

INTERIOR BUILT-OUT FOR NEW BAR ON EXISTING SPACE:
FORMER KNOX MEDICAL PERMIT#BC18084
L A C A S I T A
1439 ALTON ROAD, MIAMI BEACH, FL 33139

FOLIO # 02-4203-009-9150

FINAL SUBMITTAL
DRB FILE NO.22- 0904
SUBMITTAL SET
01-11-2023



THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

INTERIOR RENOVATION FOR:
L A C A S I T A
1439 ALTON ROAD, MIAMI
BEACH, FL 33139

DATE: 2022.12.02

DRAWN BY: PA

REV.: DATE:

FRONT
COVER
SHEET

PROJECT INFORMATION				
USE AND OCCUPANCY CLASSIFICATION:				
DESIGNATION: (FBC CHAPTER 3)	A-2, ASSEMBLY, LESS CONCENTRATED, NON-FIXED TABLES AND CHAIRS (EXISTING, NO CHANGE OCCUPANCY)			
OCCUPANT LOAD: (FBC TABLE 1004. 1.2)	FUNCTION OF SPACE	AREA S.F. (GROSS)	LOAD FACTOR ALLOWED PER PERSON AS PER FBC SIXTH EDITION TABLE 1004.1.1	OCCUPANT LOAD
	INTERIOR SEATING	747.05	15 SF / P	50
	WAITING AREA	28.39	3 SF / P	10
	STORAGE AREA	292.9	500 SF / P	1
	INTERIOR OCCUPANCY LOAD:			61
	EXTERIOR OCCUPANCY LOAD:			49
	TOTAL OCCUPANCY LOAD:			110

RESTROOM DATA (TABLE 403.1 FLORIDA BUILDING CODE 6TH EDITION - PLUMBING): ASSEMBLY OCCUPANCY							
	WATER CLOSET		URINAL	LAVATORIES		DRINKING FTN.	SERVICE SINK
	MALE	FEMALE	MALE	MALE	FEMALE		
	1 PER 75	1 PER 75	N/A	1 PER 200		N/A	1
REQUIRED	1	1	N/A	1	1	-	1
REQUIRED	1	1	-	1	1	NOTE 1	3
TOTAL OCCUPANCY=110 OCCUPANTS			MALE= 55		FEMALE= 55		

NOTE1: SECTION 410 DRINKING FOUNTAINS 410.1: WHERE IS SERVED IN BAR. DRINKING FOUNTAINS SHALL NOT BE REQUIRED.

BUILDING INFORMATION					
	ALLOWED	PROPOSED		ALLOWED	PROPOSED
HEIGHT	EXISTING TO REMAIN	NO CHANGE	FIRE SPRINKLER	-	NO
STORIES	2 EXISTING	NO CHANGE	FIRE ALARM	-	NO
GROSS LEASE AREA	1,902 S.F.		FULLY MONITORED	-	NO
OCCUPANT LOAD (EGRESS)	63 INT.				
EXITS REQUIRED	2	2			
EGRESS WIDTH	54"				

SCOPE OF WORK	
ALTERATIONS/ADDITION TO EXISTING BUSINESS.	<ul style="list-style-type: none"> NEW RESTROOM ADDITION. NEW INTERIOR FINISHES. IMPROVEMENT OF EXISTING LANDSCAPE AREAS. NEW OUTDOOR SEATING AREA.
<ul style="list-style-type: none"> SELECTIVE DEMOLITION/ALTERATIONS OF EXISTING PARKING LOT AREA. SELECTIVE DEMOLITION/ALTERATION OF EXISTING INTERIOR SPACES. 	

APPLICABLE BUILDING CODES	
<ul style="list-style-type: none"> 2020 FLORIDA BUILDING CODE (FBC) 2020 FLORIDA MECHANICAL CODE/(FBC) 2020 FLORIDA ELECTRICAL CODE (FBC) 2020 FLORIDA PLUMBING CODE (FBC) ASCE 7 AMERICAN WITH DISABILITIES ACT (ADA) FLORIDA ACCESSIBILITY CODE (FBC CHAPTER 11) FLORIDA FIRE PREVENTION CODE (6TH EDITION) INCLUDING: NFPA 101 SAFETY CODE (2015 WITH FLORIDA AMENDMENT) NFPA 1 UNIFORM FIRE CODE (2015 WITH FLORIDA AMENDMENT) LOCAL CODES 	<p>APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED, ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR INVOLVED.</p>
ALTERATION LEVEL PER EXISTING BUILDING (FBC 2020)	FBC TABLE 601 FIRE RESISTIVE RATINGS FOR BUILDING
504.1 SCOPE LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.	BUILDING IS CONSTRUCTION TYPE II(B) - NOT SPRINKLERED, ALL PROPOSED WORK TO COMPLY WITH THESE REQUIREMENTS
505.2 APPLICATION LEVEL 2 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7 FOR LEVEL 1 ALTERATIONS AS WELL AS THE PROVISIONS OF CHAPTER 8.	<u>SIGNAGE</u>
	SIGNAGE BY OTHERS UNDER SEPARATE PERMIT

THE WEBER STUDIO

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305.361.9935 305.361.9986

INTERIOR RENOVATION FOR:

L A CASITA
1439 ALTON ROAD, MIAMI
BEACH, FL 33139

DATE:	2022.12.02
DRAWN BY:	PA
REV.:	DATE:

A1.1

GENERAL NOTES:

1. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF ARCHITECT AND MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT.
2. NO DEVIATIONS FROM THESE PLANS ARE TO BE MADE, IN ANY WAY, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT, OWNER. ALTERNATE EQUIPMENT MAY ONLY BE SUBSTITUTED WITH WRITTEN APPROVAL OF THE ARCHITECT/OWNER.
3. THE GENERAL CONTRACTOR (G.C.) IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS (INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
4. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY MINOR CONSTRUCTION DETAIL. THE G.C. IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
5. THE G.C. IS TO OBTAIN ALL REQUIRED PERMITS FOR THE CONSTRUCTION, FINISHING AND OCCUPANCY OF THE PROJECT.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2014, CITY ORDINANCES, AND COUNTY AMENDMENTS.
7. ALL WORK DESCRIBED IN THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENSED & INSURED IN THE STATE OF FLORIDA (F.B.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND F.B.C., LATEST EDITION.
8. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK CONFORM WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THE G.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER, OWNER OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
9. (OMITTED)
10. THESE DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS AND INFORMATION SHOWN. ALL DIMENSIONS ARE FRAME TO FRAME, TO STRUCTURE, OR TO CENTERLINE, UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO ARCHITECT FOR ACTION.
11. THE G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING ANY WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE BEGINNING ANY WORK.
12. THE G.C. SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTING OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES OR ORDINANCES.
13. ALL WORK DONE UNDER THE SUPERVISION OF THE G.C. SHALL BE IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
14. THE G.C. SHALL REPAIR ALL DAMAGE TO THE EXISTING BUILDING DURING CONSTRUCTION RESULTING FROM LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE FOR THAT WORK.
15. THE G.C. SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.
16. PRIOR TO COMMENCING WORK, THE G.C. SHALL VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/RELOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER.
17. THE G.C. SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE BUILDING MANAGEMENT FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED PERIODICALLY TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
18. THE G.C. SHALL PROVIDE THE ARCHITECT WITH REDLINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
19. THE G.C. SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
20. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.
21. ALL WORK IS TO BE PLUMB, ALIGNED, SQUARE, AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY CRAFTSMANSHIP SHALL BE REMOVED AND REDONE AT THE G.C.'S EXPENSE.
22. THE G.C. IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.
23. THE G.C. AND ALL SUBCONTRACTORS ARE TO GUARANTEE THE QUALITY OF THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING, TO BE SUBMITTED WITH THE BID.
24. ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. IT IS THE G.C.'S RESPONSIBILITY TO FORESEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY FOR INSTRUCTION.
25. (OMITTED)
26. THE GENERAL CONTRACTOR SHALL REVIEW AND APPROVE THE SUBMITTED SHOP DRAWING WITH THE CONTRACT DOCUMENTS PRIOR TO SUBMISSION TO THE ARCHITECT. REJECTED SHOP DRAWING WILL BE RETURNED TO THE SUBCONTRACTOR FOR REVISION AND RE-SUBMISSION. THE ARCHITECT SHALL THEN REVIEW AND APPROVE THE SUBMITTED SHOP DRAWING FOR DESIGN INTENT ONLY. REJECTED SHOP DRAWINGS WILL BE RETURNED TO THE SUBCONTRACTOR FOR REVISION AND RE-SUBMISSION. ONCE APPROVED BY THE ARCHITECT AND CONTRACTOR, THE SUBCONTRACTOR SHALL SUBMIT THE SHOP DRAWINGS TO THE CITY BUILDING DEPARTMENT (AS APPLICABLE IF REQUIRED) FOR REVIEW AND APPROVAL PRIOR TO ANY FABRICATION AND INSTALLATION. ALL SHOP DRAWINGS SHALL BE SUBMITTED ON 24" X 36" PAPER ONLY. SUBMIT 4 (FOUR) COPIES FOR APPROVAL.
27. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY EXISTING UTILITIES IN THE AREA OF PROPOSED WORK.

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INTERIOR RENOVATION FOR:
L A C A S I T A
1 4 3 9 A L T O N R O A D , M I A M I
B E A C H , F L 3 3 1 3 9

DATE:	2022.12.02
DRAWN BY:	PA
REV.:	DATE:

A1.2

MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

Survey Pros, Inc.

4348 SW 74TH AVENUE, MIAMI, FL. 33155
Tel: 305.767.6802

www.survey-pros.com

CERTIFICATE OF AUTHORIZATION # LB-8023

LEGEND

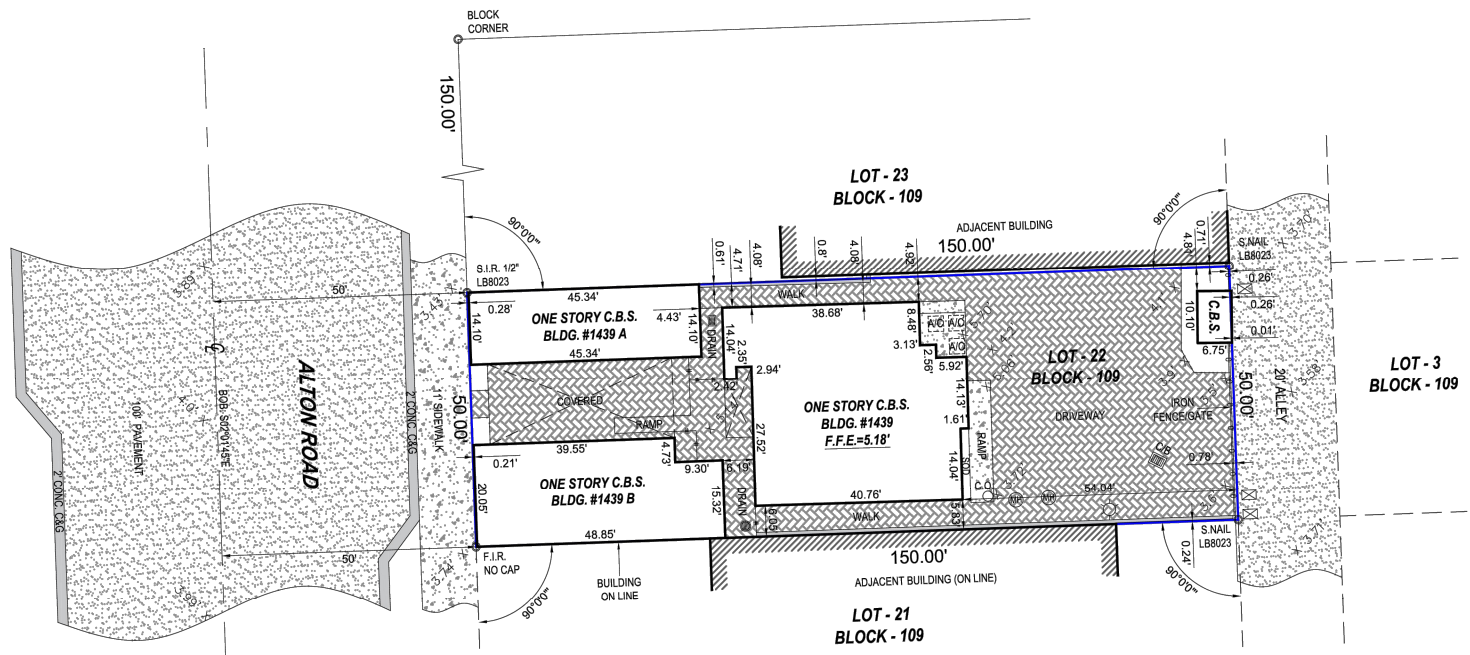
ABBREVIATIONS:

A = ARC DISTANCE
AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
D/W = DRIVEWAY
EB = ELECTRIC BOX
ENC. = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FFE = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE (NO ID)
FIR = FOUND IRON ROD (NO ID)
FN = FOUND NAIL (NO ID)
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
L.E. = LANDSCAPE EASEMENT
L.M.E. = LAKE MAINTENANCE EASEMENT
(M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
(P) = PLAT
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAVE
PI = POINT OF INTERSECTION
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
(R) = RECORD
R/W = RIGHT-OF-WAY
RES = RESIDENCE
SIP = SIP LB#8023
SND = SET NAIL & DISK LB#8023
STL = SURVEY TIE LINE
SWK = SIDEWALK (TYP)
UB = UTILITY BOX
U.E. = UTILITY EASEMENT
W/F = WOOD FENCE

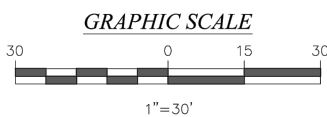
SYMBOLS:

☐ = TELEPHONE RISER
☐ = CABLE TV RISER
☐ = WATER METER
X 0.00 = ELEVATION
(00') = ORIGINAL LOT DISTANCE
Δ = CENTRAL ANGLE
Δ = CENTER LINE
WV = WATER VALVE
☐ = CURB INLET
☐ = FIRE HYDRANT
☐ = LIGHT POLE
☐ = CATCH BASIN
☐ = UTILITY POLE
☐ = DRAINAGE MANHOLE
☐ = SEWER MANHOLE
— — — = METAL FENCE
— — — = WOOD FENCE
— — — = CHAIN LINK FENCE
— — — = EASEMENT
— — — = BOUNDARY LINE
— — — = OVERHEAD UTILITY LINE

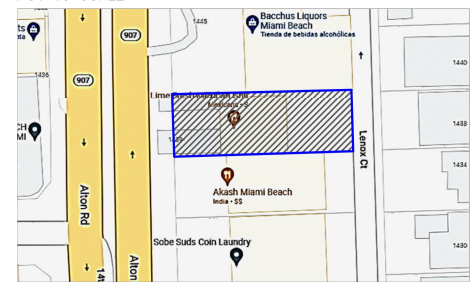
ASPHALT CONCRETE
PAVERS/BRICK
TILES
COVERED AREA



THERE ARE NO TREES LOCATED ON THE SUBJECT PROPERTY



LOCATION MAP:



PROPERTY ADDRESS:

1439 ALTON ROAD, MIAMI BEACH, FL 33139

LEGAL DESCRIPTION:

LOT 22, BLOCK 109, OF OCEAN BEACH, FLA. ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:

THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE AE BASE FLOOD ELEVATION 8 COMMUNITY NAME & NUMBER CITY OF MIAMI BEACH 120651 MAP & PANEL NUMBER 12086C031Z SUFFIX L

SURVEYOR'S NOTES:

- ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
- NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
- THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF THIS FIRM.
- ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 8023.
- THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
- FENCE OWNERSHIP IS NOT DETERMINED.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(IES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(IES).
- BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN AND BASED ON PLAT. THE CENTERLINE OF ALTON ROAD BEARS S02°01'45"E.

BENCHMARK INFORMATION:

NAME: D-149
ELEV(NGVD29): 4.18
ELEV(NAVD88): 2.62
LOCATION1: NE 15 ST --- 37' SOUTH OF C/L
LOCATION2: MERIDIAN AVE --- 32' WEST OF C/L
DESCRIPTION1: PK NAIL AND BRASS WASHER IN CONC GUTTER AT SW CORNER OF INTERSECTION

CERTIFIED TO:

RAYMOND RIGAZIO

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 53-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

SEAL

AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE ATTESTING REGISTERED SURVEYOR AND MAPPER

NICOLAS DEL VENTO
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6945

DATE OF ORIGINAL FIELD WORK: 01/20/2022
JOB#: 22017504
DRAWN BY: ADRIEL
CAD FILE: RIGAZIO
SHEET 1 OF 1

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INTERIOR RENOVATION FOR:
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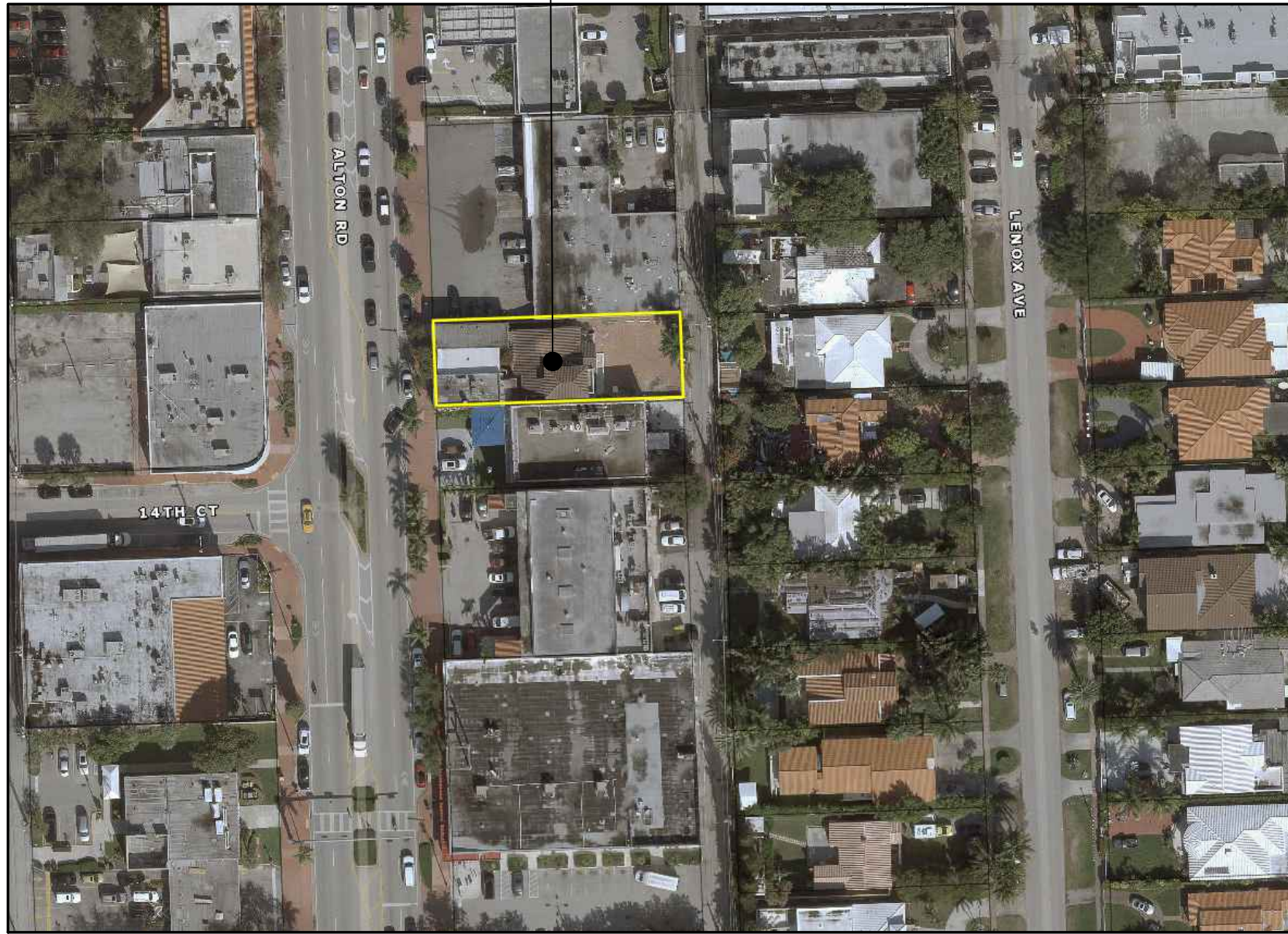
A1.3

SURVEY (SHOWN FOR REFERENCE ONLY. REFER TO ATTACHED ORIGINAL DOCUMENT)

(NOT TO SCALE)



SITE:
1439 ALTON ROAD



LOCATION SKETCH
(NOT TO SCALE)



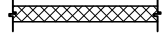
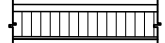
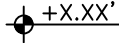







DESIGN PROFESSIONALS

ARCHITECT: **THE WEBER STUDIO**
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LANDSCAPE ARCHITECT

FLOOR PLAN LEGEND

-  EXISTING INTERIOR PARTITION TO REMAIN
-  EXISTING MASONRY BLOCK WALL TO REMAIN
-  NEW FRAMED PARTITION
-  NEW REINFORCED MASONRY WALL OR CONCRETE COLUMN
-  FINISHED FLOOR ELEVATION
-  GRADE OR FIN, FLOOR ELEVATION IN NGVD
-  INDICATES DIRECTION OF SLOPE FOR DRAINAGE
-  SECTION / ELEVATION TAG
-  WINDOW TAG
-  DOOR TAG

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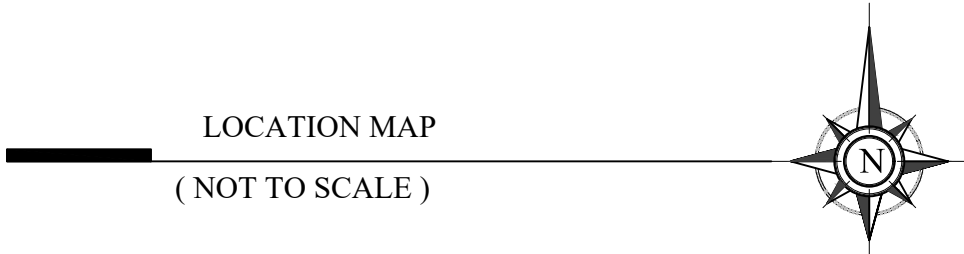
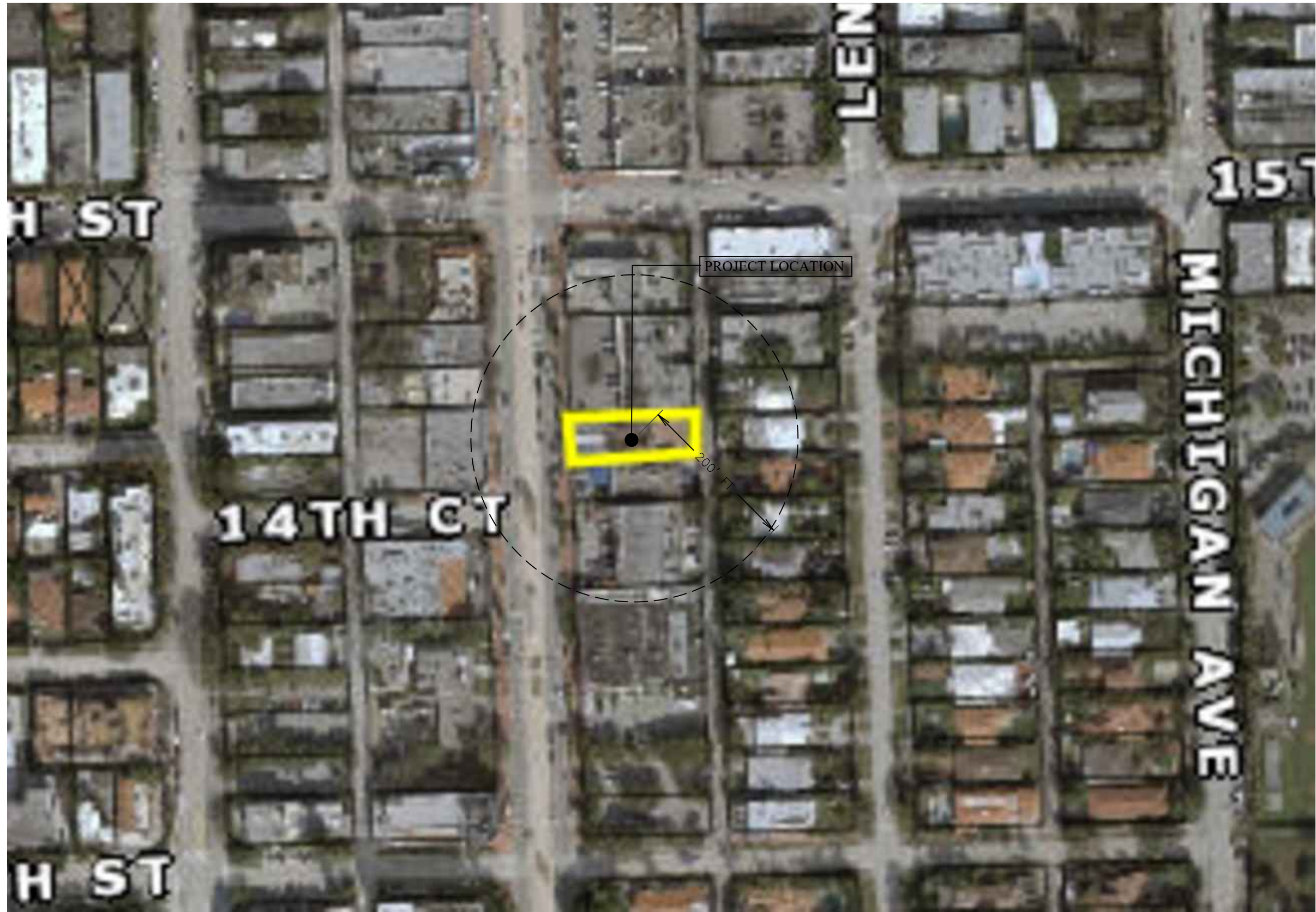
INDEX OF DRAWINGS

ARCHITECTURAL					
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A1.5	LOCATION MAP	A3.1	PROPOSED FIRST FLOOR PLAN		

Always call 811 two full business days before you dig to have underground utilities located and marked.



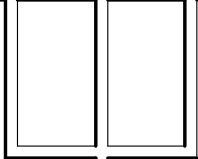
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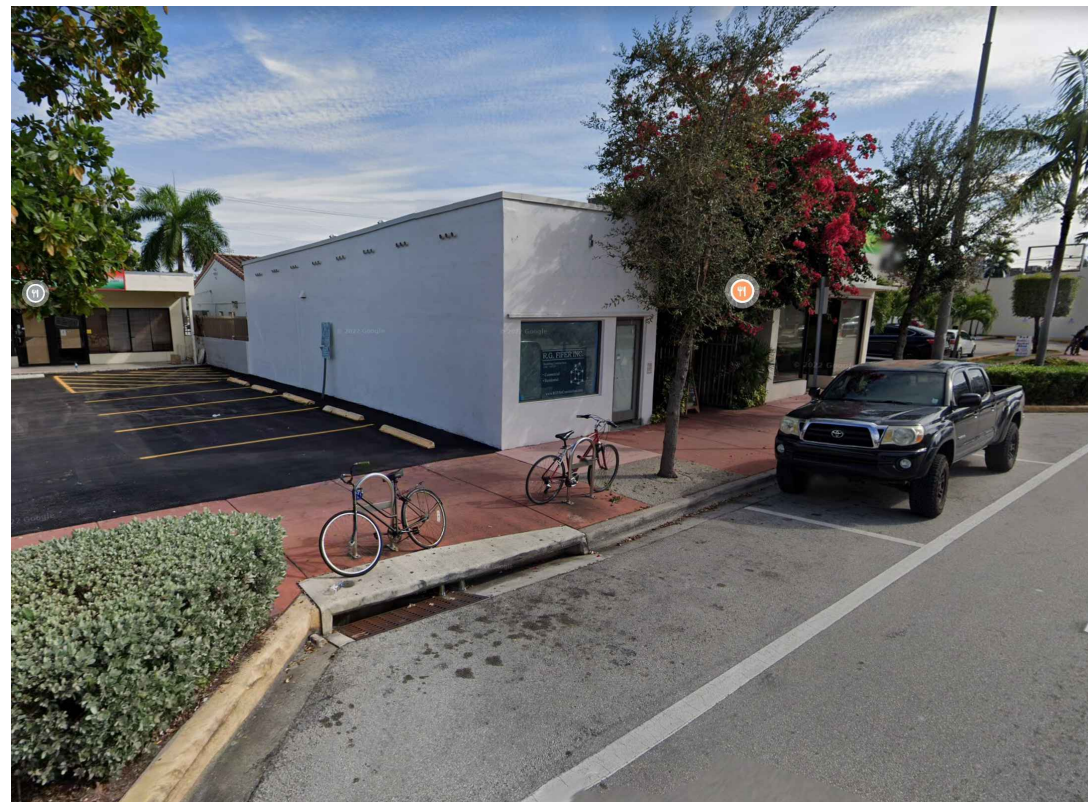
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A1.5



1 VIEW

A1.6



2 VIEW

A1.6



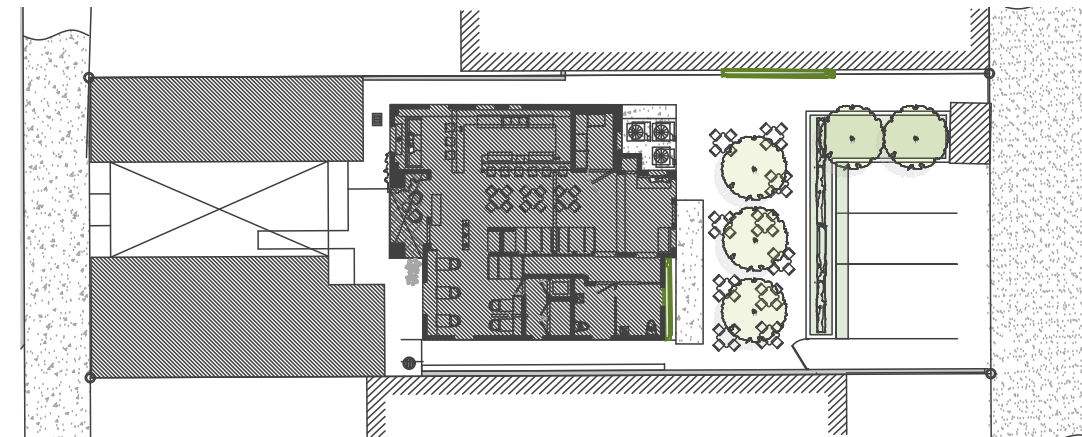
4 VIEW

A1.6



3 VIEW

A1.6



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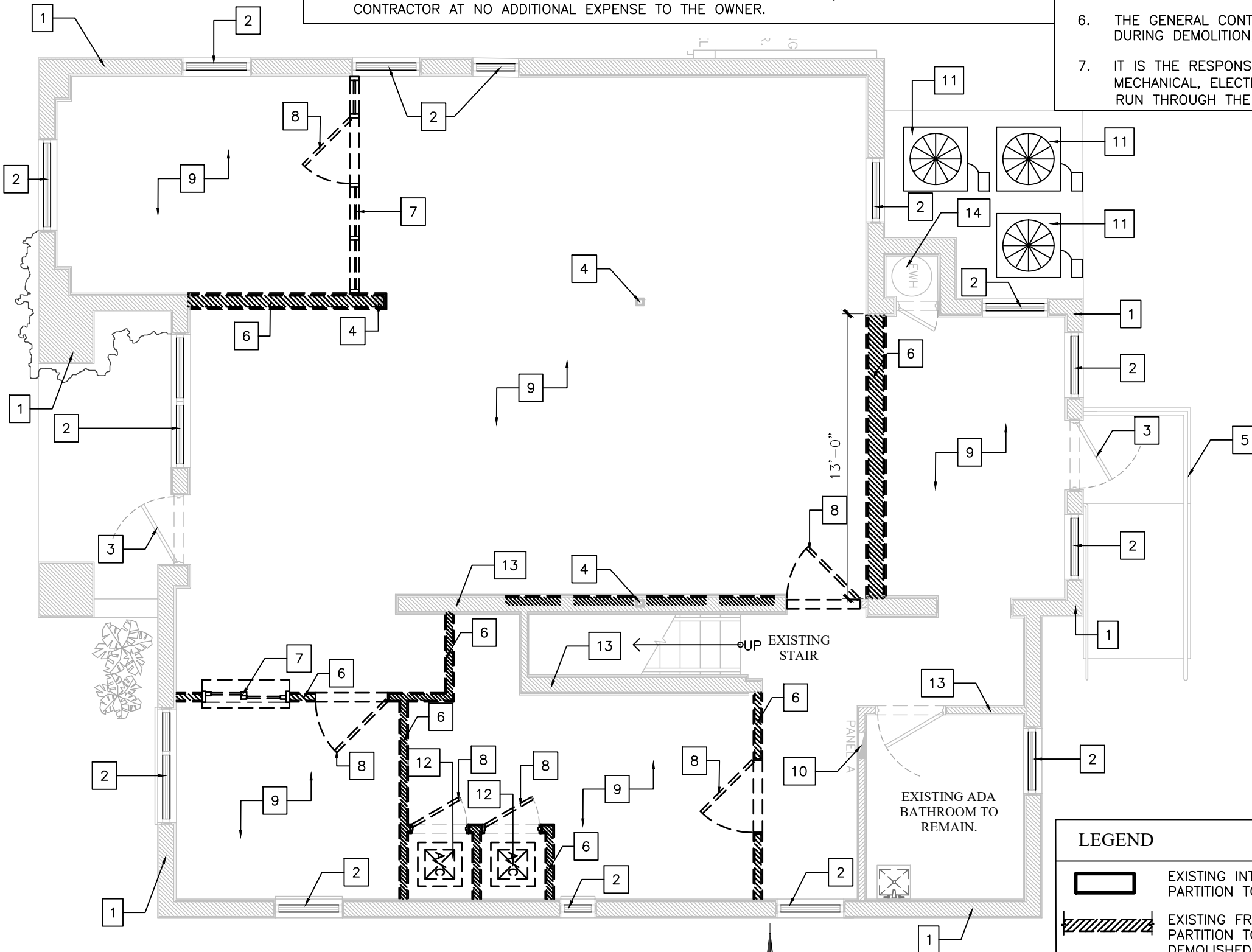
DEMOLITION SCOPE OF WORK:

- EXISTING KITCHEN COUNTER AND SINK TO BE REPLACED CAP ALL LINES AS REQUIRED.
- EXISTING MASTER BATHROOMS FIXTURES AND FINISHES TO BE REPLACED. CAP ALL LINES AS REQUIRED.
- EXISTING STAIR RAILING TO BE REPLACED.

GENERAL DEMOLITION NOTES:

- REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACHIEVE DESIRED RESULTS. TAKE CARE IN REMOVING ANY EXISTING STRUCTURAL AND/OR UTILITARIAN CONCEALED CONSTRUCTION. REPAIR OF DAMAGES TO THE EXISTING BUILDING DURING DEMOLITION RESULTING FROM LACK OF CARE AND DUE DILIGENCE IS THE COMPLETE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MAY NOT BE CLAIMED AS MONETARY DAMAGES NOR AS TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT TIME TO PERFORM THE WORK.
- ALL SALVAGEABLE MATERIAL & EQUIPMENT SHALL REMAIN THE PROPERTY OF THE OWNER. THE OWNER WILL PROVIDE A LOCATION FOR STORAGE OF SALVAGED ITEMS. OWNER TO PROVIDE A CONTAINER TO STORE AND ORGANIZE ALL EXISTING EQUIPMENT AND FIXTURES FOR REUSE. NON-SALVAGEABLE MATERIAL AND EQUIPMENT, I.E. CONSTRUCTION DEBRIS, SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND SAFE MANNER, BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

- PROTECT EXISTING ADJACENT FINISH MATERIALS, FIXTURES, EQUIPMENT AND LANDSCAPING FROM DAMAGE DURING DEMOLITION WORK. ALL DAMAGE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING IN ORDER TO ACCESS EXISTING PLUMBING, ELECTRICAL, MECHANICAL, AND STRUCTURAL CONDITIONS WITHIN CONCEALED SPACES. REPAIR ALL WORK THAT IS VISIBLE IN SUCH A MANNER SO AS TO LEAVE IT IN THE SAME OR BETTER CONDITION THAN BEFORE WORK COMMENCED.
- THE GENERAL CONTRACTOR SHALL TEMPORARILY SHUT DOWN ALL SERVICES SUCH AS ELECTRICAL, MECHANICAL AND PLUMBING, AS MAY BE REQUIRED TO PERFORM THE WORK. THE GENERAL CONTRACTOR IS TO NOTIFY THE OWNERS IN ADVANCE OF ALL SERVICE INTERRUPTIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO IDENTIFY ANY STRUCTURAL COMPONENTS DURING DEMOLITION, AND SHALL TEMPORARY SHORING IF REQUIRED.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND/OR FIRE PROTECTION SYSTEMS THAT MAY RUN THROUGH THE UNIT (VERIFY).



DEMOLITION KEY NOTES

- EXISTING EXTERIOR WALL TO REMAIN.
- EXISTING EXTERIOR WINDOWS TO REMAIN.
- EXISTING EXTERIOR DOORS TO REMAIN.
- EXISTING STEEL COLUMN TO REMAIN.
- EXISTING ADA CONCRETE RAMP TO REMAIN.
- EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED.
- EXISTING INTERIOR GLASS PARTITION TO BE REMOVED.
- EXISTING INTERIOR DOORS & FRAME TO BE REMOVED.
- EXISTING FINISH FLOOR TO BE REPLACED.
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING CONDENSING UNITS TO REMAIN.
- EXISTING AHU TO BE RELOCATED.
- EXISTING NON-LOAD BEARING PARTITION TO REMAIN PATCH AND REPAIR AS REQUIRED.
- EXISTING MOP SINK AND HWH TO REMAIN.
- EXISTING INTERIOR DOOR TO REMAIN WITH NEW PAINT FINISH.

LEGEND

	EXISTING INTERIOR PARTITION TO REMAIN
	EXISTING FRAMED PARTITION TO BE DEMOLISHED

THE WEBER STUDIO
 AA26002025
 104 CRANDON BLVD, SUITE 414
 KEY BISCAYNE, FLORIDA 33149
 305.361.9935o.305.361.9986

INTERIOR RENOVATION FOR:
 LA CASITA
 1439 ALTON ROAD, MIAMI
 BEACH, FL 33139

DATE:	2022.12.02
DRAWN BY:	PA
REV.:	DATE:

D1.1

DEMOLITION FIRST FLOOR PLAN

3/16"= 1'-0"

GENERAL DEMOLITION NOTES:

1. REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACHIEVE DESIRED RESULTS. TAKE CARE IN REMOVING ANY EXISTING STRUCTURAL AND/OR UTILITARIAN CONCEALED CONSTRUCTION. REPAIR OF DAMAGES TO THE EXISTING BUILDING DURING DEMOLITION RESULTING FROM LACK OF CARE AND DUE DILIGENCE IS THE COMPLETE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MAY NOT BE CLAIMED AS MONETARY DAMAGES NOR AS TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT TIME TO PERFORM THE WORK.
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7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND/OR FIRE PROTECTION SYSTEMS THAT THAT MAY RUN THROUGH THE UNIT (VERIFY).



DEMOLITION KEY NOTES

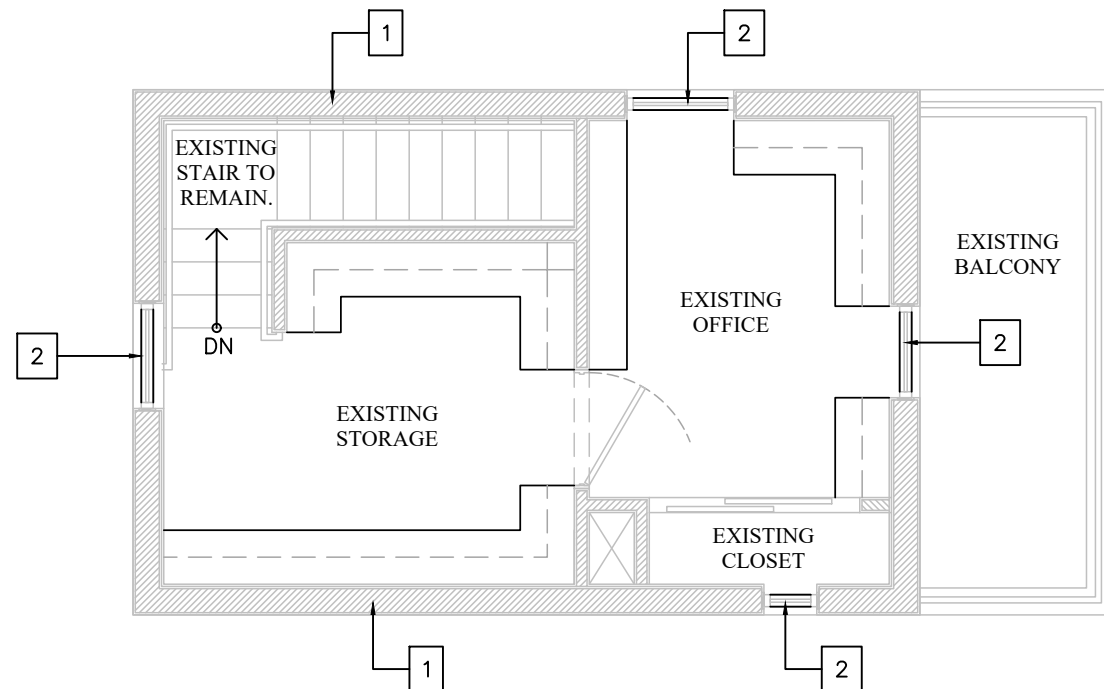
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- 4 EXISTING STEEL COLUMN TO REMAIN.
- 5 EXISTING ADA CONCRETE RAMP TO REMAIN.
- 6 EXISTING NON-LOAD BEARING PARTITION TO BE REMOVED.
- 7 EXISTING INTERIOR GLASS PARTITION TO BE REMOVED.
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- 11 EXISTING CONDENSING UNITS TO REMAIN.
- 12 EXISTING AHU TO BE RELOCATED.
- 13 EXISTING NON-LOAD BEARING PARTITION TO REMAIN PATCH AND REPAIR AS REQUIRED.
- 14 EXISTING MOP SINK AND HWH TO REMAIN.
- 15 EXISTING INTERIOR DOOR TO REMAIN WITH NEW PAINT FINISH.

DEMOLITION SCOPE OF WORK:

- EXISTING KITCHEN COUNTER AND SINK TO BE REPLACED CAP ALL LINES AS REQUIRED.
- EXISTING MASTER BATHROOMS FIXTURES AND FINISHES TO BE REPLACED. CAP ALL LINES AS REQUIRED.
- EXISTING STAIR RAILING TO BE REPLACED.

LEGEND

-  EXISTING INTERIOR PARTITION TO REMAIN
-  EXISTING FRAMED PARTITION TO BE DEMOLISHED



DEMOLITION SECOND FLOOR PLAN

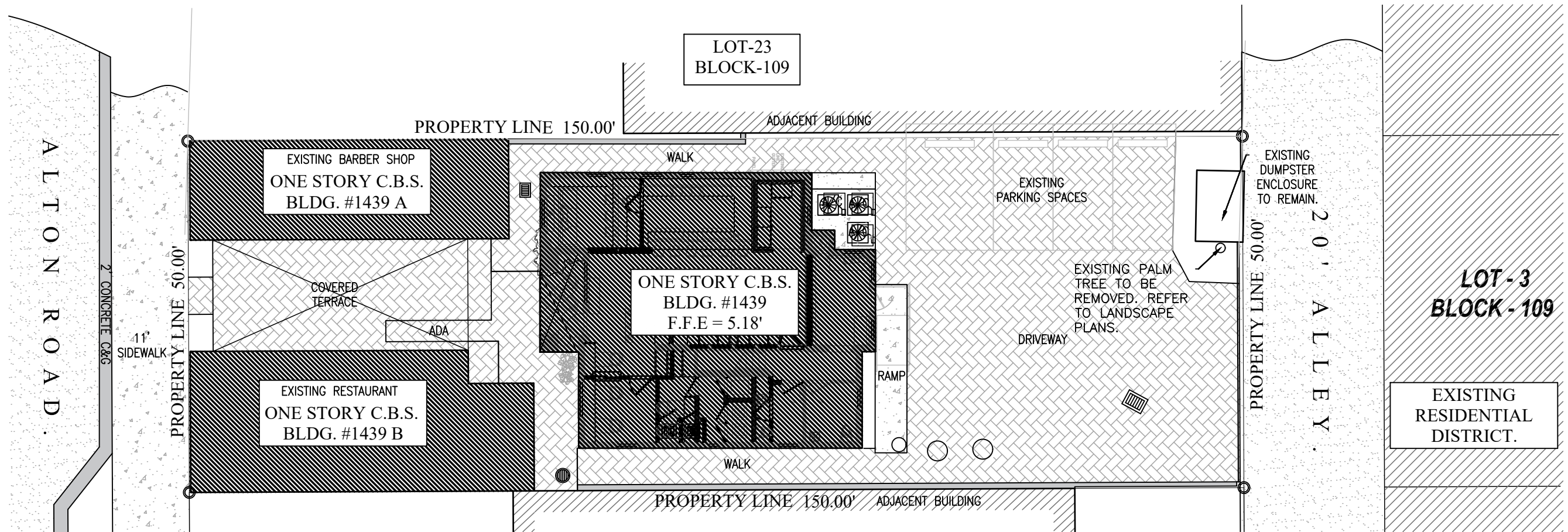
3/16"= 1'-0"

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KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

INTERIOR RENOVATION FOR:
L A CASITA
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D1.2



LOT-23
BLOCK-109

ONE STORY C.B.S.
BLDG. #1439
F.F.E = 5.18'

EXISTING BARBER SHOP
ONE STORY C.B.S.
BLDG. #1439 A

EXISTING RESTAURANT
ONE STORY C.B.S.
BLDG. #1439 B

LOT-3
BLOCK-109

EXISTING
RESIDENTIAL
DISTRICT.

LOT-21
BLOCK-109

EXISTING SITE PLAN

1/16" = 1'-0"



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A2.1

INT. SEATING TABLE

QTY	SEATING TYPE	SEATS
3	FOUR TOP TABLE	12
9	SINGLE TOP TABLE	9
5	BENCH, CHAIR W/TABLE	10
2	SOFA	6
3	FOUR SEATS BENCH	12
1	TWO SEATS BENCH	2
TOTAL		51

EXT. SEATING TABLE

QTY	SEATING TYPE	SEATS
10	FOUR TOP TABLE	40
TOTAL		40

TOTAL 91

KEY NOTES LEYEND

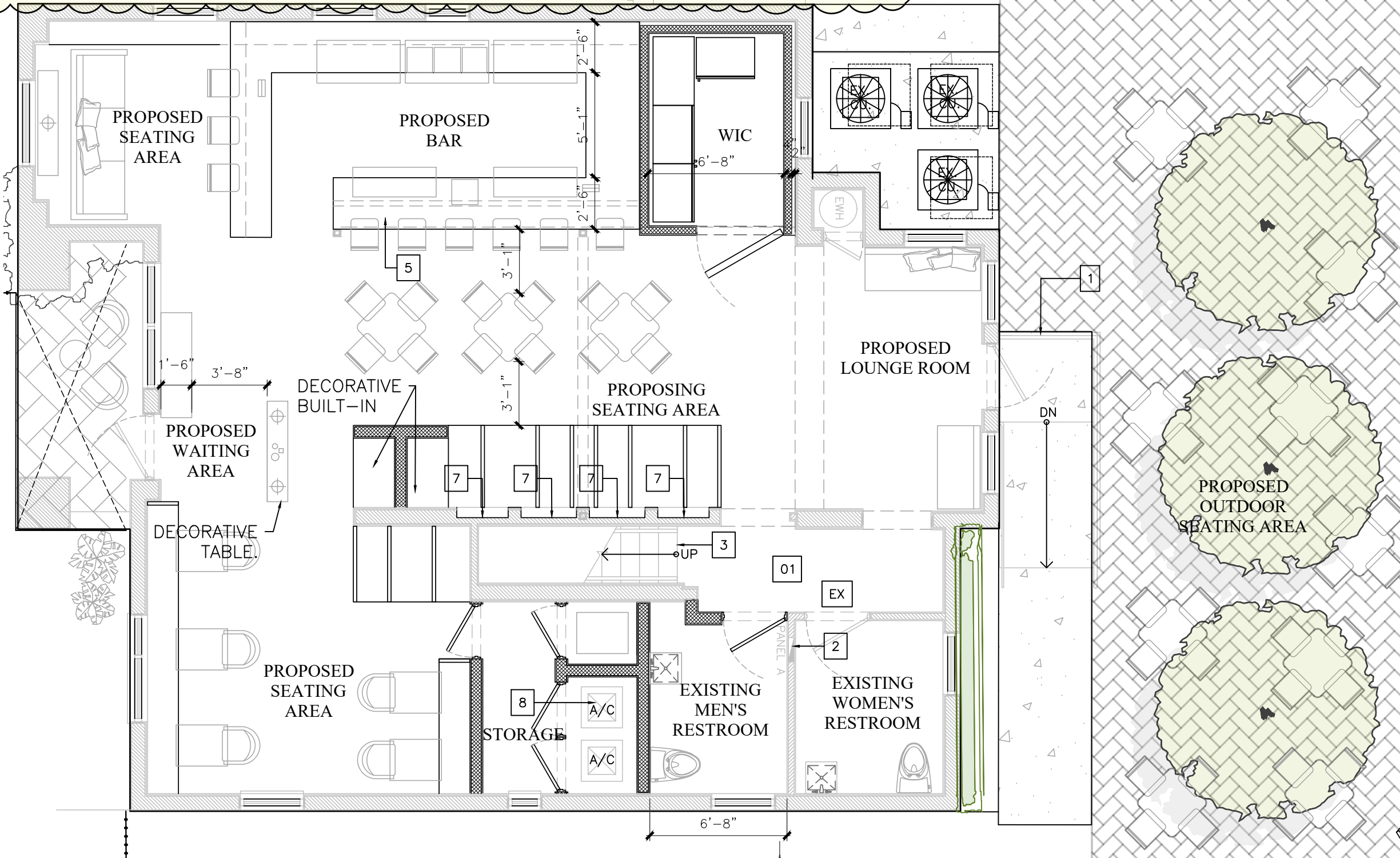
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- 2 EXISTING ELECTRICAL PANEL TO REMAIN.
- 3 EXISTING STAIRS TO REMAIN. NO ALTERATIONS.
- 4 PROPOSED DECORATIVE WALL
- 5 34"H COUNTERTOP FOR ADA COMPLIANCE.
- 6 42"H COUNTERTOP. SEE INTERIOR ELEVATIONS.
- 7 DECORATIVE SHELVES. REFER TO INTERIOR ELEVATIONS.
- 8 RELOCATED A/C UNITS.

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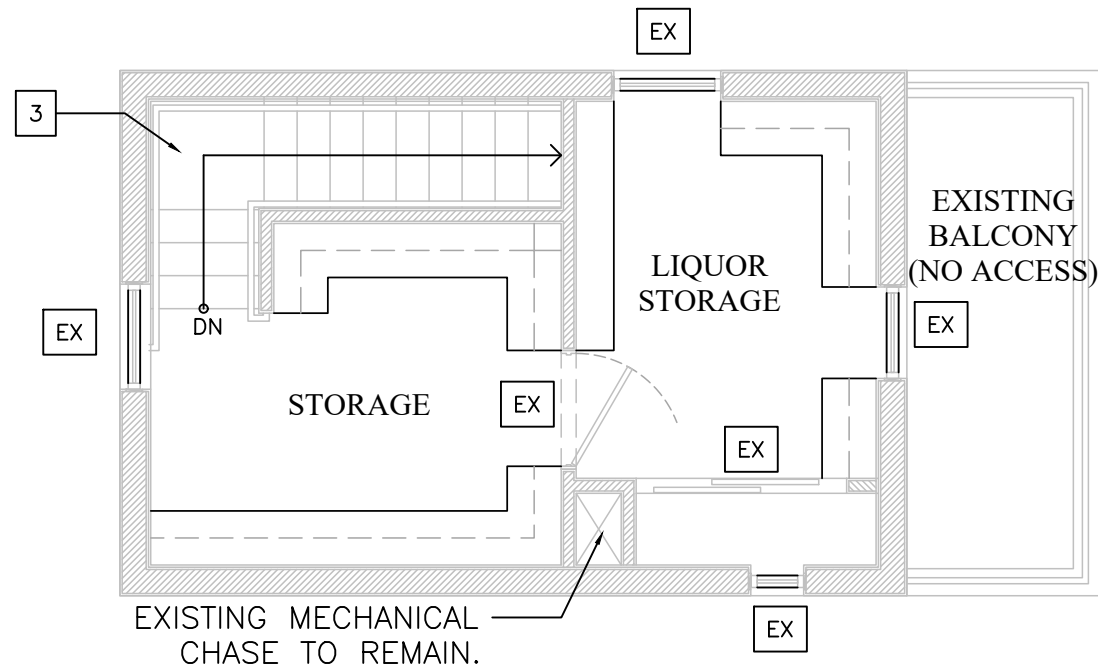
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A3.1



PROPOSED FIRST FLOOR PLAN
 3/16" = 1'-0"



PROPOSED SECOND FLOOR PLAN

3/16" = 1'-0"



KEY NOTES LEYEND

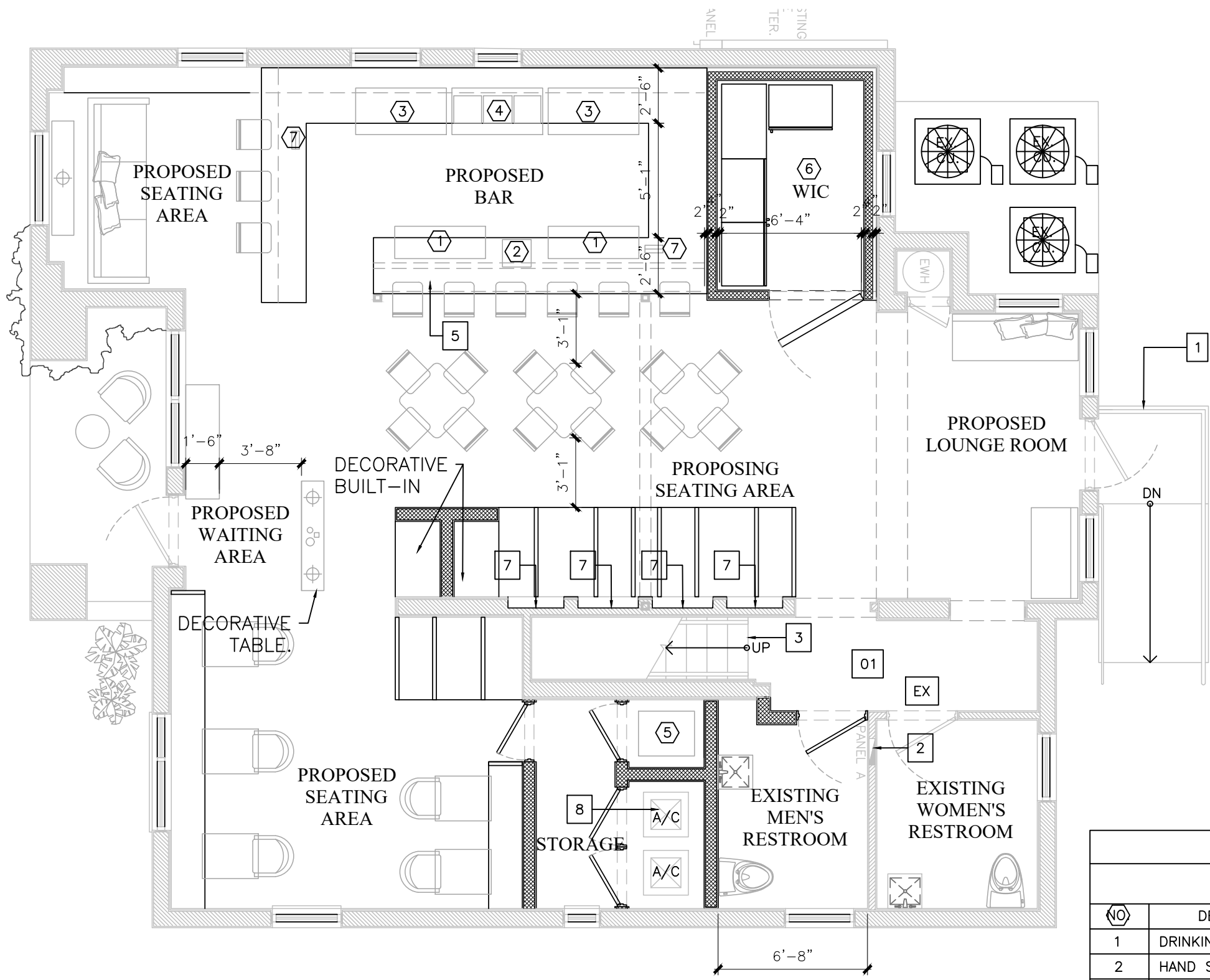
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PROPOSED FIRST FLOOR PLAN
 3/16" = 1'-0"



EQUIPMENT SCHEDULE			
ITEM			
NO	DESCRIPTION	MAKE	MODEL
1	DRINKING PREP STATION		
2	HAND SINK		
3	U.C. REFRIGERATOR		
4	THREE COMPARTMENT SINK		
5	ICE MACHINE		
6	WALK-IN COOLER		
7	P.O.S.		
8	METRO SHELVES		

EQUIPMENT SCHEDULE													
NO	DESCRIPTION	ELECTRICAL											
		VOLTS	AMPS	KW	HP	AFF	SUPPLIED						
							GC	OWN	KEC	GC	OWN	MFG	KEC
1	DRINKING PREP STATION												
2	HAND SINK												
3	U.C. REFRIGERATOR												
4	THREE COMPARTMENT SINK												
5	ICE MACHINE												
6	WALK-IN COOLER												
7	P.O.S.												
8	METRO SHELVES												

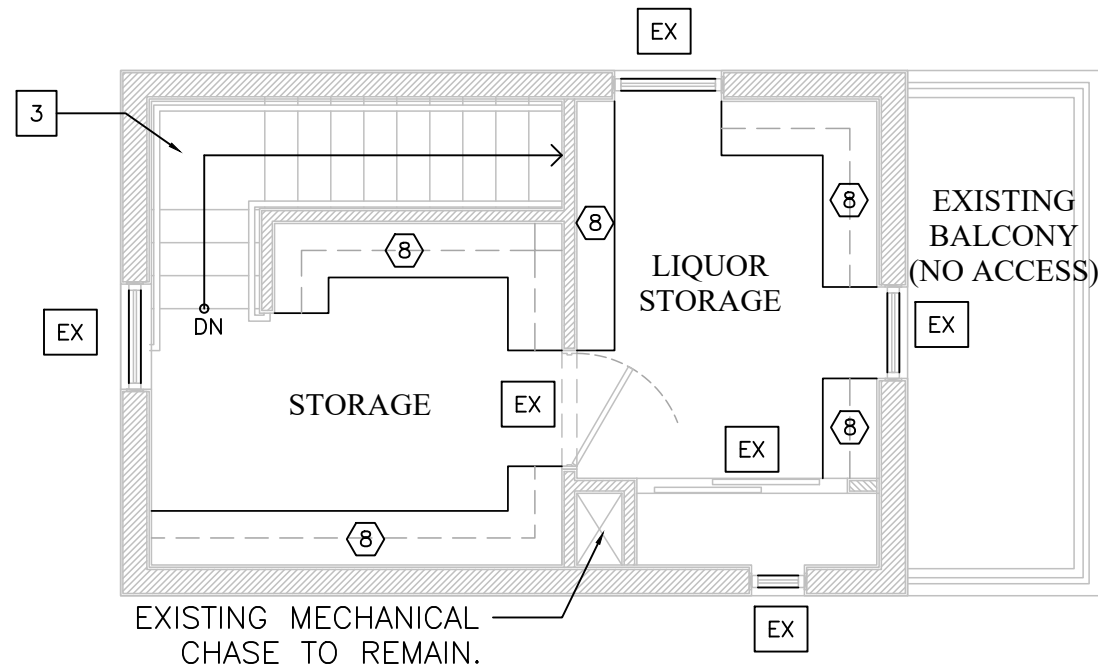
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A3.3

NOTE: G.C. TO COORDINATE/VERIFY ALL REQUIRED EQUIPMENT UTILITIES WITH OWNER PRIOR TO START OF CONSTRUCTION.



PROPOSED SECOND FLOOR PLAN

3/16" = 1'-0"



EQUIPMENT SCHEDULE			
ITEM			
NO	DESCRIPTION	MAKE	MODEL
1	DRINKING PREP STATION		
2	HAND SINK		
3	U.C. REFRIGERATOR		
4	THREE COMPARTMENT SINK		
5	ICE MACHINE		
6	WALK-IN COOLER		
7	P.O.S.		
8	METRO SHELVES		

EQUIPMENT SCHEDULE																				
NO	DESCRIPTION	ELECTRICAL						CONNECTION												
		VOLTS	AMPS	KW	HP	AFF	SUPPLIED	INSTALLED	CONNECTION	GC	OWN	MFG	KEC							
1	DRINKING PREP STATION																			
2	HAND SINK																			
3	U.C. REFRIGERATOR																			
4	THREE COMPARTMENT SINK																			
5	ICE MACHINE																			
6	WALK-IN COOLER																			
7	P.O.S.																			
8	METRO SHELVES																			

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INTERIOR RENOVATION FOR:
L A C A S I T A
1 4 3 9 A L T O N R O A D , M I A M I
B E A C H , F L 3 3 1 3 9

DATE: 2022.12.02
DRAWN BY: PA
REV.: DATE:

A3.4

NOTE: G.C. TO COORDINATE/VERIFY ALL REQUIRED EQUIPMENT UTILITIES WITH OWNER PRIOR TO START OF CONSTRUCTION.