

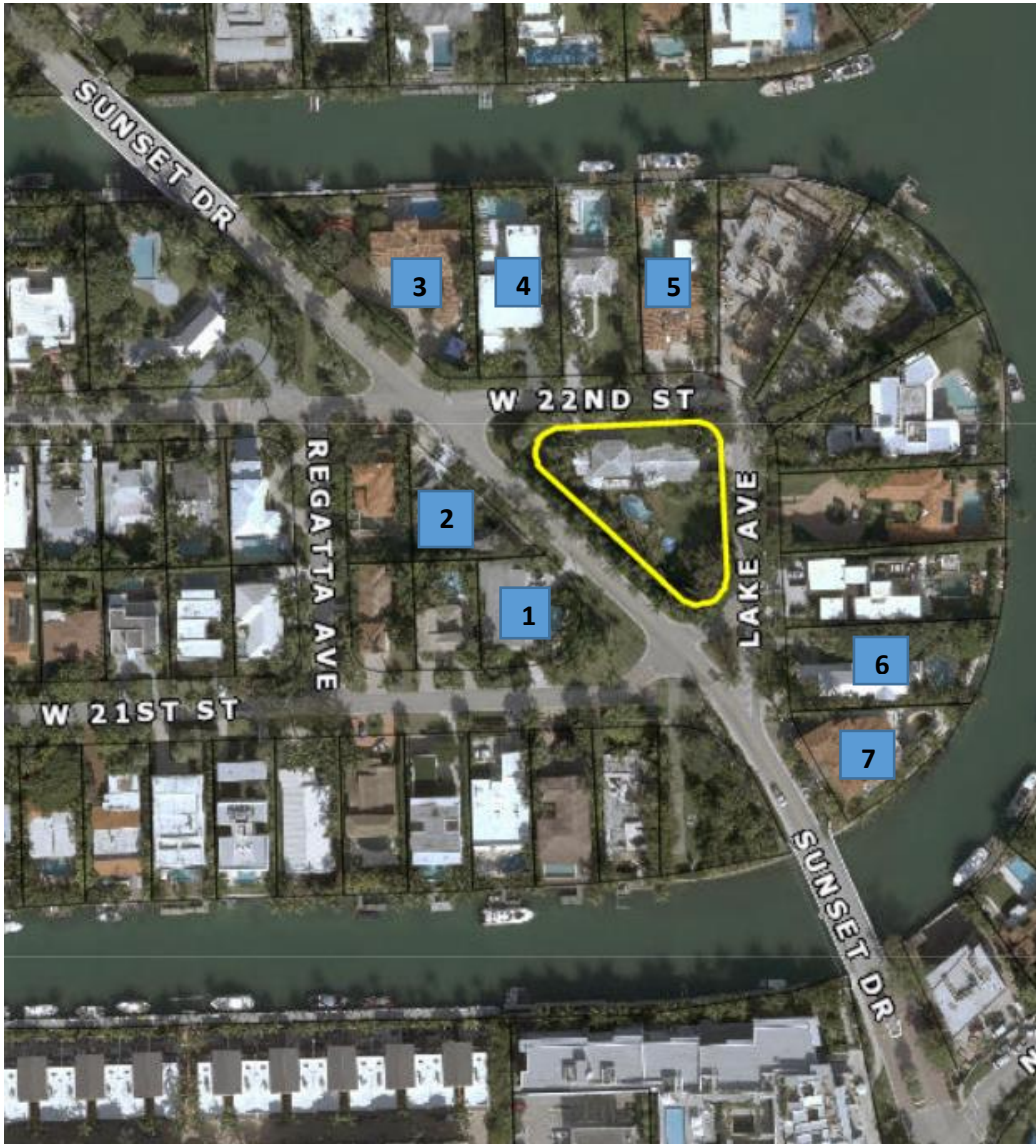
# HERTZBERG RESIDENCE

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140

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*DESIGN REVIEW BOARD*

Neighbor Support  
1420 West 22nd Street  
Hertzberg Residence



NO.	Property Address	Owner
1.	1401 W 21 Street	Jackeline Lalonde
2.	2120 Sunset Drive	Hillary Hertzberg Benson
3.	2201 Sunset Drive	Laurel Sussman
4.	1433 W 22 Street	Matthew Greer
5.	1401 W 22 Street	Benjamin Wander
6.	2095 Lake Avenue	William Taylor
7.	2001 Lake Avenue	Chip Virnig





## EXISTING RESIDENCE | FRONT ELEVATION

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140





**AREAL VIEW - SUNSET DR. BRIDGE ACCESS**

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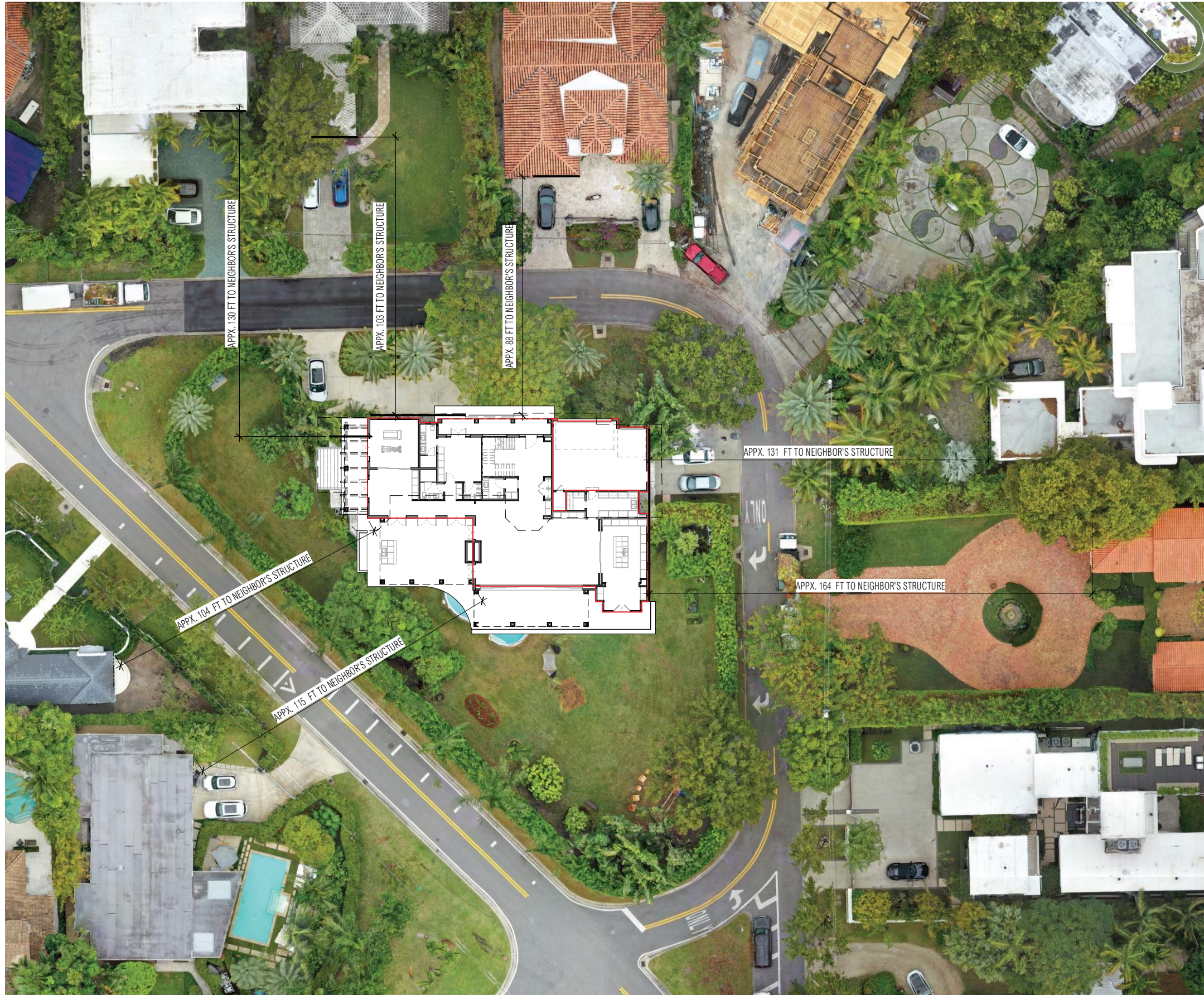




## AREAL VIEW - 22nd ST. & LAKE AVE. VIEWS

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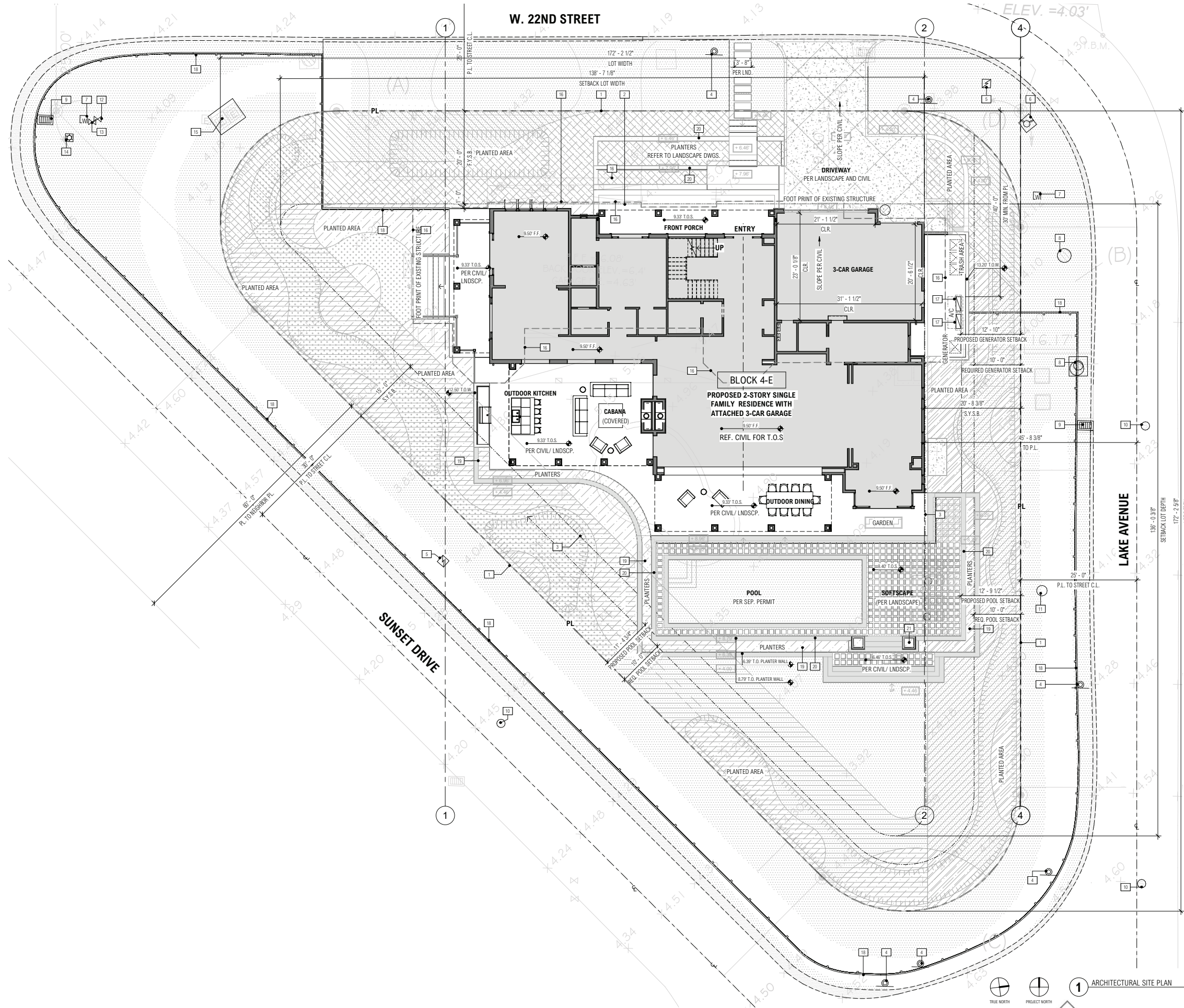


- HOME IS SETBACK CONSISTENTLY FOR ADJACENT NEIGHBORS
- 88' - 164' BETWEEN STRUCTURES
- ENLARGED PUBLIC R.O.W. & HEDGE TO REMAIN
- EXISTING STRUCTURE PERIMETER IS CLOSER TO NEIGHBORING STRUCTURES THAN PROPOSED IN ALL SIDES

## AREAL VIEW | DISTANCE TO NEIGHBOR'S STRUCTURES

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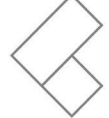




## SITE PLAN

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140

1 ARCHITECTURAL SITE PLAN



BRANDON ARCHITECTS



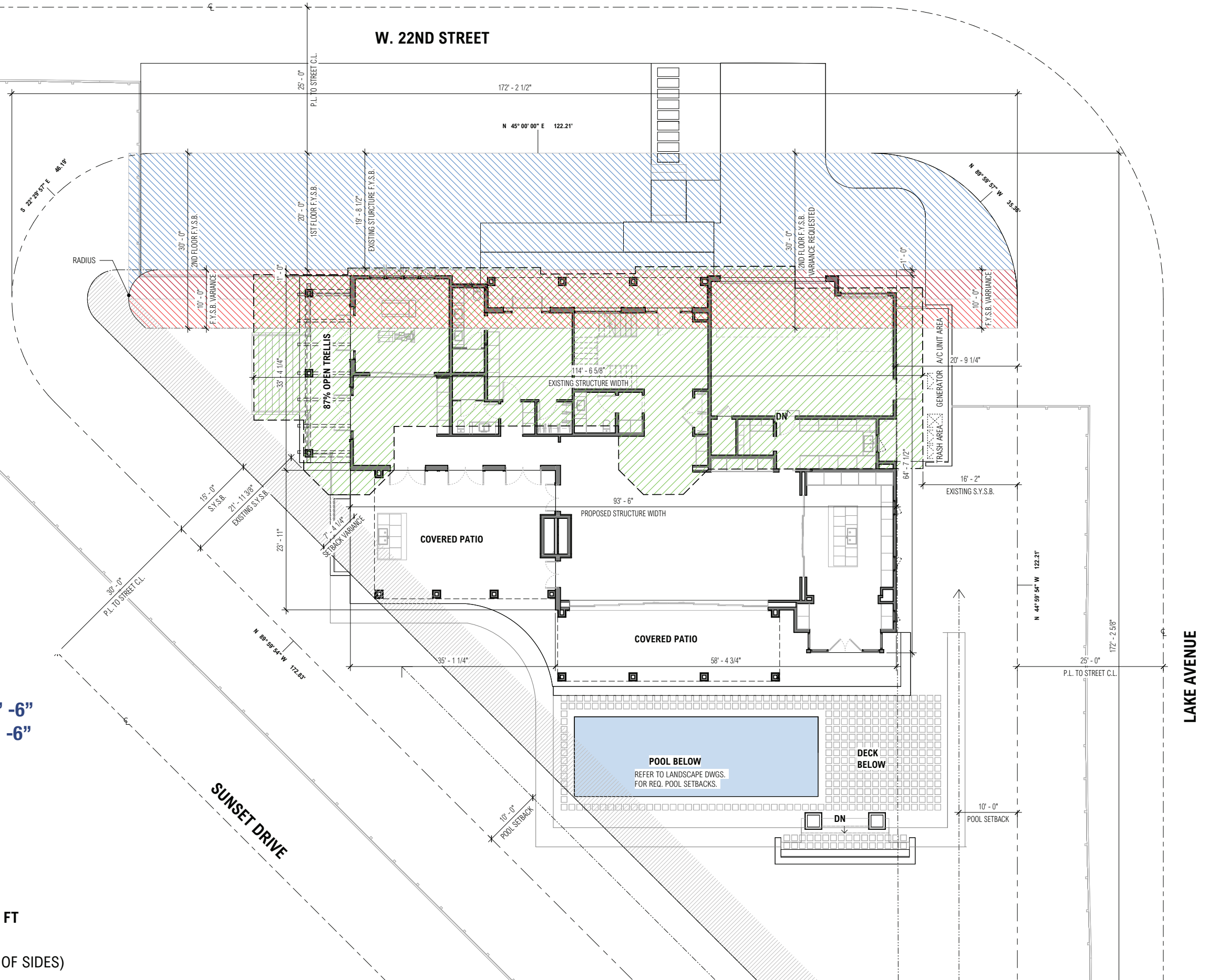
## VARIANCE REQUESTS:

- **FRONT SETBACK FOR SECOND LEVEL  
REQUIRED = 25'  
PROPOSED = 20'**
- **SUM OF SIDE YARDS  
25% LOT WIDTH = 42.79 '  
PROPOSED = 35.7'**
- **EXISTING BUILDING FRONT WIDTH: 114' -6"**
- **PROPOSED BUILDING FRONT WIDTH: 93' -6"**
- **EXISTING F.Y.S.B. = 19'-8 1/2"**
- **PROPOSED F.Y.S.B. = 20'- 0"**

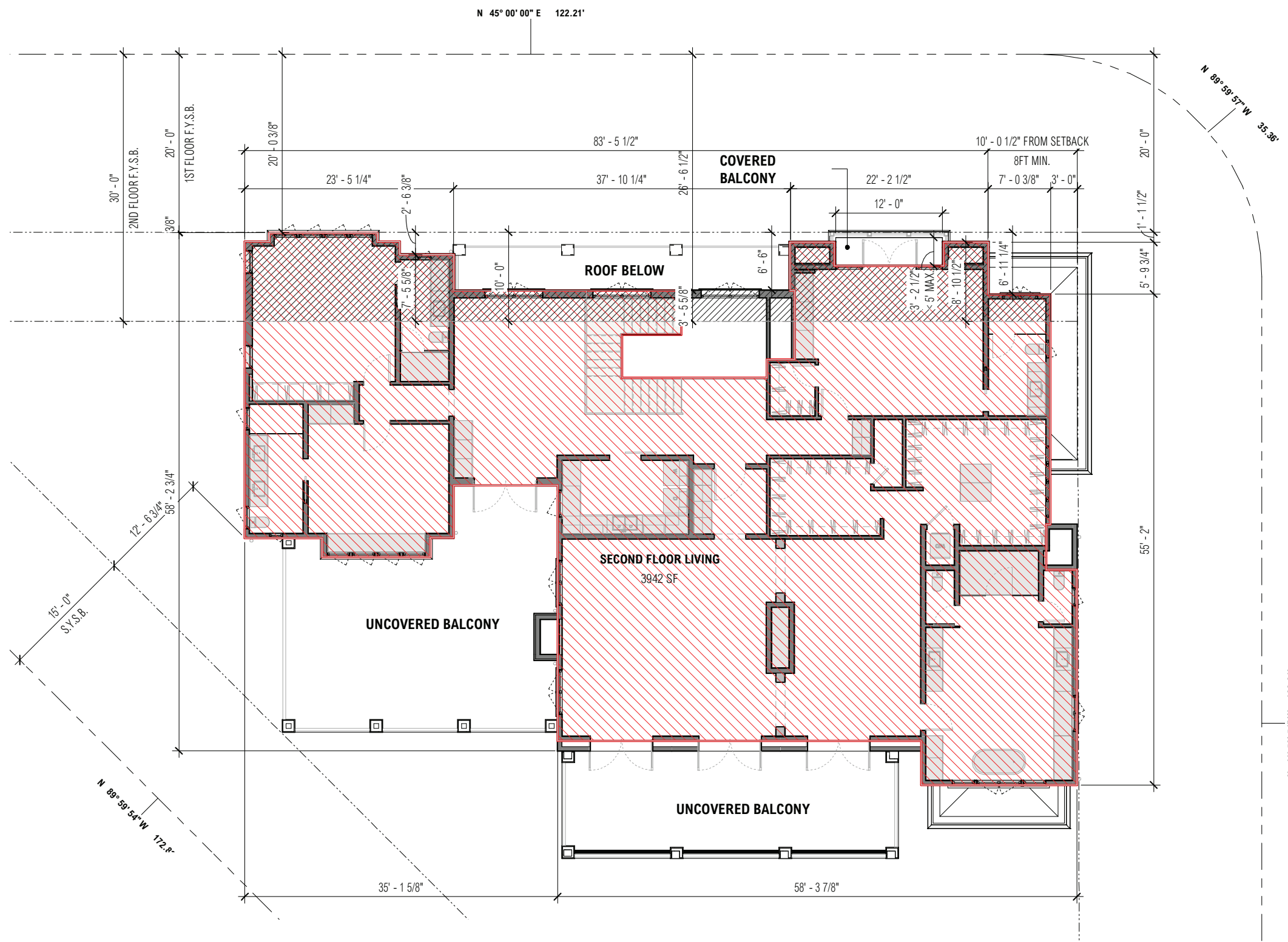
- EXISTING STRUCTURE
- FRONT YARD SETBACK: 20FT
- FRONT YARD SETBACK VARIANCE REQUEST: 10 FT
- SIDE YARD SETBACK VARIANCE: 7.35 FT (SUM OF SIDES)

## FRONT YARD SETBACK



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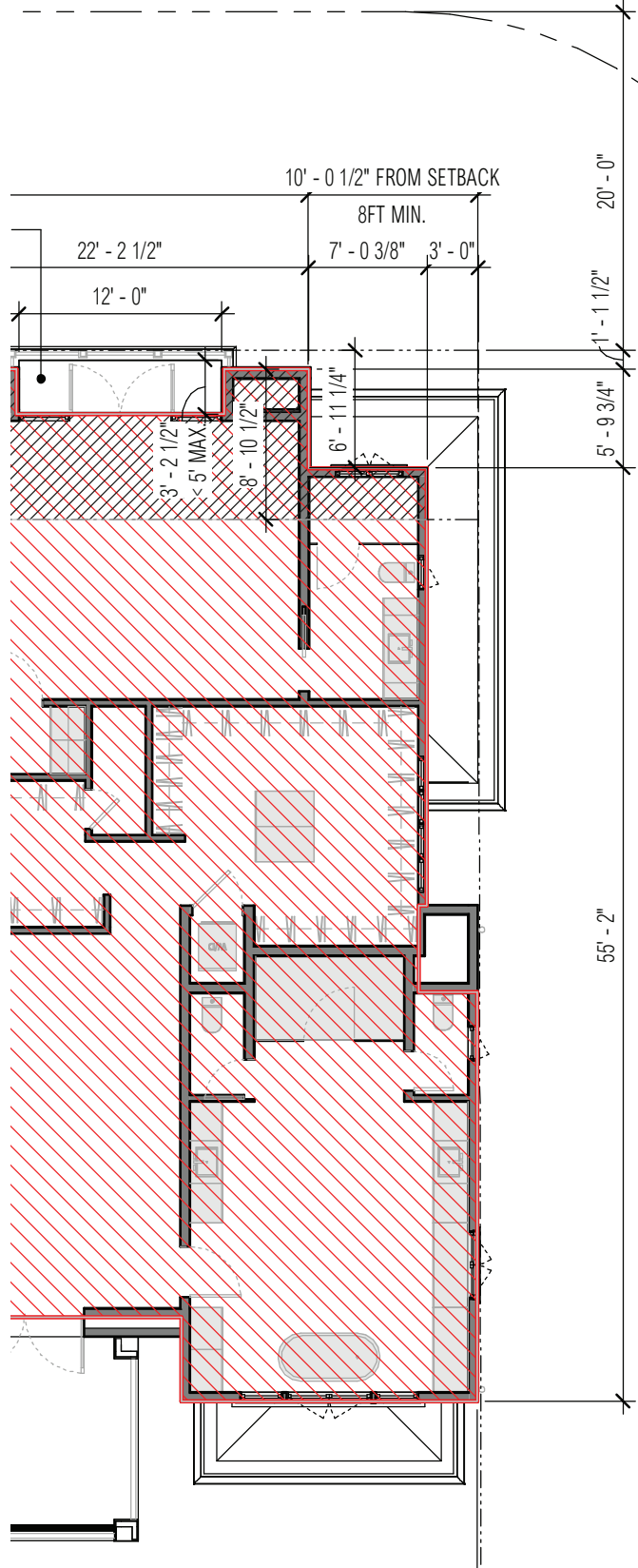
- **FRONT SETBACK FOR SECOND LEVEL**  
REQUIRED = 25'  
PROPOSED = 20'
- **MAX LOT COVERAGE:**  
ALLOWED: 19,863 S.F. 30% = 5,959 S.F.  
PROVIDED: 5,302.8 S.F. = 26.6%

 2ND FLOOR LOT COVERAGE: 3924 SF  
 2ND FLOOR NOT IN REQUIRED SETBACK: 532.41 SF

SECOND FLOOR LOT COVERAGE DIAGRAM

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140

LAKE AVENUE



ENLARGED AREA - LAKE AVE. SECOND FLOOR LENGTH

- **MAXIMUM LENGTH OF SIDE: 60'**





**PROPOSED RESIDENCE | FRONT RENDERING**

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140





## PROPOSED RESIDENCE | FRONT RENDERING

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140





## PROPOSED RESIDENCE | FRONT RENDERING

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140





**PROPOSED RESIDENCE | REAR YARD RENDERING**

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140





## PROPOSED RESIDENCE | AREAL RENDERING

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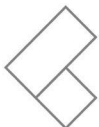




*THANK YOU!*

**HERTZBERG RESIDENCE**

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140



**BRANDON ARCHITECTS**



CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS  
Zoning District RS-4 Lot Area 19,862 sf Acres 0.46

OPEN SPACE

- A. Square feet of required Open Space as indicated on site plan:  
Lot Area = 19,862 s.f. x 50 % = 9,931 s.f.
- B. Square feet of parking lot open space required as indicated on site plan:  
Number of parking spaces \_\_\_\_\_ x 10 s.f. parking space =  
C. Total square feet of landscaped open space required: A+B=

REQUIRED/ ALLOWED	PROVIDED
9,931	10,073
n/a	n/a
9,931	10,070

LAWN AREA CALCULATION

- A. Square feet of landscaped open space required  
B. Maximum lawn area (sod) permitted= 50 % x 9,931 s.f.

9,931	10,073
4,965	3,910

TREES

- A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=  
5 trees x \_\_\_\_\_ net lot acres - number of existing trees=  
B. % Natives required: Number of trees provided x 30% =  
C. % Low maintenance / drought and salt tolerant required:  
Number of trees provided x 50%=  
D. Street Trees (maximum average spacing of 20' o.c.)  
574 linear feet along street divided by 20'=  
E. Street tree species allowed directly beneath power lines:  
(maximum average spacing of 20' o.c.):  
\_\_\_\_\_ linear feet along street divided by 20' =

0	40
12	37
20	40
28	28
n/a	

SHRUBS

- A. Number of shrubs required: Sum of lot and street trees required x 12=  
B. % Native shrubs required: Number of shrubs provided x 50% =

336	336
168	225

LARGE SHRUBS OR SMALL TREES

- A. Number of large shrubs or small trees required: Number of required shrubs x 10%=  
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =

33	33
16	16

MATERIAL IMAGERY



CONCRETE DRIVEWAY WITH ROCK SALT FINISH



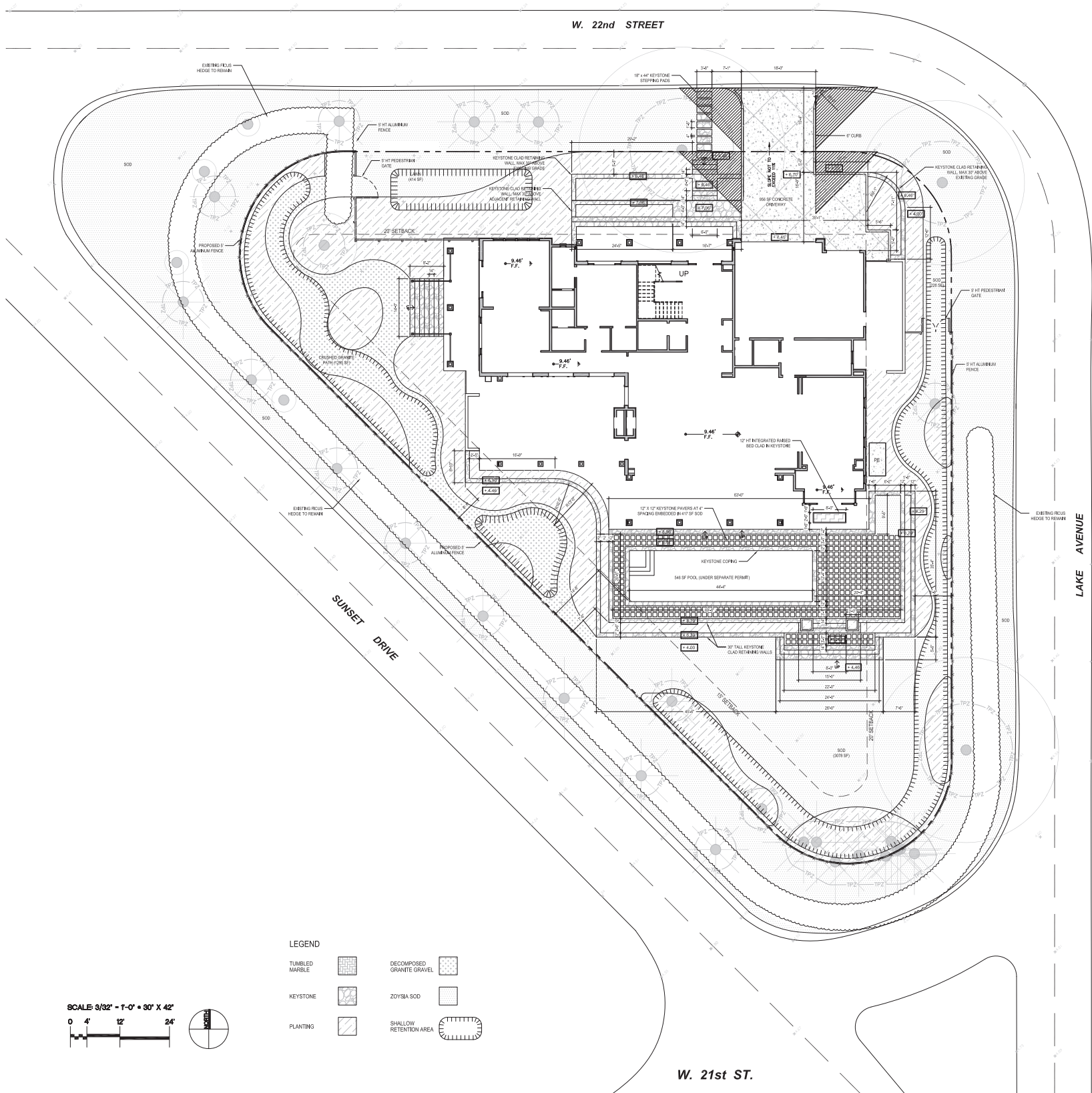
KEYSTONE PAVER IN SOD



KEYSTONE CLAD RETAINING WALL/PLANTER



KEYSTONE PAVER



HARDSCAPE PLAN

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140



TREE MITIGATION CALCULATIONS

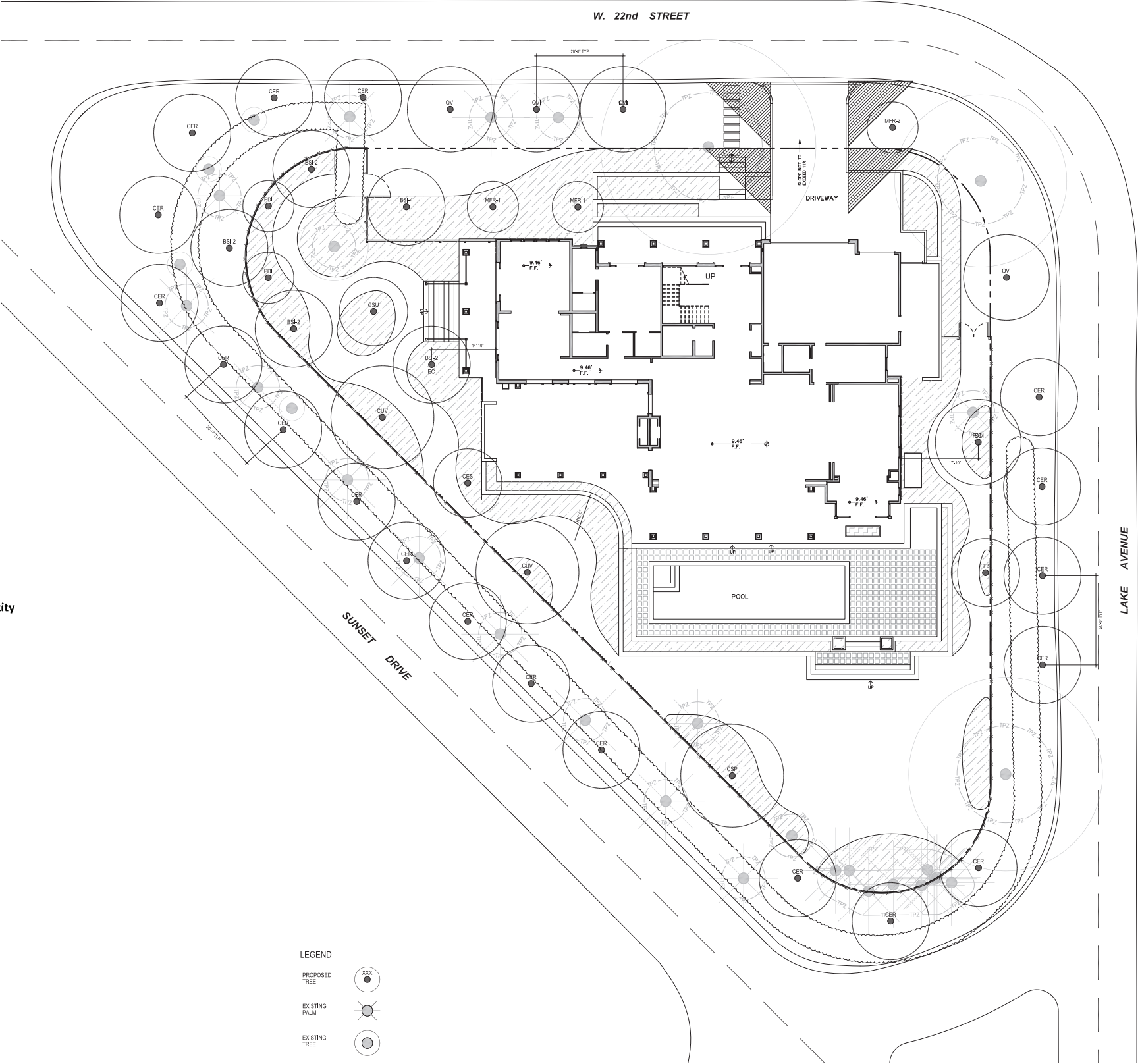
Total palms to be removed	Total # of replacement canopy trees required (12' Ht, 2" DBH)		Total replacement trees provided	
7	7		7	
Total tree DBH (in) to be removed	Total # of replacement canopy trees required (12' Ht, 2" DBH)	OR	Total # of replacement canopy trees required (14' Ht, 4" DBH)	Total replacement trees provided
35	12*		6	8
Replacement Trees				
Common	Botanical	Specification		Quantity
Pink Powderpuff	<i>Calliandra surinamensis</i>	12' Ht, 2" Cal, 6' Sp		1
Silk Floss Tree	<i>Ceiba speciosa</i>	14' Ht, 4" Cal, 8' Sp		1
Seagrape	<i>Coccoloba uvifera</i>	14' Ht, 4" Cal, 8' Sp		2
Gumbo Limbo	<i>Bursera simaruba</i>	14' Ht, 4" Cal, 8' Sp		1
Gumbo Limbo	<i>Bursera simaruba</i>	12' Ht, 2" Cal, 6' Sp		3
Silver Buttonwood	<i>Conocarpus erectus sericeus</i>	10' Ht, 1.5" Cal		2
Simpson's Stopper	<i>Myrcianthes fragrans</i>	10' Ht, 1.5" Cal		2
Avocado	<i>Persea americana</i>	12' Ht, 2" Cal, 6' Sp		1
Allspice	<i>Pimenta dioica</i>	12' Ht, 2" Cal, 6' Sp		2
Street Trees				
Common	Botanical	Specification		Quantity
Gumbo Limbo	<i>Bursera simaruba</i>	12' Ht, 2" Cal, 6' Sp		1
Green Buttonwood	<i>Conocarpus erectus</i>	12' Ht, 2" Cal, 6' Sp		19
Royal Poinciana	<i>Delonix regia</i>	existing to remain		1
Simpson's Stopper	<i>Myrcianthes fragrans</i>	12' Ht, 2" Cal, 6' Sp		1
Live Oak	<i>Quercus virginiana</i>	12' Ht, 2" Cal, 6' Sp		4
Live Oak	<i>Quercus virginiana</i>	existing to remain		2
Total:				28

\*up to 30% of this requirement may be substituted with native trees at 10' Ht, 1.5" cal.

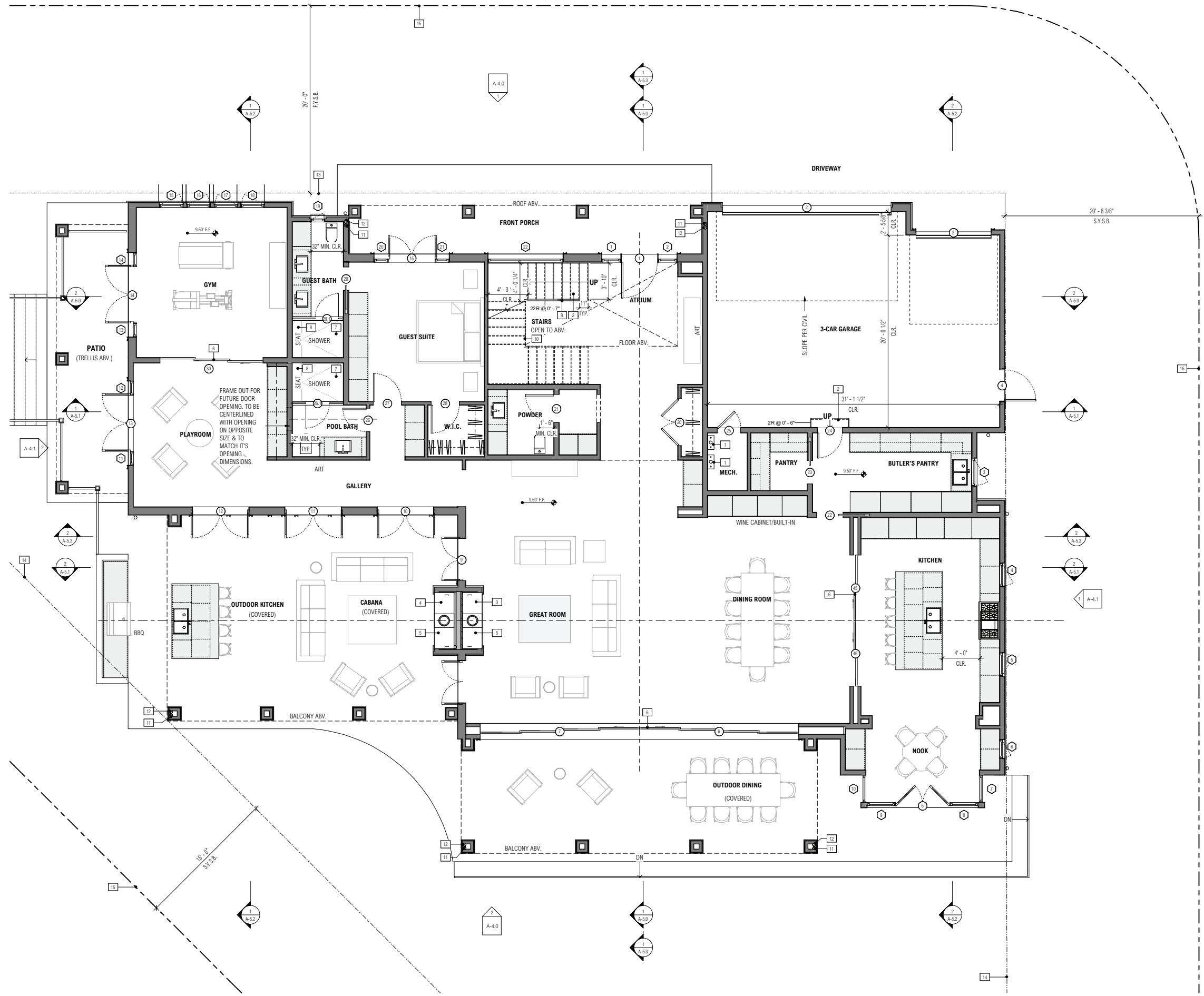
HERTZBERG RESIDENCE PLANT SCHEDULE

CANOPY TREES				
ID	Common Name	Botanical Name	Specification	Quantity
CSU	Pink Powderpuff	<i>Calliandra surinamensis</i>	12' Ht, 2" Cal, 6' Sp	1
CSP	Silk Floss Tree	<i>Ceiba speciosa</i>	14' Ht, 4" Cal, 8' Sp	1
CUV	Seagrape*	<i>Coccoloba uvifera</i>	14' Ht, 4" Cal, 8' Sp	2
CER	Green Buttonwood*	<i>Conocarpus erectus</i>	12' Ht, 2" Cal, 6' Sp	19
BSI-4	Gumbo Limbo*	<i>Bursera simaruba</i>	14' Ht, 4" Cal, 8' Sp	1
BSI-2	Gumbo Limbo*	<i>Bursera simaruba</i>	12' Ht, 2" Cal, 6' Sp	4
CES	Silver Buttonwood*	<i>Conocarpus erectus sericeus</i>	10' Ht, 1.5" Cal	2
MFR-2	Simpson's Stopper*	<i>Myrcianthes fragrans</i>	12' Ht, 2" Cal, 6' Sp	1
MFR-1	Simpson's Stopper*	<i>Myrcianthes fragrans</i>	10' Ht, 1.5" Cal	2
PAM	Avocado	<i>Persea americana</i>	12' Ht, 2" Cal, 6' Sp	1
PDI	Allspice	<i>Pimenta dioica</i>	12' Ht, 2" Cal, 6' Sp	2
QVI	Live Oak*	<i>Quercus virginiana</i>	12' Ht, 2" Cal, 6' Sp	4

NOTE: ROOT BARRIERS SHALL BE INSTALLED WHEN ROOT BALL IS WITHIN 10 FEET OF PAVEMENT OR BUILDING STRUCTURE.  
ROOT BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
ALL PLANTS SHALL BE FLORIDA FANCY OR FLORIDA NO. 1 GRADE AS OUTLINED BY FDACS IN THE 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS'.



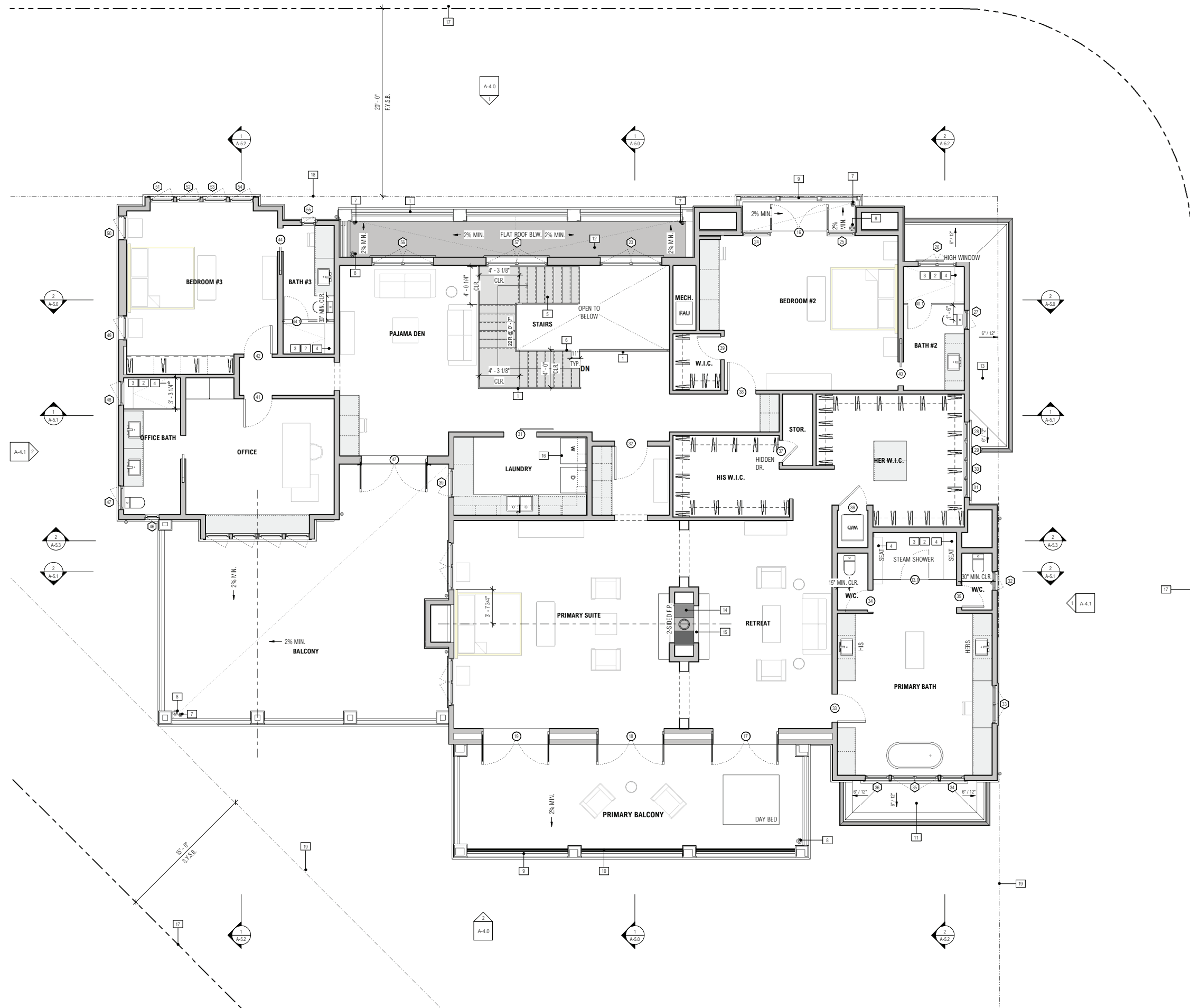




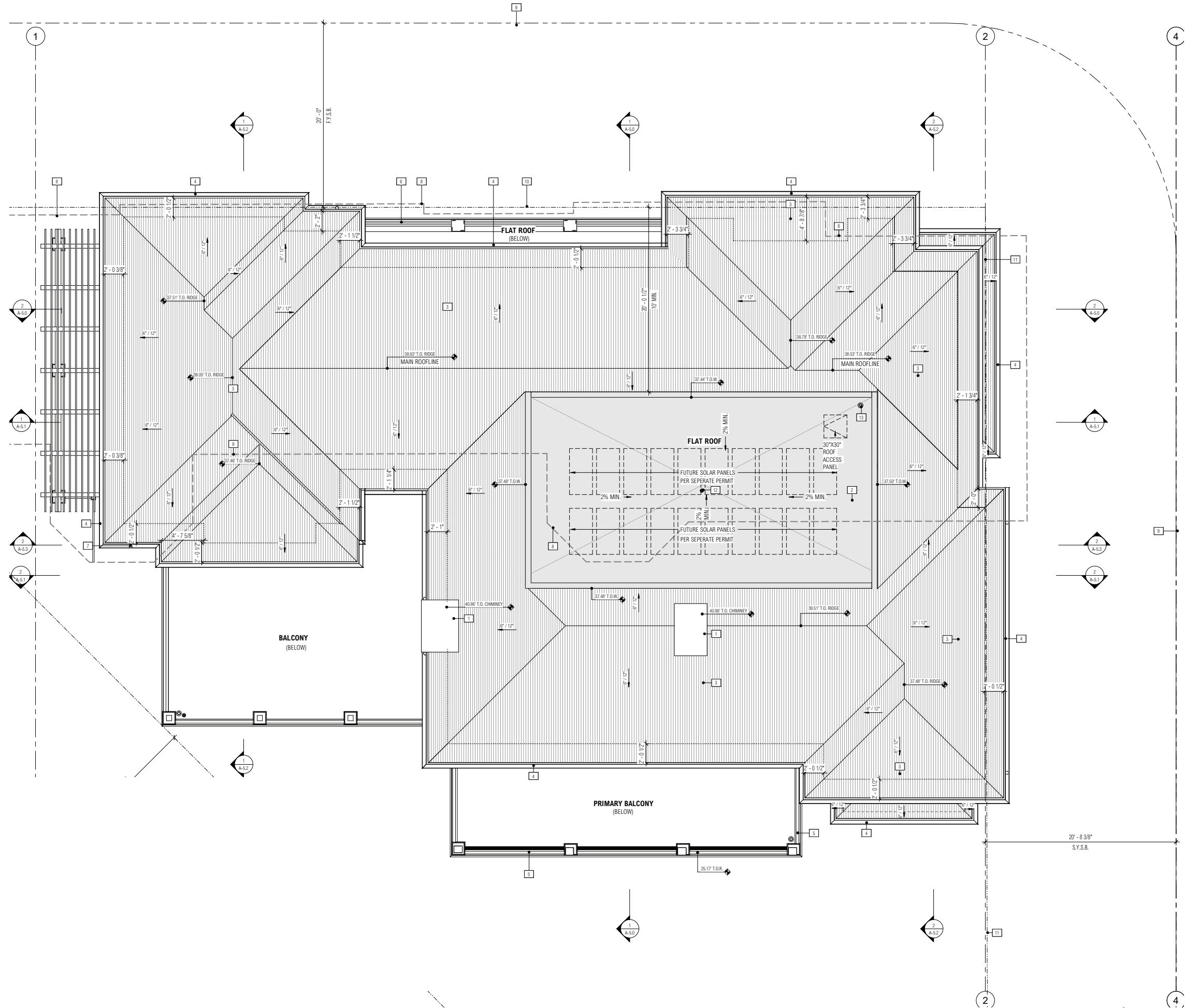
FIRST LEVEL FLOOR PLAN

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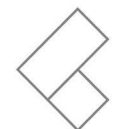






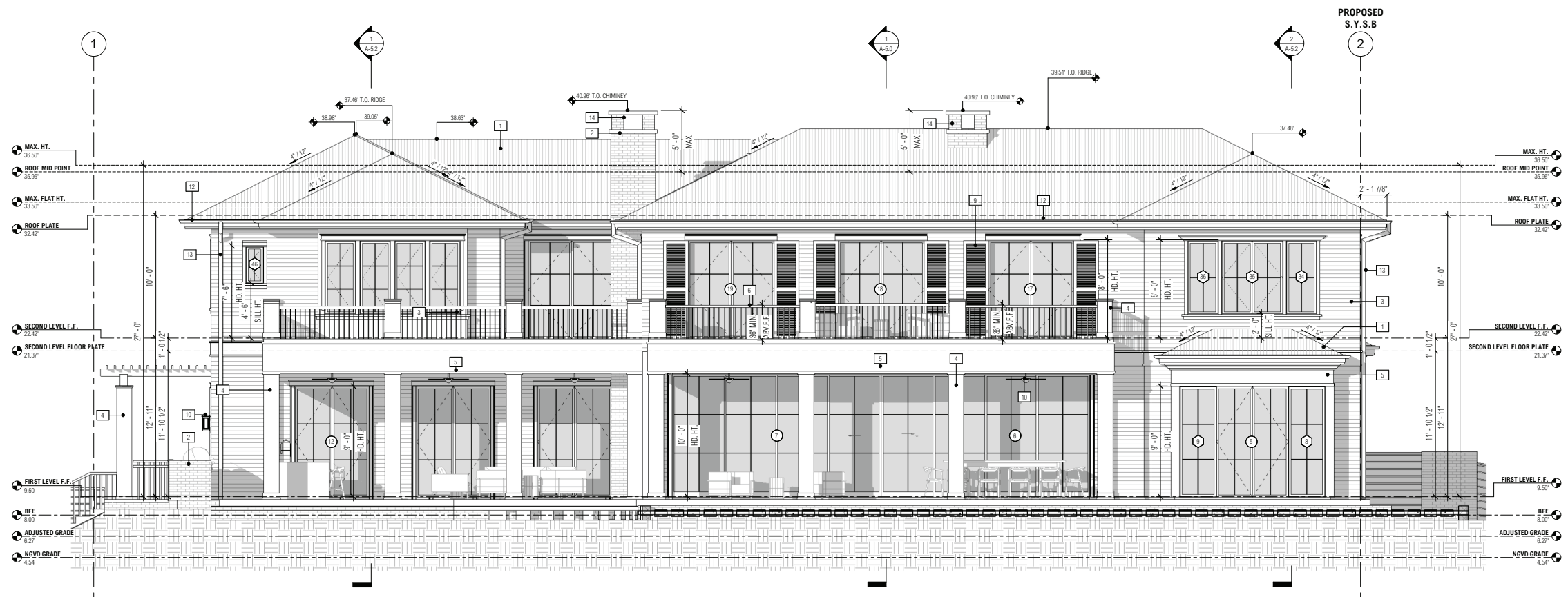
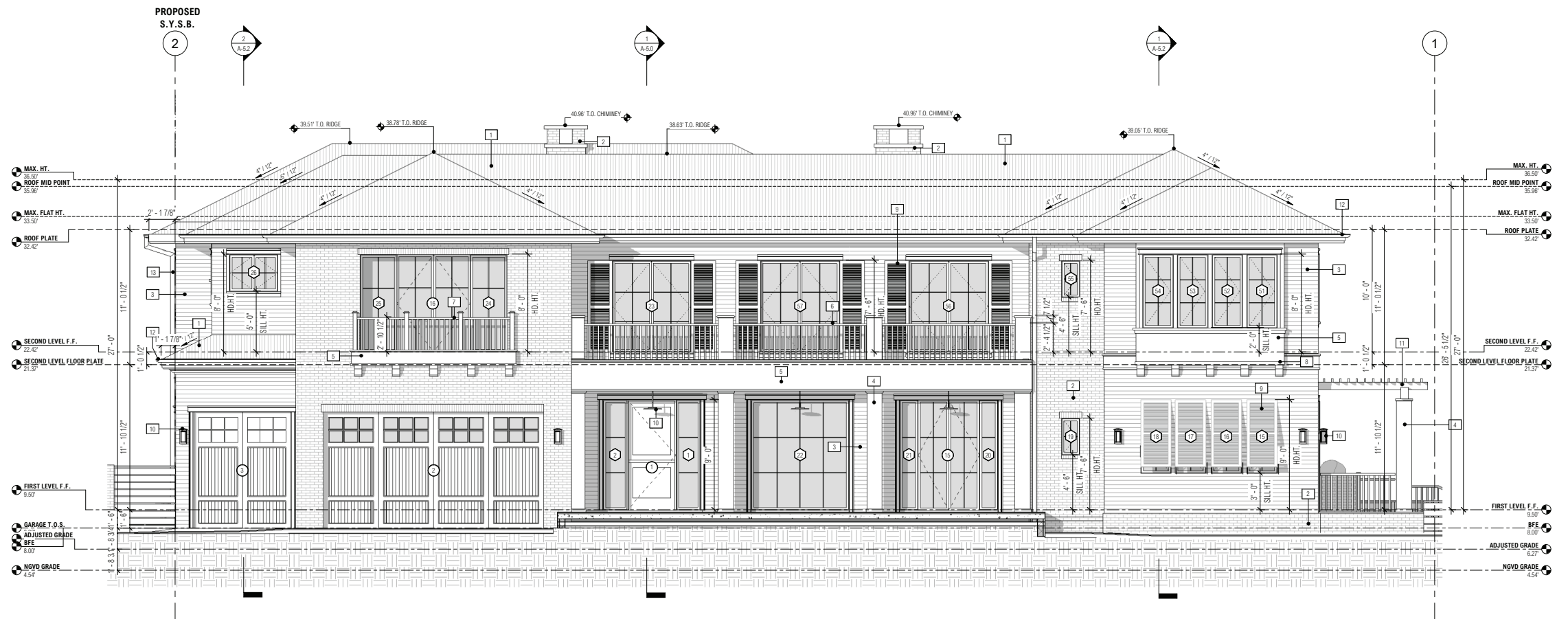
## ROOF PLAN

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BRANDON ARCHITECTS





## EXTERIOR ELEVATIONS

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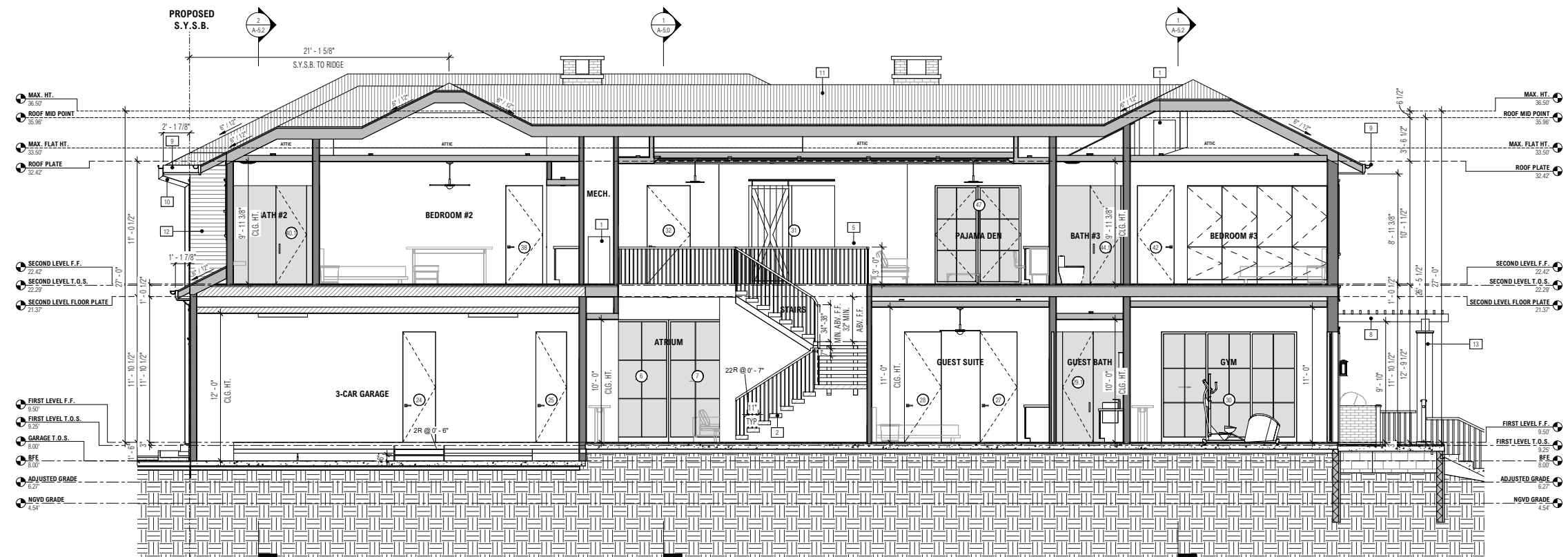
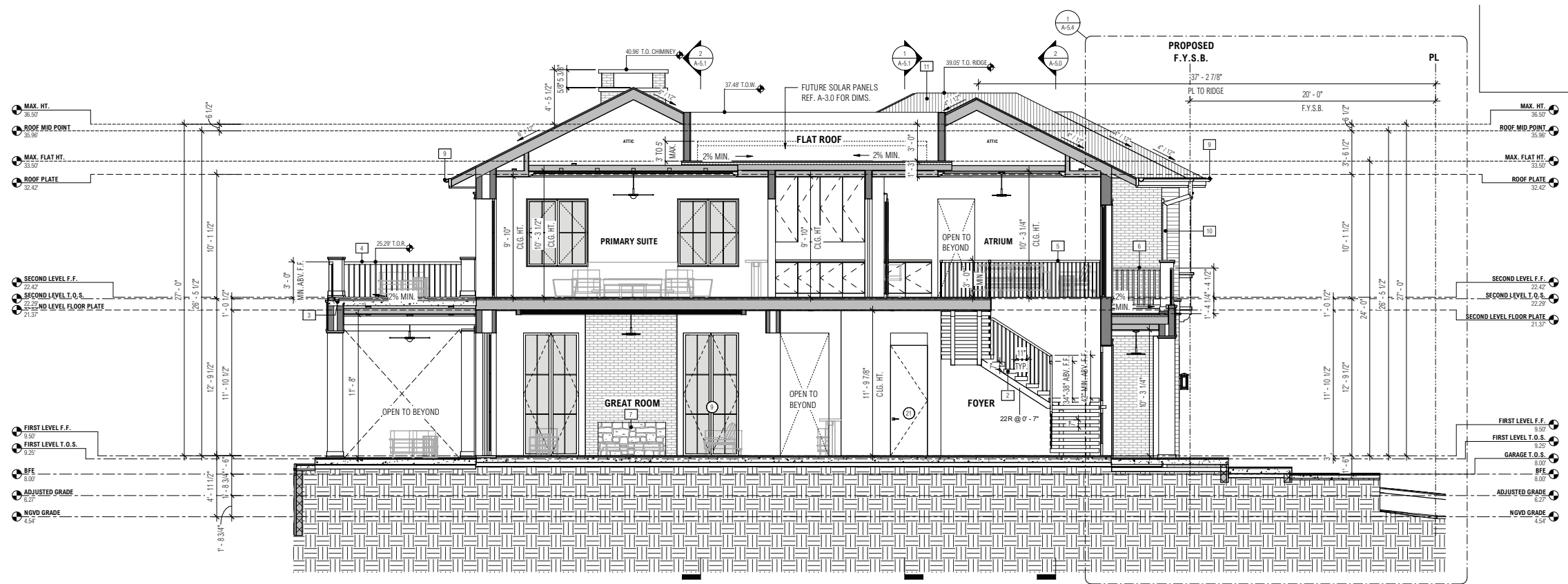




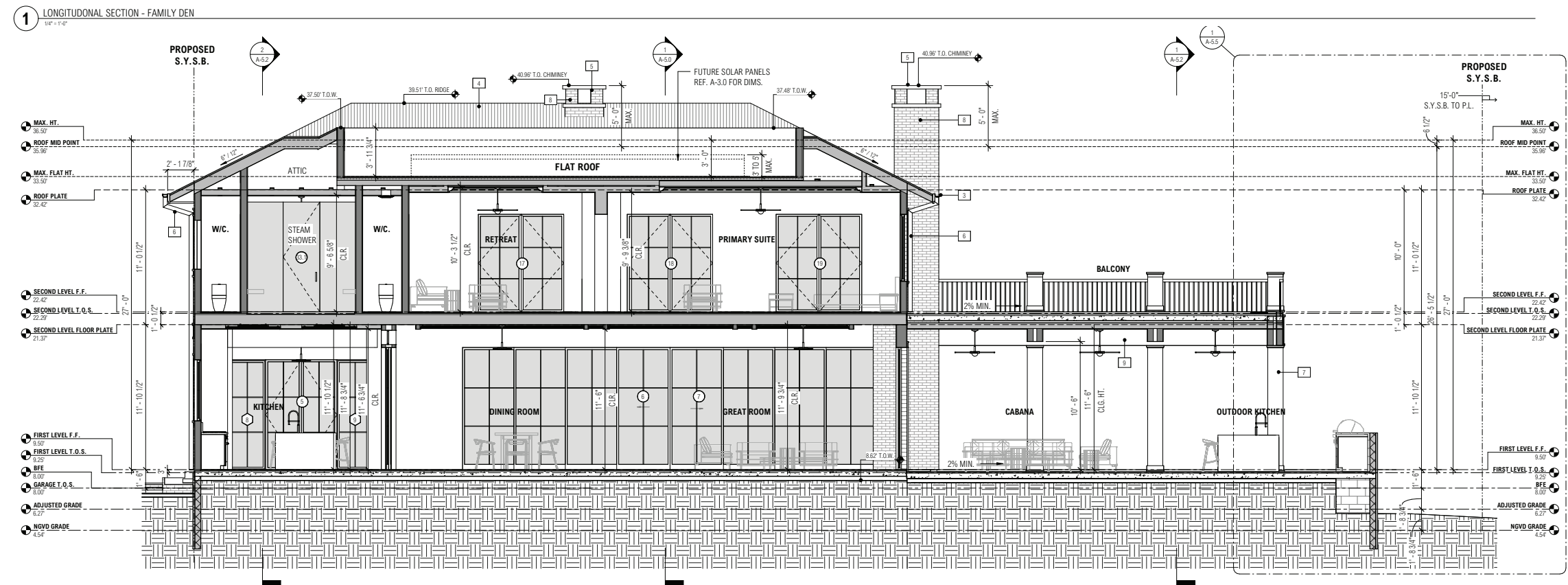
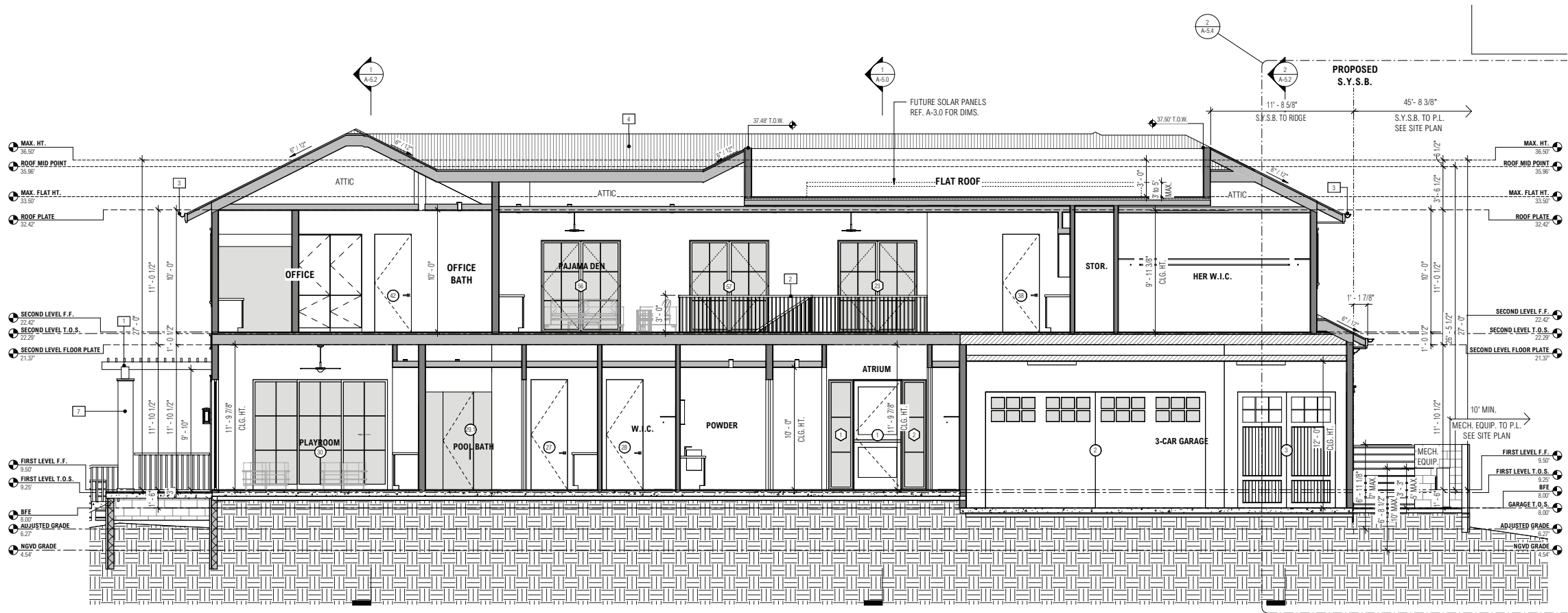
## EXTERIOR ELEVATIONS

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140

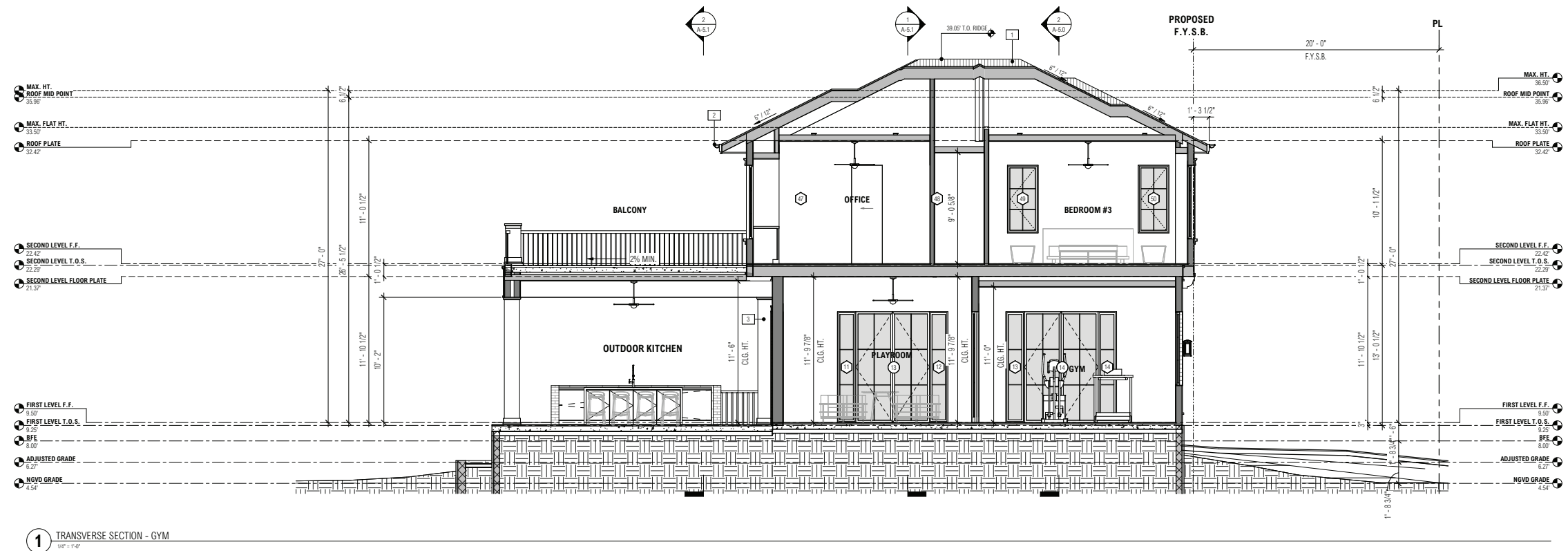




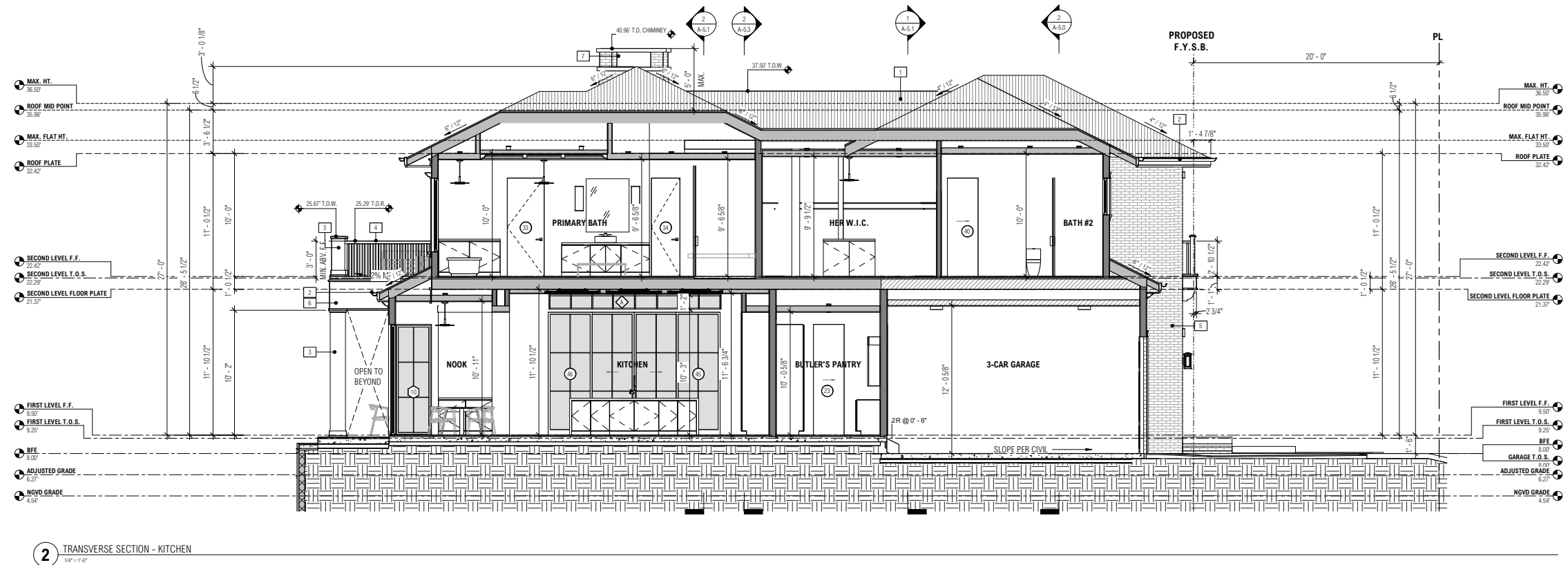






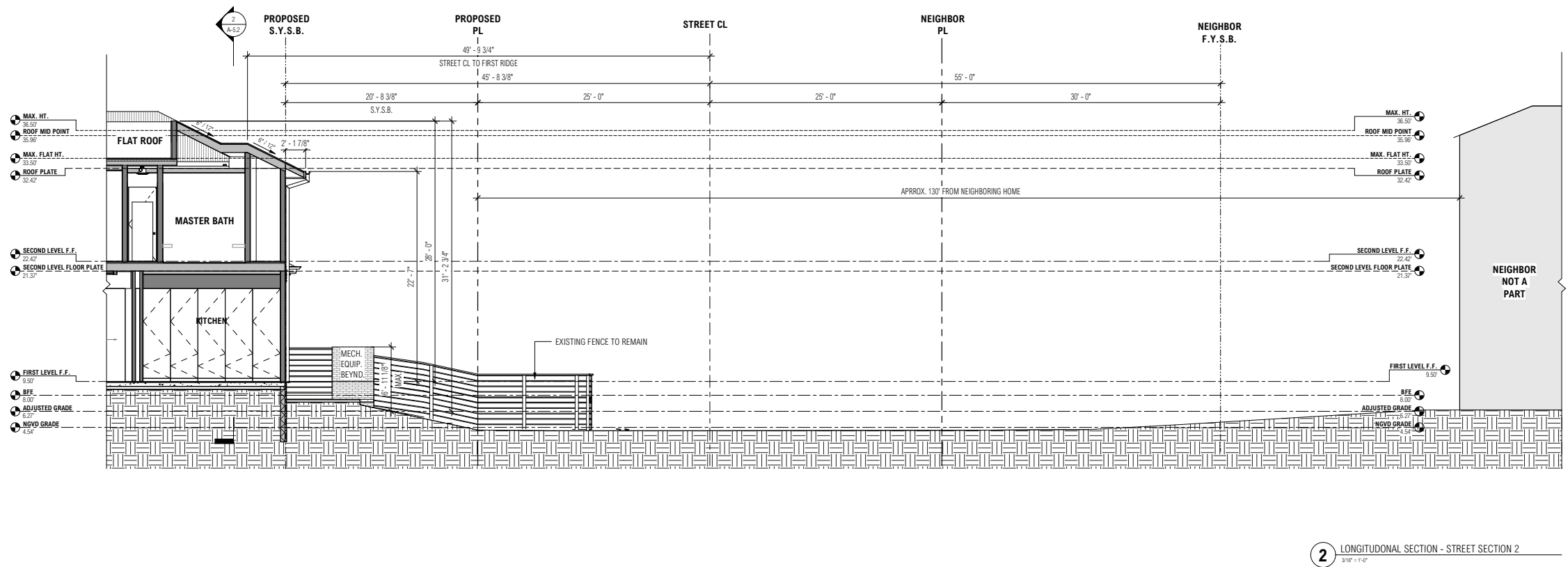
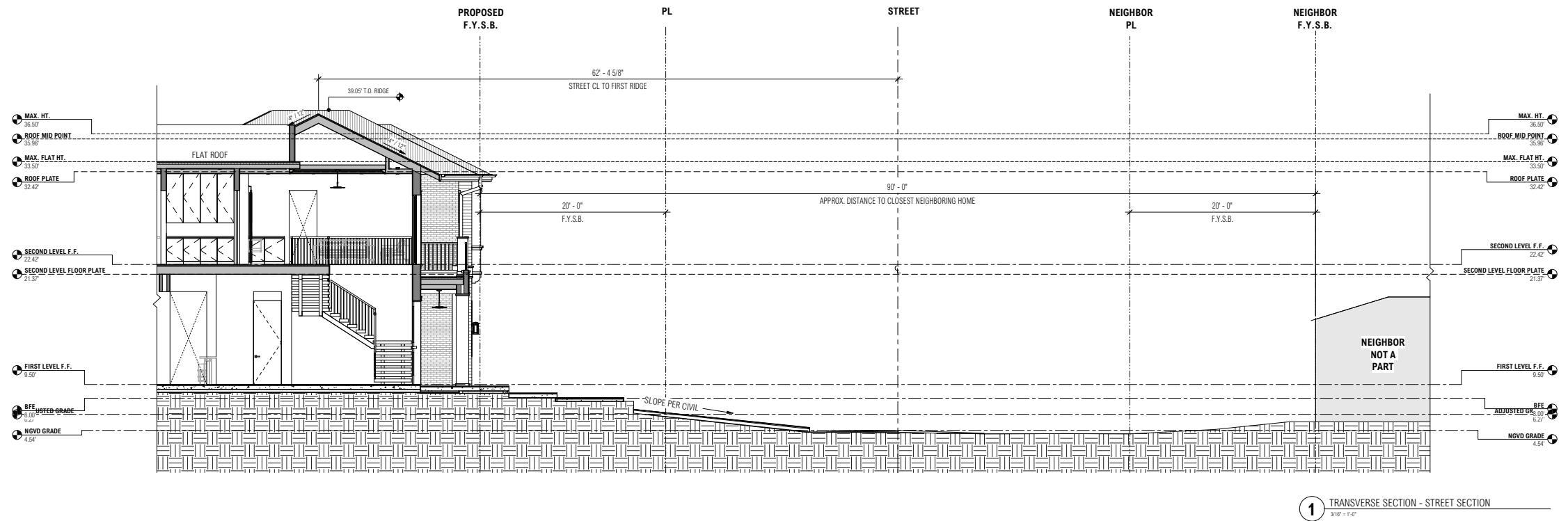


**1** TRANSVERSE SECTION - GYM  
1/4" = 1'-0"

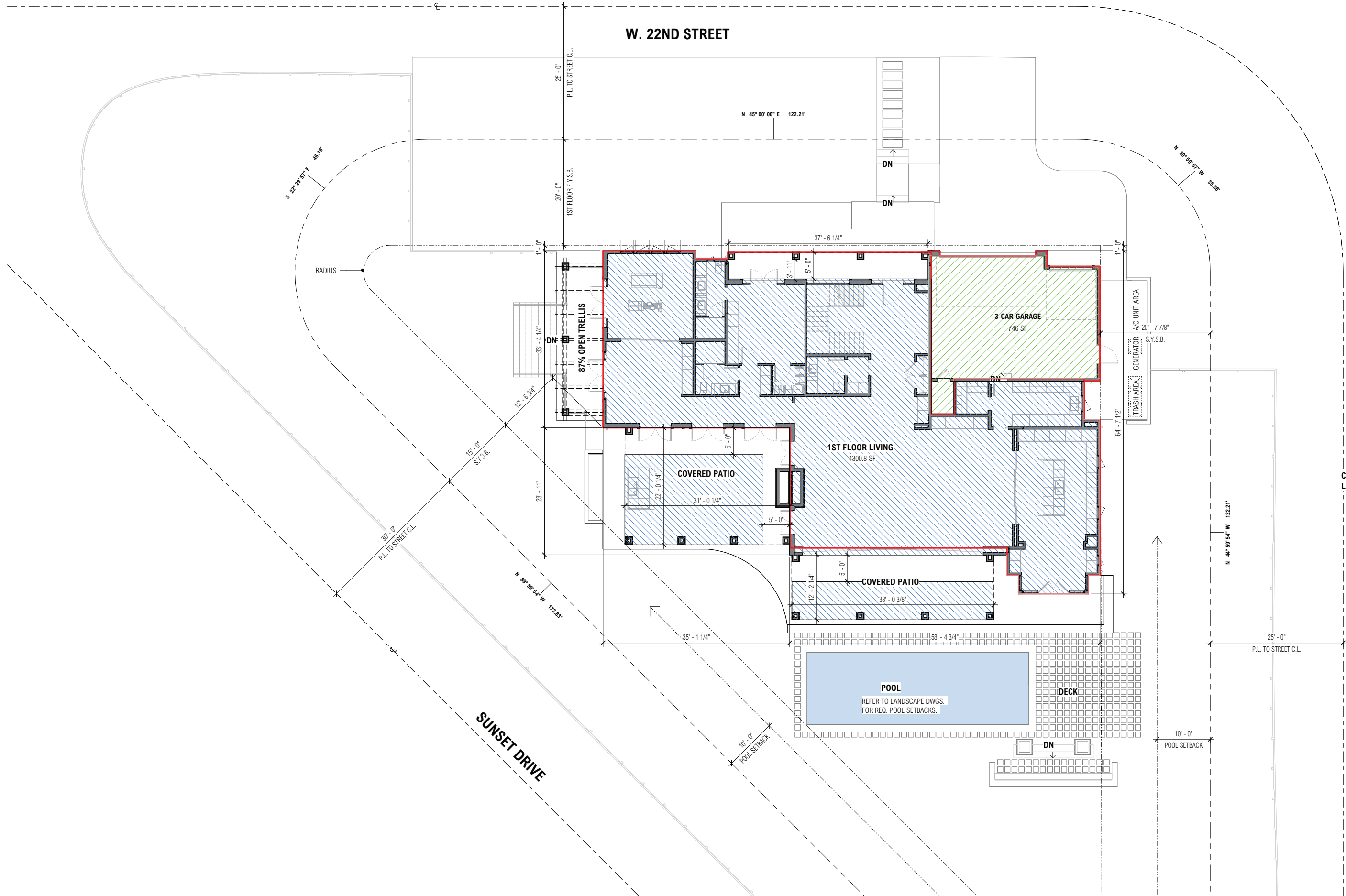


**2** TRANSVERSE SECTION - KITCHEN  
1/4" = 1'-0"





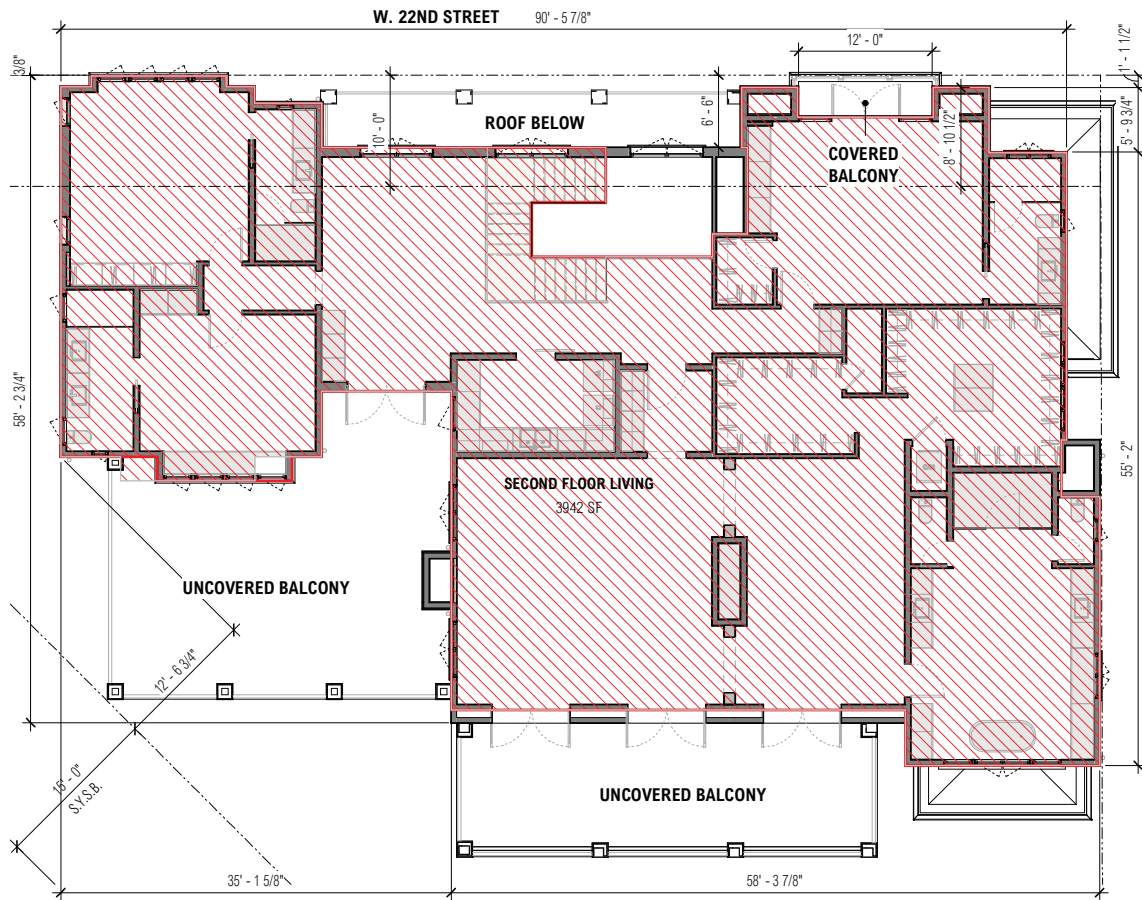




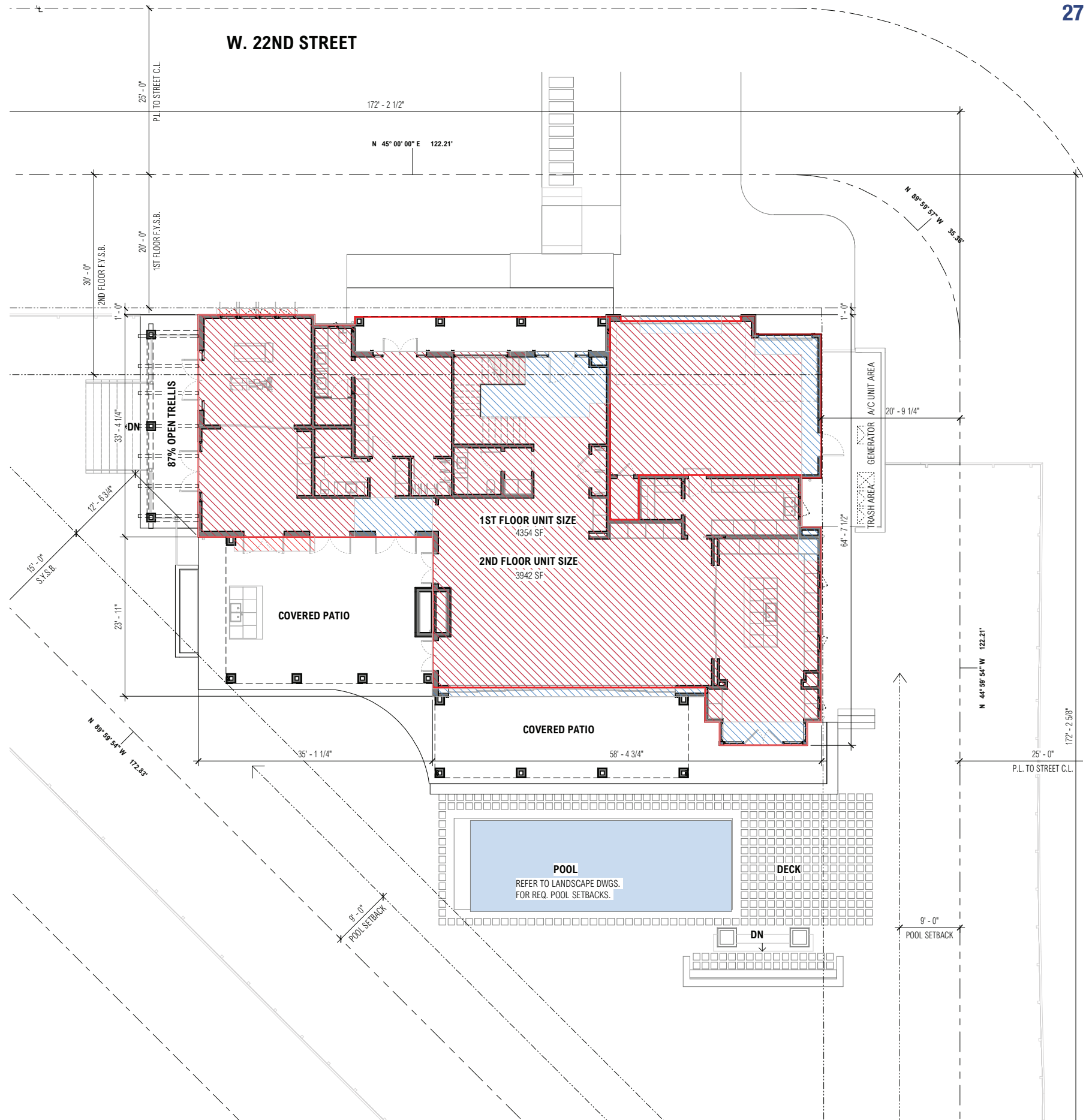
FIRST FLOOR LOT COVERAGE DIAGRAM

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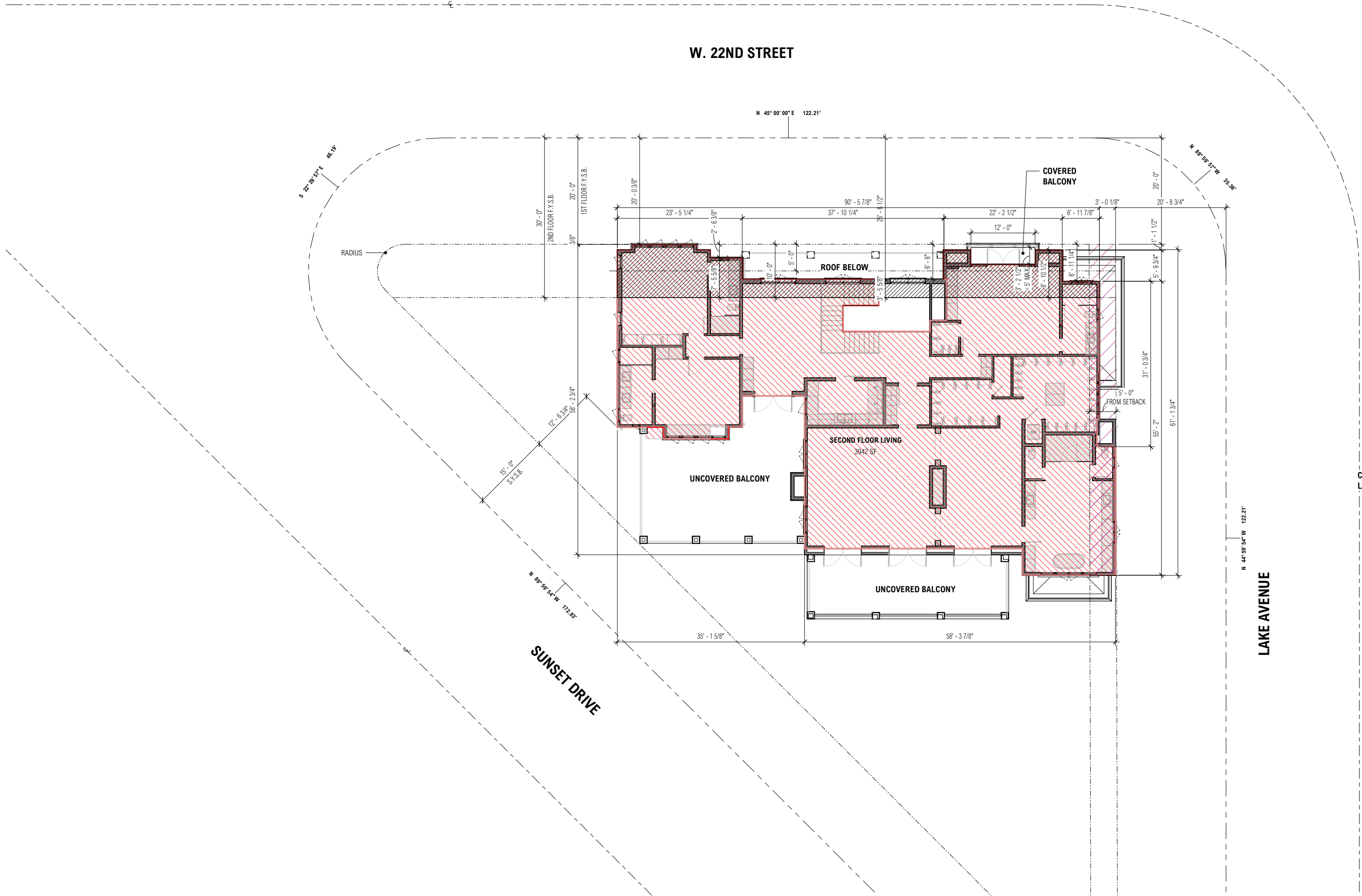
2 2ND FLOOR UNIT SIZE DIAGRAM  
1/8" = 1'-0"



FIRST & SECOND FLOOR UNIT SIZE DIAGRAM

1420 22ND STREET, MIAMI BEACH, FLORIDA 33140





SECOND FLOOR SETBACKS DIAGRAM

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