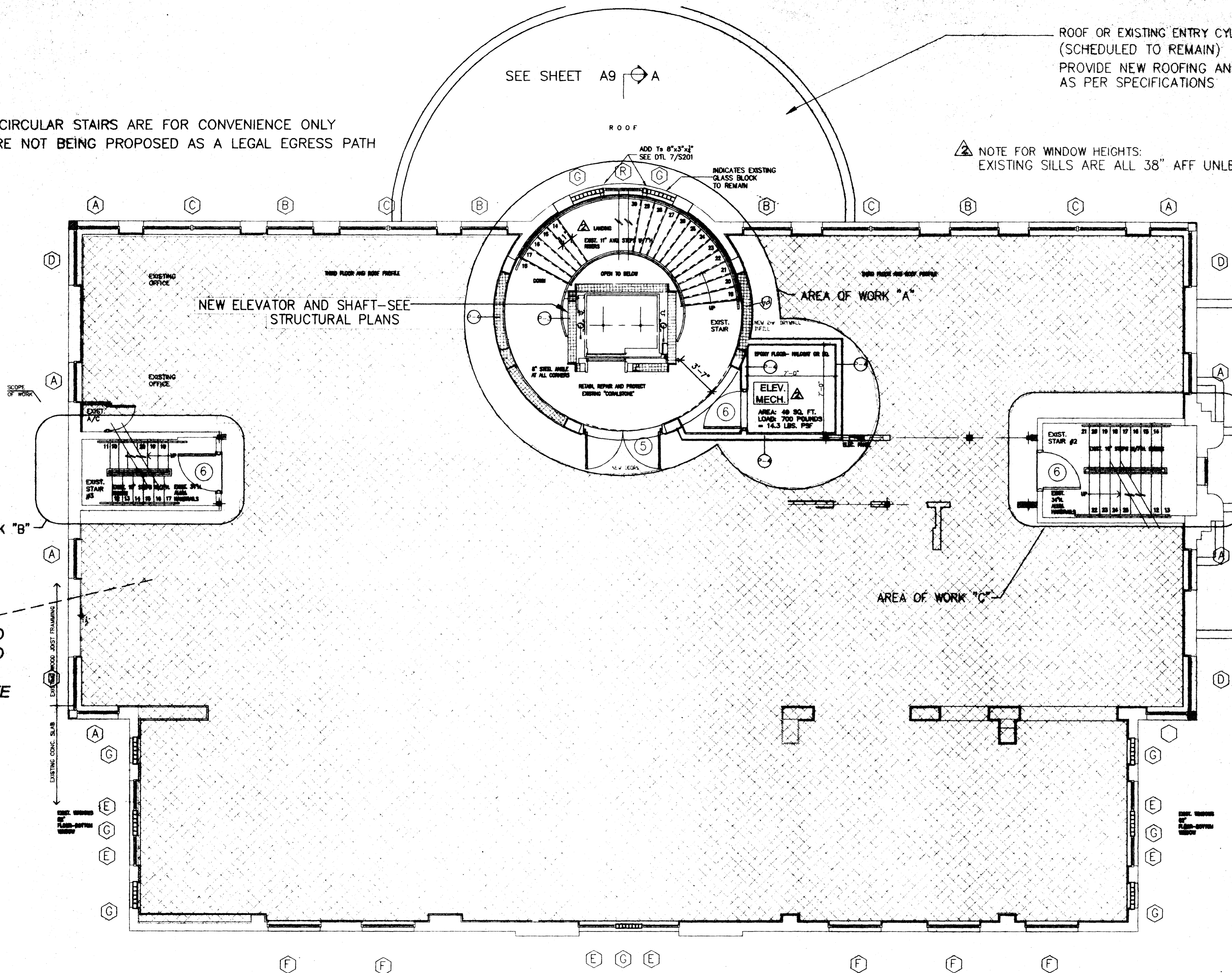
THIS AREA TO BE FILED UNDER SEPERATE PERMIT



NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH

ROOF OR EXISTING ENTRY CYLINDER (SCHEDULED TO REMAIN)
PROVIDE NEW ROOFING AND "SILVERCAOT" AS PER SPECIFICATIONS

NOTE FOR WINDOW HEIGHTS:
EXISTING SILLS ARE ALL 38" AFF UNLESS OTHERWISE NOTED.

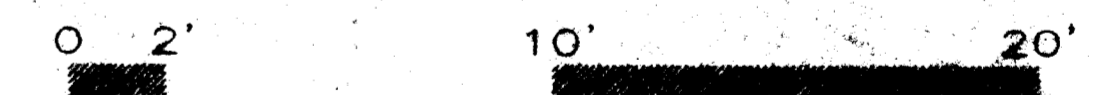


EXTERIOR SCOPE OF WORK SUMMARY

1. RETAIN ALL TRIM, RAUNGS, DETAILS, GLASS BLOCK AND OTHER EXISTING IMPROVEMENTS DEEMED HISTORIC.
2. PROVIDE NEW CODE-COMPLIANT EXTERIOR IMPACT RESISTANT WINDOWS AND DOORS AS INDICATED ON DRAWINGS. "FULL-OPENING" INSULATION REQUIRED FOR IMPROVED ACCURACY.
3. PROVIDE REPLACEMENT LIGHTING AND OTHER MEP IMPROVEMENTS AS INDICATED ON MEP DRAWINGS AND LIFT FUTURE SUBMITTALS.
4. RESTORE, RE-STUCCO AND REPAIR EXTERIOR AS PER AIAA SCHEME SUBMITTED TO AND APPROVED BY HPI.
5. PROVIDE NEW CODE-COMPLIANT BUILT-UP ROOFING WITH IMPROVED INSULATION ON ALL ROOF AREAS- SEE ROOFING SUBMITTALS.

INTERIOR SCOPE OF WORK SUMMARY

1. GROUND AND SECOND FLOOR TENANT AREAS ARE UNDER SEPARATE PERMIT. ALL REQUIRED MEP AND FIRE-PROTECTION SERVICES SHALL BE COORDINATED.
2. PROVIDE NEW CODE-COMPLIANT 3-STEP HYDRAULIC PASSENGER ELEVATOR IN CONFORMANCE CIRCULAR STAIRWELL & MECHANICAL ROOM ON THE SECOND FLOOR. SEE ELEVATOR SUBMITTALS.
3. PROVIDE NEW FIRE-PROOF SELF-CLOSING 1-HOUR DOORS AT FIREWALLS AS INDICATED ON DRAWINGS AND DOOR SCHEDULE.
4. PROVIDE NEW ARCHITECTURAL MEP AND FIXTURES IMPROVEMENTS FOR THIRD FLOOR AS INDICATED ON PLANS AND SPECIFICATIONS.



LEGEND:	
	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

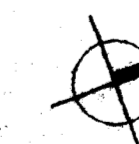
REVISED SUBMITTAL 9/1/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

REVISED SUBMITTAL 5/21/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212) 925-2202
WALTER@WCHATHAM.COM

PROJECT:
230 FIRST STREET
MIAMI BEACH, FLORIDA

DATE:
5.1.08
SCALE:
AS NOTED



A2

REMOVE EXISTING WINDOWS AND INSTALL NEW IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

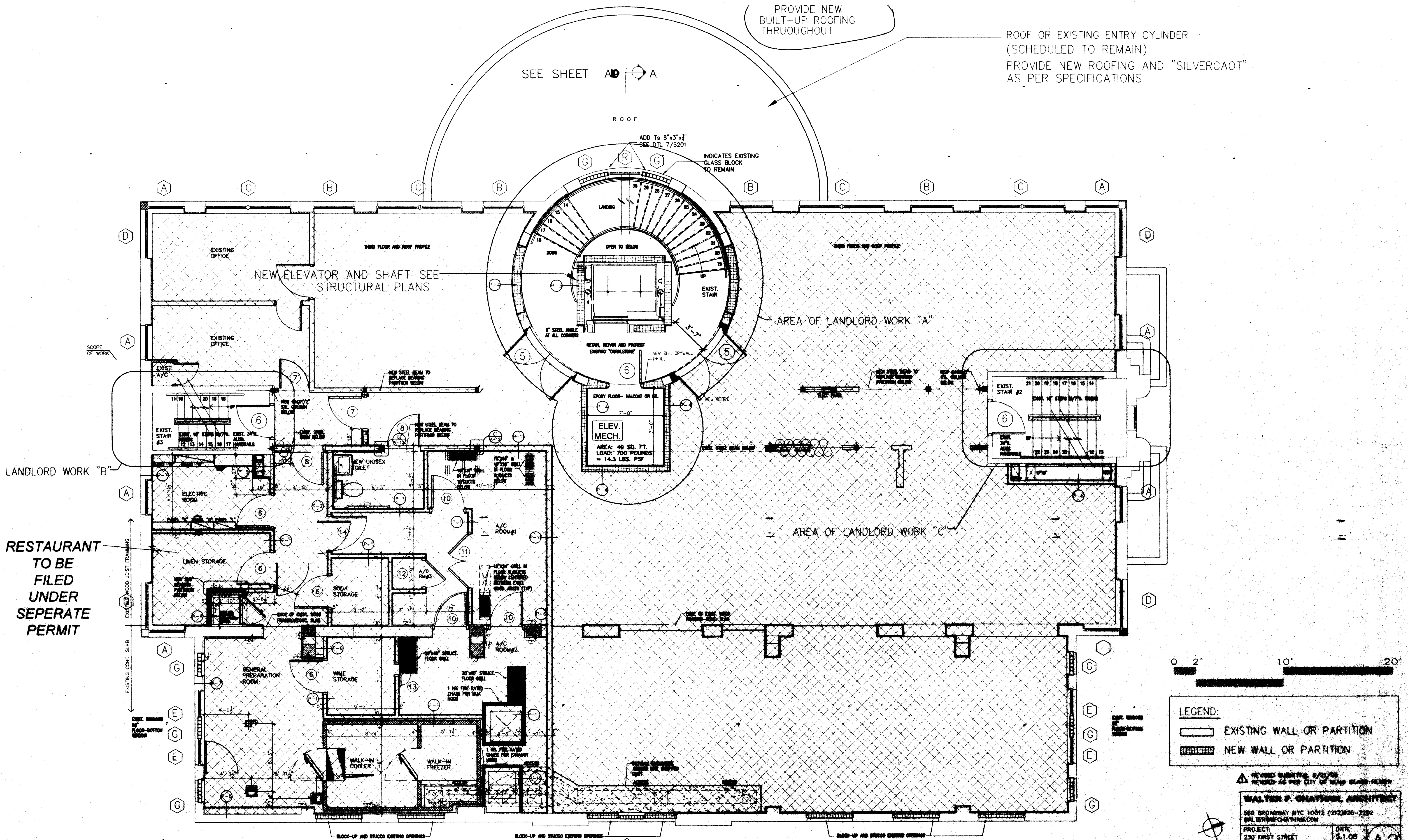
BACK ALLEY
SEE SHEET A9

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR
5,158 SQ. FT. GROSS

230 FIRST STREET

WFC



PROVIDE NEW BUILT-UP ROOFING THROUGHOUT

ROOF OR EXISTING ENTRY CYLINDER (SCHEDULED TO REMAIN)
PROVIDE NEW ROOFING AND "SILVERCAOT" AS PER SPECIFICATIONS

SEE SHEET A9 ↗ A

ROOF

ADD To 8"x3"x1" SEE DTL 7/S201

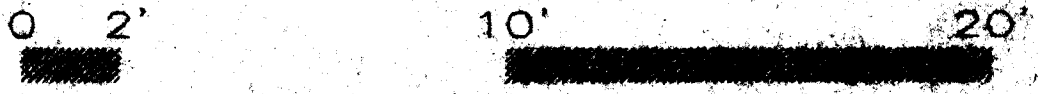
INDICATES EXISTING "GLASS BLOCK" TO REMAIN

NEW ELEVATOR AND SHAFT—SEE STRUCTURAL PLANS

AREA OF LANDLORD WORK "A"

AREA OF LANDLORD WORK "C"

RESTAURANT TO BE FILED UNDER SEPERATE PERMIT



LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

REVISIONS: 6/21/09
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALYER P. CHATTERJEE, ARCHITECT
588 BROADWAY NYC 10012 (212) 226-2282
WALYER@FOOTPRINTS.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA
DATE: 5.1.09
SCALE: AS NOTED

REMOVE EXISTING WINDOWS AND INSTALL NEW IMPACT-RESISTANT WINDOWS—SEE WINDOW SCHEDULE

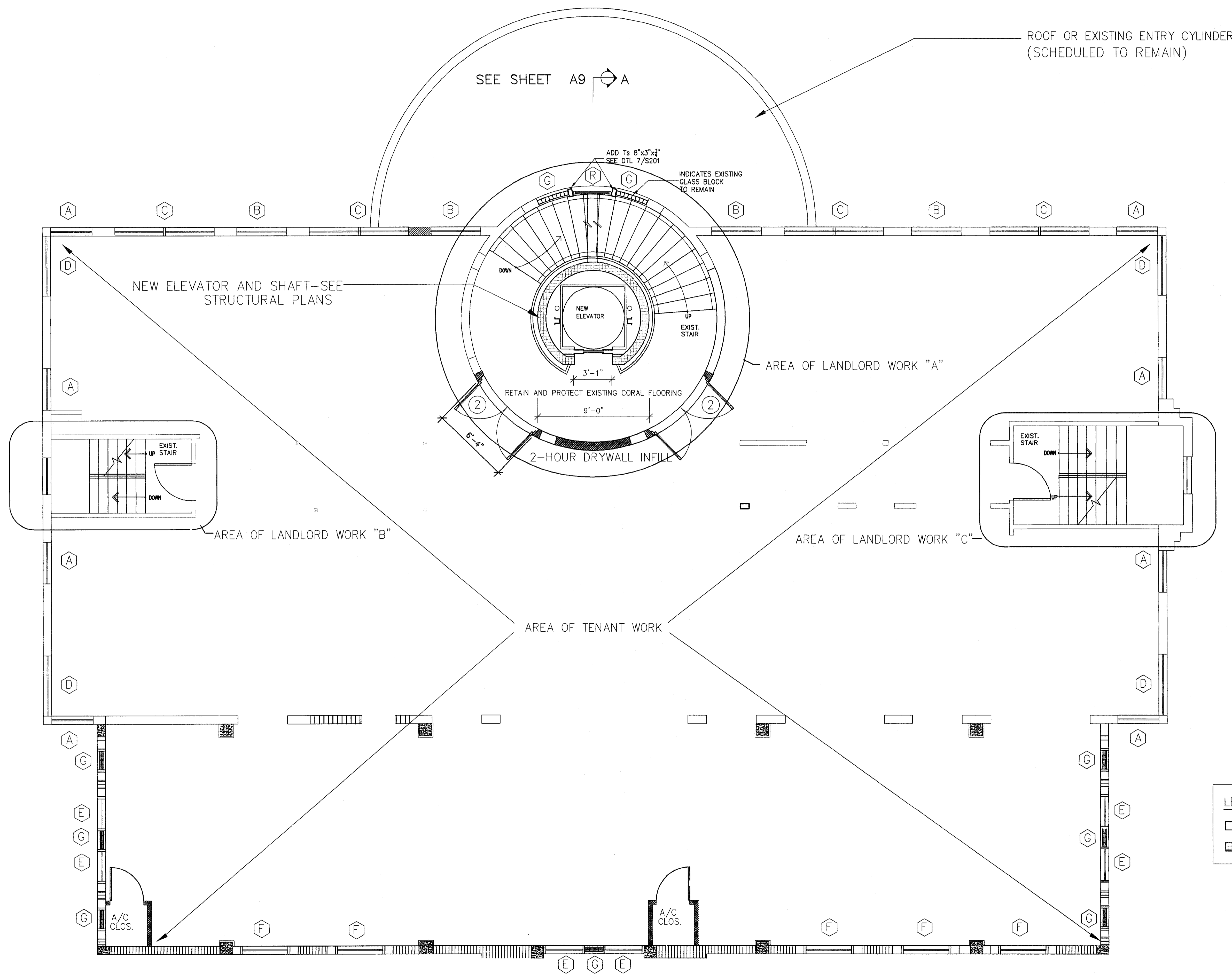
BACK ALLEY
SEE SHEET A9 ↗ A

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR
5,158 SQ. FT. GROSS

230 FIRST STREET

Anders



SEE SHEET A9 ↻ A

ROOF OR EXISTING ENTRY CYLINDER
(SCHEDULED TO REMAIN)

ADD 8'x3"x1/2"
SEE DTL 7/S201

INDICATES EXISTING
GLASS BLOCK
TO REMAIN

NEW ELEVATOR AND SHAFT-SEE
STRUCTURAL PLANS

AREA OF LANDLORD WORK "A"

AREA OF LANDLORD WORK "B"

AREA OF LANDLORD WORK "C"

AREA OF TENANT WORK

3'-1"
RETAIN AND PROTECT EXISTING CORAL FLOORING
9'-0"
2-HOUR DRYWALL INFILL

LEGEND:

- EXISTING WALL OR PARTITION
- NEW WALL OR PARTITION

WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212)925-2202
WALTER@WFCHATHAM.COM

PROJECT: VILLAZZO MIAMI, FLORIDA

DATE: 2.1.08
SCALE: AS NOTED

A2

REMOVE EXISTING WINDOWS AND INSTALL NEW
IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

BACK ALLEY
SEE SHEET A9 ↻ A

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR
5,158 SQ. FT. GROSS

81 WASHINGTON AVENUE

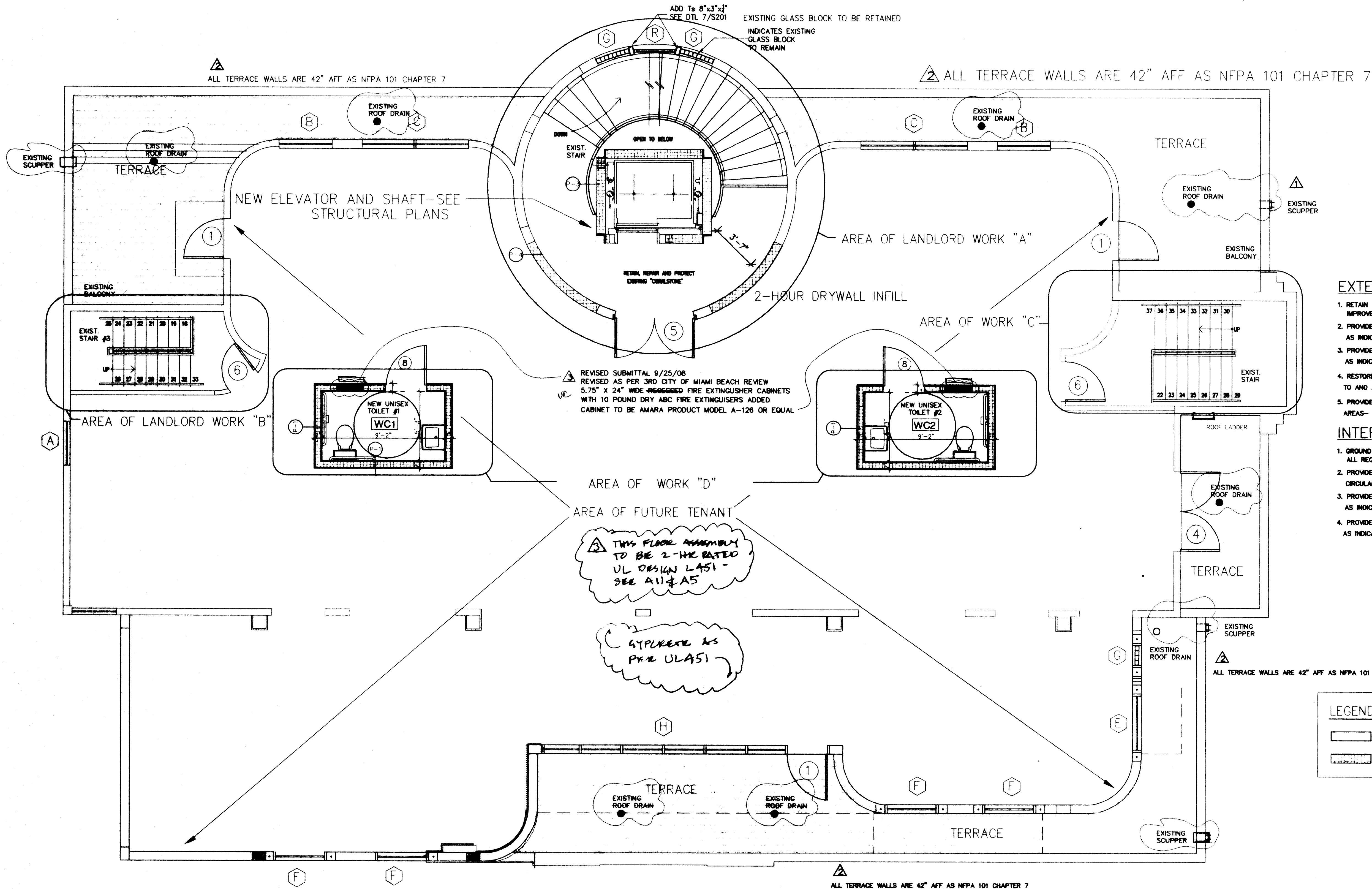
WFC

NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH

SEE SHEET A9

NOTE FOR WINDOW HEIGHTS: EXISTING SILLS ARE ALL 38" AFF UNLESS OTHERWISE NOTED.

ALL TERRACE WALLS ARE 42" AFF AS NFPA 101 CHAPTER 7



REMOVE EXISTING WINDOWS AND INSTALL NEW IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

SEE SHEET A9

THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

THIRD FLOOR
4,208 SQ. FT. GROSS

EXTERIOR SCOPE OF WORK SUMMARY

1. RETAIN ALL TRIM, RAILINGS, DETAILS, GLASS BLOCK AND OTHER EXISTING IMPROVEMENTS DEEMED HISTORIC
2. PROVIDE NEW CODE-COMPLIANT EXTERIOR IMPACT HISTORICALLY ACCURATE WINDOWS AND DOORS AS INDICATED ON DRAWINGS. FULL-OPENING INSTALLATION REQUIRED FOR HISTORIC ACCURACY.
3. PROVIDE REPLACEMENT LIGHTING AND OTHER MEP IMPROVEMENTS AS INDICATED ON MEP DRAWINGS AND LIGHT FIXTURE SUBMITTALS.
4. RESTORE, RE-STUCCO AND REPAINT ENTIRE EXTERIOR AS PER COLOR SCHEME SUBMITTED TO AND APPROVED BY HPB.
5. PROVIDE NEW CODE-COMPLIANT BUILT-UP ROOFING WITH TAPERED INSULATION ON ALL ROOF AREAS- SEE ROOFING SUBMITTALS.

INTERIOR SCOPE OF WORK SUMMARY

1. GROUND AND SECOND FLOOR TENANT AREAS ARE UNDER SEPARATE PERMIT. ALL REQUIRED MEP AND FIRE-PROTECTION SYSTEMS SHALL BE COORDINATED.
2. PROVIDE NEW CODE-COMPLIANT 3-STOP HYDRAULIC PASSENGER ELEVATOR IN CONVENIENCE CIRCULAR STAIRWELL & MECHANICAL ROOM ON THE SECOND FLOOR. SEE ELEVATOR SUBMITTALS.
3. PROVIDE NEW FIRE-PROOF SELF CLOSING 1-HOUR DOORS AT FIRESTAIRS AS INDICATED ON DRAWINGS AND DOOR SCHEDULE.
4. PROVIDE NEW ARCHITECTURAL, MEP AND FIXTURING IMPROVEMENTS FOR THIRD FLOOR AS INDICATED ON PLANS AND SPECIFICATIONS.

9/25/08

REVISED SUBMITTAL 9/1/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

REVISED SUBMITTAL 5/21/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
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WALTER@WCHATHAM.COM


PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 5.1.08 SCALE: AS NOTED	A3
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230 FIRST STREET

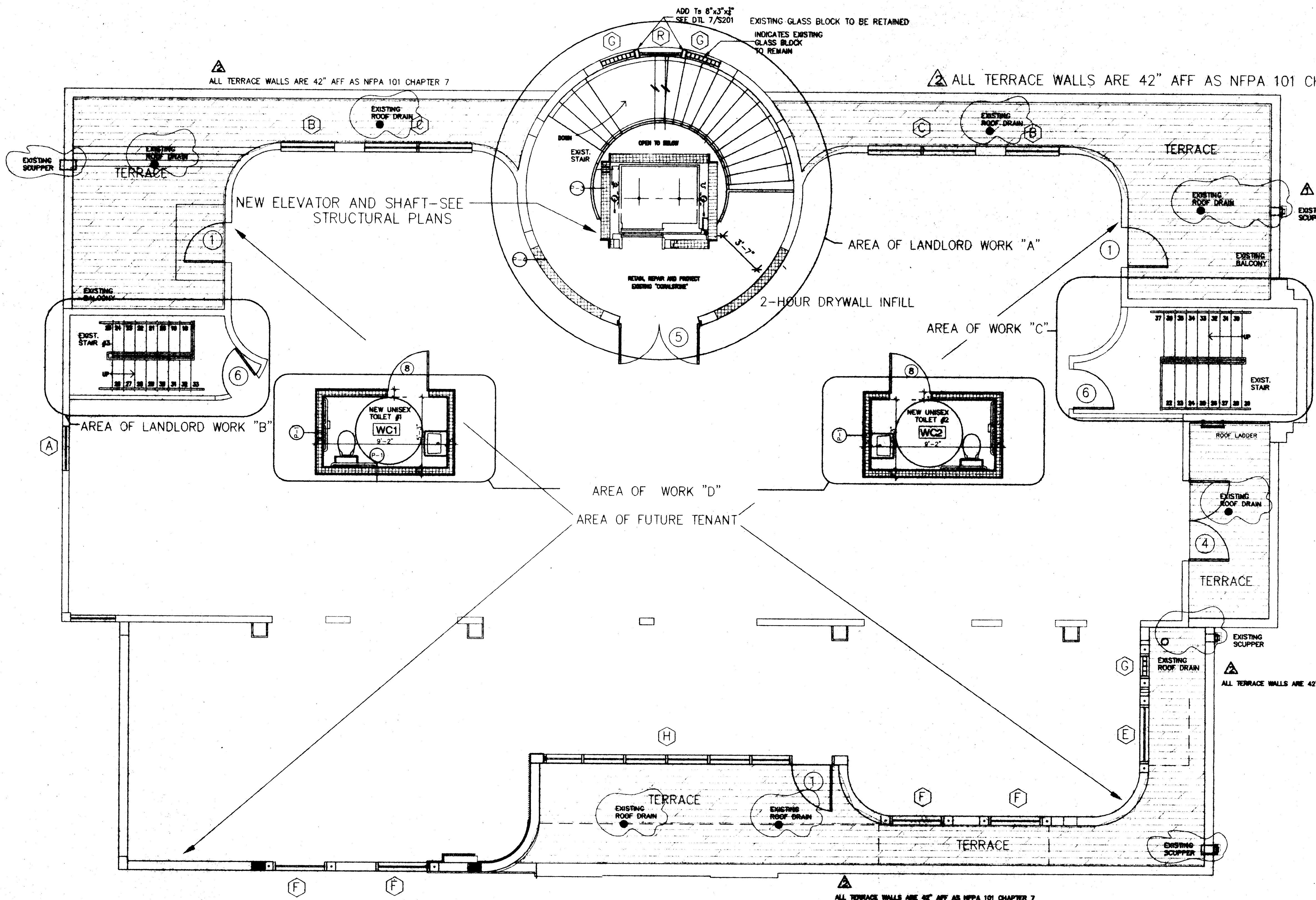
Comp. 10.15.08

NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH

SEE SHEET A9 

 NOTE FOR WINDOW HEIGHTS: EXISTING SILLS ARE ALL 38" AFF UNLESS OTHERWISE NOTED.

ALL TERRACE WALLS ARE 42" AFF AS NFPA 101 CHAPTER 7





EXTERIOR SCOPE OF WORK SUMMARY

1. RETAIN ALL TRIM, BALCONY DETAILS, GLASS BLOCK AND OTHER EXISTING IMPROVEMENTS DEMAND HISTORY.
2. PROVIDE NEW CODE-COMPLIANT EXTERIOR IMPACT RESISTANT WINDOWS AND DOORS AS INDICATED ON DRAWINGS. "FALL-OPENING" INSTALLATION REQUIRED FOR VENTING ACCURACY.
3. PROVIDE REPLACEMENT LIGHTING AND OTHER MEP IMPROVEMENTS AS INDICATED ON MEP DRAWINGS AND LIGHT FIXTURE SUBMITTALS.
4. RESTORE, RE-STUCCO AND REPAINT EXTERIOR AS PER COLOR SCHEME SUBMITTED TO AND APPROVED BY HRA.
5. PROVIDE NEW CODE-COMPLIANT BUILT-UP ROOFING WITH TAPERED INSULATION ON ALL ROOF AREAS- SEE ROOFING SUBMITTALS.

INTERIOR SCOPE OF WORK SUMMARY

1. GROUND AND SECOND FLOOR TENANT AREAS ARE UNDER SEPARATE PERMIT. ALL REQUIRED MEP AND FIRE-PROTECTION SYSTEMS SHALL BE DEMONSTRATED.
2. PROVIDE NEW CODE-COMPLIANT 3-STOP HYDRAULIC PARALLEL ELEVATOR OR CONVENTIONAL CIRCULAR STAIRWELL & MECHANICAL ROOM ON THE SECOND FLOOR. SEE ELEVATOR SUBMITTALS.
3. PROVIDE NEW FIRE-PROOF SELF-CLOSING 1-HOUR DOORS AT FIRESTAIRS AS INDICATED ON DRAWINGS AND DOOR SCHEDULE.
4. PROVIDE NEW ARCHITECTURAL, MEP AND FIXTURE IMPROVEMENTS FOR THIRD FLOOR AS INDICATED ON PLANS AND SPECIFICATIONS.

LEGEND:

-  EXISTING WALL OR PARTITION
-  NEW WALL OR PARTITION

REVISED SUBMITTAL 9/1/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

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PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA
DATE: 5.1.08
SCALE: AS NOTED

A3

REMOVE EXISTING WINDOWS AND INSTALL NEW IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

SEE SHEET A9 

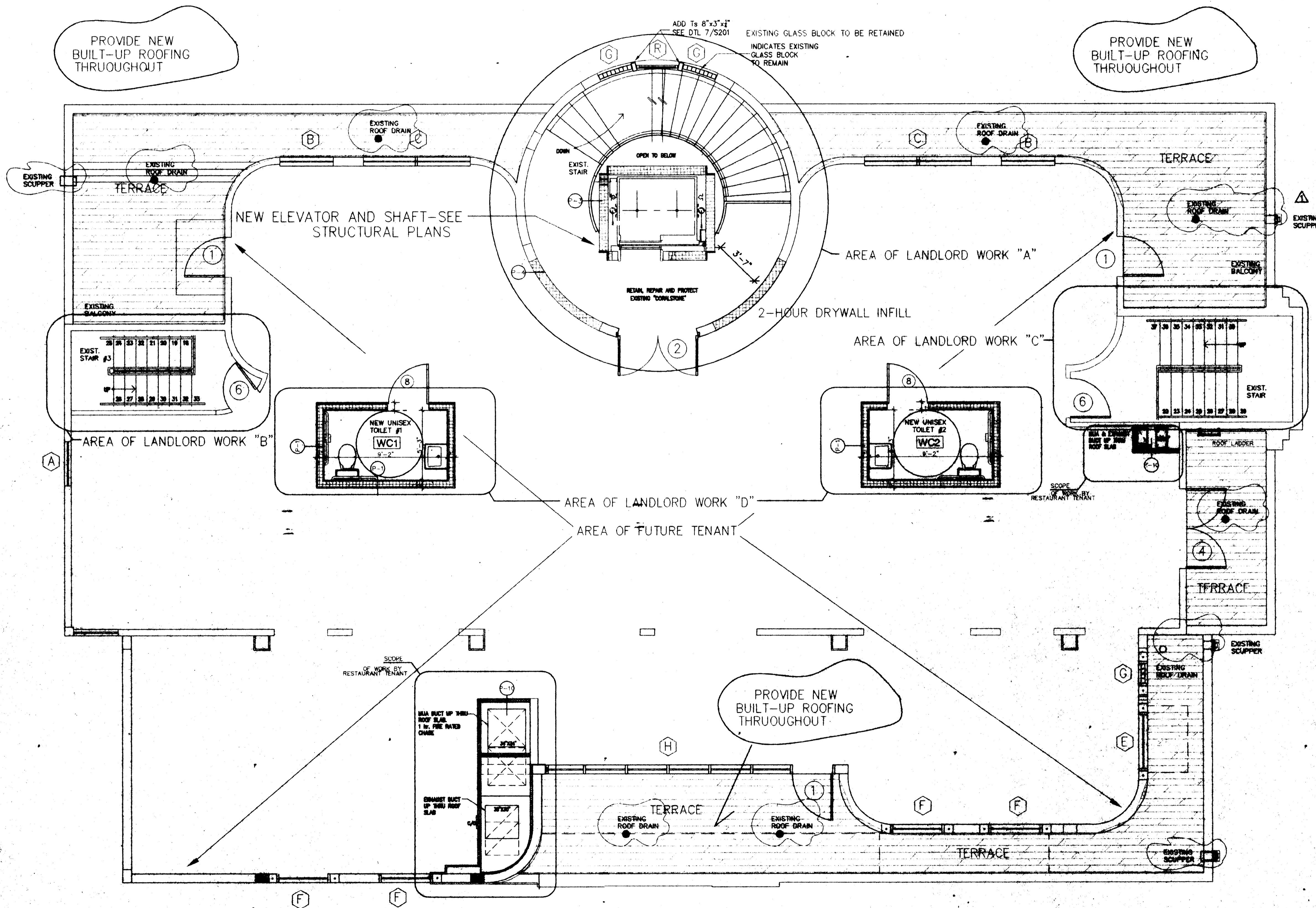
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

THIRD FLOOR
4,208 SQ. FT. GROSS

230 FIRST STREET

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SEE SHEET A9



REMOVE EXISTING WINDOWS AND INSTALL NEW IMPACT-RESISTANT WINDOWS-SEE WINDOW SCHEDULE

SEE SHEET A9 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

THIRD FLOOR
4,208 SQ. FT. GROSS

LEGEND:
 EXISTING WALL OR PARTITION
 NEW WALL OR PARTITION

REVISION SUBMITTAL 07/21/06
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT

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WALTER@WCHATHAM.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 8.1.06 SCALE: AS NOTED
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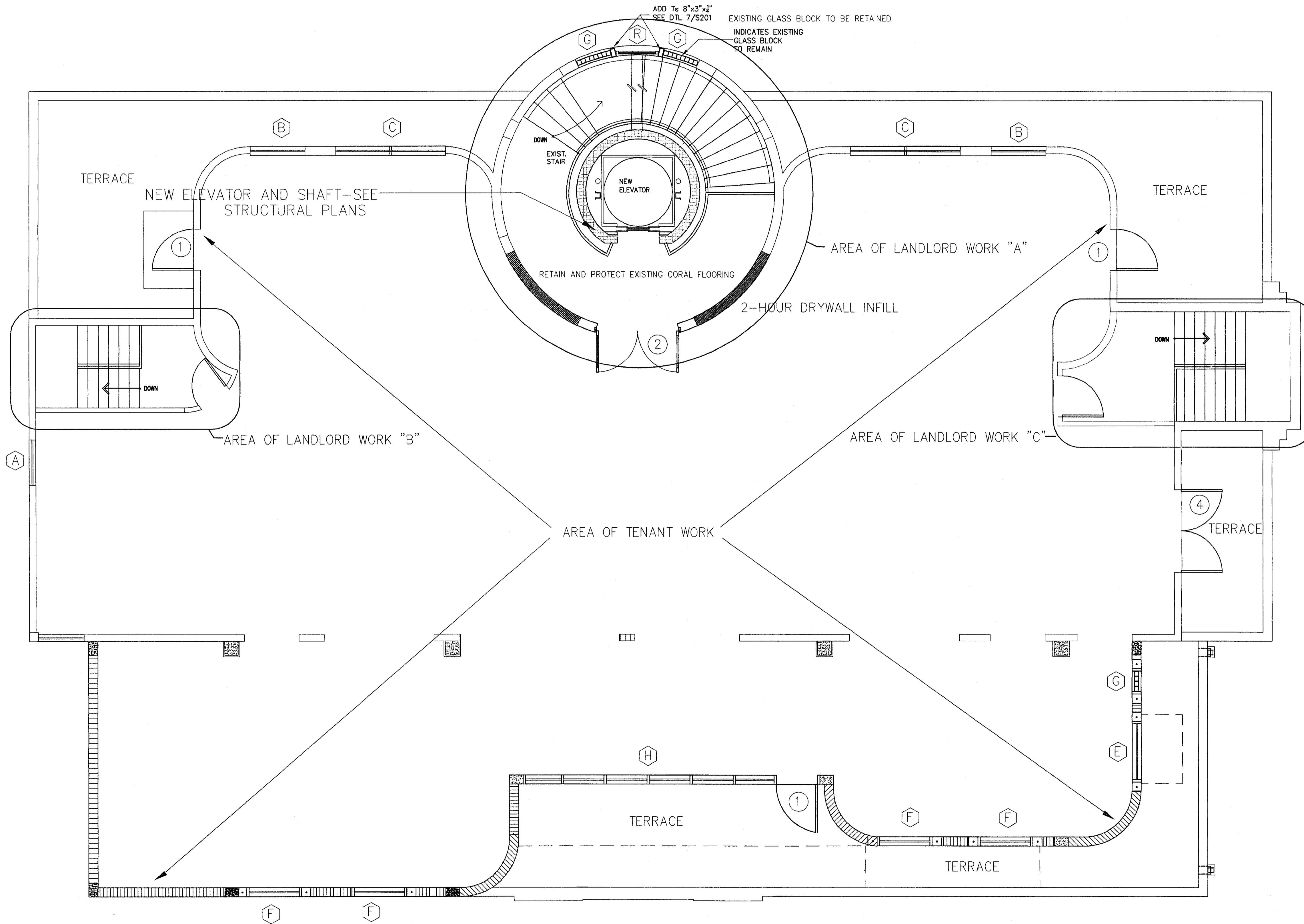


A3

230 FIRST STREET

Handwritten signature

SEE SHEET A9 



ADD To 8"x3"x2"
SEE DTL 7/SZ01
EXISTING GLASS BLOCK TO BE RETAINED
INDICATES EXISTING
GLASS BLOCK
TO REMAIN

TERRACE
NEW ELEVATOR AND SHAFT—SEE
STRUCTURAL PLANS

TERRACE

AREA OF LANDLORD WORK "A"

AREA OF LANDLORD WORK "B"

AREA OF LANDLORD WORK "C"

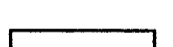
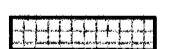
AREA OF TENANT WORK

TERRACE

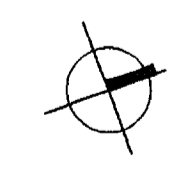
TERRACE

TERRACE

LEGEND:


	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

WALTER F. CHATHAM, ARCHITECT
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WALTER@WFCATHAM.COM
PROJECT: VILLAZZO MIAMI, FLORIDA
DATE: 12.3.07
SCALE: AS NOTED



A3

REMOVE EXISTING WINDOWS AND INSTALL NEW
IMPACT-RESISTANT WINDOWS—SEE WINDOW SCHEDULE

SEE SHEET A9 

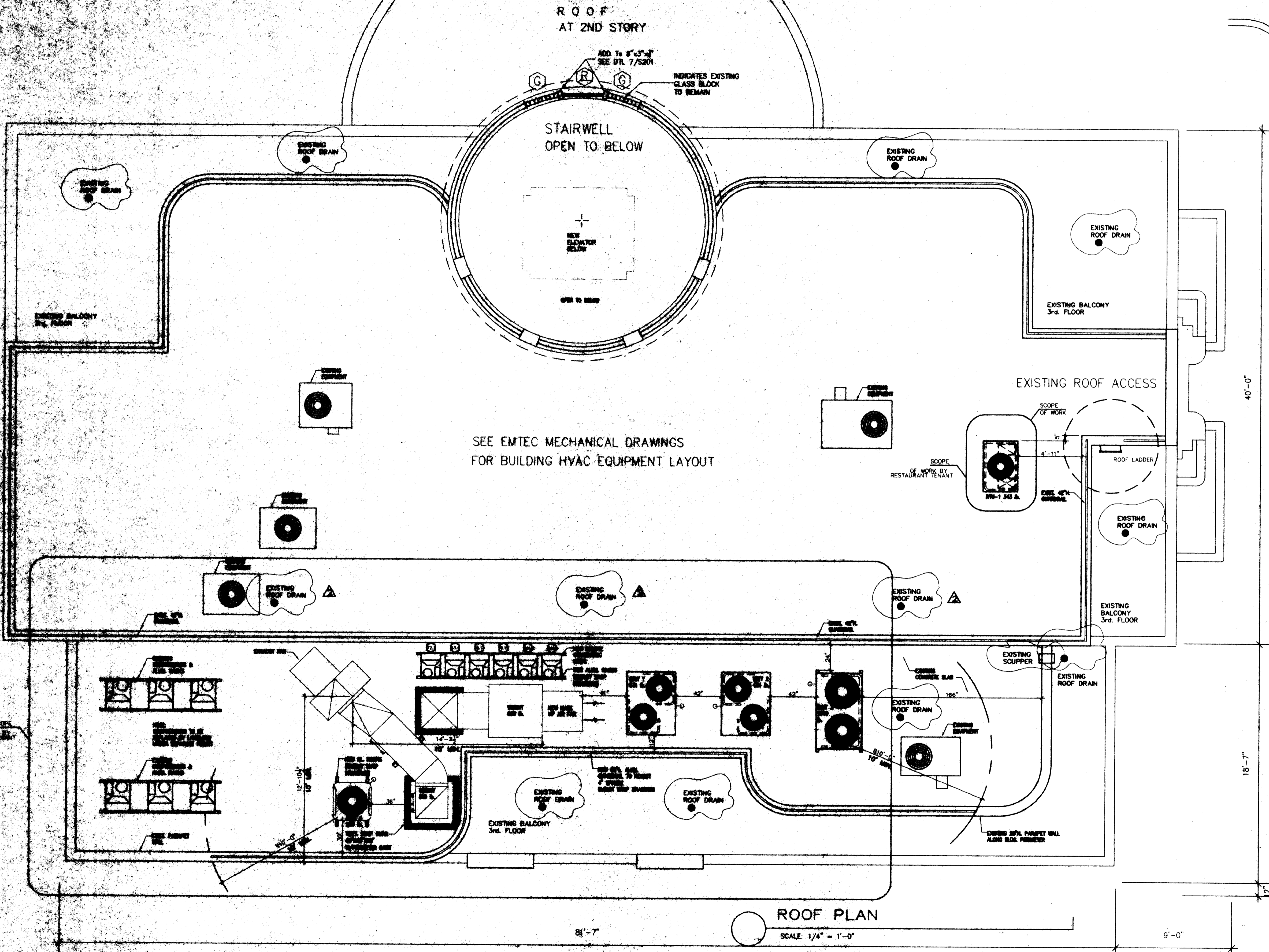
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

THIRD FLOOR
4,208 SQ. FT. GROSS

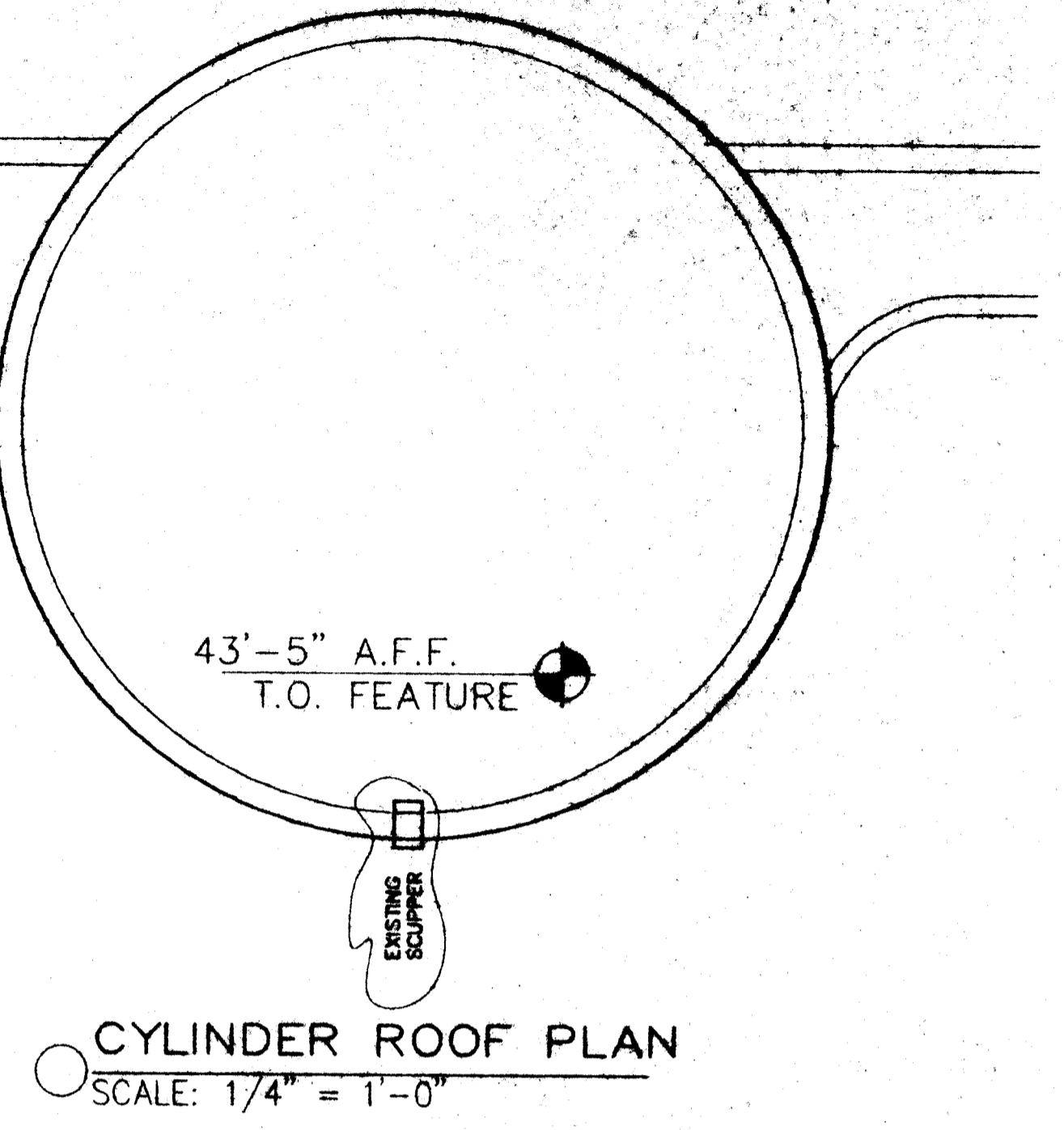
81 WASHINGTON AVENUE

WFC

NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH



ROOF PLAN
SCALE: 1/4" = 1'-0"



CYLINDER ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE: PROVIDE NEW CODE-COMPLIANT BUILT-UP ROOFING WITH TAPERED INSULATION ON ALL ROOF AREAS- SEE ROOFING SUBMIT

LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

REVISED SUBMITAL 9/1/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

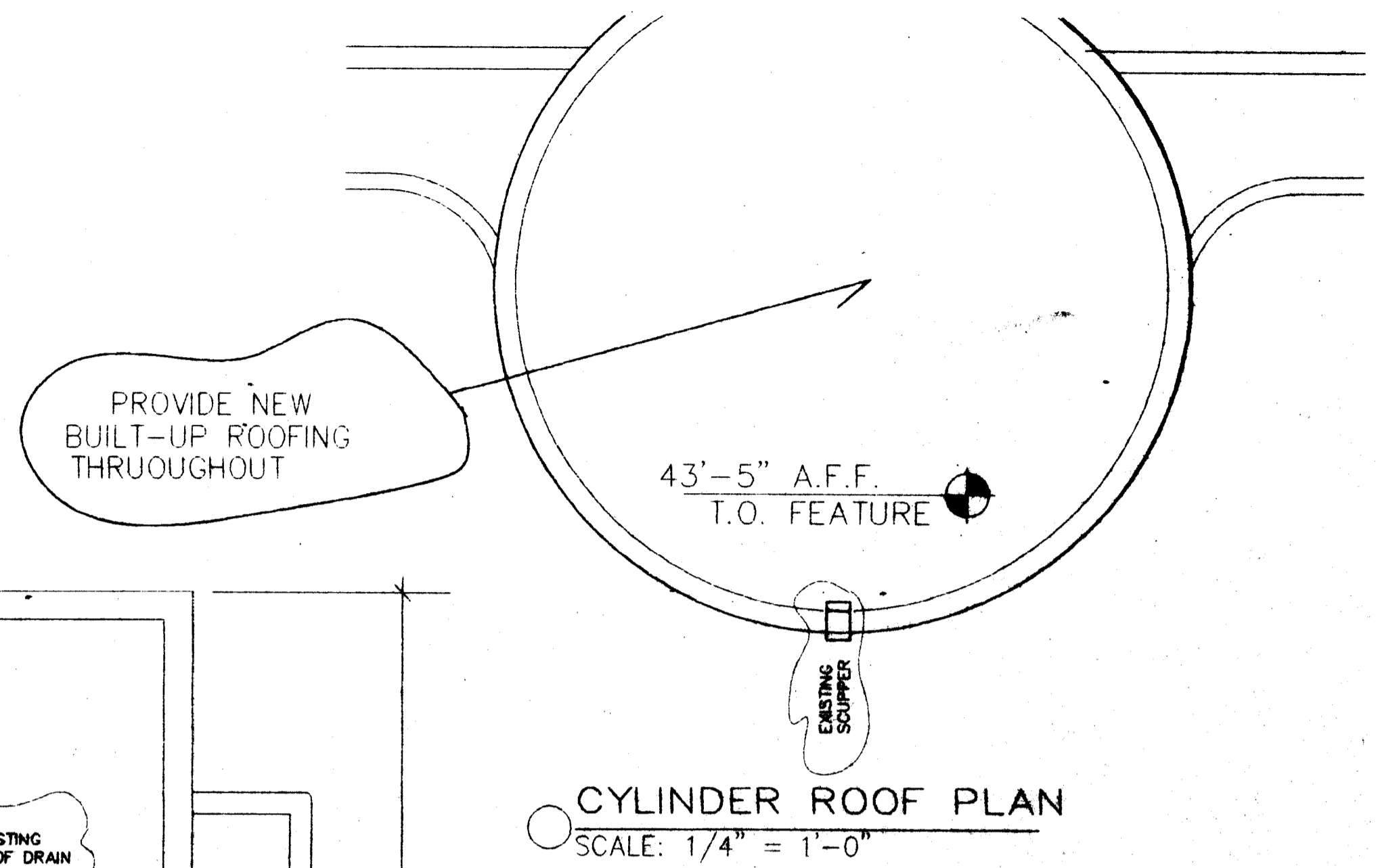
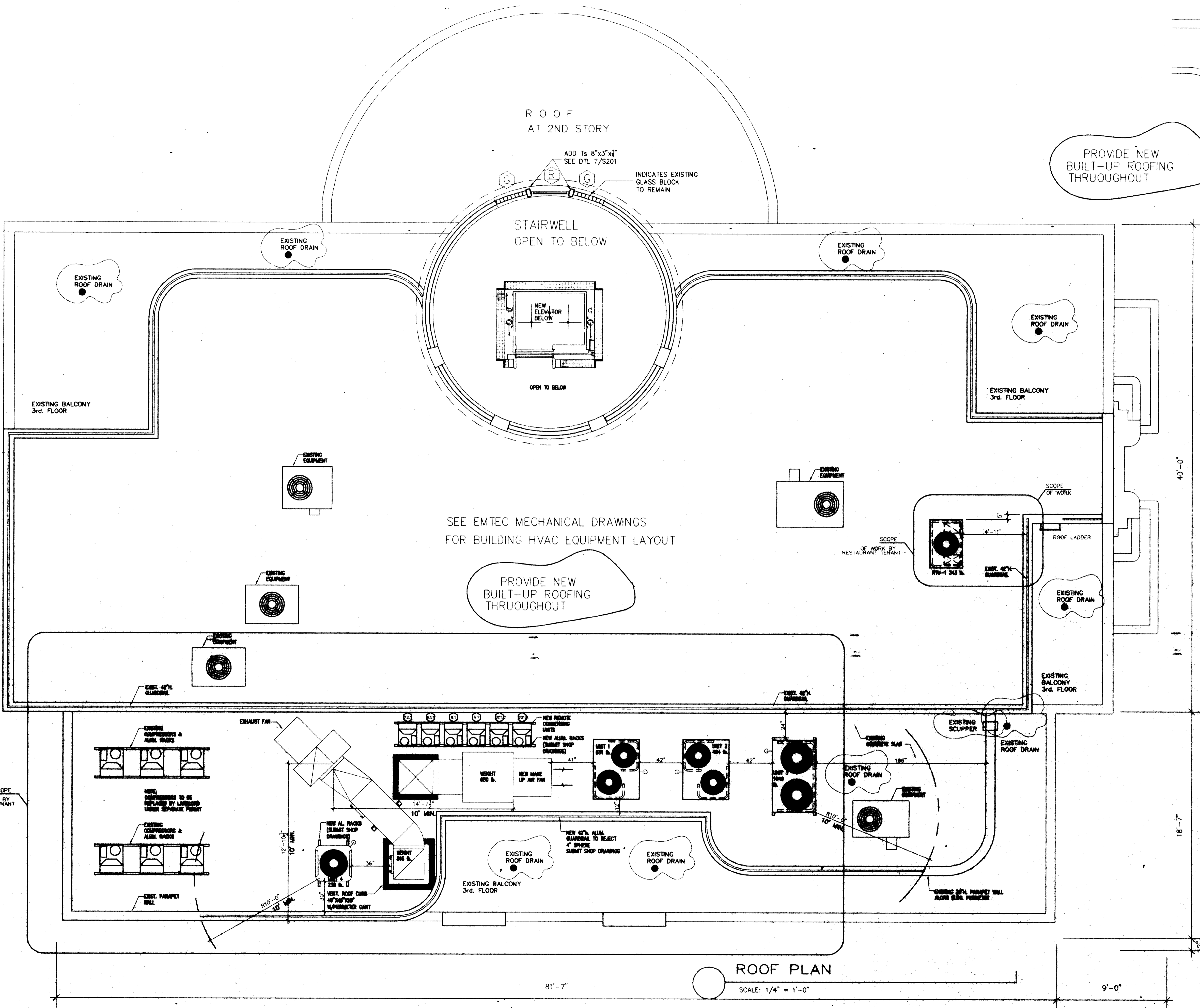
REVISED SUBMITAL 9/21/08
REVISED AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
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WALTER@FCHATHAM.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA	DATE: 5.1.08 SCALE: AS NOTED	A4
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230 FIRST STREET

Handwritten signature and date: 10.16.08



LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

REVISION SUBMITTAL 6/21/08
REVISION AS PER CITY OF MIAMI BEACH REVIEW

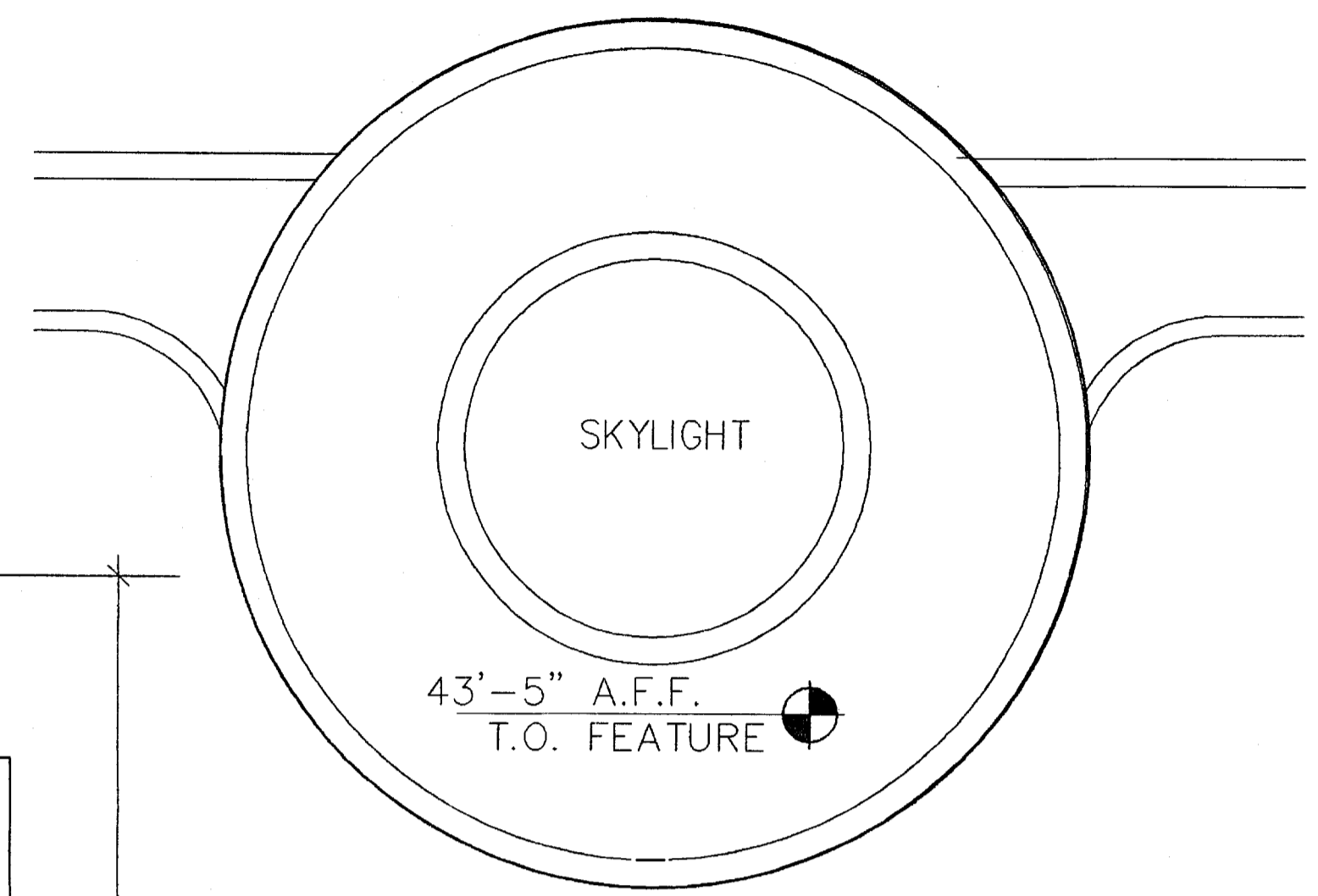
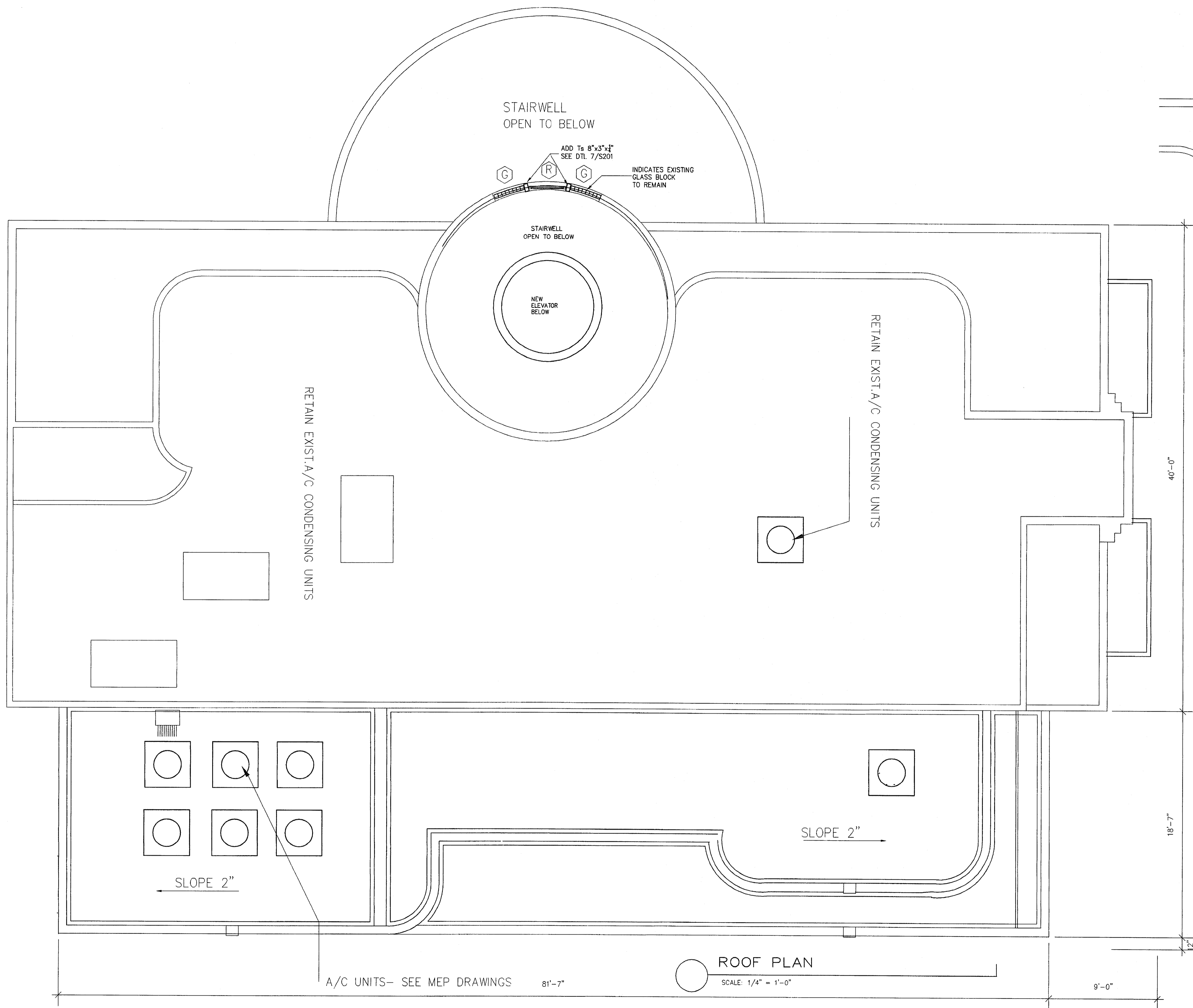
WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10013 (212)625-2302
WALTER@WFOCHATAM.COM

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA DATE: 5.1.08
SCALE: AS SHOWN

A4

230 FIRST STREET

WFC



○ CYLINDER ROOF PLAN
SCALE: 1/4" = 1'-0"

SIDEWALK

LEGEND:

	EXISTING WALL OR PARTITION
	NEW WALL OR PARTITION

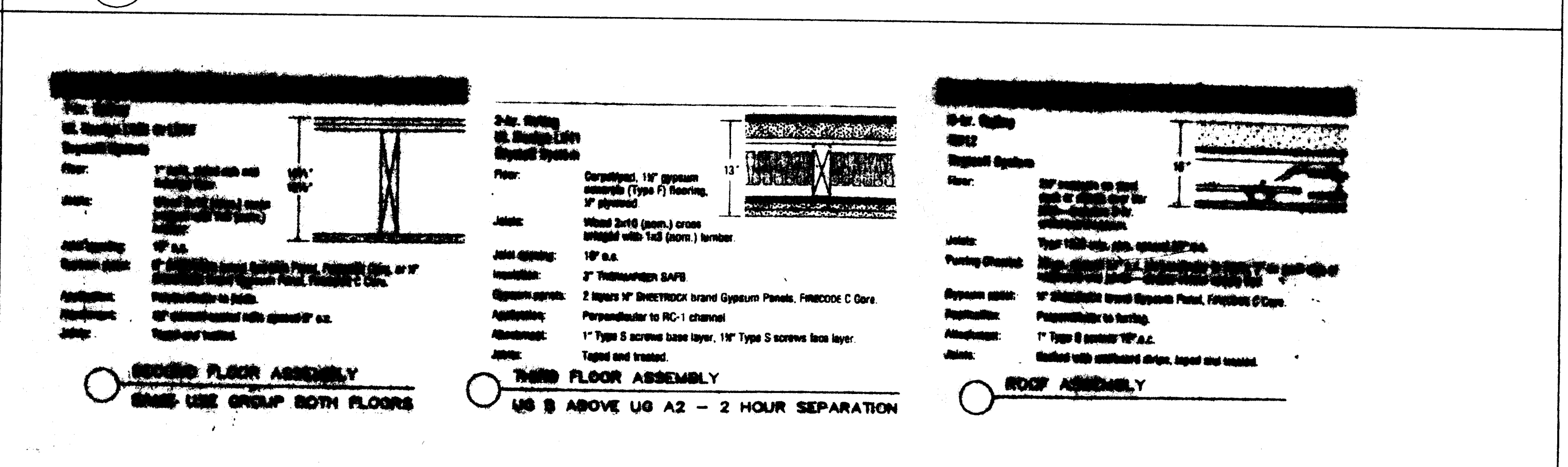
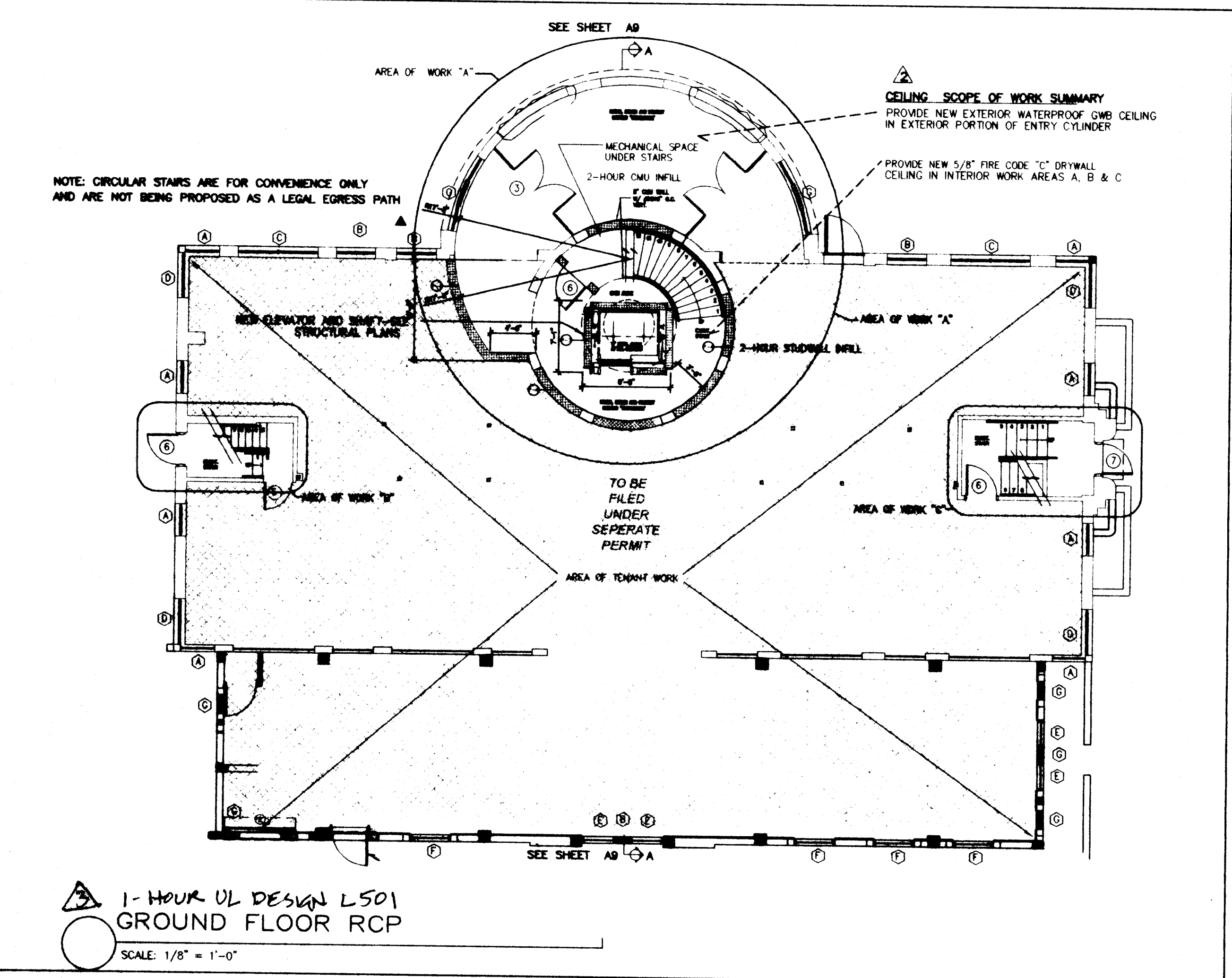
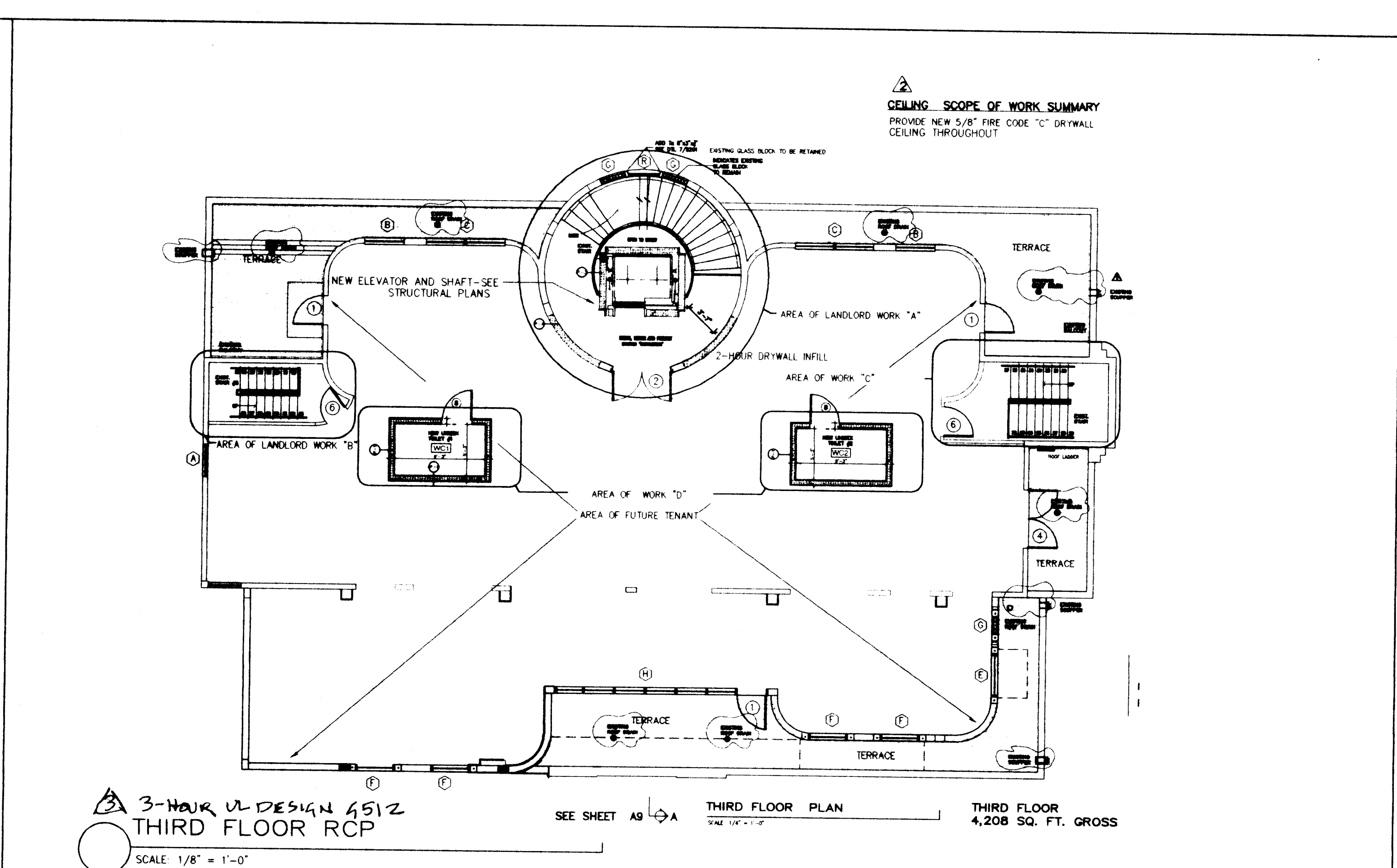
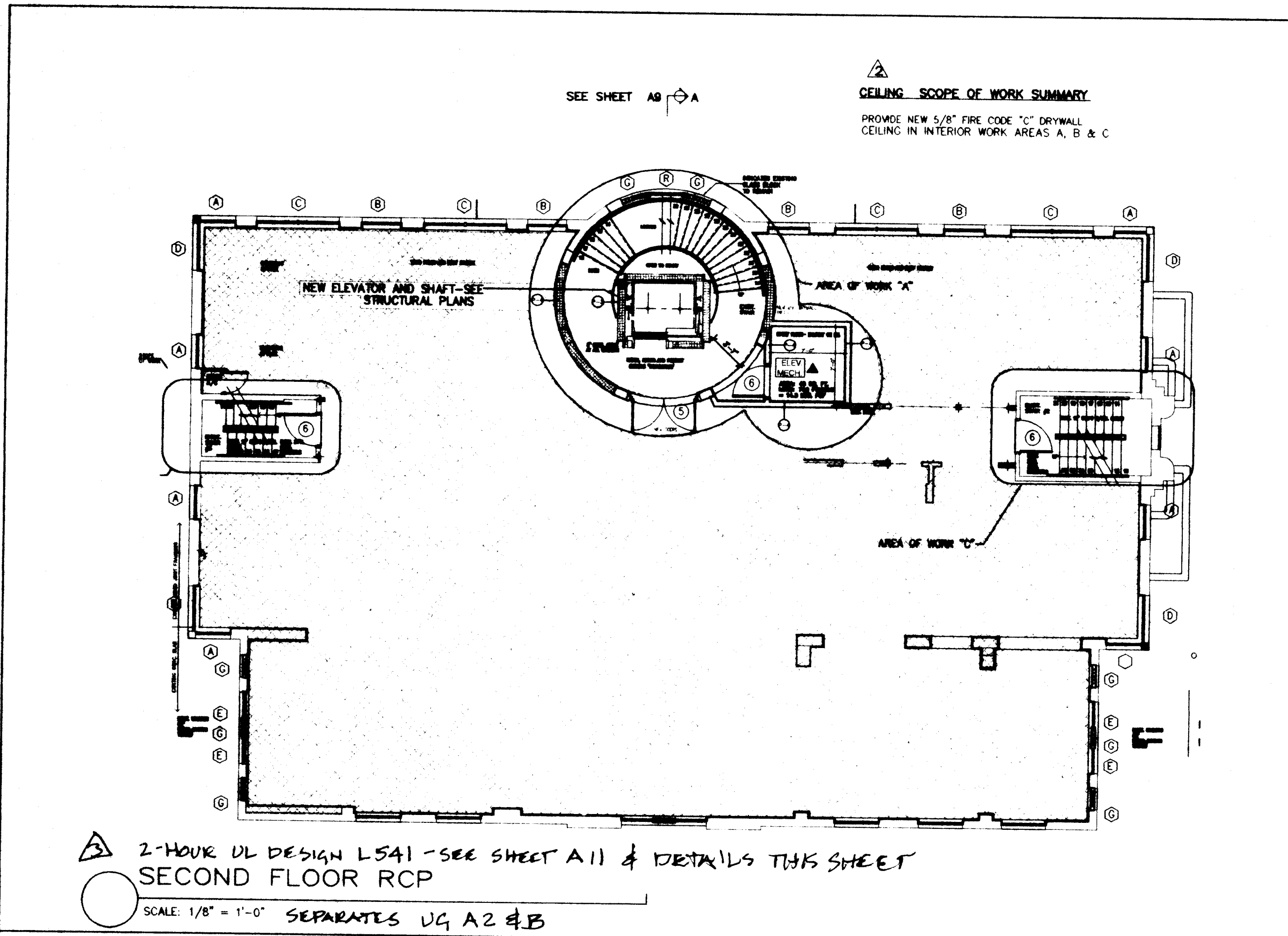
WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212)925-2202
WALTER@WFCHATHAM.COM

PROJECT: VILAZZO MIAMI, FLORIDA	DATE: 12.3.07 SCALE: AS NOTED	A4
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81 WASHINGTON AVENUE

○ ROOF PLAN
SCALE: 1/4" = 1'-0"

wfk 5



SEPT. 25 08

0' 2' 10' 20'

LEGEND:

- EXISTING WALL OR PARTITION
- NEW WALL OR PARTITION

REVISIONS:

- REVISD SUBMITTAL 9/1/08
- REVISD AS PER CITY OF MIAMI BEACH REVIEW
- REVISD SUBMITTAL 5/21/08
- REVISD AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT

580 BROADWAY NYC 10012 (212)825-2202

PROJECT: 230 FIRST STREET MIAMI BEACH, FLORIDA

DATE: 5.1.08

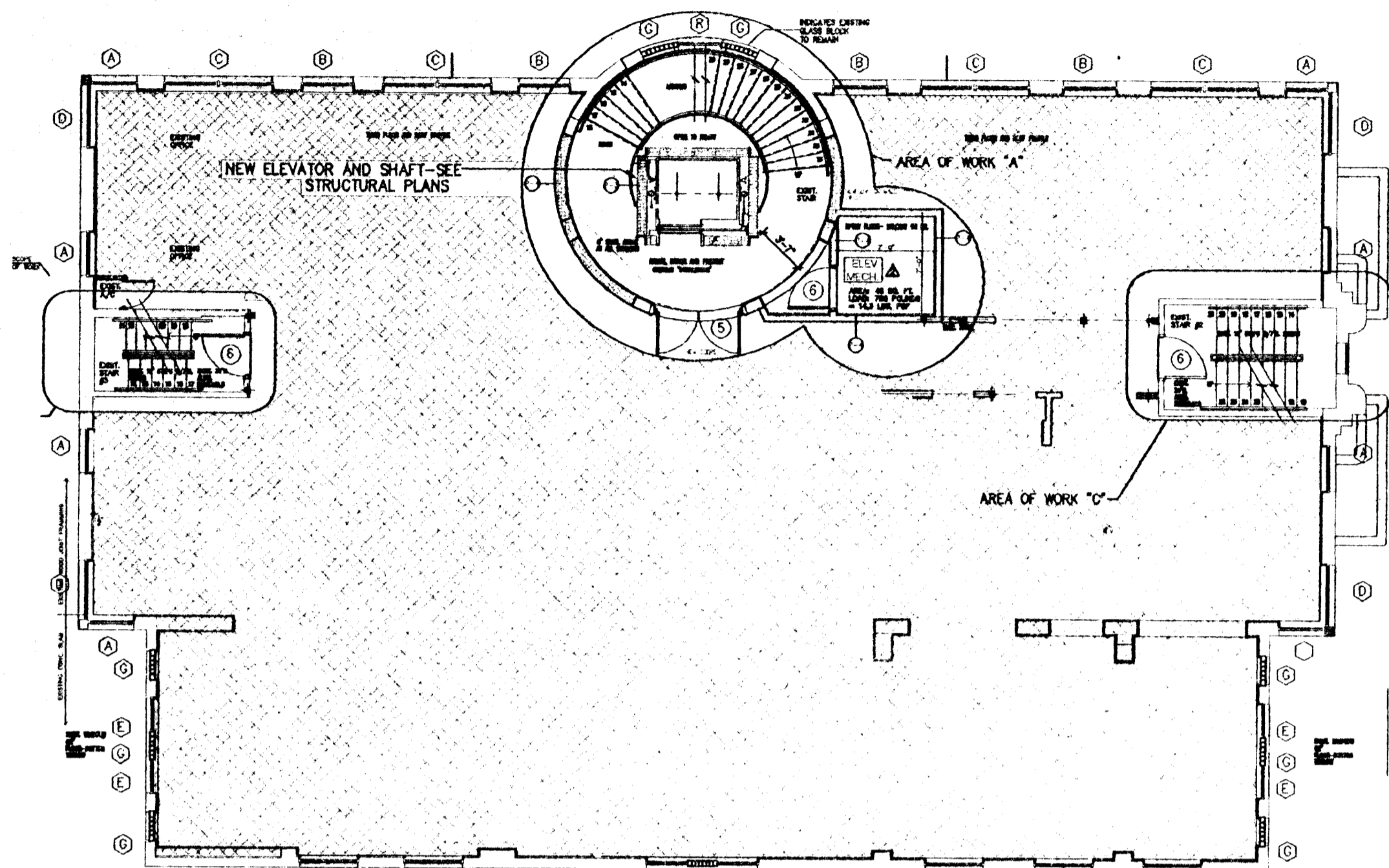
SCALE: AS NOTED

A5

Donny J 10/15/08

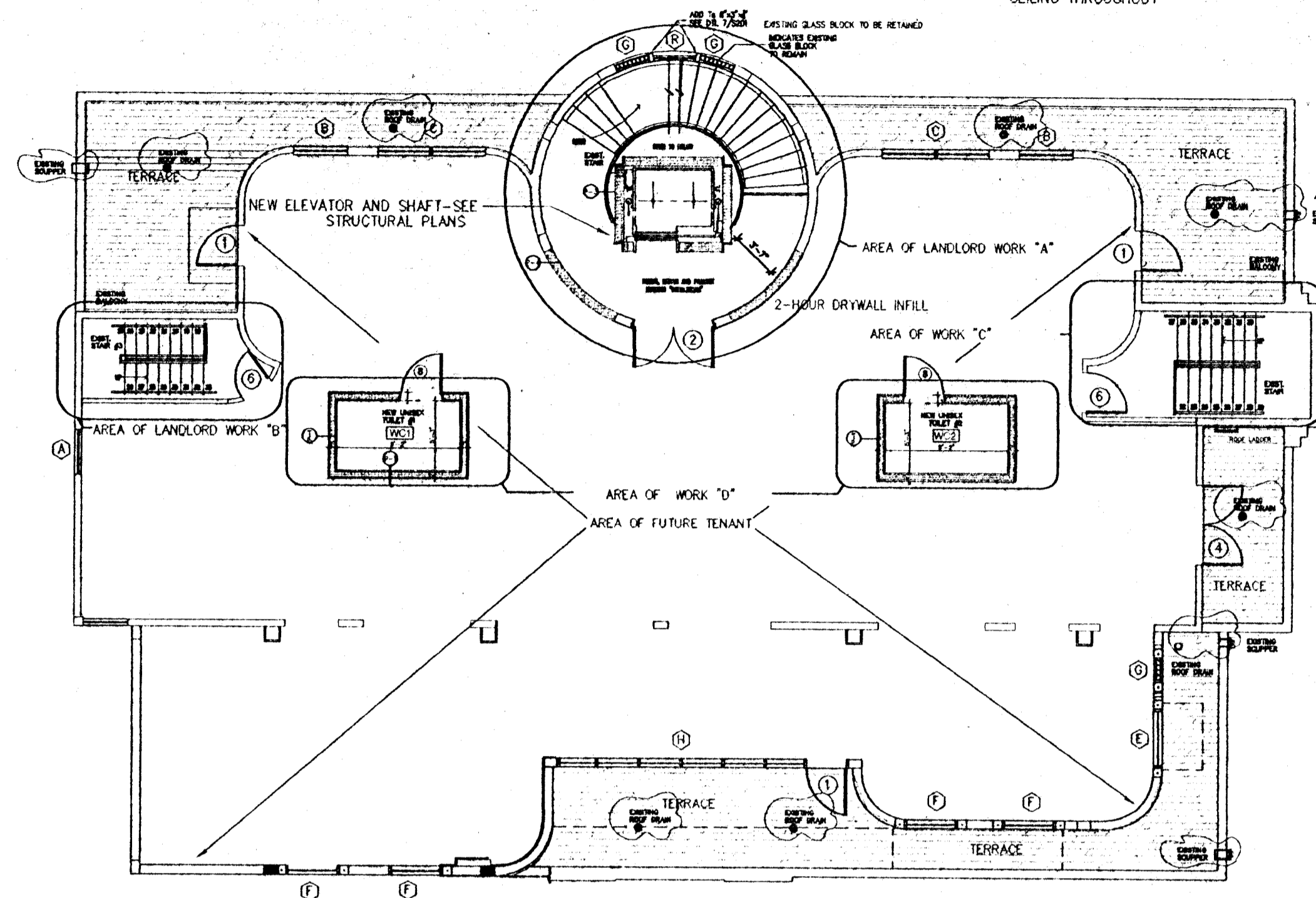
SEE SHEET A9 ↗ A

CEILING SCOPE OF WORK SUMMARY
PROVIDE NEW 5/8" FIRE CODE "C" DRYWALL
CEILING IN INTERIOR WORK AREAS A, B & C



SECOND FLOOR RCP
SCALE: 1/8" = 1'-0"

CEILING SCOPE OF WORK SUMMARY
PROVIDE NEW 5/8" FIRE CODE "C" DRYWALL
CEILING THROUGHOUT

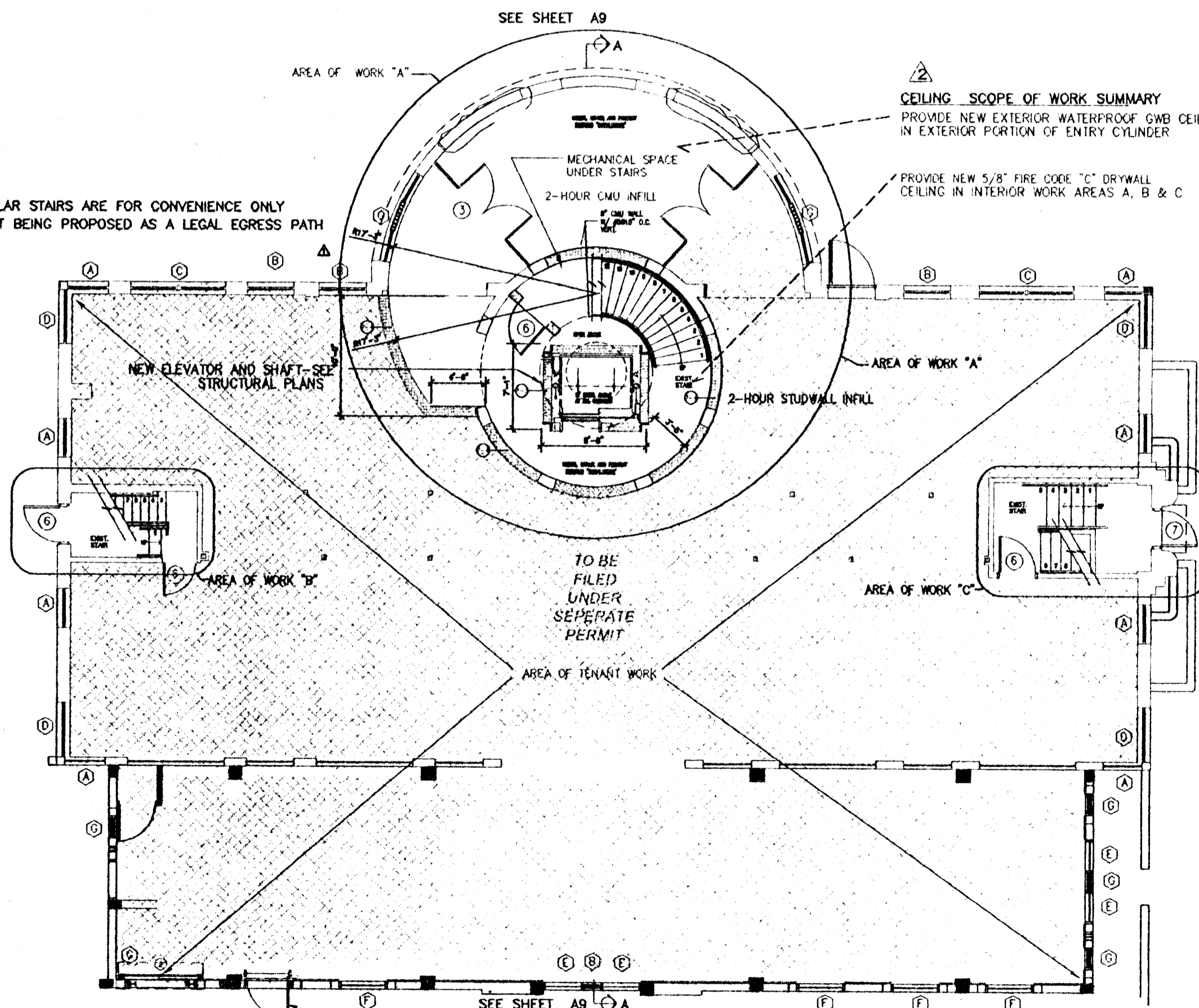


THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
THIRD FLOOR
4,208 SQ. FT. GROSS

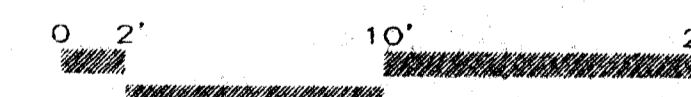
SEE SHEET A9

CEILING SCOPE OF WORK SUMMARY
PROVIDE NEW EXTERIOR WATERPROOF GMB CEILING
IN EXTERIOR PORTION OF ENTRY CYLINDER
PROVIDE NEW 5/8" FIRE CODE "C" DRYWALL
CEILING IN INTERIOR WORK AREAS A, B & C

NOTE: CIRCULAR STAIRS ARE FOR CONVENIENCE ONLY
AND ARE NOT BEING PROPOSED AS A LEGAL EGRESS PATH



GROUND FLOOR RCP
SCALE: 1/8" = 1'-0"



LEGEND:
EXISTING WALL OR PARTITION
NEW WALL OR PARTITION

REVISD SUBMITTAL 9/1/08
REVISD AS PER CITY OF MIAMI BEACH REVIEW
REVISD SUBMITTAL 5/21/08
REVISD AS PER CITY OF MIAMI BEACH REVIEW

WALTER F. CHATHAM, ARCHITECT
580 BROADWAY NYC 10012 (212)925-2202

PROJECT: 230 FIRST STREET
MIAMI BEACH, FLORIDA
DATE: 5.1.08
SCALE: AS NOTED

A5

Handwritten signature

